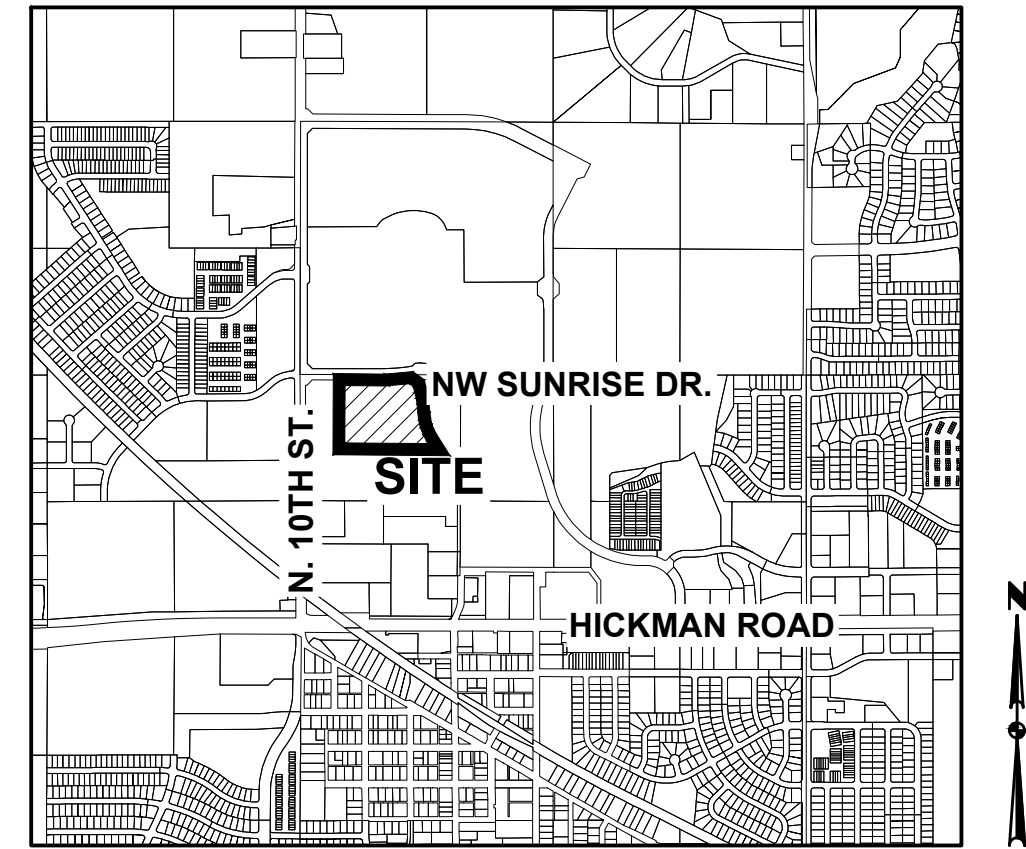


SITE PLAN FOR: CONVERGE NW PLAT 1

WAUKEE, IOWA

VICINITY MAP NOT TO SCALE



WAUKEE, IOWA

OWNER

WAUKEE CROSSING, LLC
611 MONTICELLO DR.
BURLINGTON, IA 52601

APPLICANT

HUBBELL DEVELOPMENT SERVICES
6900 WESTOWN PARKWAY
WEST DES MOINES, IA 50266
CONTACT: MATTHEW WELLER
EMAIL: MATT.WELLER@HUBBELLREALTY.COM
PHONE: (515) 280-2041

ENGINEER

CIVIL DESIGN ADVANTAGE
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: RYAN HARDISTY
EMAIL: RYANH@CDA-ENG.COM
PH. (515) 369-4400

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
3405 SE CROSSROADS DRIVE, SUITE G
GRIMES, IOWA 50111
CONTACT: CHARLIE MCGLOTHLEN
EMAIL: CHARLIEM@CDA-ENG.COM
PH. (515) 369-4400

ARCHITECT

SIMONSON & ASSOCIATES INC.
1717 INGERSOLL AVE. #117
DES MOINES, IA 50309
CONTACT: STEPHANIE POOLE
EMAIL: SPOOLE@SIMONSONASSOC.COM
PH: (515) 440-5626

SUBMITTAL DATES

FIRST SUBMITTAL: 10/12/2021
SECOND SUBMITTAL: 11/02/2021
THIRD SUBMITTAL: 11/19/2021
FOURTH SUBMITTAL: 12/15/2021

LEGAL DESCRIPTION

OUTLOT 'Y', WAUKEE CROSSING PLAT 2, AN OFFICIAL PLAT IN THE CITY OF WAUKEE, DALLAS COUNTY, IOWA AND CONTAINING 15.00 ACRES (653,530 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

ZONING

R-3, MULTI-FAMILY RESIDENTIAL DISTRICT

PROJECT SITE ADDRESS

INTERSECTION OF NW SUNRISE DRIVE AND NW 6TH STREET

EXISTING/ PROPOSED USE

EXISTING: AGRICULTURAL

PROPOSED: MULTI FAMILY RESIDENTIAL

DEVELOPMENT SUMMARY

AREA: 15.00 ACRES (653,456 SF)

ZONING: R-3

SETBACKS:

FRONT: 30 FT
SIDE: 15 FT TOTAL (7 FT MIN.)
REAR: 30 FT

OPEN SPACE CALCULATION:

TOTAL SITE: = 653,456 (15.00 AC.)
BUILDING = 141,404 SF
PARKING AREAS = 150,139 SF
DRIVEWAYS = 12,944 SF
SIDEWALK = 27,405 SF
OPEN SPACE PROVIDED = 321,564 SF (49.2%)

UNITS:

213 UNITS (14.2 UNITS PER ACRE)

TOTAL IMPERVIOUS AREA = 331,892 SF (7.62 AC)

PARKING REQUIREMENTS

APARTMENT PARKING REQUIREMENTS:
1 SPACE PER BEDROOM = 288 SPACES
1 PER VISITOR/5 UNITS (180 UNITS) = 36 SPACES

TOTAL REQUIRED = 324 SPACES
TOTAL PROVIDED = 324 SPACES
(78 DETACHED GARAGES) = 78 SPACES
(246 SURFACE PARKING) = 246 SPACES

TOWNHOME PARKING REQUIREMENTS:

TOWNHOMES (33 UNITS)
(2 SPACES PER UNIT) = 66 SPACES
1 PER VISITOR/5 UNITS = 7 SPACES

TOTAL REQUIRED = 73 SPACES
TOTAL PROVIDED = 73 SPACES
(66 SPACES WITHIN GARAGES) = 66 SPACES
(7 SURFACE PARKING) = 7 SPACES

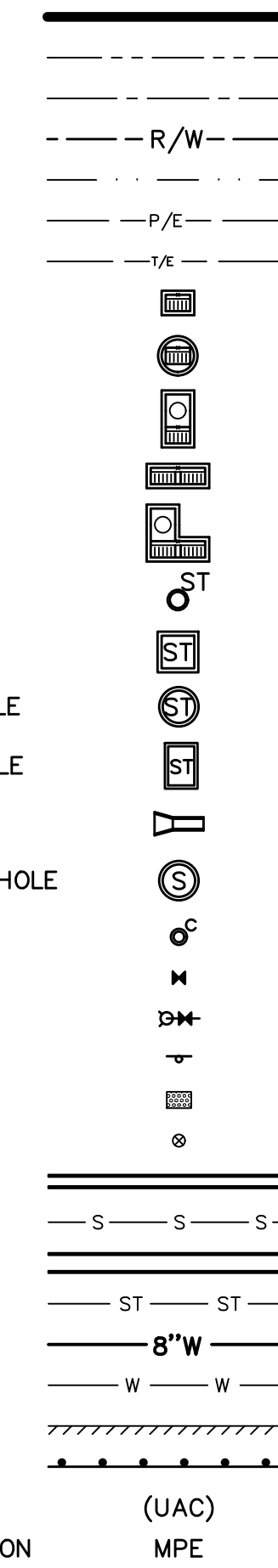
INDEX OF SHEETS

NO.	DESCRIPTION
1	COVER SHEET
2	EXISTING SITE
3-7	DIMENSION PLAN
8-12	GRADING PLAN
13	SIDEWALK RAMP DETAILS
14	EROSION AND SEDIMENT CONTROL PLAN
15-19	UTILITY PLAN
20-21	DETAILS
22	LANDSCAPE PLAN

GENERAL LEGEND

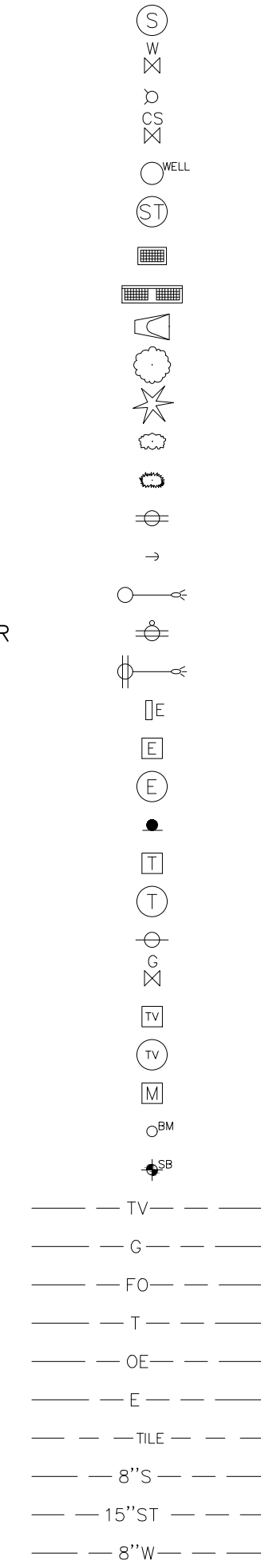
PROPOSED

PROPERTY BOUNDARY
SECTION LINE
CENTER LINE
RIGHT OF WAY
BUILDING SETBACK
PERMANENT EASEMENT
TEMPORARY EASEMENT
TYPE SW-501 STORM INTAKE
TYPE SW-502 STORM INTAKE
TYPE SW-503 STORM INTAKE
TYPE SW-505 STORM INTAKE
TYPE SW-506 STORM INTAKE
TYPE SW-512 STORM INTAKE
TYPE SW-513 STORM INTAKE
TYPE SW-401 STORM MANHOLE
TYPE SW-402 STORM MANHOLE
FLARED END SECTION
TYPE SW-301 SANITARY MANHOLE
STORM/SANITARY CLEANOUT
WATER VALVE
FIRE HYDRANT ASSEMBLY
SIGN
DETECTABLE WARNING PANEL
WATER CURB STOP
SANITARY SEWER
SANITARY SERVICE
STORM SEWER
STORM SERVICE
WATERMAIN WITH SIZE
WATER SERVICE
SAWCUT (FULL DEPTH)
SILT FENCE
USE AS CONSTRUCTED
MINIMUM PROTECTION ELEVATION



EXISTING

SANITARY MANHOLE
WATER VALVE BOX
FIRE HYDRANT
WATER CURB STOP
WELL
STORM SEWER MANHOLE
STORM SEWER SINGLE INTAKE
STORM SEWER DOUBLE INTAKE
FLARED END SECTION
DECIDUOUS TREE
CONIFEROUS TREE
DECIDUOUS SHRUB
CONIFEROUS SHRUB
ELECTRIC POWER POLE
GUY ANCHOR
STREET LIGHT
POWER POLE W/ TRANSFORMER
UTILITY POLE W/ LIGHT
ELECTRIC BOX
ELECTRIC TRANSFORMER
ELECTRIC MANHOLE OR VAULT
TRAFFIC SIGN
TELEPHONE JUNCTION BOX
TELEPHONE MANHOLE/VAULT
TELEPHONE POLE
GAS VALVE BOX
CABLE TV JUNCTION BOX
CABLE TV MANHOLE/VAULT
MAIL BOX
BENCHMARK
SOIL BORING
UNDERGROUND TV CABLE
GAS MAIN
FIBER OPTIC
UNDERGROUND TELEPHONE
OVERHEAD ELECTRIC
UNDERGROUND ELECTRIC
FIELD TILE
SANITARY SEWER W/ SIZE
STORM SEWER W/ SIZE
WATER MAIN W/ SIZE



UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.



THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF WAUKEE COSESCO PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2020 EDITION OF THE WAUKEE SPECIFICATIONS IS REQUIRED FOR ALL PUBLIC IMPROVEMENTS ON THIS PROJECT UNLESS OTHERWISE NOTED.

