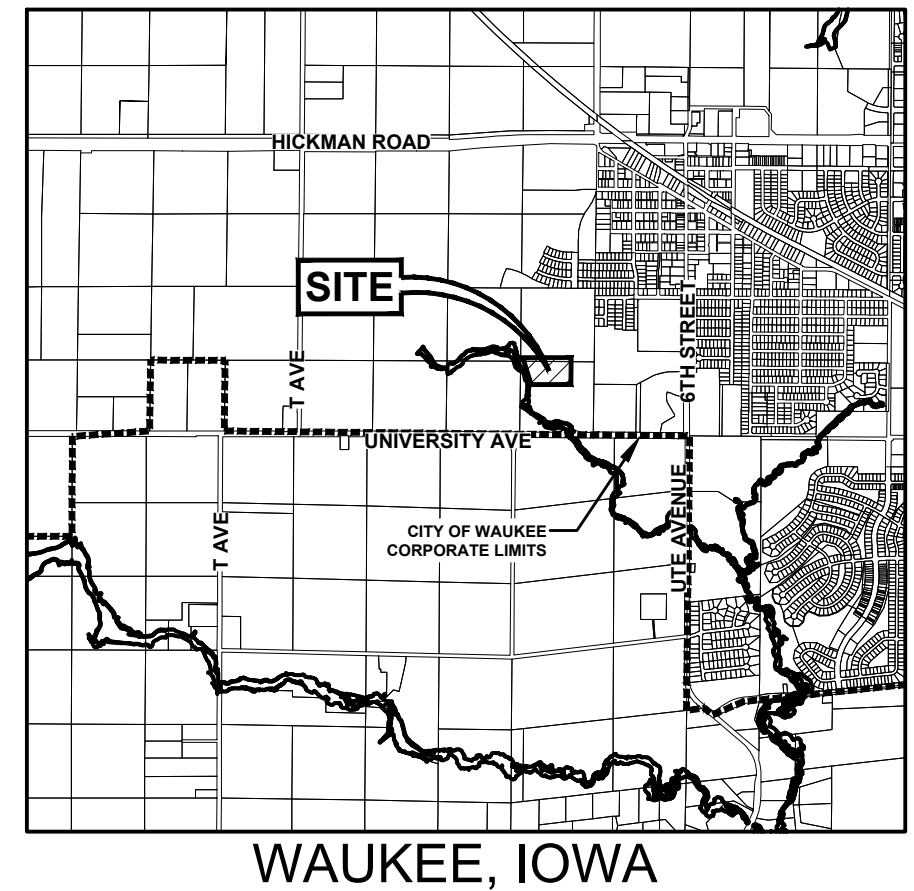


PRELIMINARY PLAT / SITE PLAN FOR: PRAIRIE VILLAGE TOWNHOMES PLAT 1 WAUKEE, IOWA

VICINITY MAP NOT TO SCALE



NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AN UPDATED SITE PLAN ILLUSTRATING ANY CHANGES MADE DURING CONSTRUCTION AND RECEIVE APPROVAL IN WRITING FROM THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT OF SAID CHANGES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES MADE WITHOUT WRITTEN APPROVAL.
2. THE RESULTS OF THE GEOTECHNICAL REPORT ARE TO BE PROVIDED TO THE CITY OF WAUKEE ENGINEERING DEPARTMENT. THE SITE PLAN IS SUBJECT TO ANY CHANGES REQUIRED BY THE REPORT.
3. A COPY OF THE GEOTECHNICAL REPORT SHOULD BE PROVIDED TO THE ARCHITECT AND STRUCTURAL ENGINEER TO ENSURE THAT FOOTINGS AND FOUNDATION WALLS ARE BEING DESIGNED PROPERLY.

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

INDEX OF SHEETS

| NO. | DESCRIPTION |
|-----------|-----------------------------------|
| C1.0 | COVER SHEET |
| C2.0-2.1 | TYPICAL SECTIONS AND DETAILS |
| C3.0 | PRELIMINARY PLAT |
| C4.0 | HYDRANT COVERAGE PLAN |
| C5.0-C5.3 | DIMENSION PLAN |
| C6.0-C6.4 | GRADING PLAN |
| C7.0-C7.3 | UTILITY PLAN |
| C8.0 | EROSION AND SEDIMENT CONTROL PLAN |
| C9.0 | LANDSCAPE PLAN |

GENERAL LEGEND

| PROPOSED | EXISTING |
|---|---------------------------|
| PROPERTY BOUNDARY | SANITARY MANHOLE |
| SECTION LINE | WATER VALVE BOX |
| CENTER LINE | FIRE HYDRANT |
| RIGHT OF WAY | WATER CURB STOP |
| BUILDING SETBACK | WELL |
| PERMANENT EASEMENT | STORM SEWER MANHOLE |
| TEMPORARY EASEMENT | STORM SEWER SINGLE INTAKE |
| TYPE SW-501 STORM INTAKE | STORM SEWER DOUBLE INTAKE |
| TYPE SW-502 STORM INTAKE | FLARED END SECTION |
| TYPE SW-503 STORM INTAKE | DECIDUOUS TREE |
| TYPE SW-505 STORM INTAKE | CONIFEROUS TREE |
| TYPE SW-506 STORM INTAKE | DECIDUOUS SHRUB |
| TYPE SW-512 STORM INTAKE | CONIFEROUS SHRUB |
| TYPE SW-513 STORM INTAKE | ELECTRIC POWER POLE |
| TYPE SW-401 STORM MANHOLE | GUY ANCHOR |
| TYPE SW-402 STORM MANHOLE | STREET LIGHT |
| FLARED END SECTION | POWER POLE W/ TRANSFORMER |
| TYPE SW-301 SANITARY MANHOLE | UTILITY POLE W/ LIGHT |
| STORM/SANITARY CLEANOUT | ELECTRIC BOX |
| WATER VALVE | ELECTRIC TRANSFORMER |
| FIRE HYDRANT ASSEMBLY | ELECTRIC MANHOLE OR VAULT |
| SIGN | TRAFFIC SIGN |
| DETECTABLE WARNING PANEL | TELEPHONE JUNCTION BOX |
| WATER CURB STOP | TELEPHONE MANHOLE/VAULT |
| SANITARY SEWER | TELEPHONE POLE |
| SANITARY SERVICE | GAS VALVE BOX |
| STORM SEWER | CABLE TV JUNCTION BOX |
| STORM SERVICE | CABLE TV MANHOLE/VAULT |
| WATERMAIN WITH SIZE | MAIL BOX |
| WATER SERVICE | BENCHMARK |
| SAWCUT (FULL DEPTH) | SOIL BORING |
| SILT FENCE | UNDERGROUND TV CABLE |
| USE AS CONSTRUCTED | GAS MAIN |
| MINIMUM PROTECTION ELEVATION | FIBER OPTIC |
| FINISHED FLOOR ELEVATION AT FRONT OF GARAGE | UNDERGROUND TELEPHONE |
| | OVERHEAD ELECTRIC |
| | UNDERGROUND ELECTRIC |
| | FIELD TILE |
| | SANITARY SEWER W/ SIZE |
| | STORM SEWER W/ SIZE |
| | WATER MAIN W/ SIZE |

OWNER / APPLICANT

PRAIRIE VILLAGE OF IOWA, LLC
CONTACT: BRIAN ATWOOD
4800 E 57TH STREET, SUITE A
SIOUX FALLS, SOUTH DAKOTA 57108
PH: (515) 371-3669

ENGINEER

CIVIL DESIGN ADVANTAGE
CONTACT: JARED MURRAY
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PH. (515) 369-4400
EMAIL: JARED@CDA-ENG.COM

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: CHARLIE MCGLOTHLEN
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PH. (515) 369-4400
FX. (515) 369-4410

DATE OF SURVEY

MAY 24, 2021

BENCHMARKS

DALLAS COUNTY BENCHMARK #120. 5/8" ALUMINUM ROD WITH CAP STAMPED G120 AND NGS STYLE ACCESS COVER 3" DEEP ALONG THE EAST RIGHT OF WAY OF U PLACE APPROXIMATELY 150 FEET SOUTH OF 300TH STREET. ELEVATION=1011.79

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = SPRING 2022
ANTICIPATED FINISH DATE = SPRING 2023

SUBMITTAL DATES

FIRST SUBMITTAL: 01/17/2022
SECOND SUBMITTAL: 02/11/2022
THIRD SUBMITTAL: 03/28/2022
FOURTH SUBMITTAL: 04/18/2022

DEVELOPMENT SUMMARY

AREA: 12.46 ACRES (542,654 SF)

SETBACKS:

AREA: 30 FEET
REAR: 30 FEET
SIDE: 7 FEET MINIMUM (15 FEET TOTAL)

OPEN SPACE CALCULATION:

| | |
|---------------------|--------------|
| TOTAL SITE | = 542,654 SF |
| BUILDINGS | = 147,042 SF |
| STREETS | = 78,044 SF |
| DRIVEWAYS | = 44,395 SF |
| SIDEWALK | = 12,633 SF |
| OPEN SPACE PROVIDED | = 260,540 SF |

TOTAL IMPERVIOUS AREA:

282,114 SF

TOTAL OPEN SPACE PROVIDED:

260,540 SF (48%)

TOTAL OPEN SPACE REQUIRED:

542,654 SF * 20% = 108,529 SF (20%)

UNITS:

127 UNITS (10.19 UNITS PER ACRE)

PARKING:

| | |
|---------------------|--------------|
| TOTAL REQUIRED: | |
| 1 SPACE PER 5 UNITS | = 26 SPACES |
| 2 SPACES PER UNIT | = 254 SPACES |
| TOTAL | = 280 SPACES |

| | |
|-----------------|--------------|
| TOTAL PROVIDED: | |
| PARKING SPACES | = 28 SPACES |
| GARAGES | = 254 SPACES |
| DRIVEWAYS | = 254 SPACES |
| TOTAL | = 536 SPACES |