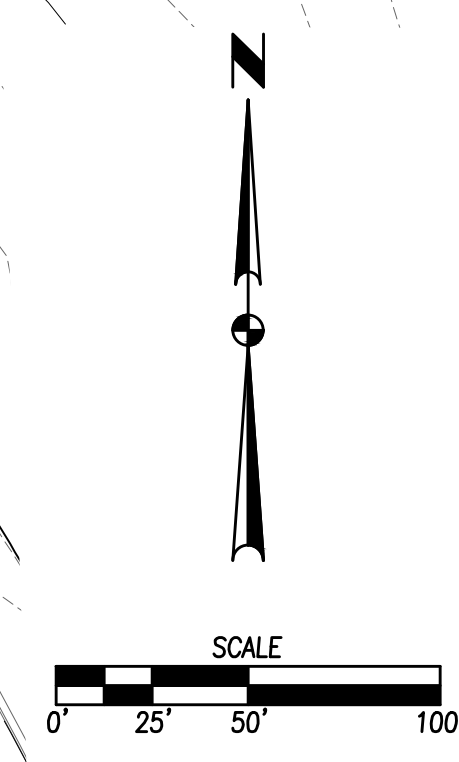
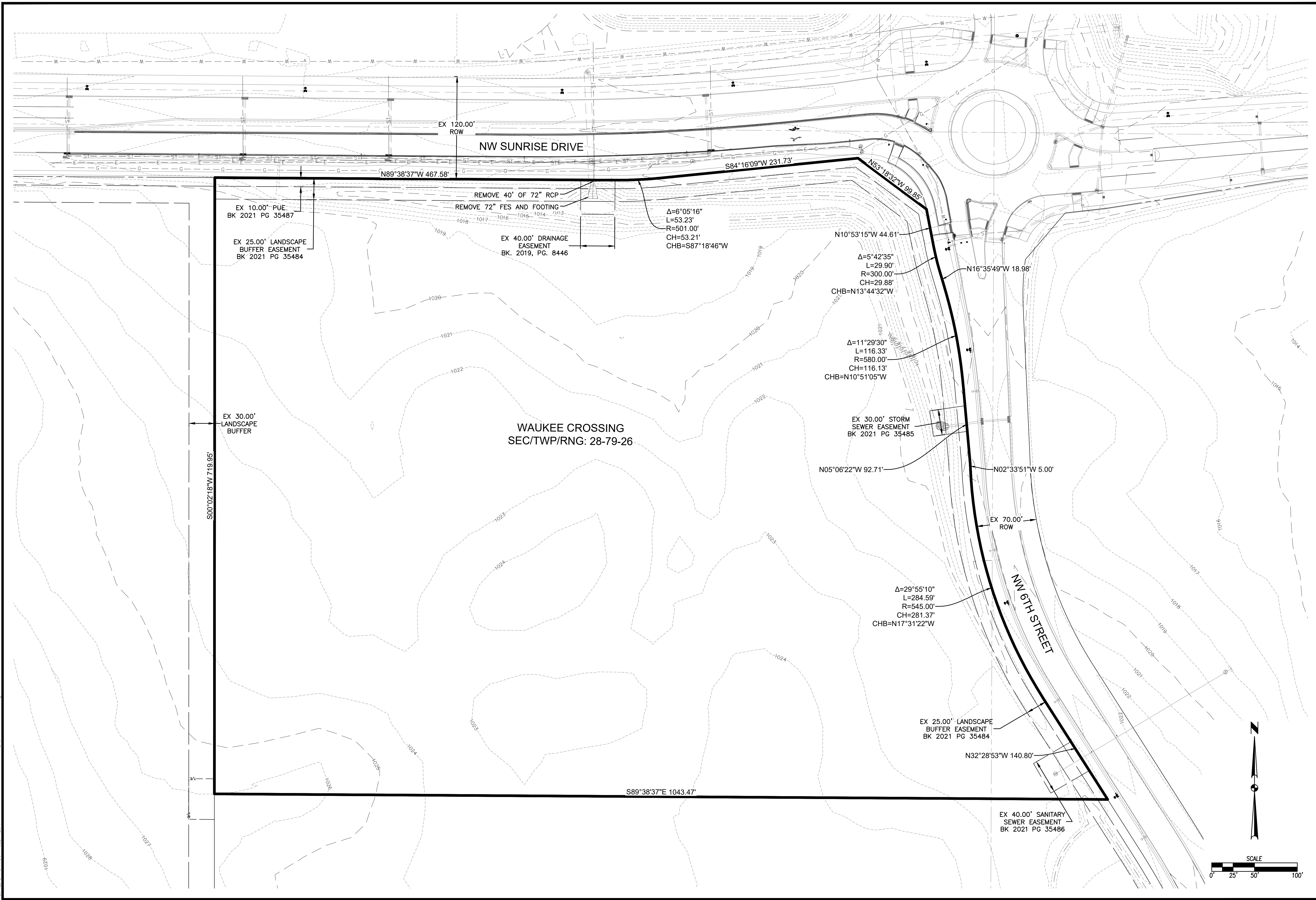
THE 2021 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY
NOT FOR CONSTRUCTION

RYAN A. HARDISTY, P.E.
LICENSE NUMBER 20811
LICENSE RENEWAL DATE IS DECEMBER 31, 2021
PAGES OR SHEETS COVERED BY THIS SEAL:
ALL SHEETS

FILE: H:\2021\2104247\0104247-SITELDWG
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DATE	DESCRIPTION
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11/19/2021	THIRD SUBMITTAL
11/02/2021	SECOND SUBMITTAL
10/12/2021	FIRST SUBMITTAL

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400

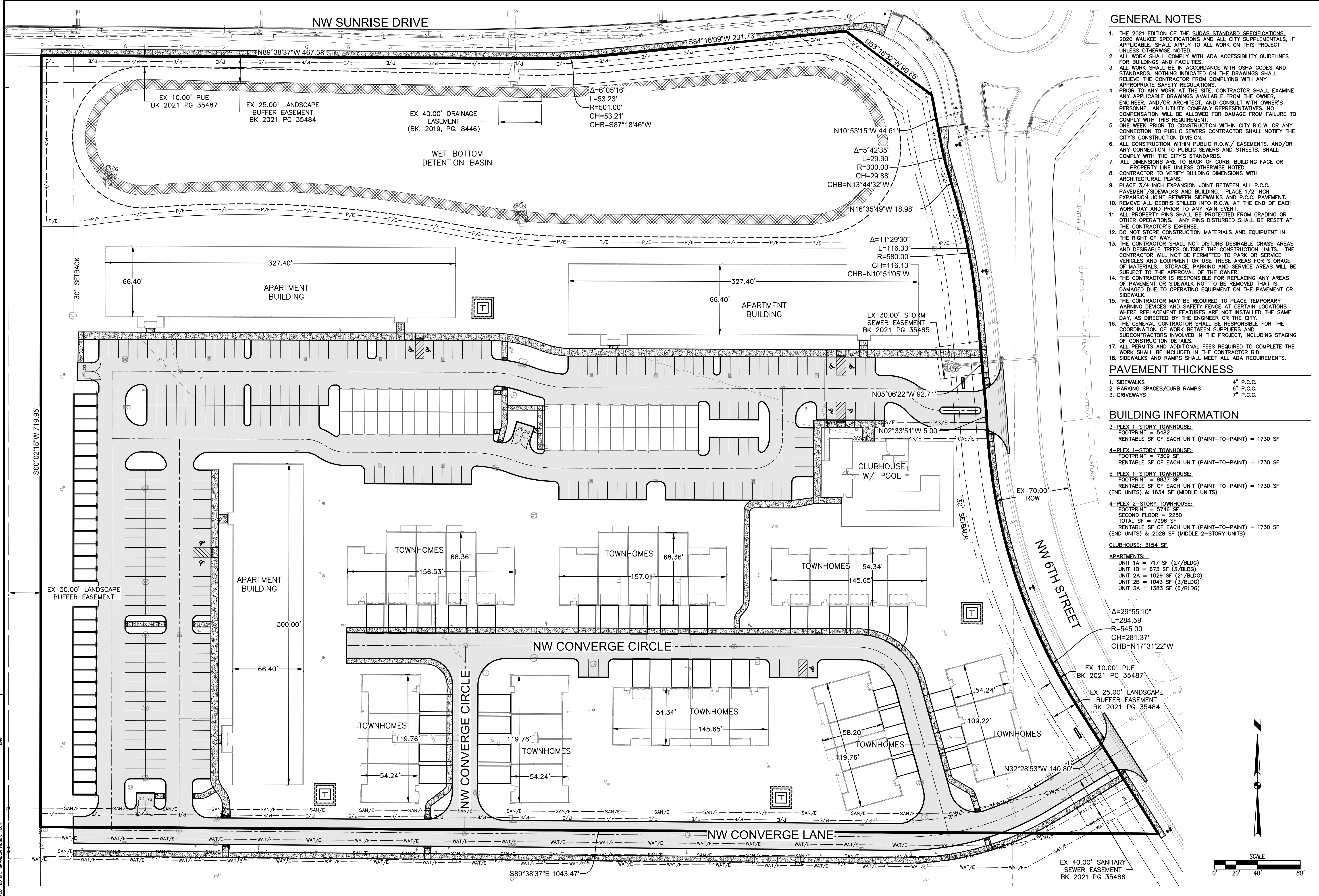
CONVERGE NW PLAT 1
EXISTING SITE

WAUKEE, IOWA

ESA
 CIVIL DESIGN ADVANTAGE

ENGINEER: _____
 TECH: _____

2104.247



GENERAL NOTES

1. THE 2021 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, 2020 WAUKEE SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY AND PRIOR TO ANY RAIN EVENT.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
18. SIDEWALKS AND RAMPS SHALL MEET ALL ADA REQUIREMENTS.

PAVEMENT THICKNESS

- | | |
|------------------------------|-----------|
| 1. SIDEWALKS | 4" P.C.C. |
| 2. PARKING SPACES/CURB RAMPS | 6" P.C.C. |
| 3. DRIVEWAYS | 7" P.C.C. |

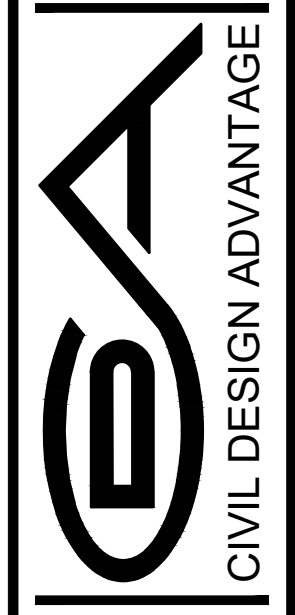
BUILDING INFORMATION

- 3-PLY 1-STORY TOWNHOUSE:
FOOTPRINT = 548 SF
RENTABLE SF OF EACH UNIT (PAINT-TO-PAINT) = 1730 SF
- 4-PLY 1-STORY TOWNHOUSE:
FOOTPRINT = 739 SF
RENTABLE SF OF EACH UNIT (PAINT-TO-PAINT) = 1730 SF
- 5-PLY 1-STORY TOWNHOUSE:
FOOTPRINT = 883 SF
RENTABLE SF OF EACH UNIT (PAINT-TO-PAINT) = 1730 SF (END UNITS) & 1634 SF (MIDDLE UNITS)
- 4-PLY 2-STORY TOWNHOUSE:
FOOTPRINT = 5746 SF
SECOND FLOOR = 2250 SF
TOTAL SF = 7996 SF
RENTABLE SF OF EACH UNIT (PAINT-TO-PAINT) = 1730 SF (END UNITS) & 2028 SF (MIDDLE 2-STORY UNITS)
- CLUBHOUSE: 3154 SF
- APARTMENTS:
UNIT 1A = 717 SF (27/BLDG)
UNIT 1B = 673 SF (3/BLDG)
UNIT 2A = 1029 SF (21/BLDG)
UNIT 2B = 1043 SF (3/BLDG)
UNIT 3A = 1383 SF (6/BLDG)

$\Delta=29^{\circ}55'10"$
 $L=284.59'$
 $R=545.00'$
 $CH=281.37'$
 $CHB=N17^{\circ}31'22"W$

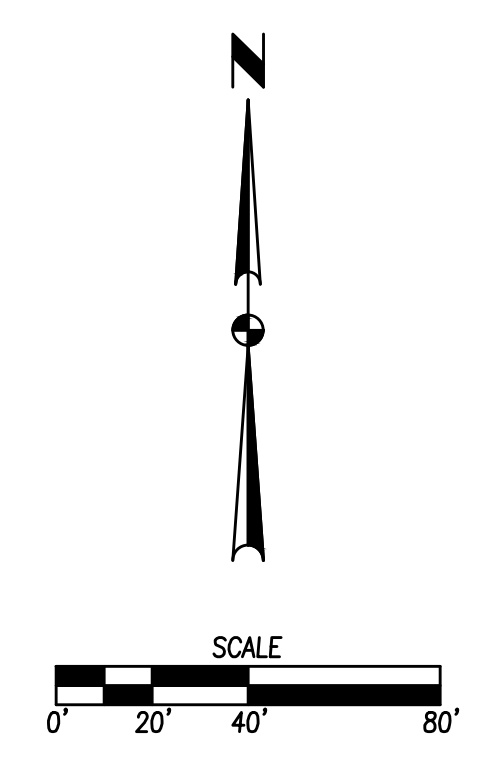
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12/15/2021	FOURTH SUBMITTAL
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11/02/2021	SECOND SUBMITTAL
10/12/2021	FIRST SUBMITTAL

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400
 TECH: _____
 ENGINEER: _____

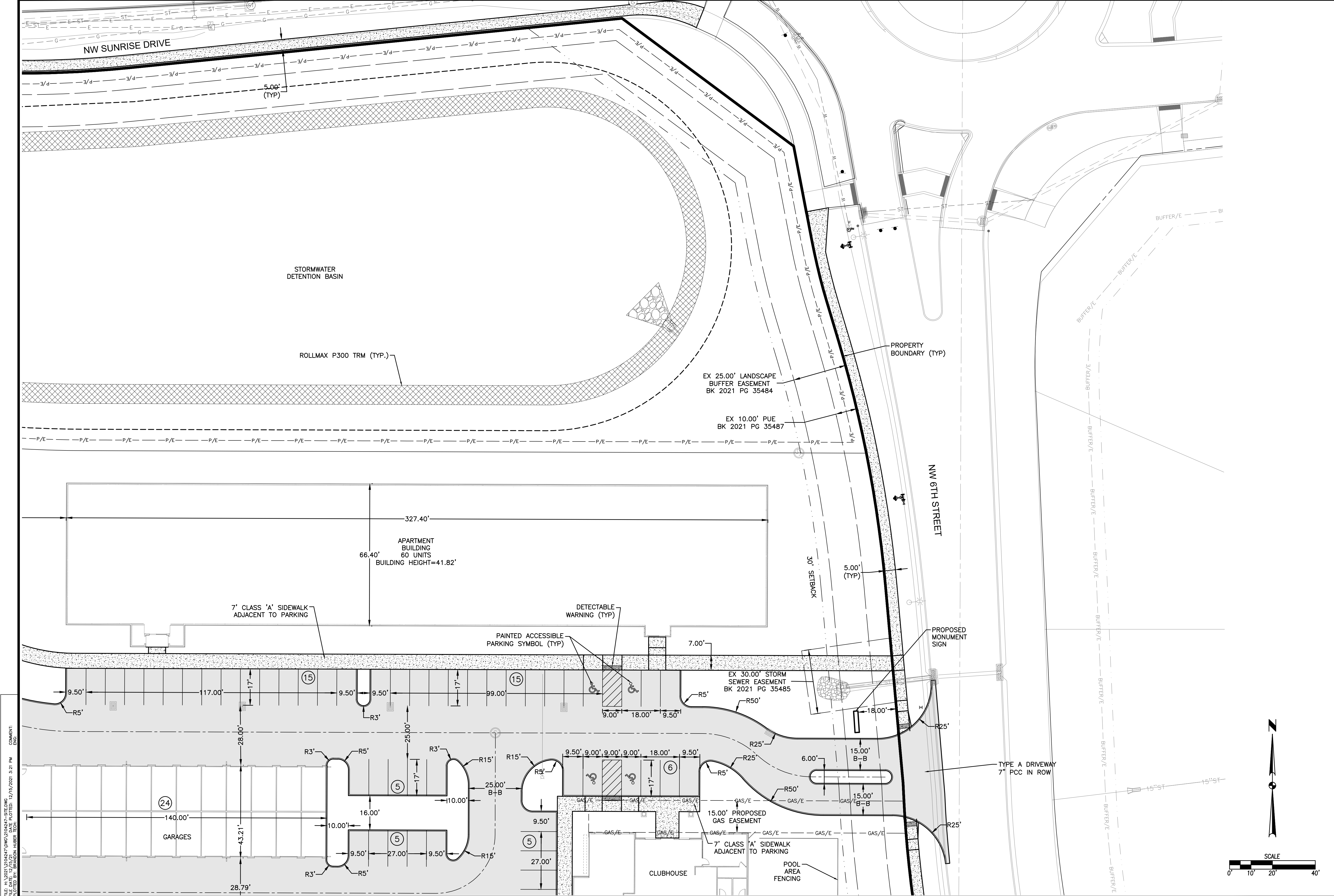


WAUKEE, IOWA

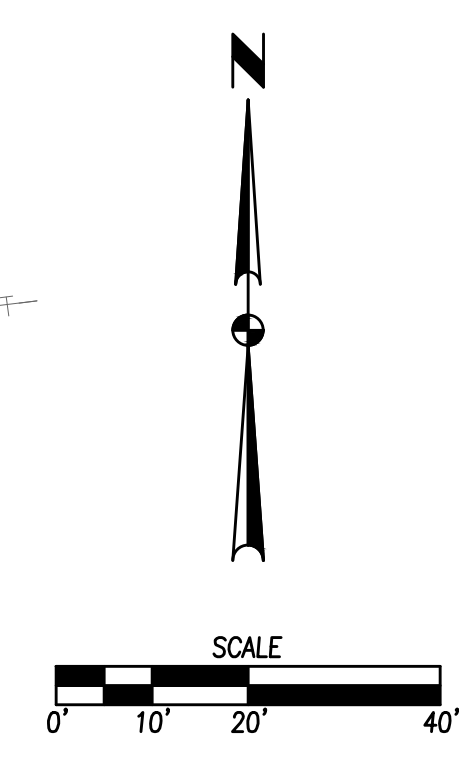
**CONVERGE NW PLAT 1
DIMENSION PLAN OVERALL**



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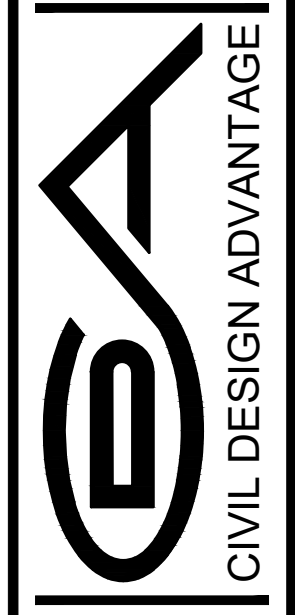


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REVISIONS	DATE
FOURTH SUBMITTAL	12/15/2021
THIRD SUBMITTAL	11/19/2021
SECOND SUBMITTAL	11/02/2021
FIRST SUBMITTAL	10/12/2021

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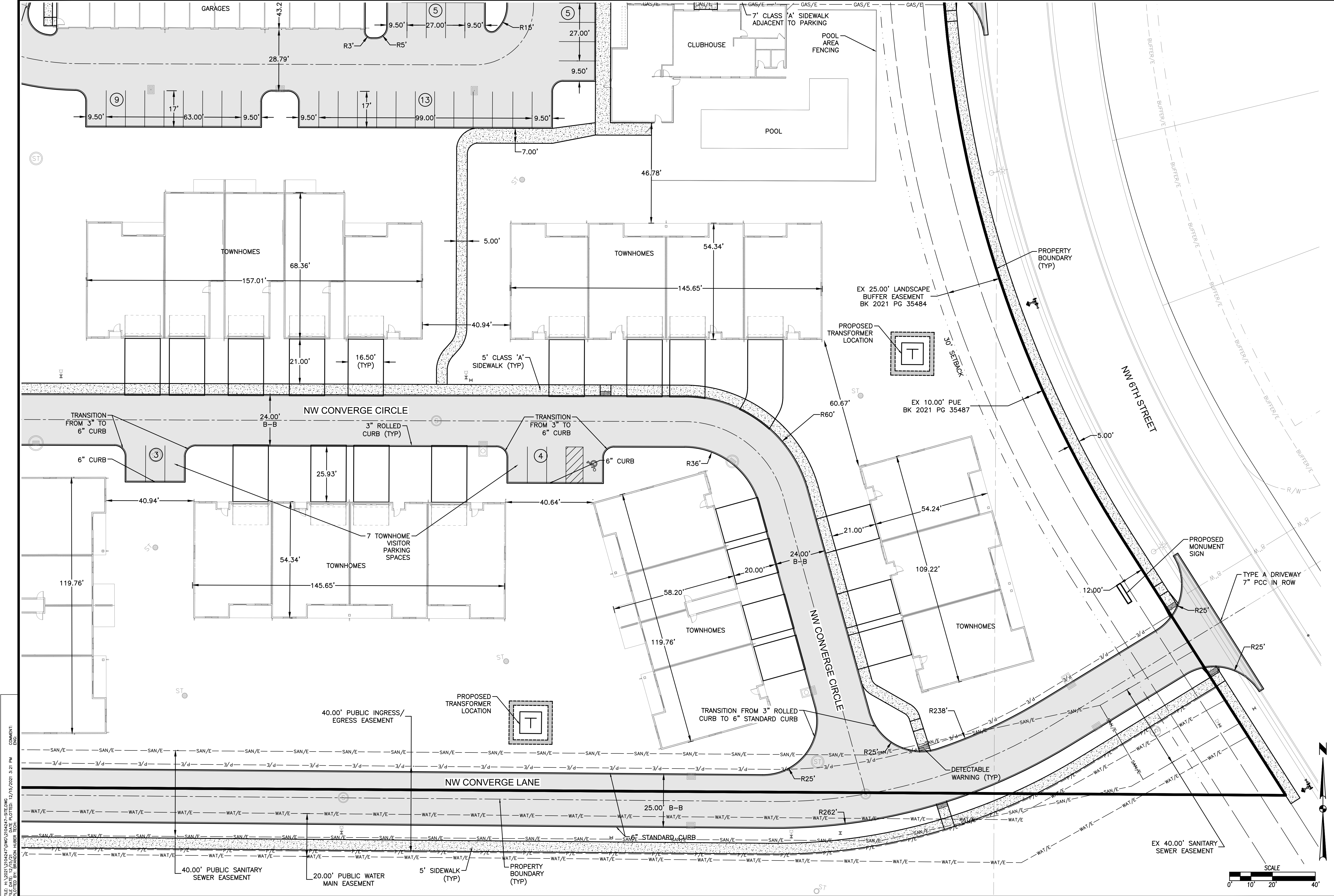


WAUKEE, IOWA

CONVERGE NW PLAT 1

DIMENSION PLAN

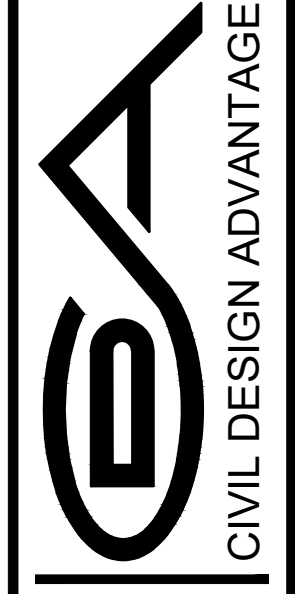
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 TECH:



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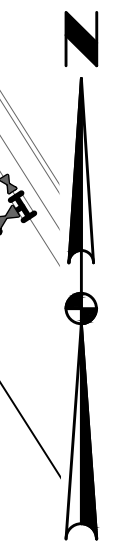
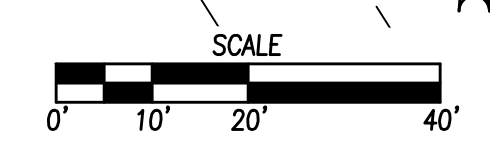
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FOURTH SUBMITTAL	12/15/2021

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400
 ENGINEER:
 TECH:



CONVERGE NW PLAT 1

DIMENSION PLAN



NW SUNRISE DRIVE

OVERFLOW PATH

NORMAL POOL

DETENTION BASIN
NORMAL POOL=1011.00
OVERFLOW ELEVATION=1018.50
100-YEAR ELEVATION=1017.26

100 YEAR ELEVATION

COMPACTED SOIL LINER
(SEE NOTE #14)

DETAIL 'C'

DETAIL 'A'

DETAIL 'D'

DETAIL 'E'

DETAIL 'H'

DETAIL 'B'

DETAIL 'F'

DETAIL 'G'

DETAIL 'M'

NW CONVERGE CIRCLE

NW CONVERGE CIRCLE

NW CONVERGE LANE

NW 6TH STREET

DETAIL 'I'

DETAIL 'J'

DETAIL 'L'

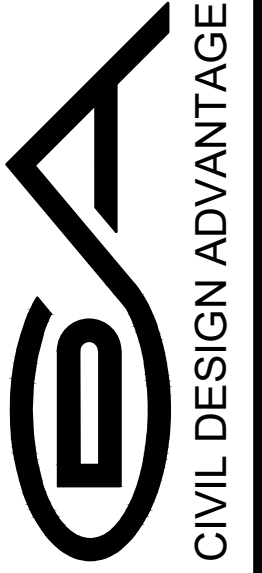
DETAIL 'K'

GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO CITY OF WAUKEE ENGINEERING DEPARTMENT.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 8" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2020 WAUKEE SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
8. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
9. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
10. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
11. SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
12. THE GRADING OF THE DETENTION FACILITIES, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE STANDPIPES (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED / INSTALLED AS SOON AS PRACTICAL.
13. DETENTION POND CONSTRUCTION SHALL INCLUDE COMPACTED SOIL LINER ALONG BOTTOM OF THE POND. A MINIMUM OF 24 INCHES OF COHESIVE SOIL SHALL BE REWORKED AND COMPACTED TO PROVIDE AN ADEQUATE LAYER.

DATE	REVISIONS
12/15/2021	FOURTH SUBMITTAL
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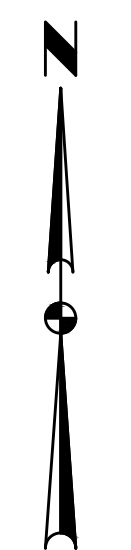
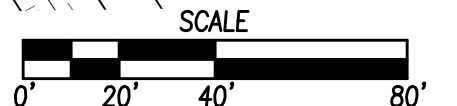
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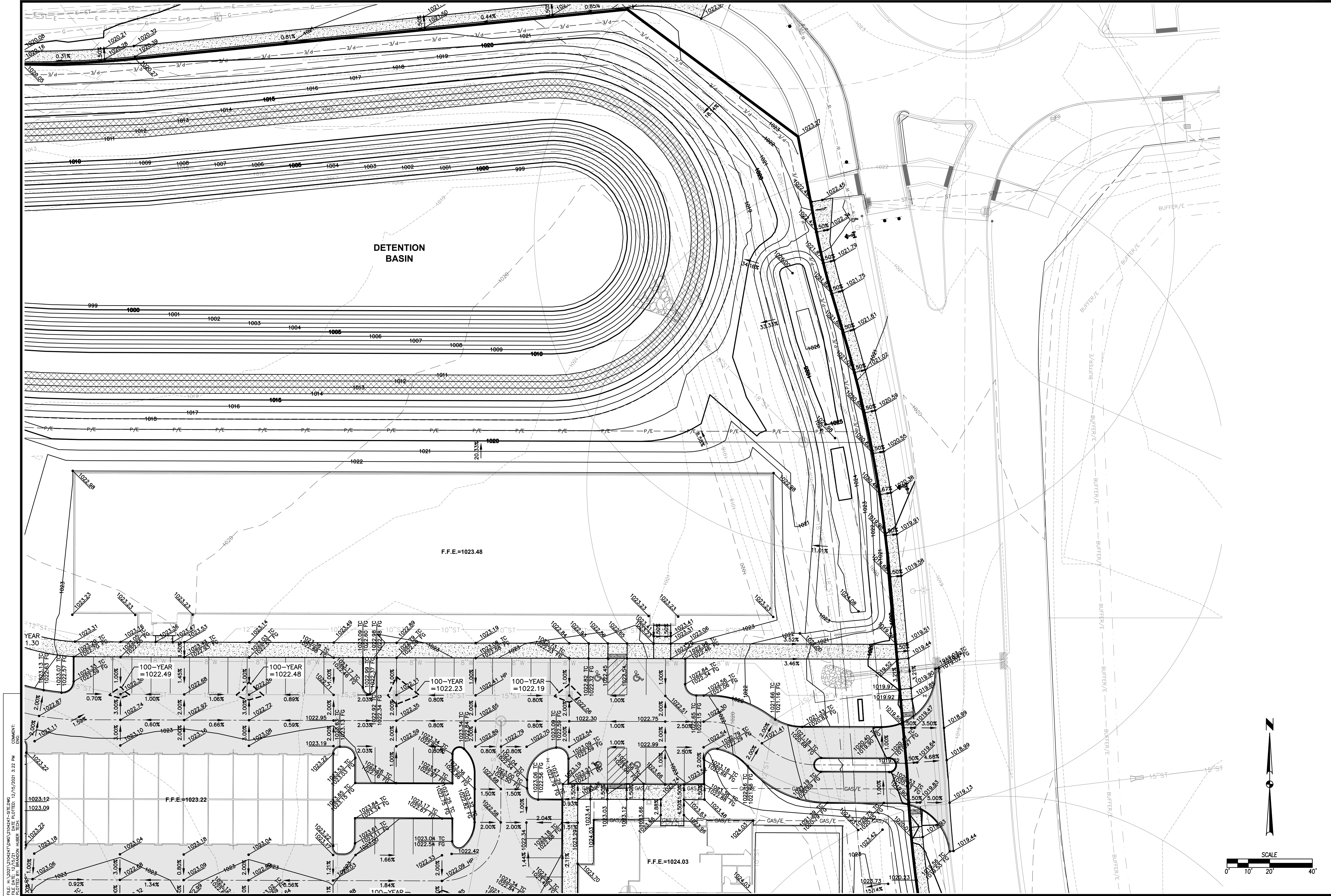


WAUKEE, IOWA

CONVERGE NW PLAT 1
GRADING PLAN OVERALL

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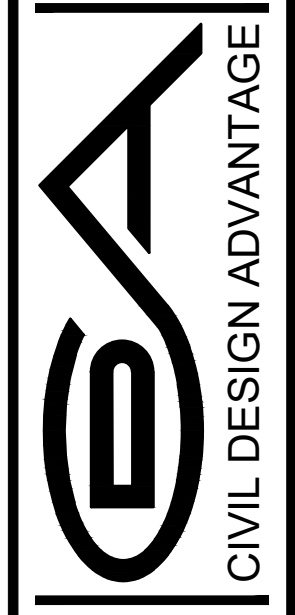