ACCESSIBLE PARKING (VISITOR STALLS):

| | |
|----------|-----------|
| REQUIRED | = 1 SPACE |
| PROVIDED | = 1 SPACE |

UNIT SQUARE FOOTAGE

| | |
|-----------------------|------------------|
| HICKORY SINGLE UNIT | = 1,332 SF (+/-) |
| WHITFIELD SINGLE UNIT | = 1,113 SF (+/-) |

LEGAL DESCRIPTION

A PART OF PARCEL '21-54' AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 2021, PAGE 19741, AND A PART OF PARCEL '21-137' AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 2021, PAGE 36486, ALL IN THE SOUTHEAST QUARTER OF SECTION 32, TOWNSHIP 79 NORTH, RANGE 26 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF WAUKEE, DALLAS COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF AUTUMN VALLEY TOWNHOMES PLAT 1, AN OFFICIAL PLAT IN SAID CITY OF WAUKEE; THENCE SOUTH 89°44'55" EAST ALONG THE NORTHERLY LINE OF SAID PARCEL '21-54', A DISTANCE OF 860.28 FEET; THENCE SOUTH 00°28'19" WEST, 620.56 FEET TO THE SOUTH LINE OF SAID PARCEL '21-137'; THENCE NORTH 89°31'41" WEST ALONG SAID SOUTH LINE, 771.16 FEET TO THE SOUTHWEST CORNER OF SAID PARCEL '21-137'; THENCE NORTH 04°46'21" EAST ALONG SAID WEST LINE AND THE NORTHERLY EXTENSION THEREOF, 180.26 FEET; THENCE NORTH 31°02'04" WEST, 383.54 FEET; THENCE NORTH 15°54'23" WEST, 247.37 FEET TO THE NORTHERLY LINE OF SAID PARCEL '21-54'; THENCE SOUTH 85°47'15" EAST ALONG SAID NORTHERLY LINE, 127.66 FEET; THENCE SOUTH 18°15'19" EAST CONTINUING ALONG SAID NORTHERLY LINE, 125.13 FEET TO THE POINT OF BEGINNING AND CONTAINING 12.46 ACRES (542,654 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

ZONING

R-4: ROW DWELLING & TOWNHOME DWELLING

PARKLAND DEDICATION

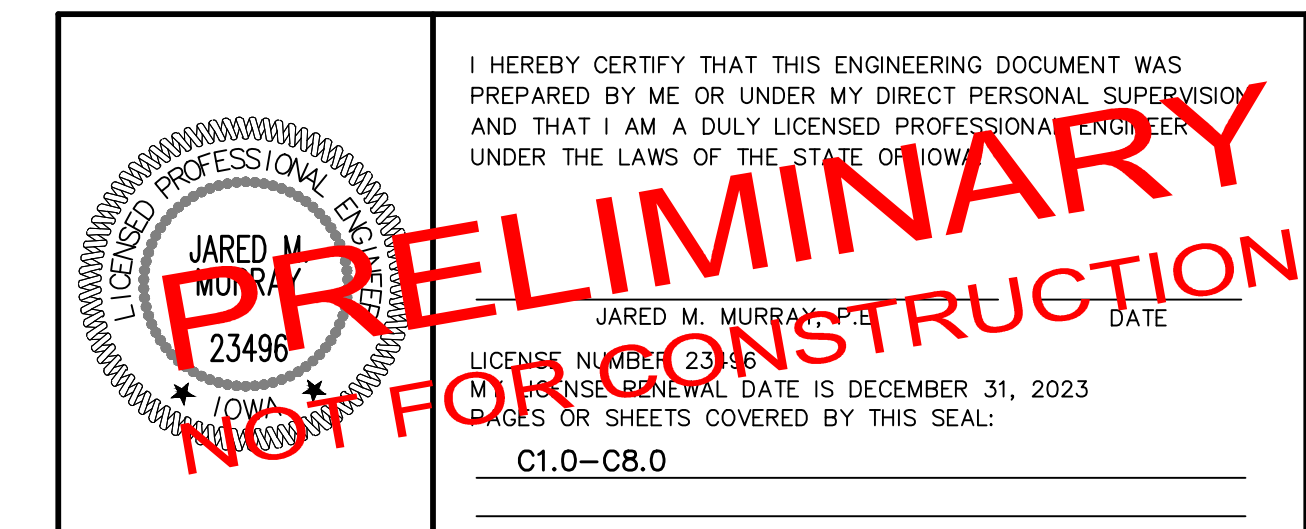
TOWNHOME:
127 UNITS * 2.25 PEOPLE/UNIT * 6.5 ACRES/1000 PEOPLE

TOTAL REQUIRED = 1.86 ACRES

PORTION OF REQUIRED PARKLAND DEDICATED LOCATED IN FLOODPLAIN:
(0.34 AC * 1.5 = 0.51 AC
0.34 ACRES WILL COUNT TOWARDS PARKLAND DEDICATION)

STANDARD PARKLAND PROVIDED = 1.05 ACRES

TOTAL PROVIDED (0.34 + 1.05 = 1.39) = 1.39 ACRES



ALL CONSTRUCTION SHALL CONFORM TO THE PROJECT SPECIFICATIONS AND THE SOILS REPORT PREPARED BY THEIELE GEOTECH, INC (PN 02.17120.0) DATED JANUARY 25, 2018.

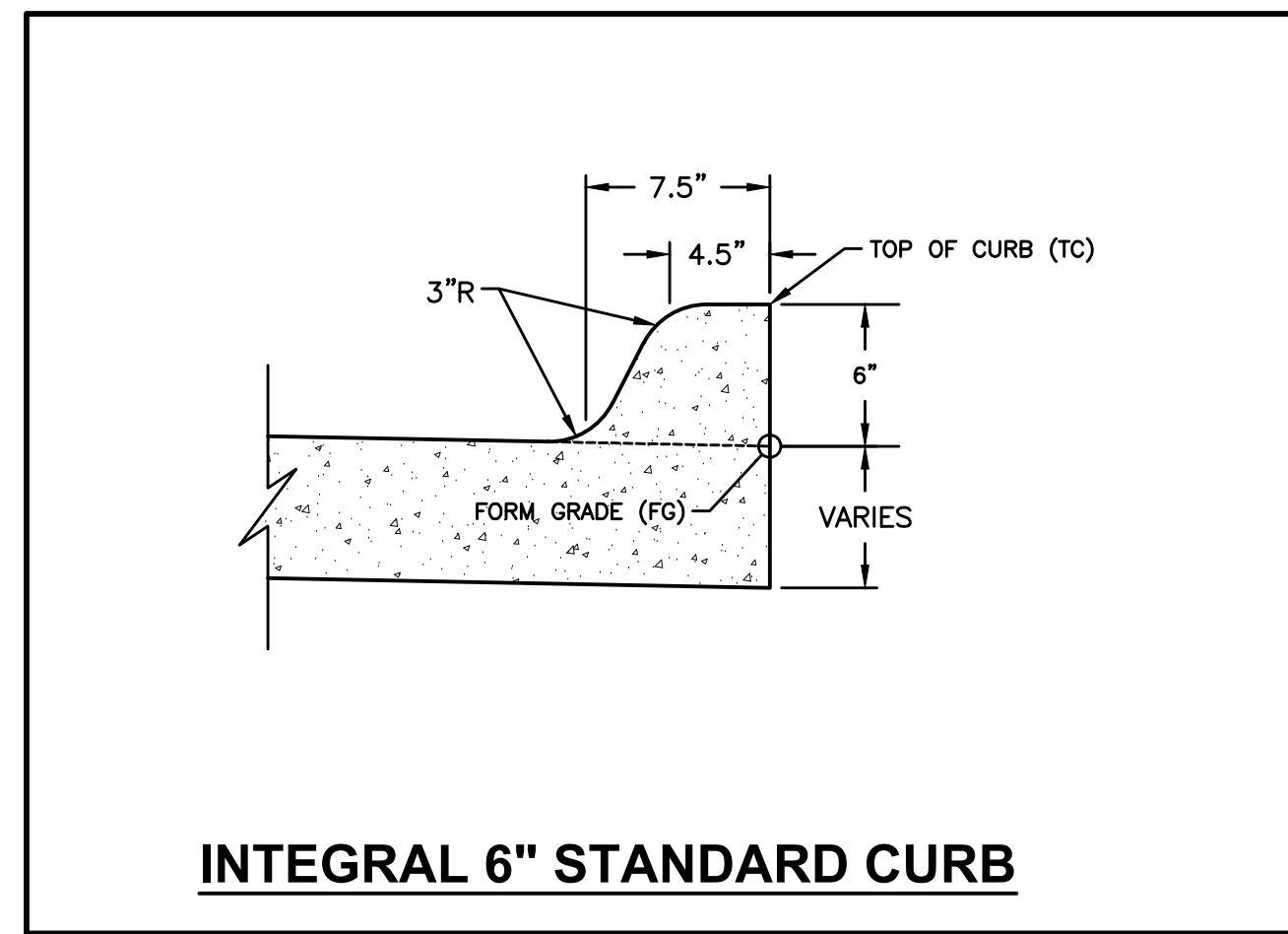
THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