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3405 S.E. CROSSROADS DRIVE, SUITE G
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 PHONE: (515) 369-4400



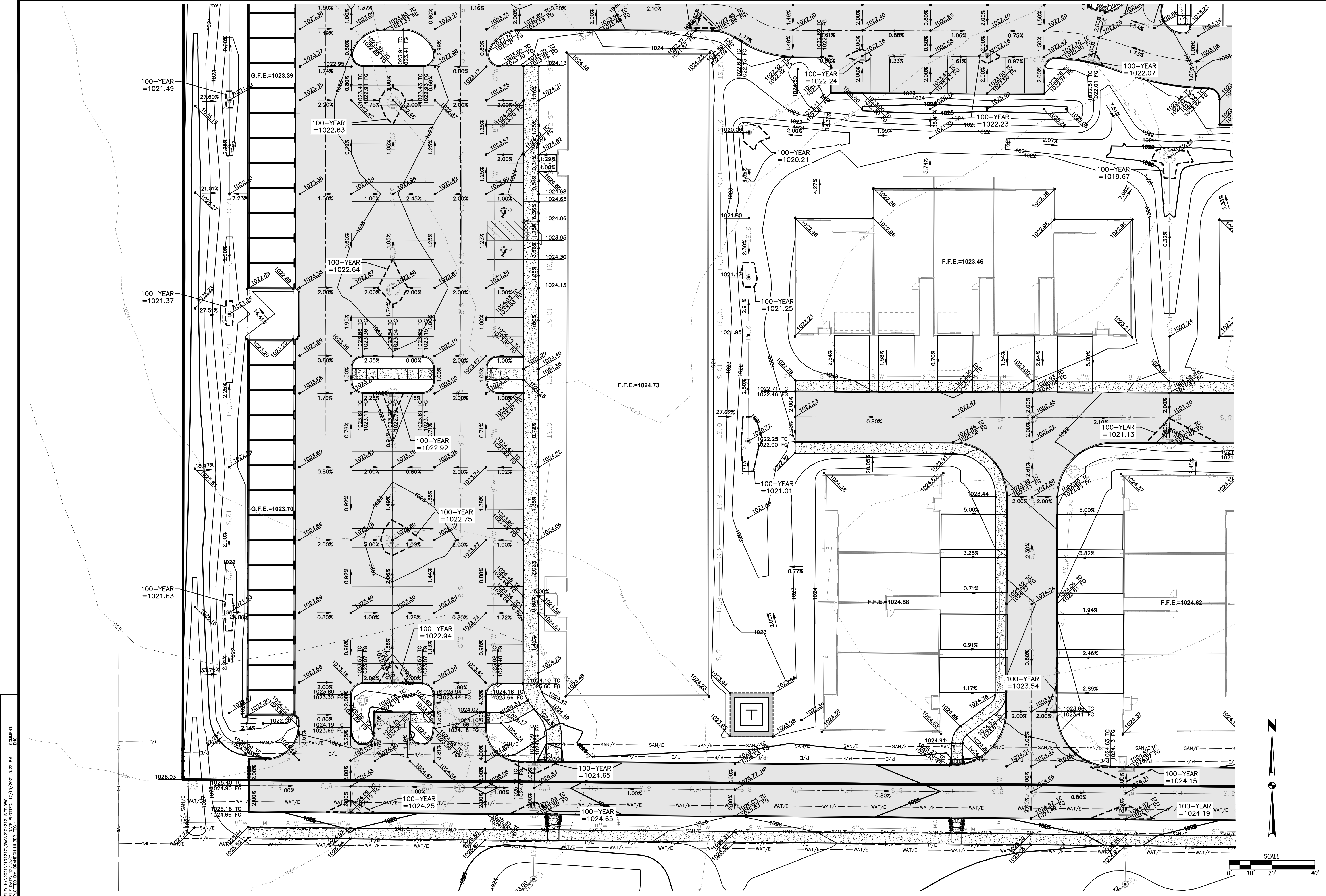
WAUKEE, IOWA

CONVERGE NW PLAT 1 GRADING PLAN

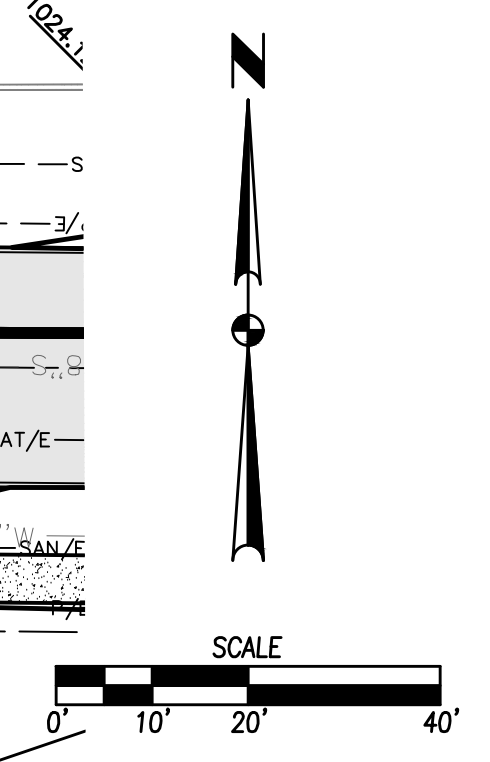
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ENGINEER:

TECH:

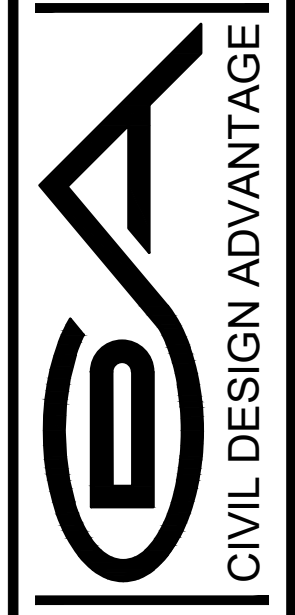


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11/02/2021	SECOND SUBMITTAL
10/12/2021	FIRST SUBMITTAL

3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400

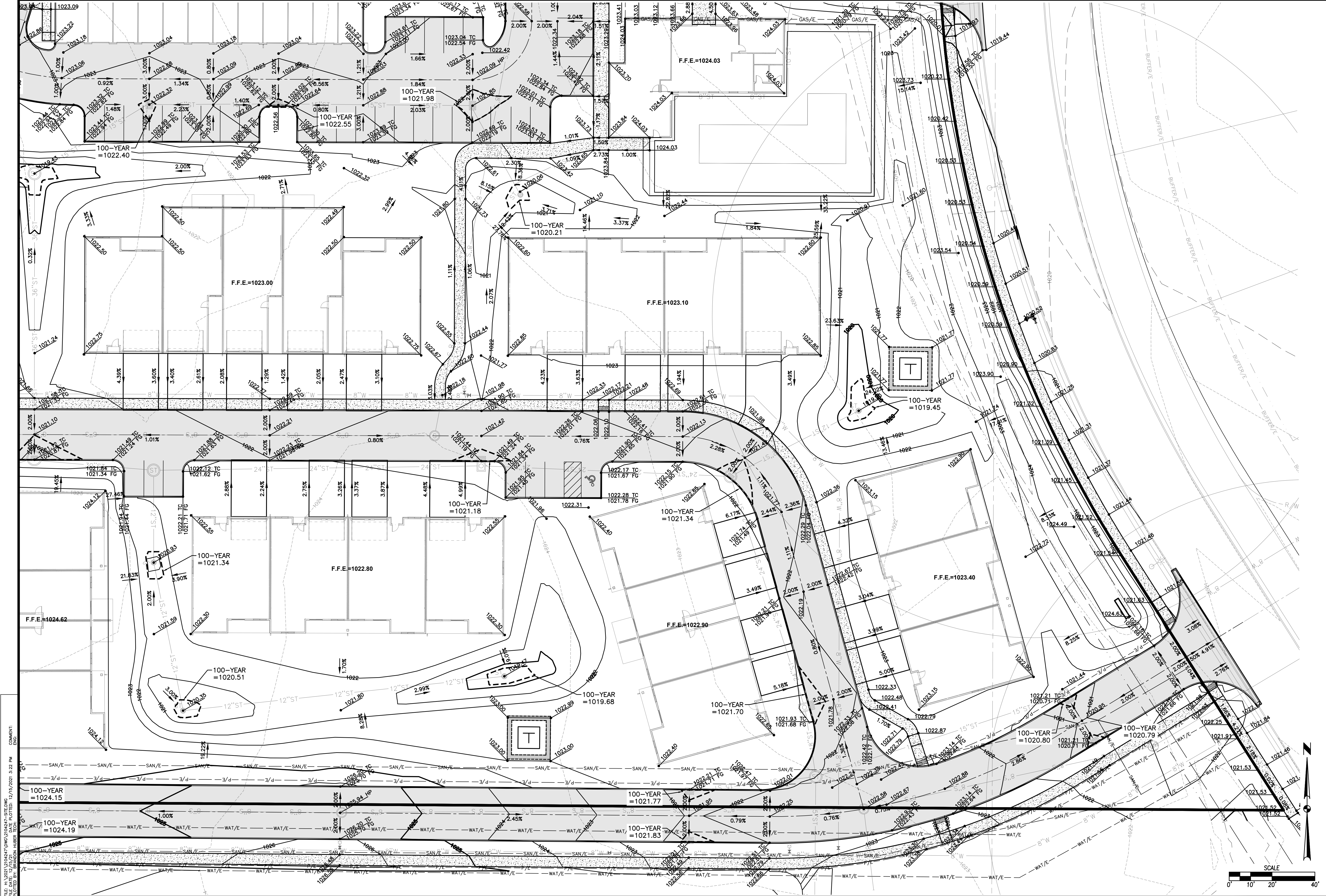


CIVIL DESIGN ADVANTAGE
 WAUKEE, IOWA

CONVERGE NW PLAT 1 GRADING PLAN

ENGINEER:

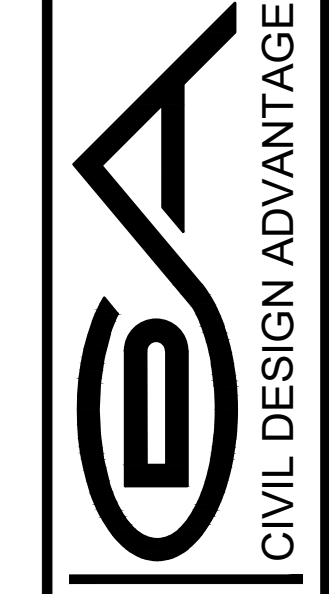
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DATE	REVISIONS
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11/19/2021	THIRD SUBMITTAL
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CIVIL DESIGN ADVANTAGE
 WAUKEE, IOWA

CONVERGE NW PLAT 1 GRADING PLAN

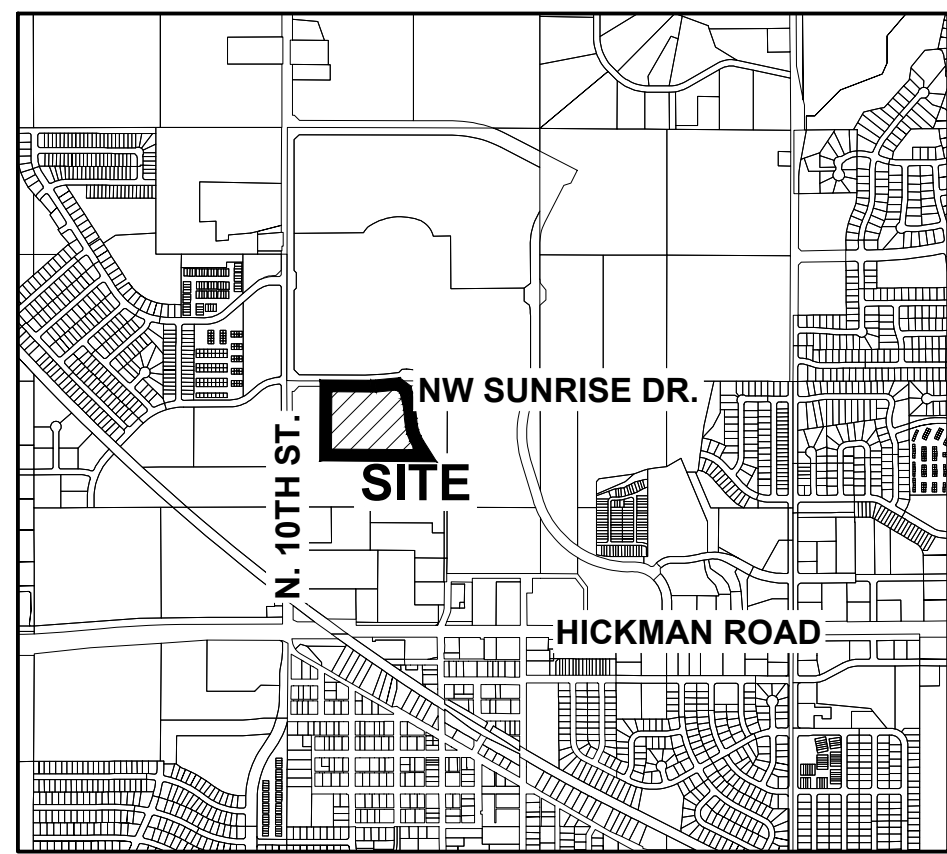
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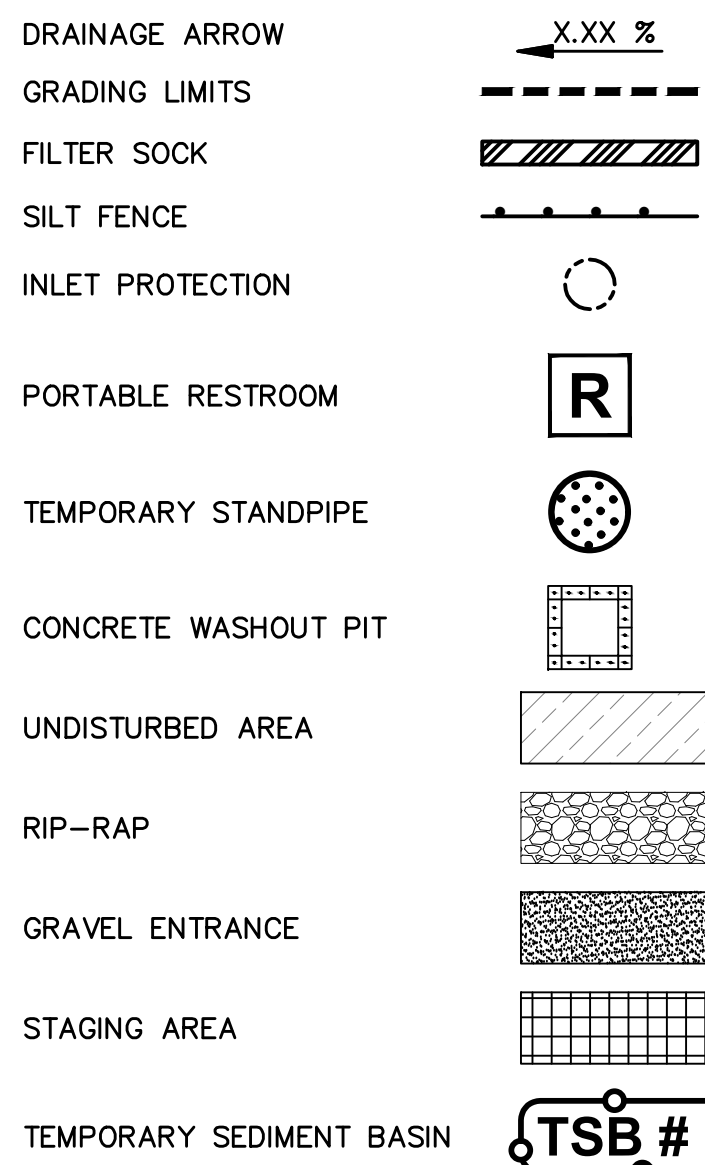
VICINITY MAP

NOT TO SCALE



WAUKEE, IOWA

SWPPP LEGEND



NOTES:

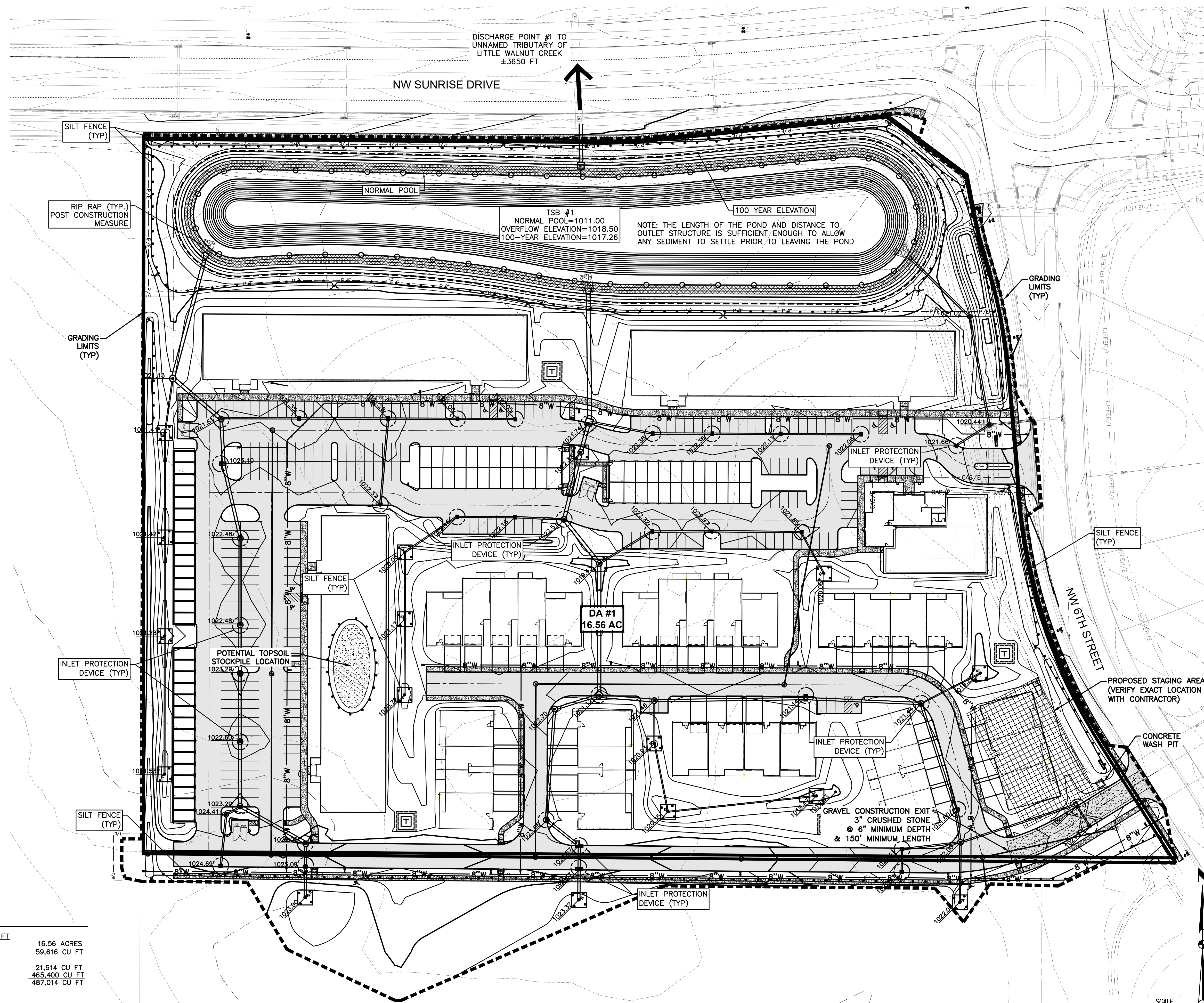
- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.
- SHOULD A TEMPORARY SEED MIX BE REQUIRED TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENTS IT SHALL BE A SUDAS TYPE 4 TEMPORARY SEED MIX.

STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	4,803
2	SOD	SQ	2,326
3	INLET PROTECTION DEVICES	EA	37
4	CONCRETE WASHOUT PIT	EA	1

DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 TO UNNAMED TRIBUTARY OF LITTLE WALNUT CREEK ±3650 FT	16.56 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	59,616 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	
VOLUME PROVIDED IN SILT FENCE (4803 LF @ 4.5 CU FT/LF OF FENCE)	21,614 CU FT
VOLUME PROVIDED IN TSB #1	465,400 CU FT
TOTAL VOLUME PROVIDED	487,014 CU FT



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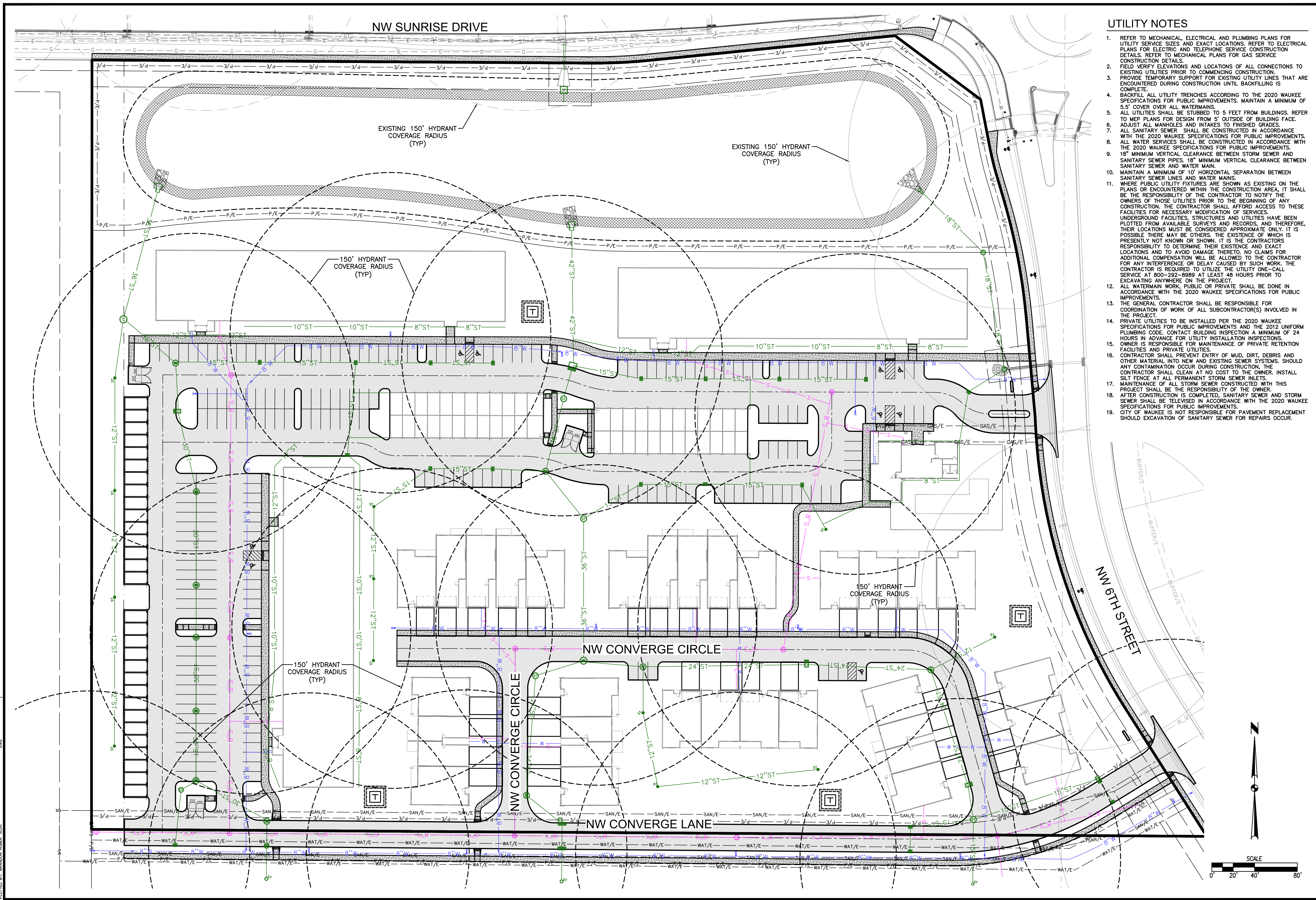
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CONVERGE NW
EROSION AND SEDIMENT CONTROL PLAN

WAUKEE, IOWA

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UTILITY NOTES

1. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
2. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
4. BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2020 WAUKEE SPECIFICATIONS FOR PUBLIC IMPROVEMENTS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMANS.
5. ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
6. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
7. ALL SANITARY SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2020 WAUKEE SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
8. ALL WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2020 WAUKEE SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
9. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
10. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
11. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
12. ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE 2020 WAUKEE SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
13. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
14. PRIVATE UTILITIES TO BE INSTALLED PER THE 2020 WAUKEE SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
15. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
16. MAINTENANCE OF ALL STORM SEWER CONSTRUCTED WITH THIS PROJECT SHALL BE THE RESPONSIBILITY OF THE OWNER.
17. AFTER CONSTRUCTION IS COMPLETED, SANITARY SEWER AND STORM SEWER SHALL BE TELEVIEWED IN ACCORDANCE WITH THE 2020 WAUKEE SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
18. CITY OF WAUKEE IS NOT RESPONSIBLE FOR PAVEMENT REPLACEMENT SHOULD EXCAVATION OF SANITARY SEWER FOR REPAIRS OCCUR.

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10/12/2021	FIRST SUBMITTAL

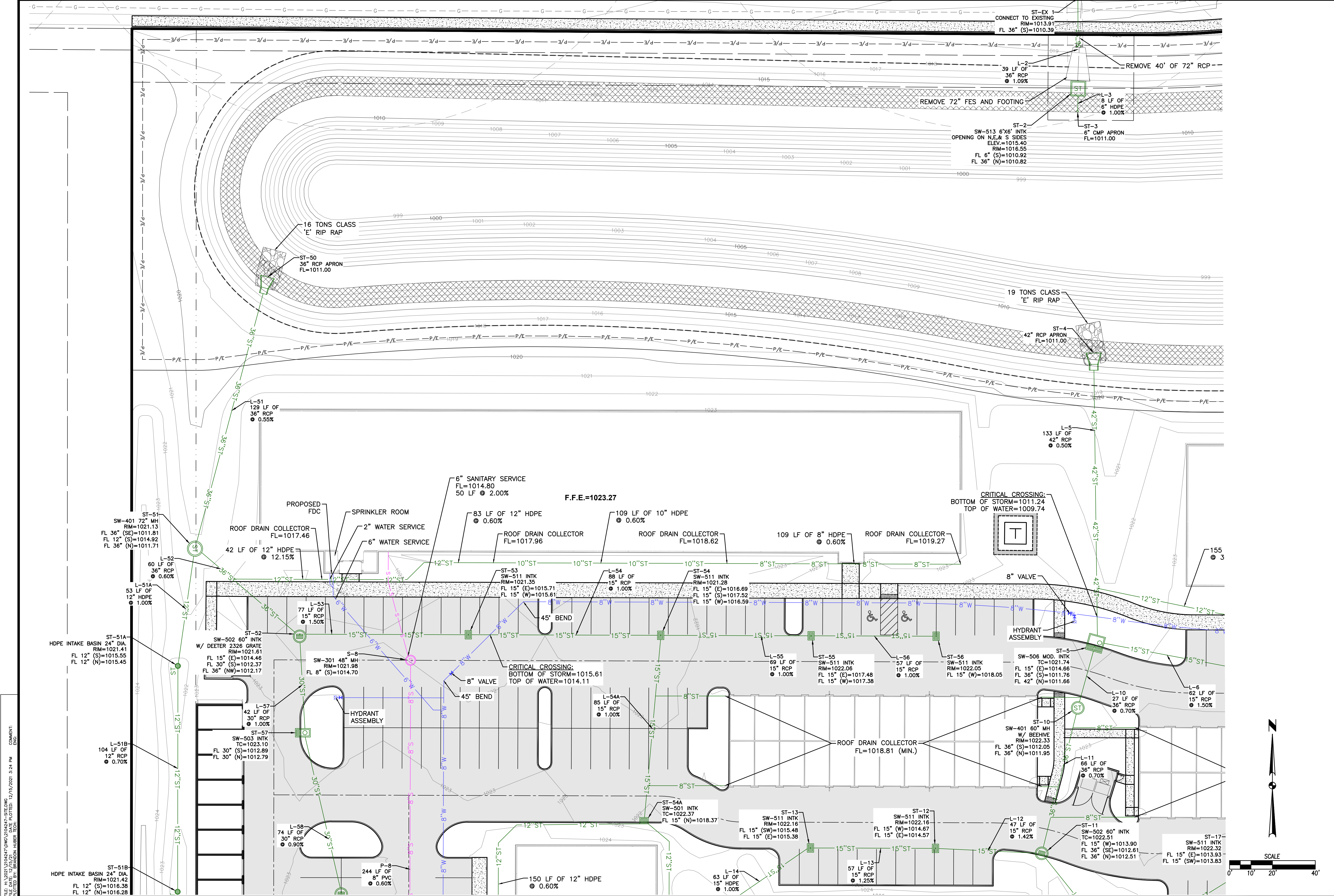
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PHONE: (515) 369-4400