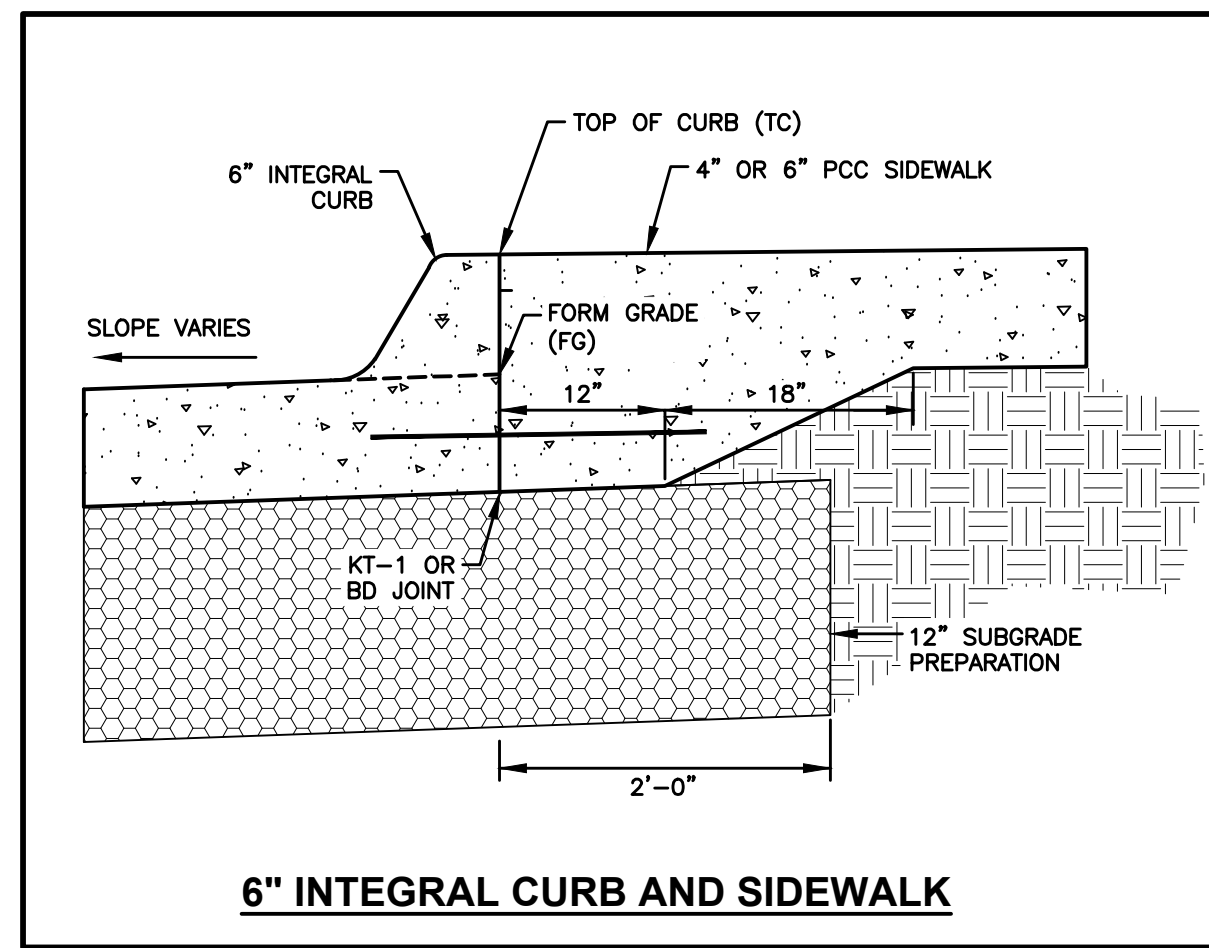
THE 2020 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2022 EDITION OF SUDAS STANDARD SPECIFICATIONS SHALL APPLY TO ALL WORK PERFORMED ON THIS PROJECT EXCEPT AS MODIFIED HEREIN. THE WAUKEE STANDARD SPECIFICATIONS SHALL GOVERN IN THE EVENT OF CONTRASTING REQUIREMENTS.

FILE: H:\2021\107540\WASTE PLAN\107540-COV-DE-HYDRANTING.DWG
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PLOTTER: ARCADIS
PLOT BY: JARED MURRAY