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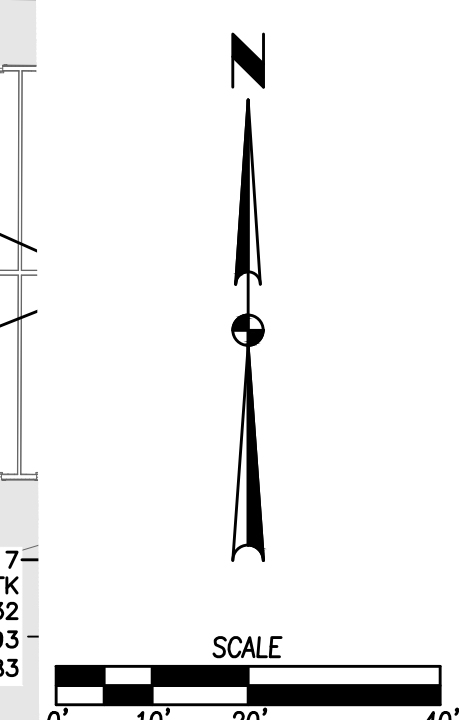
CONVERGE NW PLAT 1
UTILITY PLAN OVERALL

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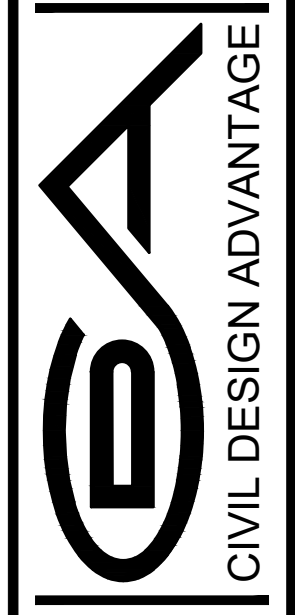


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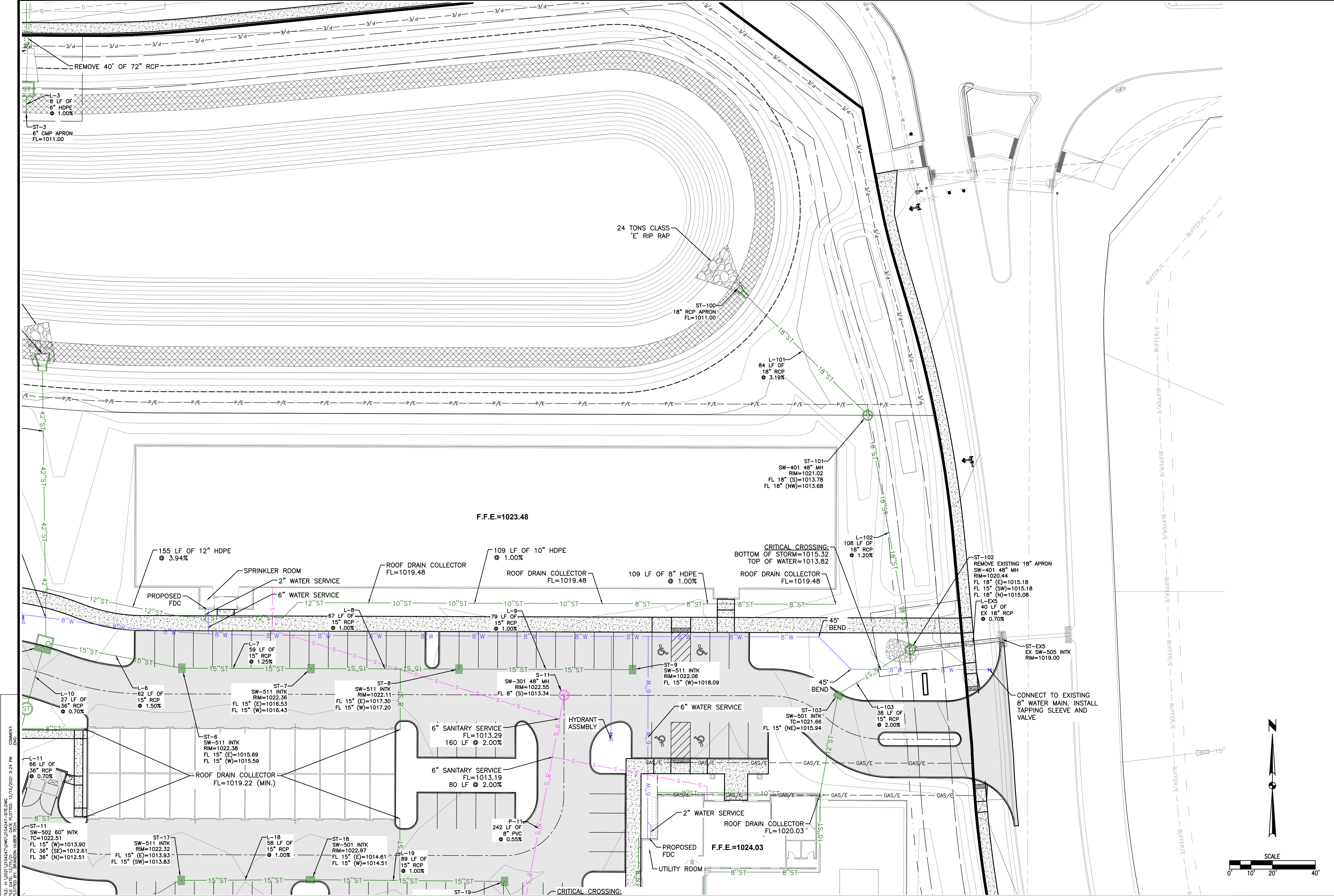
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WAUKEE, IOWA

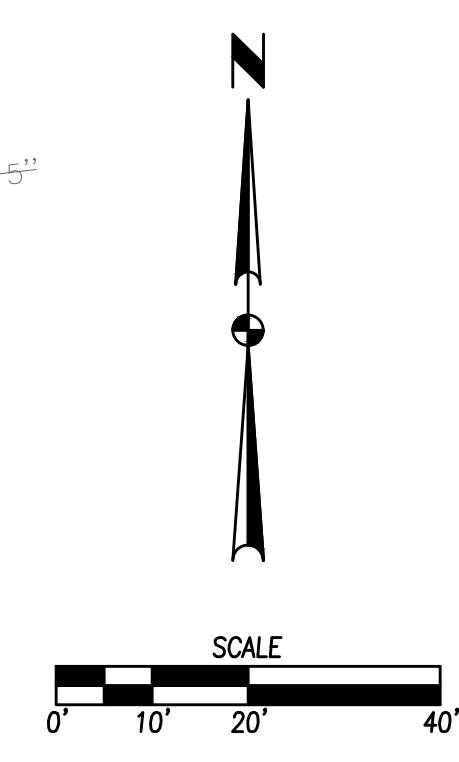
CONVERGE NW PLAT 1

UTILITY PLAN

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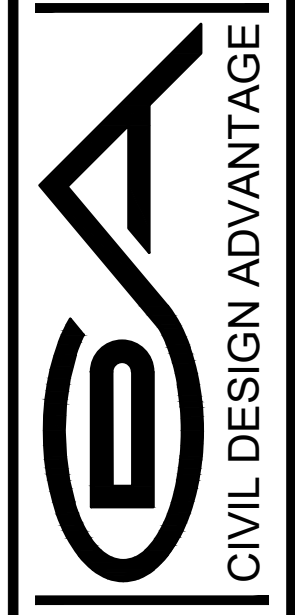


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THIRD SUBMITTAL	11/19/2021
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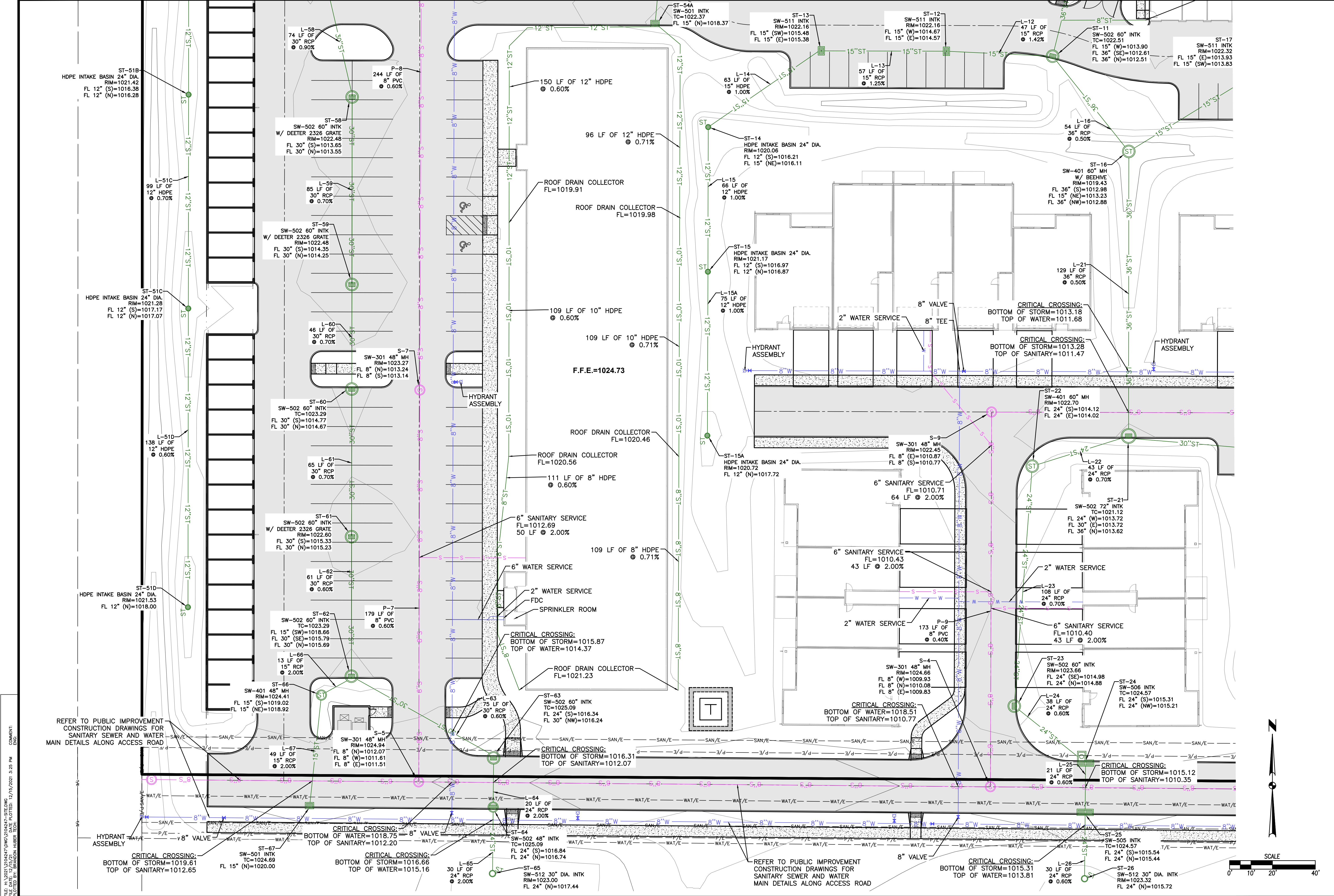


WAUKEE, IOWA

CONVERGE NW PLAT 1

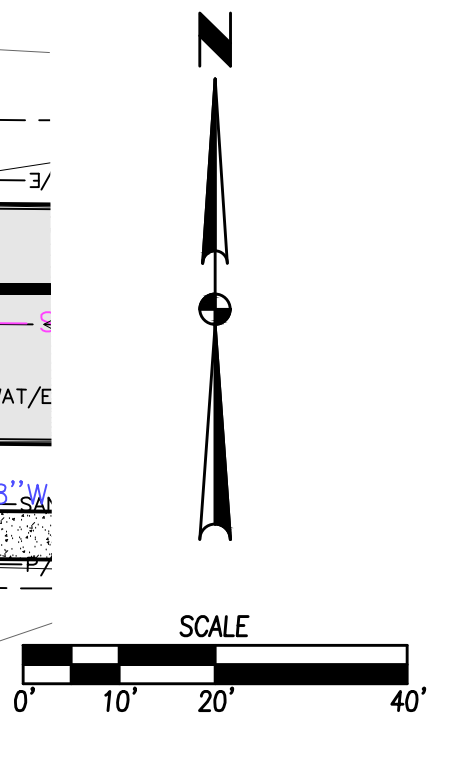
UTILITY PLAN

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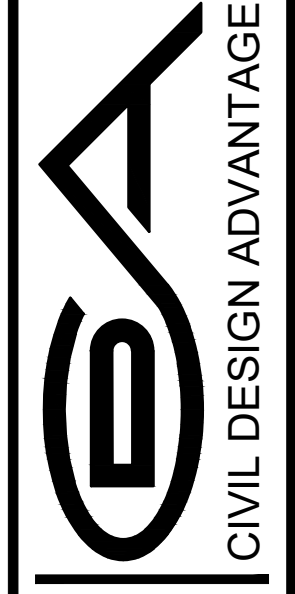
REFER TO PUBLIC IMPROVEMENT CONSTRUCTION DRAWINGS FOR SANITARY SEWER AND WATER MAIN DETAILS ALONG ACCESS ROAD