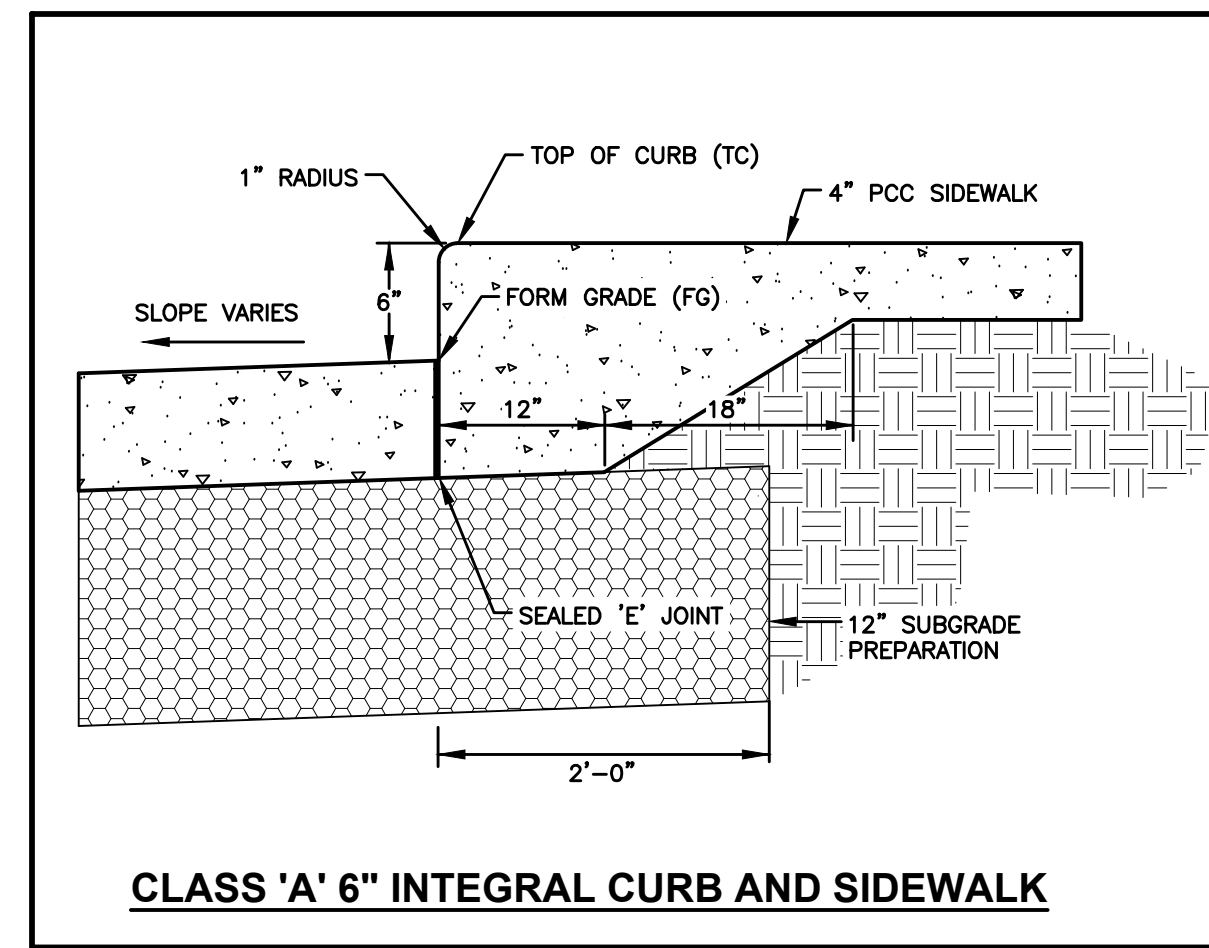
PRAIRIE VILLAGE TOWN HOMES PLAT 1



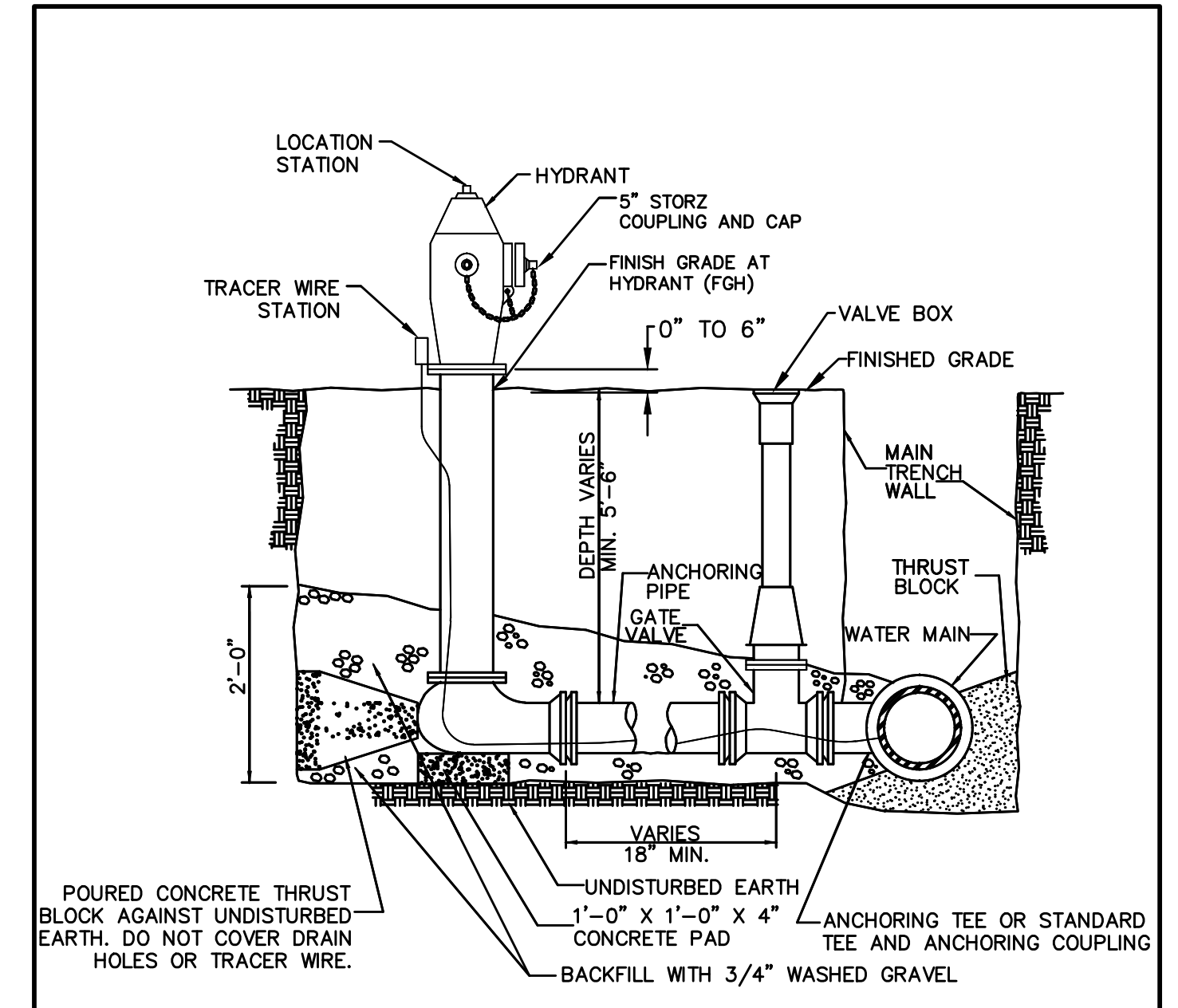
INTEGRAL 6" STANDARD CURB



6" INTEGRAL CURB AND SIDEWALK



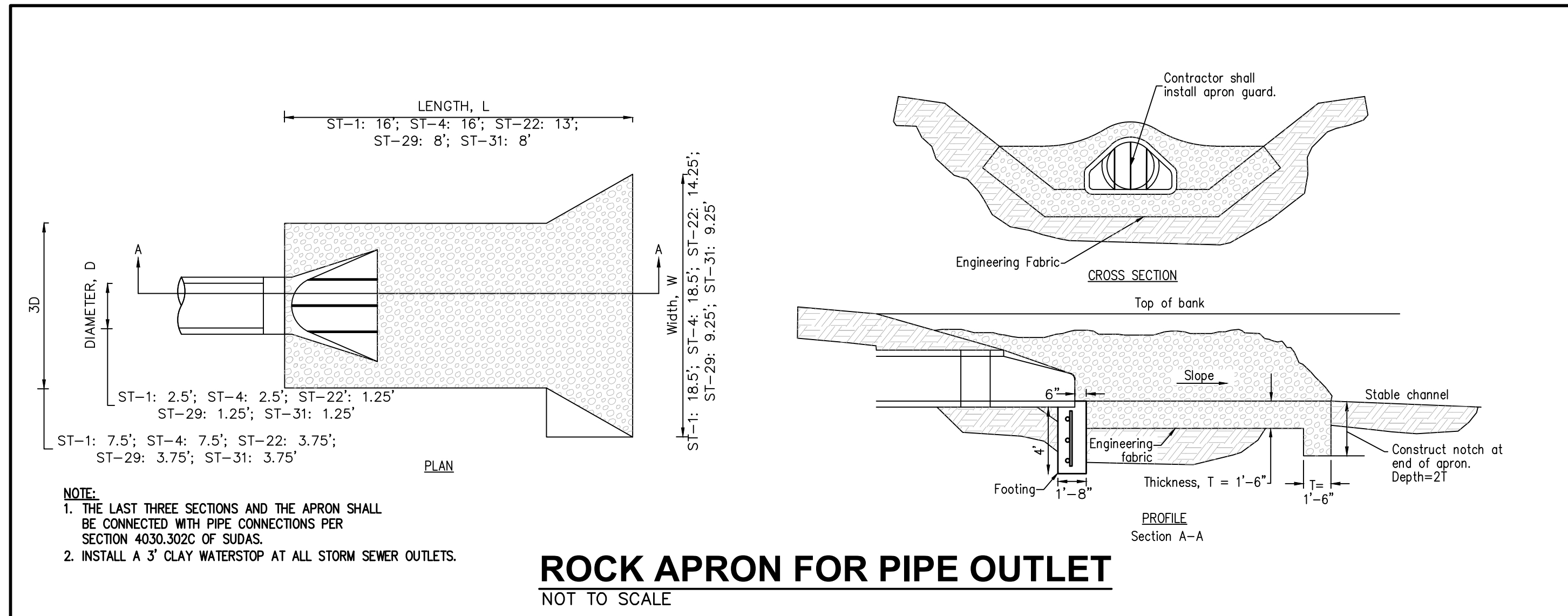
CLASS 'A' 6" INTEGRAL CURB AND SIDEWALK



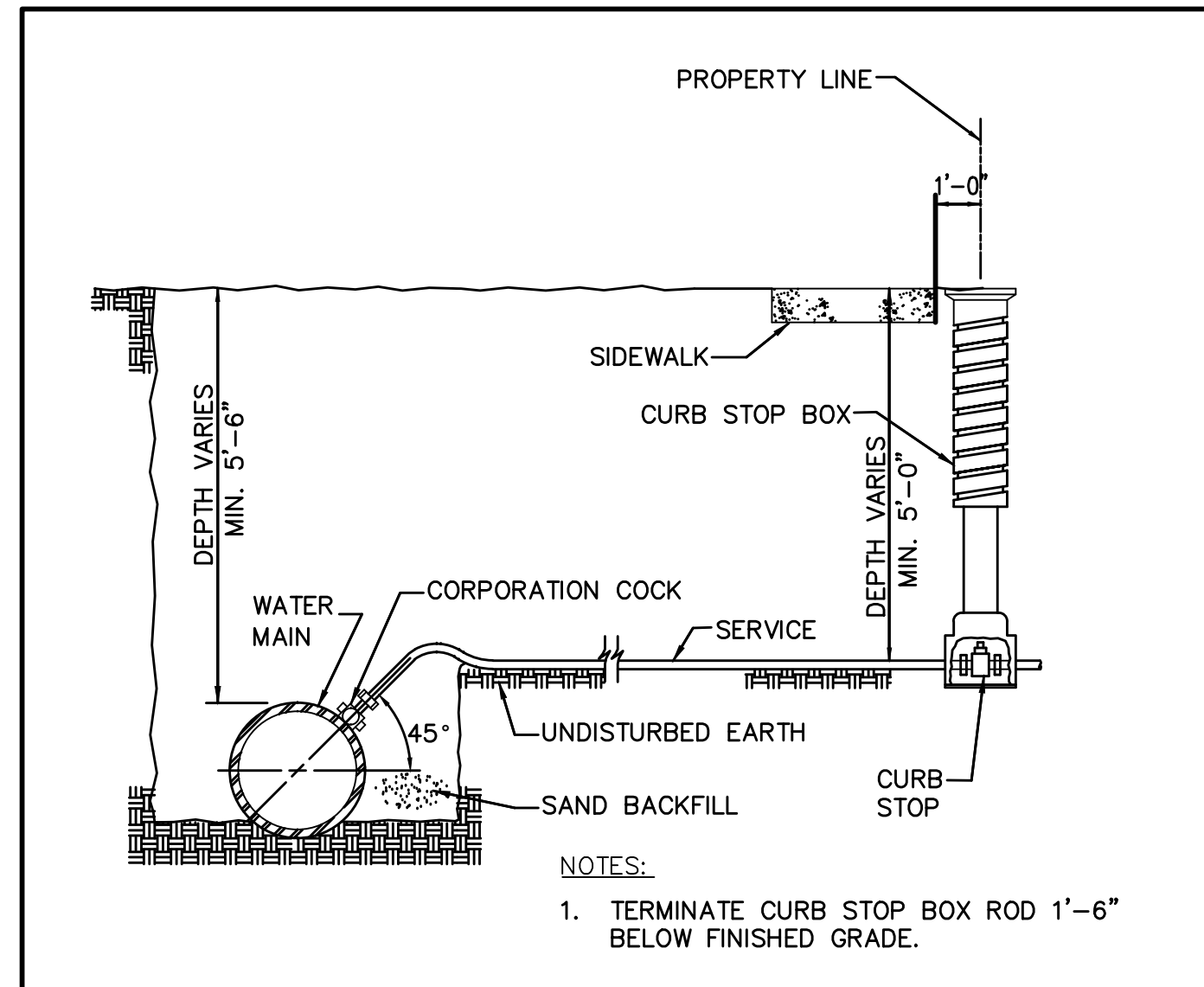
POURED CONCRETE THRUST BLOCK AGAINST UNDISTURBED EARTH. DO NOT COVER DRAIN HOLES OR TRACER WIRE.

- NOTES**
1. MINIMUM SIZE FOR PIPING, VALVES AND FITTINGS FROM WATER MAIN TO HYDRANT INLET: 6".
 2. PROVIDE TRACER WIRE AND TRACER WIRE STATION.
 3. WRAP HYDRANT, PIPE AND FITTINGS WITH POLYETHYLENE ENCASUREMENT.

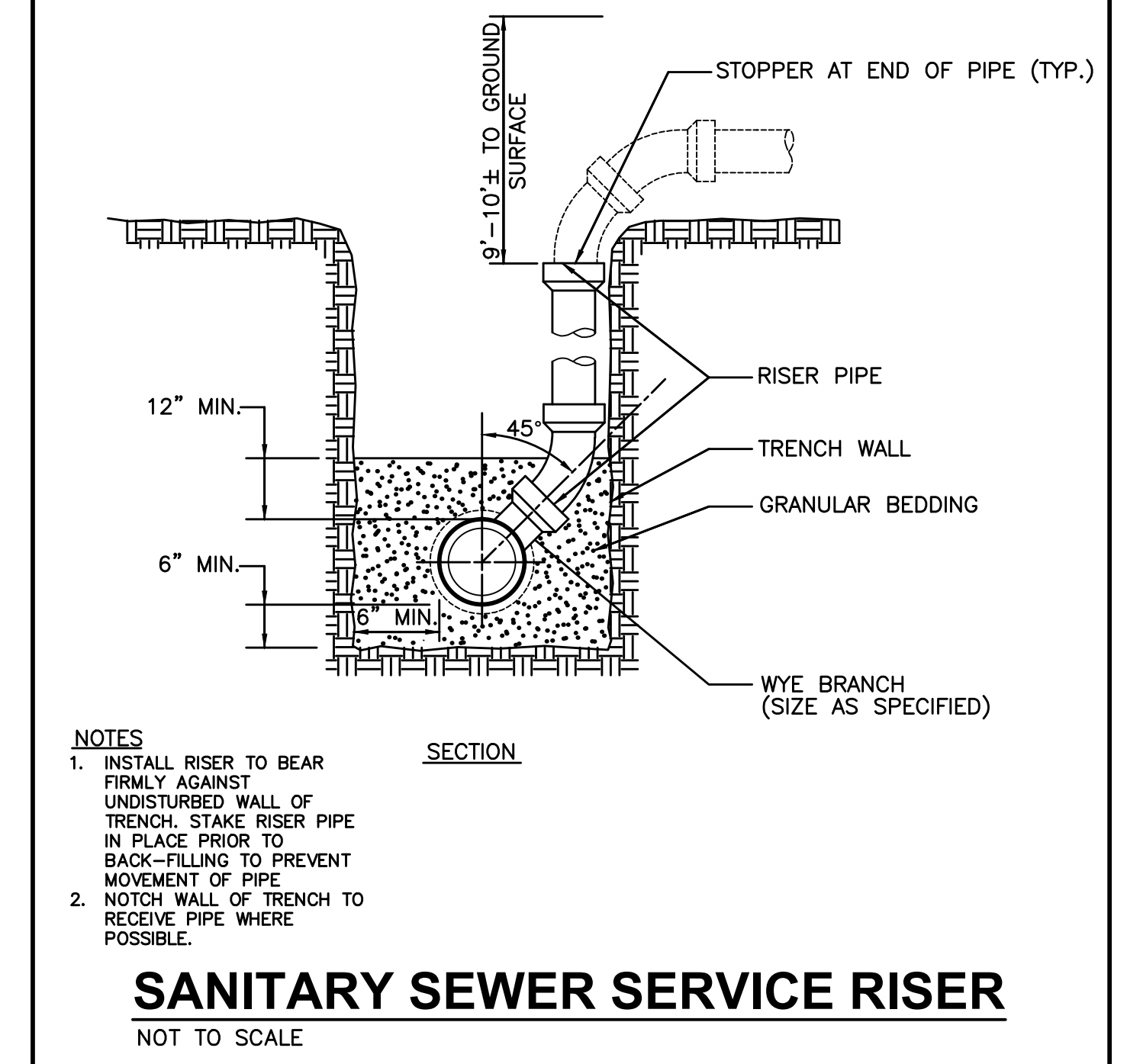
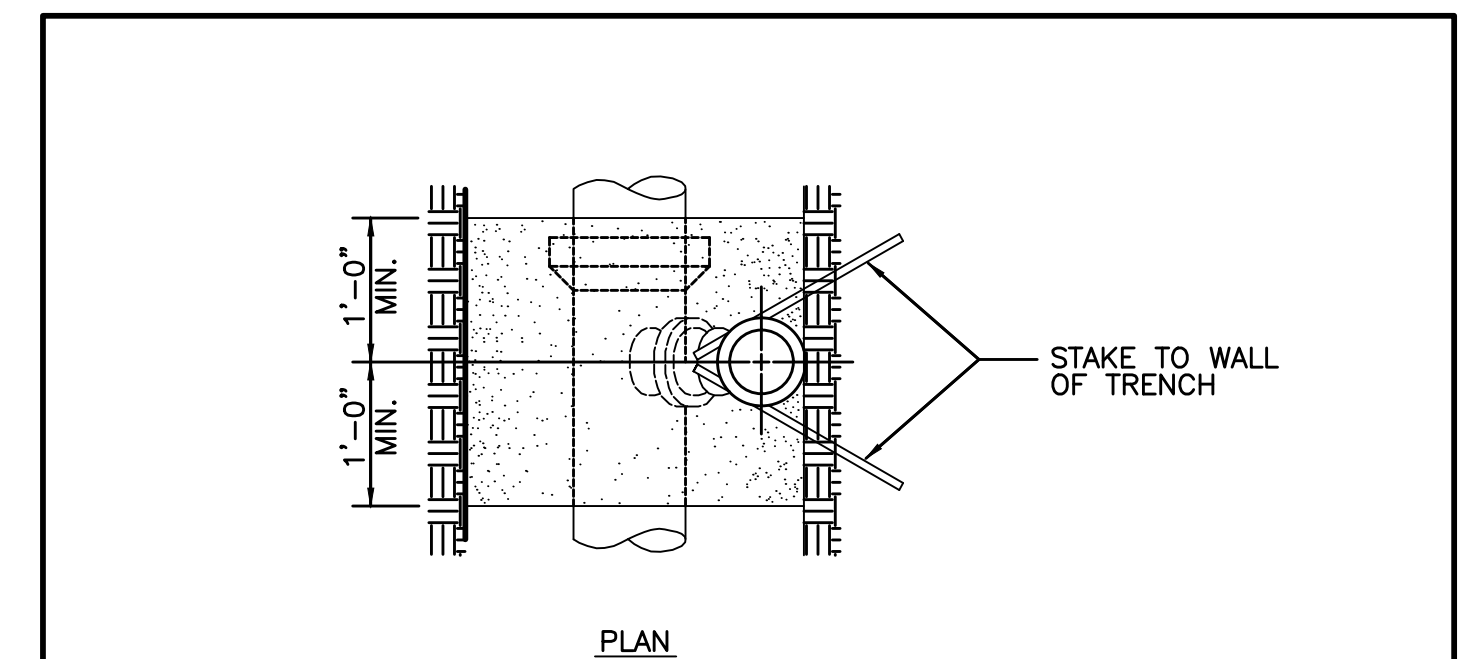
HYDRANT ASSEMBLY DETAIL
NOT TO SCALE