REFER TO PUBLIC IMPROVEMENT CONSTRUCTION DRAWINGS FOR SANITARY SEWER AND WATER MAIN DETAILS ALONG ACCESS ROAD



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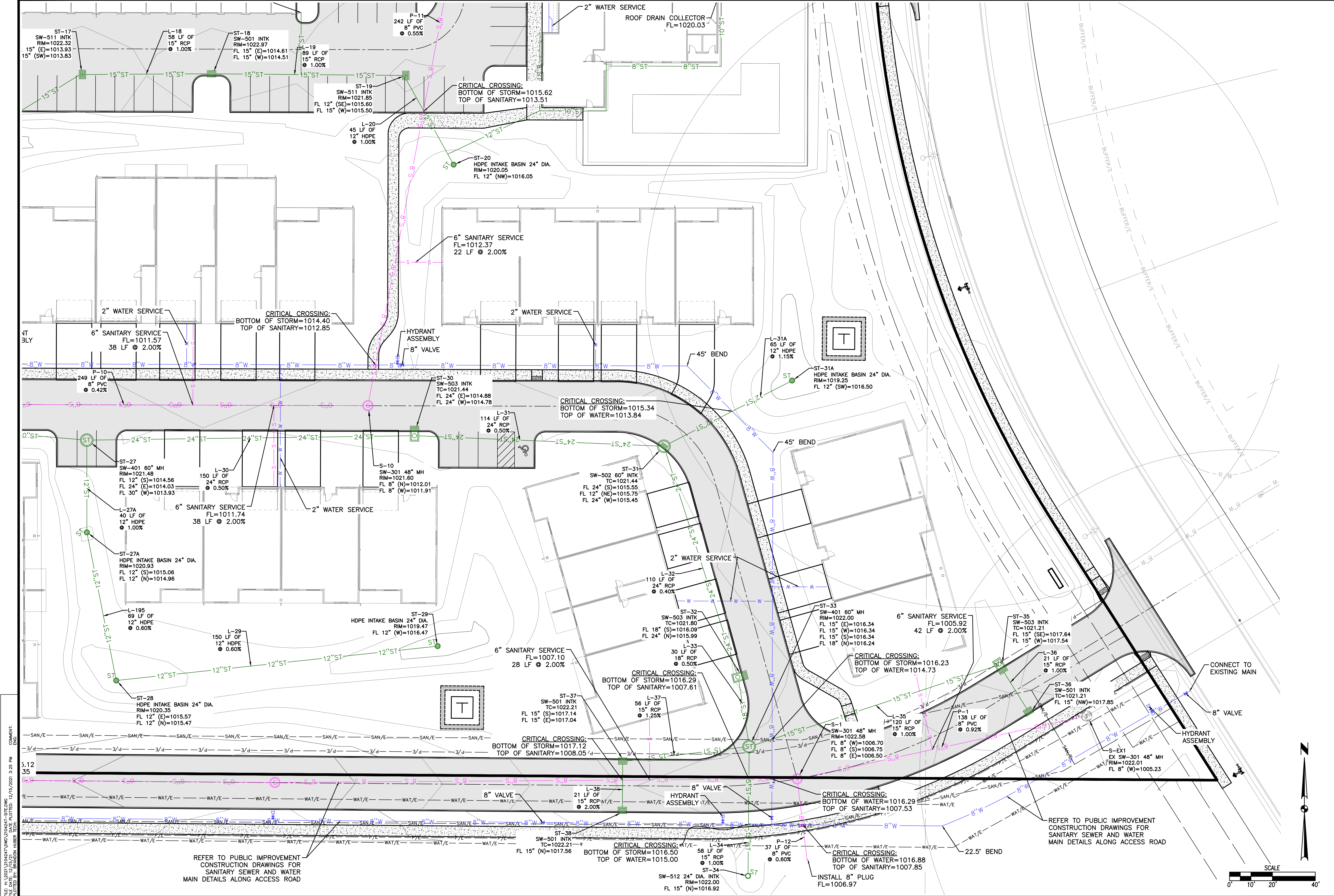
WAUKEE, IOWA

CONVERGE NW PLAT 1

UTILITY PLAN

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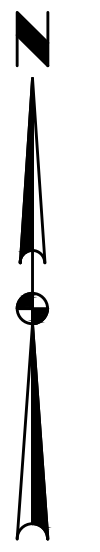
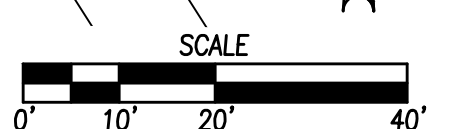
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REFER TO PUBLIC IMPROVEMENT CONSTRUCTION DRAWINGS FOR SANITARY SEWER AND WATER MAIN DETAILS ALONG ACCESS ROAD

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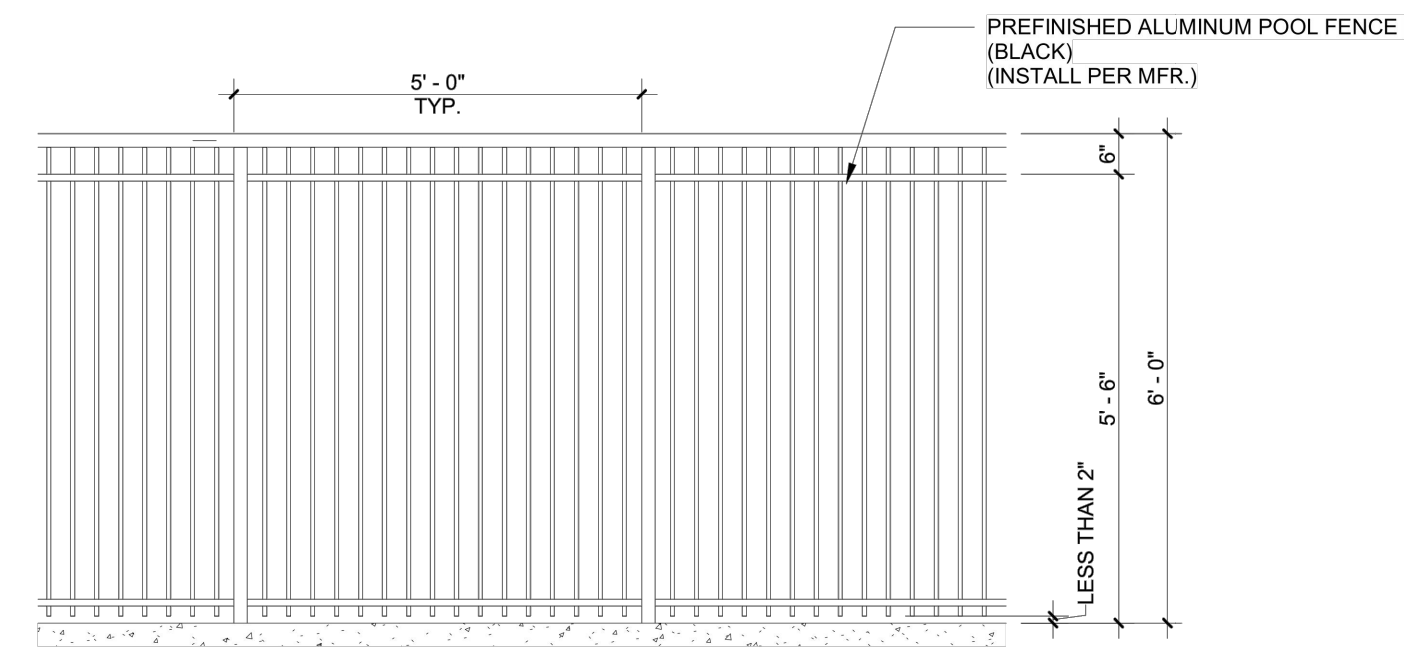
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WAUKEE, IOWA
 CIVIL DESIGN ADVANTAGE