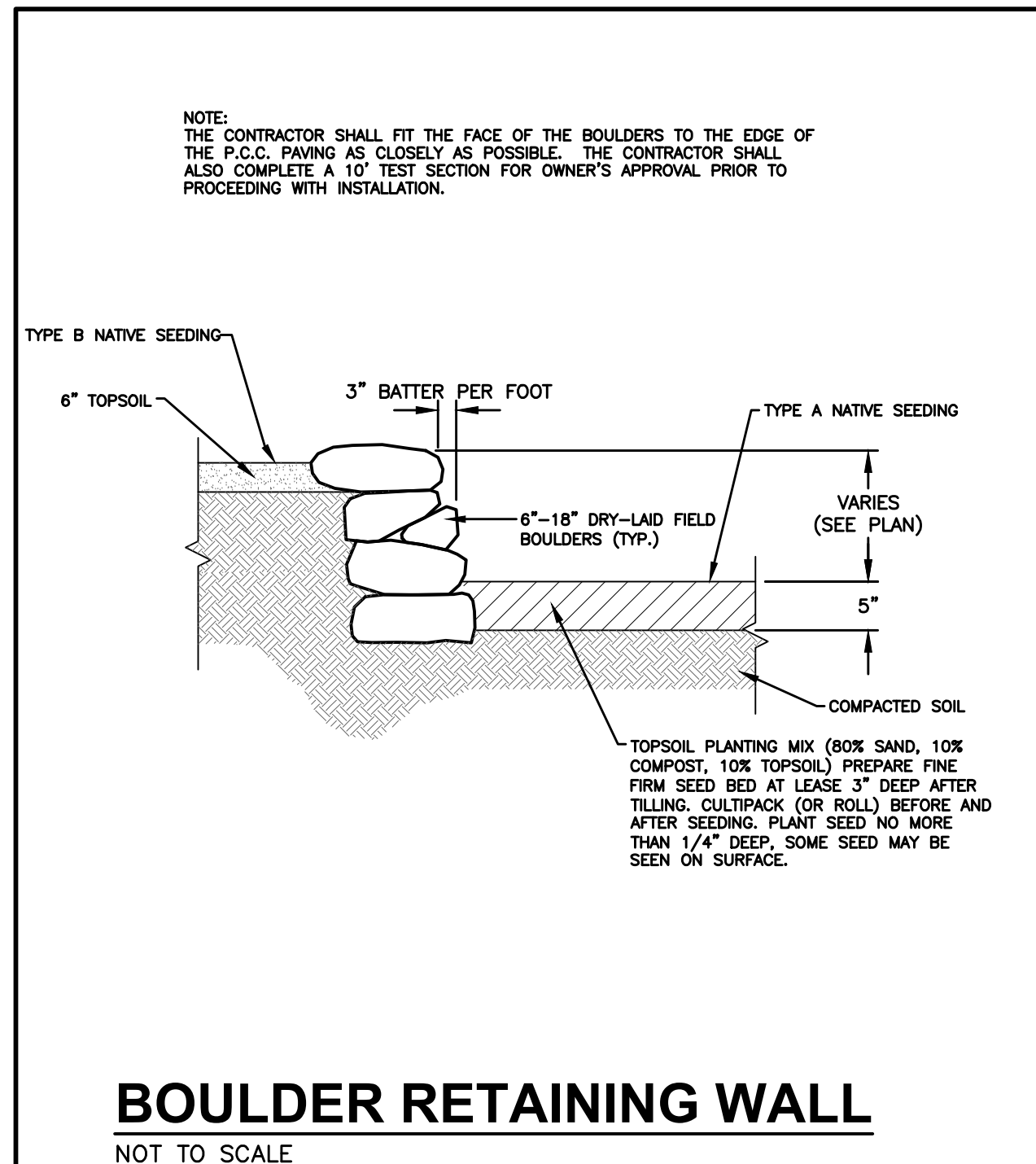
ROCK APRON FOR PIPE OUTLET
NOT TO SCALE



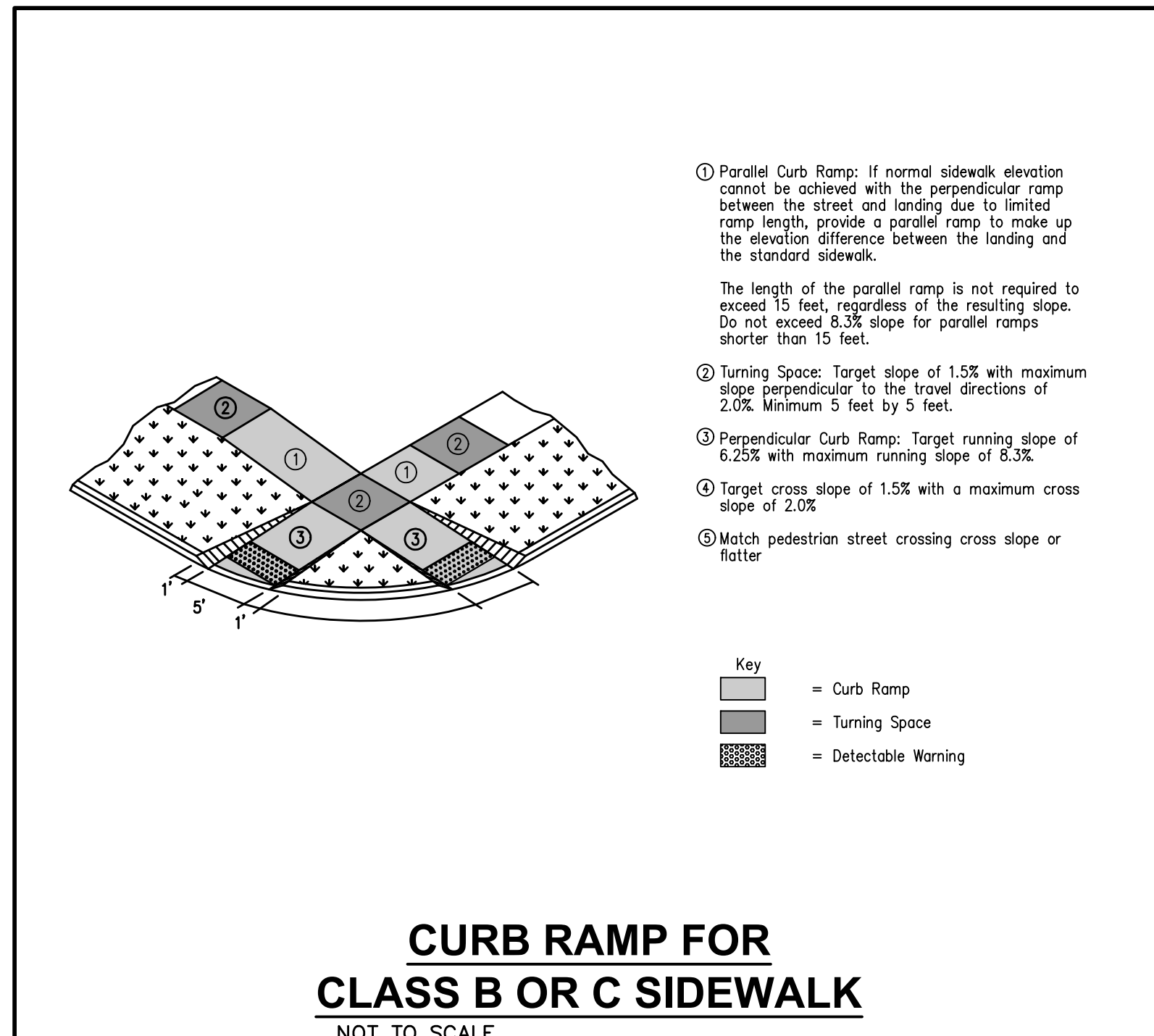
WATER SERVICE CONNECTION
NOT TO SCALE



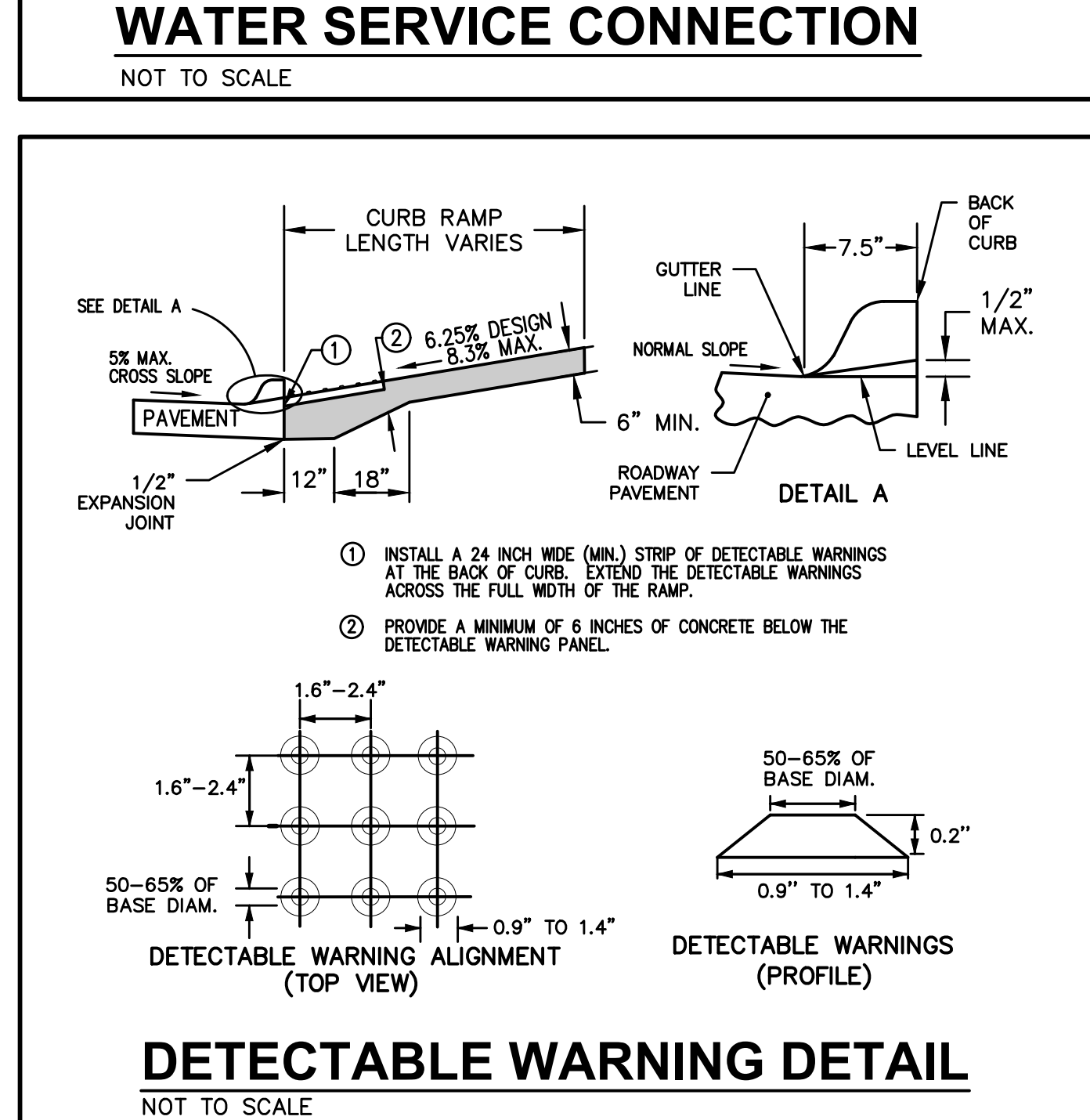
SANITARY SEWER SERVICE RISER
NOT TO SCALE



BOULDER RETAINING WALL
NOT TO SCALE



CURB RAMP FOR CLASS B OR C SIDEWALK
NOT TO SCALE



DETECTABLE WARNING DETAIL
NOT TO SCALE

| | |
|-----------|---------------|
| DATE | 04/18/2022 |
| REVISIONS | 4TH SUBMITTAL |
| | 3RD SUBMITTAL |
| | 2ND SUBMITTAL |
| | 1ST SUBMITTAL |

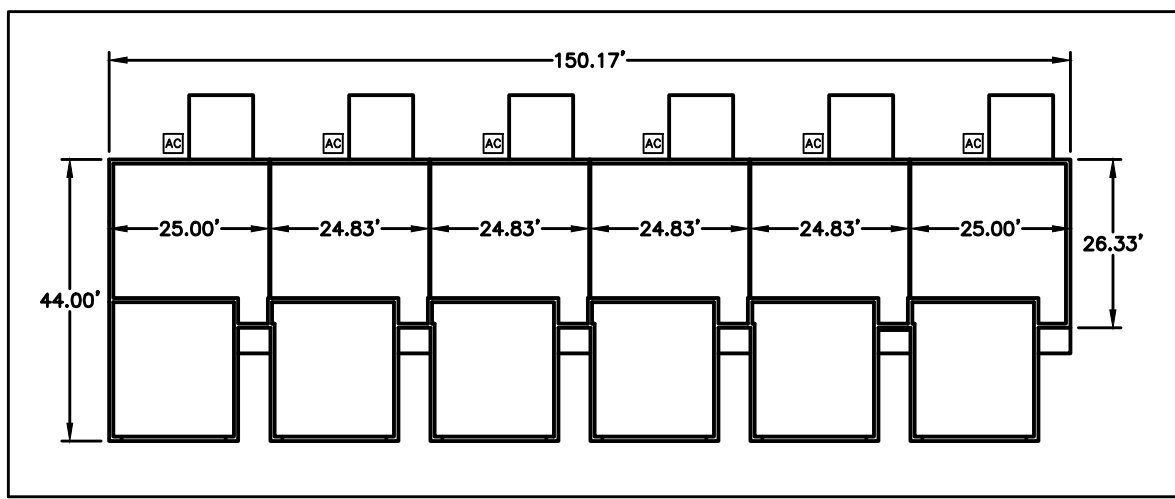
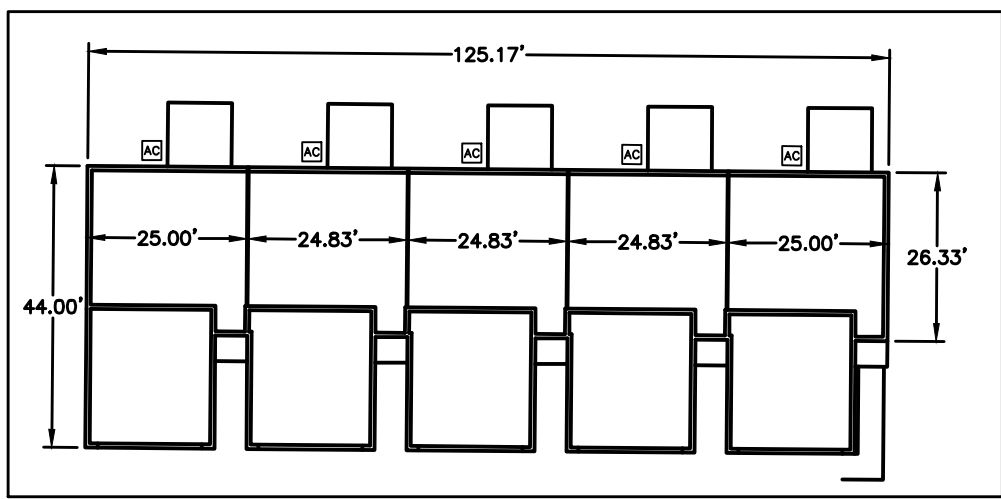
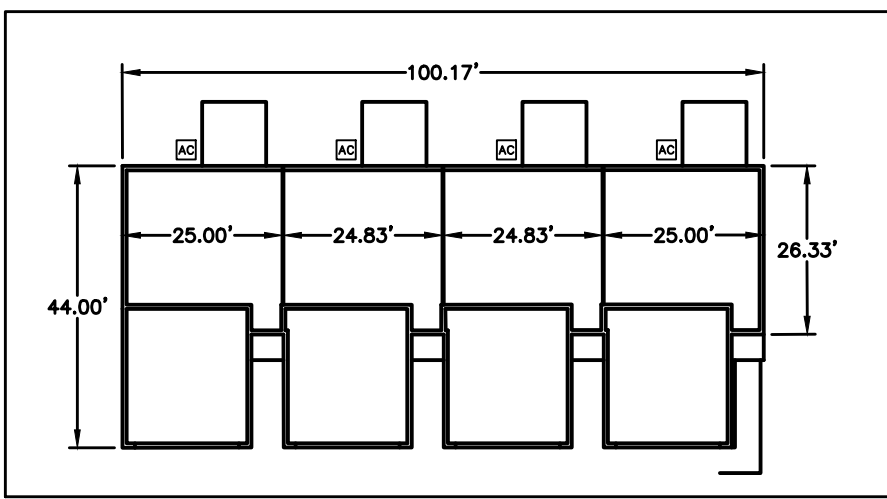
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400 FAX: (515) 369-4410
TECH: CWO
ENGINEER: JMM

ES&A
CIVIL DESIGN ADVANTAGE
WAUKEE, IOWA

PRAIRIE VILLAGE TOWNHOMES PLAT 1
TYPICAL SECTIONS AND DETAILS

C2.0
2107.540

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 PLOTTED BY: ANGELO MURRAY
 DATE: 4/18/2022 9:27 AM
 COMMENT: EX.



| | |
|---------------|------------|
| DATE | 04/18/2022 |
| 4TH SUBMITTAL | 03/28/2022 |
| 3RD SUBMITTAL | 02/11/2022 |
| 2ND SUBMITTAL | 01/17/2022 |
| 1ST SUBMITTAL | |

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: JMM
 TECH: CWO

SA
 CIVIL DESIGN ADVANTAGE
 WAUKEE, IOWA

PRAIRIE VILLAGE TOWNHOMES PLAT 1
PRELIMINARY PLAT

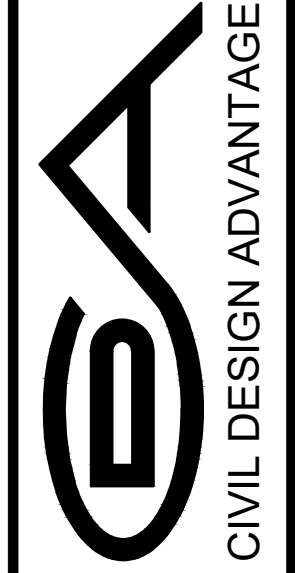
C3.0
 2107.540

GENERAL NOTES

1. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES. THE FIRE APPARATUS ACCESS ROAD SHALL COMPLY WITH THE REQUIREMENTS OF THE 2019 INTERNATIONAL FIRE CODE SECTION 503 AND SHALL EXTEND TO WITHIN 100 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING.

| DATE | REVISIONS |
|------------|---------------|
| 04/18/2022 | 4TH SUBMITTAL |
| 03/28/2022 | 3RD SUBMITTAL |
| 02/11/2022 | 2ND SUBMITTAL |
| 01/17/2022 | 1ST SUBMITTAL |

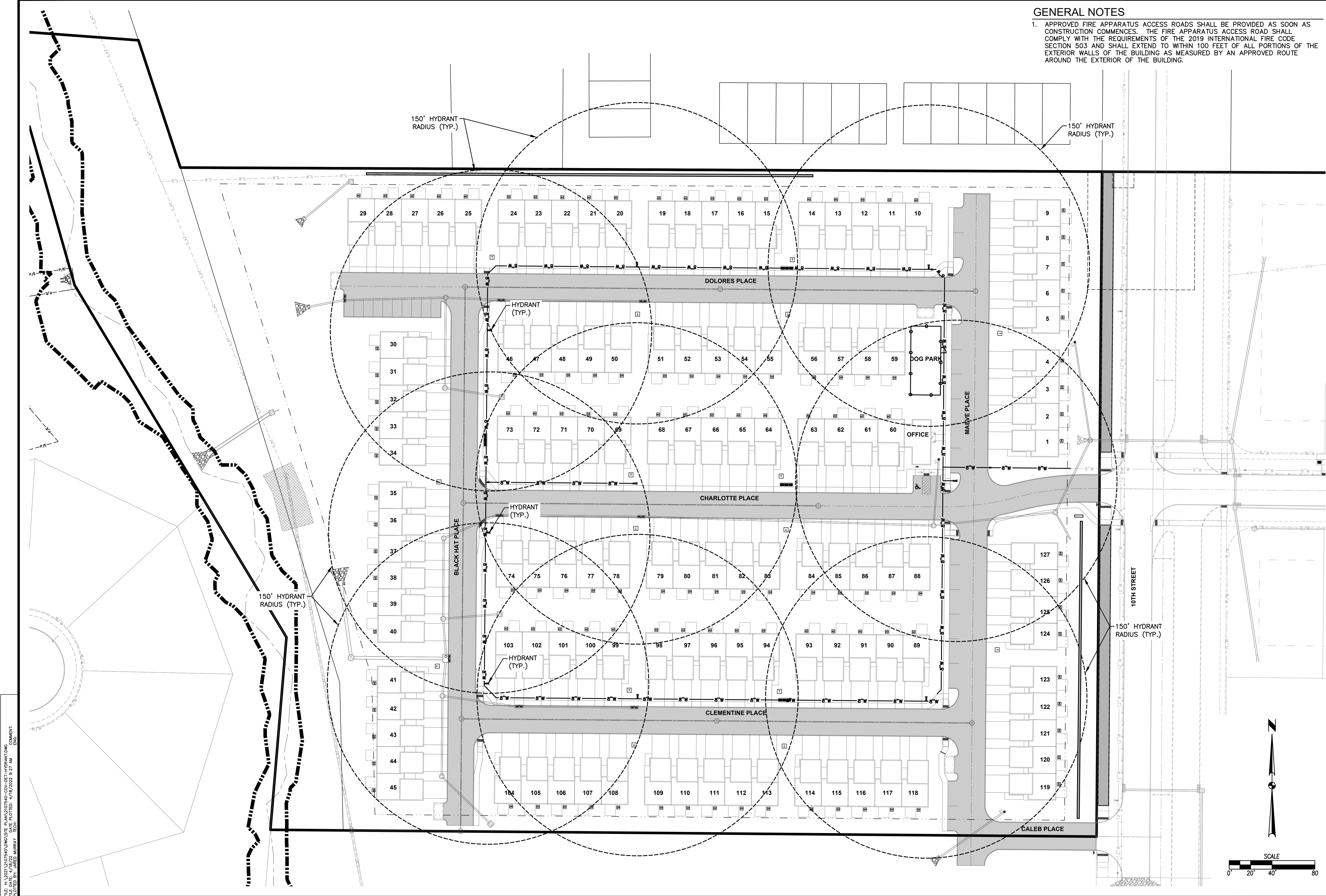
4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 ENGINEER: JMM TECH: CWO