CONVERGE NW PLAT 1

UTILITY PLAN



1 TYPICAL POOL FENCE ELEVATION
SCALE: 1/2" = 1'-0"

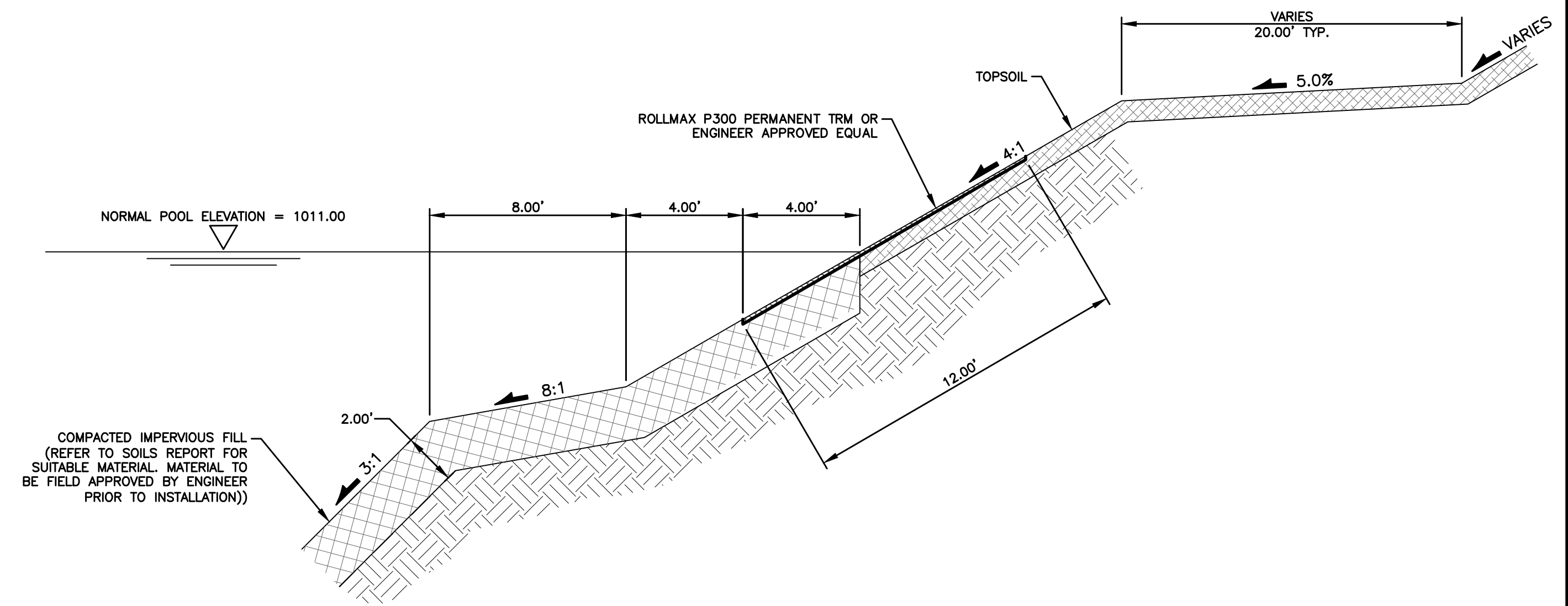
CLUBHOUSE FENCE
NOT TO SCALE



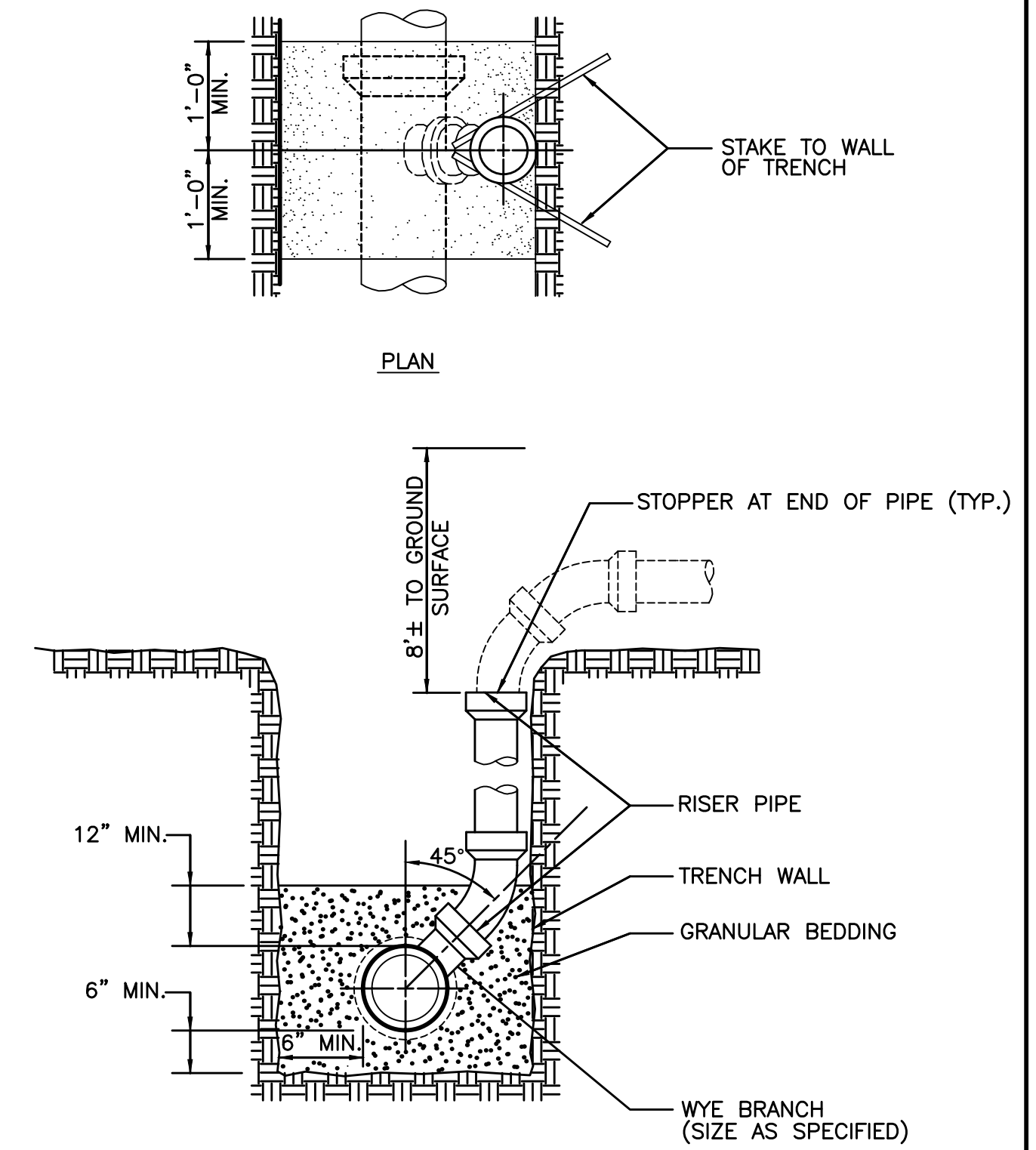
FENCING STYLE EXAMPLE



FENCING STYLE EXAMPLE

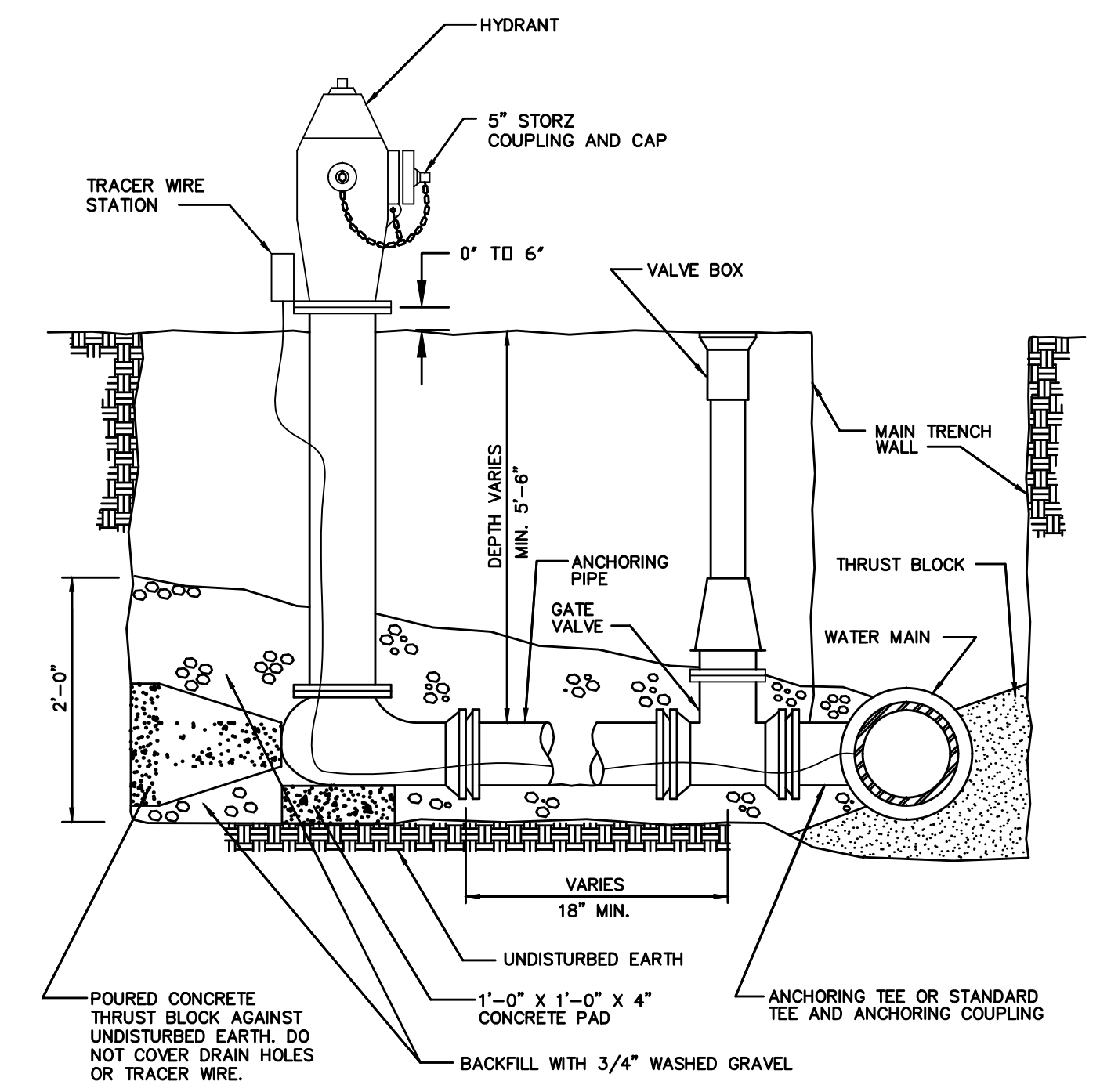


SECTION TYPICAL - WET BOTTOM POND
NOT TO SCALE



SANITARY SEWER SERVICE RISER
NOT TO SCALE

NOTES
1. INSTALL RISER TO BEAR FIRMLY AGAINST UNDISTURBED WALL OF TRENCH. STAKE RISER PIPE IN PLACE PRIOR TO BACK-FILLING TO PREVENT MOVEMENT OF PIPE.
2. NOTCH WALL OF TRENCH TO RECEIVE PIPE WHERE POSSIBLE.



HYDRANT ASSEMBLY DETAIL
NOT TO SCALE

NOTES
1. MINIMUM SIZE FOR PIPING, VALVES AND FITTINGS FROM WATER MAIN TO HYDRANT INLET: 6".
2. PROVIDE TRACER WIRE AND TRACER WIRE STATION.
3. WRAP HYDRANT, PIPE AND FITTINGS WITH POLYETHYLENE ENGAGEMENT.

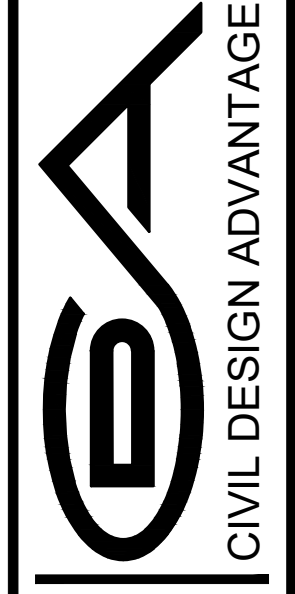
CITY OF WAUKEE
HYDRANT
STD.DWG.NO.34 REV.2

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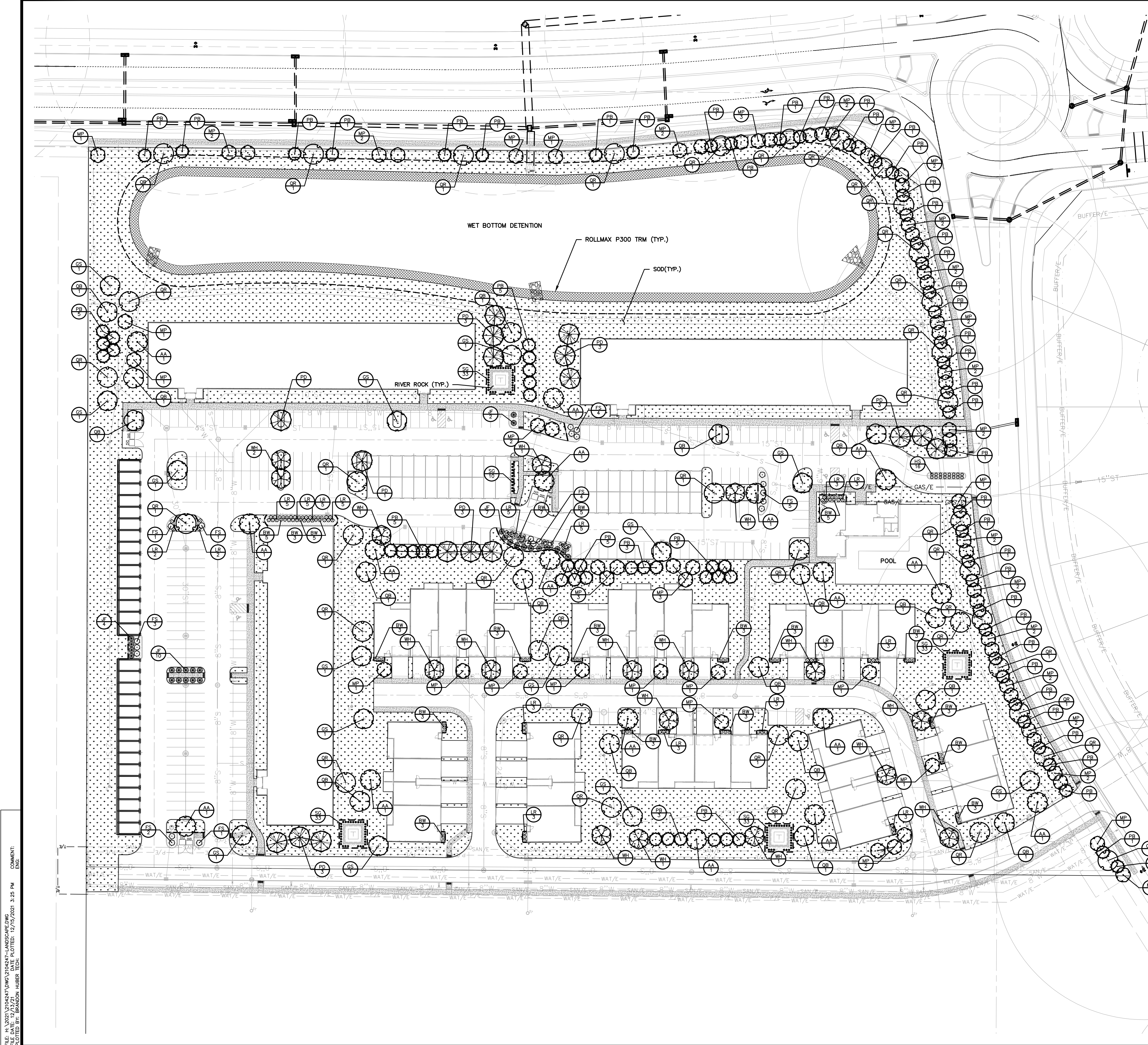
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TECH: _____



WAUKEE, IOWA

CONVERGE NW PLAT 1
DETAILS



LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE MOST RECENT EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
7. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
9. ALL EDGING SHALL BE SPADE CUT EDGE.
10. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
11. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
12. CONTRACTOR SHALL WARRANT ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
13. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.
14. MINIMUM PLANTING HEIGHTS AS FOLLOWS: OVERSTORY TREES 8- FEET, ORNAMENTAL TREES IS 6- FEET, AND FOR EVERGREEN TREES 6- FEET.

OPEN SPACE REQUIREMENTS

SITE AREA:	15.00 AC. (653,456 SF)
PERVIOUS AREA:	321,564 SF
IMPERVIOUS AREA:	331,892 SF
OPEN SPACE REQUIRED:	130,691 SF (20%)
PROVIDED:	321,564 SF (49%)

LANDSCAPING REQUIRED

1 TREE/1,000 SF OF REQUIRED OPEN SPACE:	131 TREES
1 SHRUB/1,000 SF OF REQUIRED OPEN SPACE:	131 SHRUBS

LANDSCAPING PROVIDED

TREES:	
EVERGREEN:	34 TREES
UNDERSTORY:	52 TREES
OVERSTORY:	55 TREES
	141 TREES
SHRUBS:	194 SHRUBS

SOD AREA PROPOSED: 231,741 SF

PARKING LANDSCAPE REQUIREMENTS

LANDSCAPING REQUIRED
(1 TREE/ LANDSCAPE ISLAND): 14 TREES

LANDSCAPING PROVIDED

OVERSTORY TREES:	10 TREES
UNDERSTORY TREES:	4 TREES
	14 TREES

LANDSCAPE BUFFER

NW 6TH STREET BUFFER LANDSCAPING REQUIRED

(1 OVERSTORY TREE/ 50 LF BUFFER):	15 TREES
(2 EVERGREEN TREE/ 50 LF BUFFER):	30 TREES
(2 UNDERSTORY TREE/ 50 LF BUFFER):	30 TREES

LANDSCAPING PROVIDED

OVERSTORY TREES:	15 TREES
EVERGREEN TREES:	32 TREES
UNDERSTORY TREES:	32 TREES

NW SUNRISE DRIVE BUFFER LANDSCAPING REQUIRED

(1 OVERSTORY TREE/ 150 LF BUFFER):	5 TREES
(2 EVERGREEN TREE/ 150 LF BUFFER):	10 TREES
(2 UNDERSTORY TREE/ 150 LF BUFFER):	10 TREES

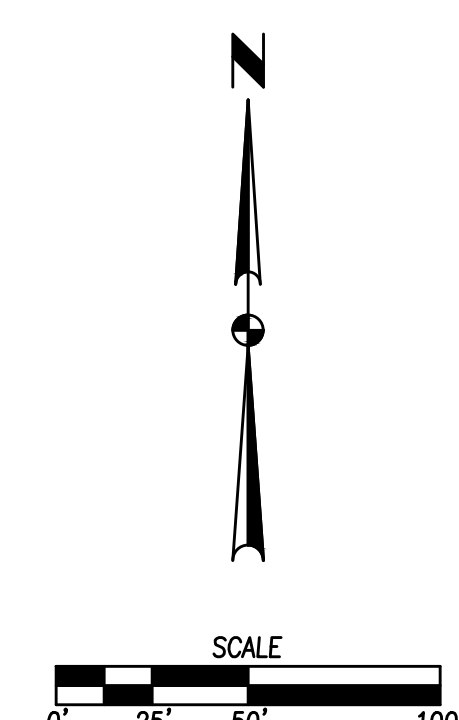
LANDSCAPING PROVIDED

OVERSTORY TREES:	5 TREES
EVERGREEN TREES:	10 TREES
UNDERSTORY TREES:	10 TREES

PLANT SCHEDULE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
ORNAMENTAL TREES				
PD	17	Pagoda Dogwood	Cornus alternifolia	B&B, 1.5" CALIPER
MP	65	Spring Snow Crabapple	Malus 'Spring Snow'	B&B, 1.5" CALIPER
WH	17	Washington Hawthorn	Crataegus phaenopyrum	B&B, 1.5" CALIPER
EVERGREEN TREES				
PB	76	Black Hills Spruce	Picea glauca	B&B, 1.5" CALIPER
OVERSTORY TREES				
AA	18	Red Maple	Acer rubrum	B&B, 2" CALIPER
GS	14	Skyline Honey Locust	Gleditsia triacanthos 'Skyline'	B&B, 2" CALIPER
OB	17	Swamp White Oak	Quercus bicolor	B&B, 2" CALIPER
OR	37	Red Oak	Quercus rubra	B&B, 2" CALIPER
SHRUBS				
BW	69	Wintergreen Boxwood	Buxus sinica var. inularis 'Wintergreen'	3 GAL.
LR	61	Kodiak Orange Honeyuckle	Diervilla x 'G2X88544' TM	3 GAL.
JF	27	Sea Green Juniper	Juniperus chinensis 'Sea Green'	3 GAL.
FS	21	Gro-Low Fragrant Sumac	Rhus aromatica 'Gro-Low'	3 GAL.
HS	16	Strawberry Sundae Hydrangea	Hydrangea paniculata 'Rensun' TM	3 GAL.
GRASSES				
SG	142	Shenandoah Switchgrass	Panicum Virgatum 'Shenandoah'	3 GAL.

LEGEND

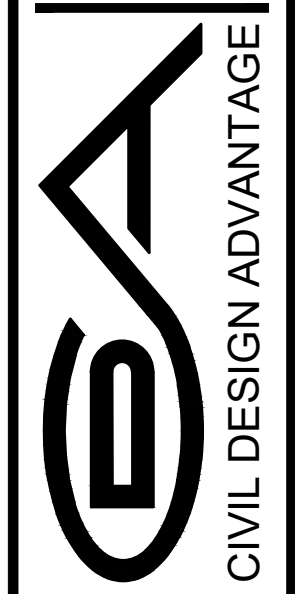
- 3" OF 2" RIVER ROCK
- SOD
- 3" OF HARDWOOD MULCH
- PLANTER BED EDGING
- TURF REINFORCEMENT MAT



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WAUKEE, IOWA

**CONVERGE NW
LANDSCAPE PLAN**