WAUKEE, IOWA

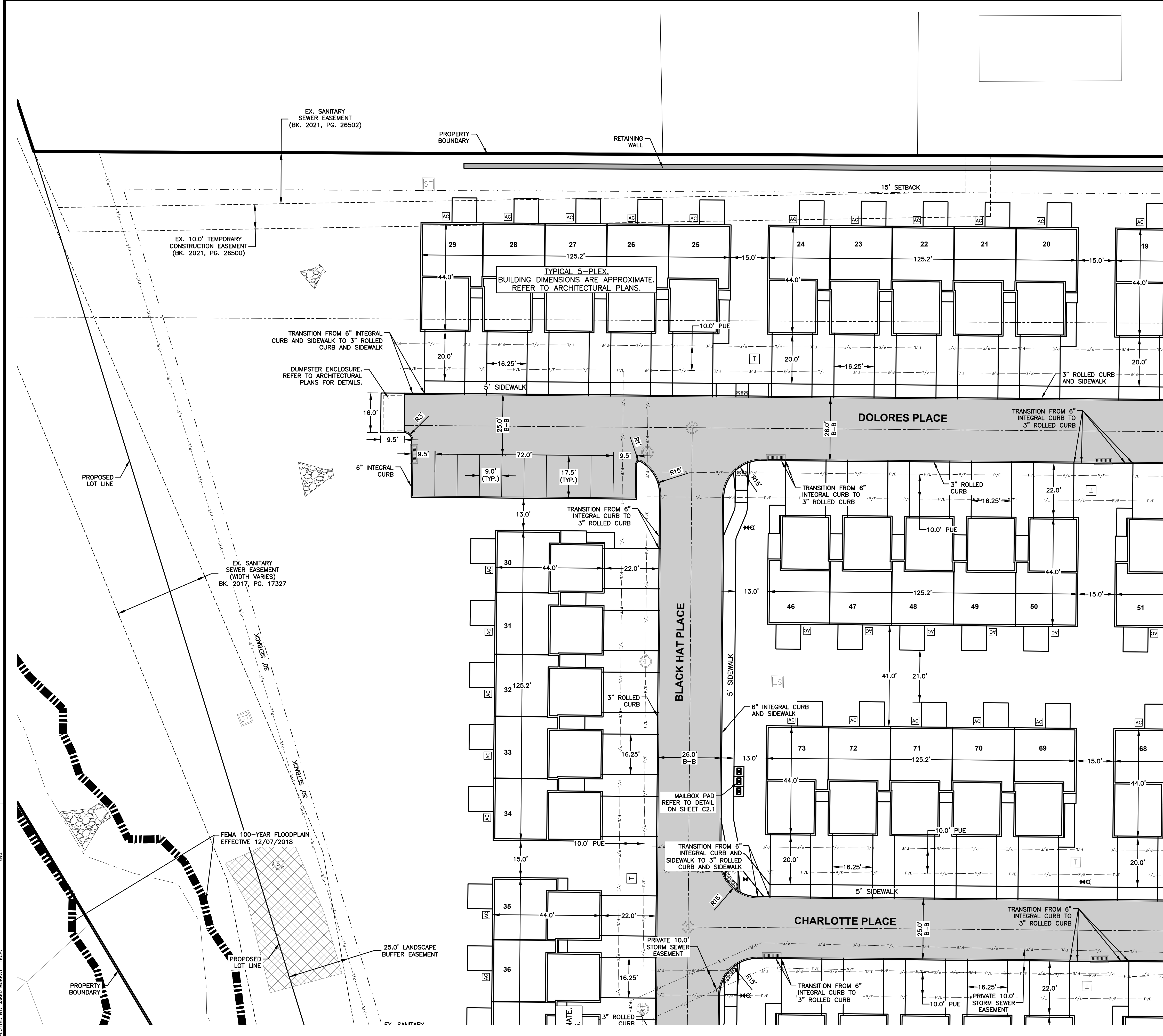
**PRAIRIE VILLAGE TOWNHOMES PLAT 1
 HYDRANT COVERAGE**

C4.0
 2107.540



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 PLOT DATE: 4/18/2022 9:27 AM

FILE: H:\2021\2107540\DWG\SITE PLAN\2107540-DIMENSION PLANDING
 COMMENT: DIMENSION PLANNING
 PLOTTED BY: ANGELO MURRAY
 DATE: 4/18/2022 9:28 AM



GENERAL NOTES

- THE 2020 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE 2022 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC UTILITIES CONTRACTOR SHALL NOTIFY THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE 2020 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS.
- ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
- PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
- REMOVE ALL DEBRIS AND MUD SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
- THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK. ANY PAVEMENT REPLACEMENT SHALL COMPLY WITH THE 2020 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
- ALL SCOUR STOP SHALL BE INSTALLED BY A CERTIFIED CONTRACTOR ACCORDING TO SCOUR STOP PRODUCT SPECIFICATIONS.
- ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACT BID.
- MONUMENT SIGNS ARE TO BE REVIEWED AND APPROVED BY THE COMMUNITY DEVELOPMENT DEPARTMENT.
- ALL STAKING, INCLUDING PEDESTRIAN FACILITIES, IS TO BE DONE UNDER THE DIRECTION OF A LICENSED ENGINEER OR SURVEYOR.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT AT LEAST ONE WEEK PRIOR TO CONSTRUCTION ACTIVITIES COMMENCING.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE CITY OF WAUKEE ENGINEERING DEPARTMENT 72 HOURS PRIOR TO ANY PLANNED WEEKEND OR HOLIDAY WORK.
- AN AS-BUILT SITE PLAN ILLUSTRATING THE LOCATION AND DEPTHS OF SITE UTILITIES AND GRADES FOR DRAINAGE SWALES, DETENTION FACILITIES AND FFE'S SHALL BE PROVIDED IN PDF FORM AND HARD COPY UPON COMPLETION OF EACH PHASE OF DEVELOPMENT TO THE CITY WAUKEE'S DEVELOPMENT SERVICES DEPARTMENT.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR THESE BUILDINGS OR PORTION OF A BUILDING AS SOON AS CONSTRUCTION COMMENCES. THE FIRE APPARATUS ACCESS ROAD SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 503.2 AND SHALL EXTEND TO WITHIN 100 FEET OF ALL EXTERIOR PORTIONS OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING.
- ALL STREETS TO BE PRIVATELY OWNED AND MAINTAINED.
- INSTALLATION OF STREET BLADE SIGNS FOR THE PRIVATE STREETS TO BE INSTALLED AT THE TIME VERTICAL CONSTRUCTION BEGINS.
- CONTRACTOR IS RESPONSIBLE TO OBTAIN WRITTEN APPROVAL FOR ANY PLAN CHANGES DURING CONSTRUCTION FROM THE COMMUNITY DEVELOPMENT DEPARTMENT. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR ANY CHANGES THAT HAVE NOT RECEIVE WRITTEN APPROVAL FROM THE COMMUNITY DEVELOPMENT DEPARTMENT.

TRAFFIC CONTROL NOTES

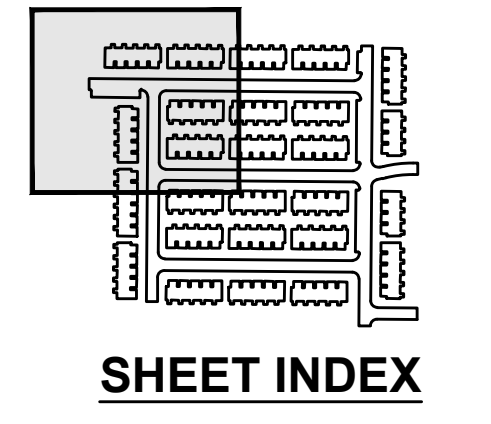
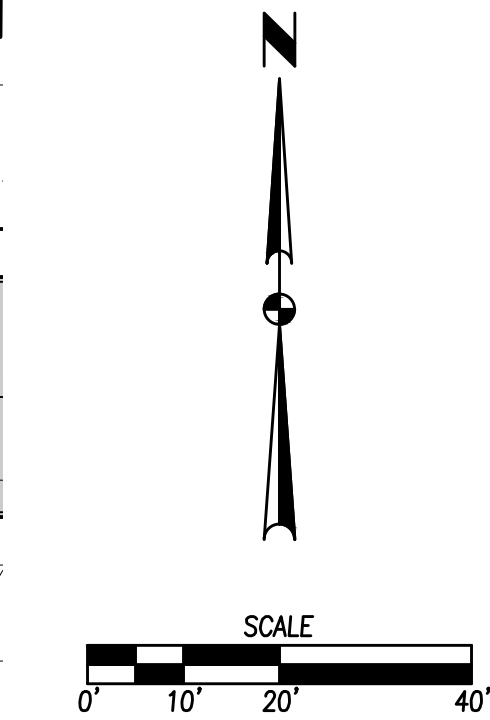
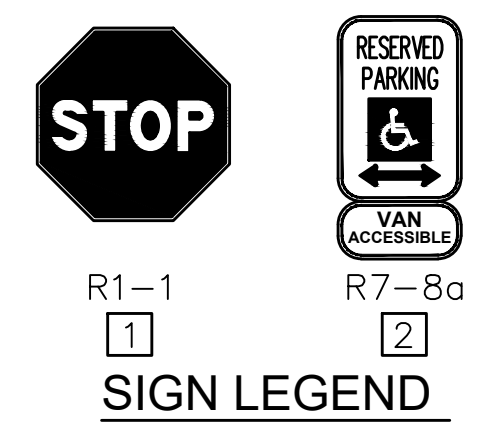
- ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
- SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.
- FIRE LANE SIGNAGE SHALL BE PLACED 3 FEET FROM THE BACK OF CURB ON POSTS THAT ARE 5-7 FEET FROM THE GROUND.

PAVEMENT THICKNESS

- | | |
|--------------------------------------|---------------------|
| 1. SIDEWALKS | 4" P.C.C. (C-4 MIX) |
| 2. DRIVEWAYS AND PARKING SPACES | 6" P.C.C. (C-4 MIX) |
| 3. PRIVATE ROADS | 6" P.C.C. (C-4 MIX) |
| 4. PAVING WITHIN RIGHT-OF-WAY | 8" P.C.C. (C-4 MIX) |
| 5. SIDEWALK RAMPS AND TURNING SPACES | 6" P.C.C. (C-4 MIX) |
| 6. TRASH ENCLOSURES | 8" P.C.C. (C-4 MIX) |

***** NOTE *****
 THE BUILDING THAT IS SHOWN IS FOR REFERENCE PURPOSES ONLY. FINAL BUILDING TYPE IS SUBJECT TO CHANGE. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.

T ELECTRICAL TRANSFORMER LOCATION



| | |
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| DATE | 04/18/2022 |
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| | 01/17/2022 |
| 4TH SUBMITTAL | |
| 3RD SUBMITTAL | |
| 2ND SUBMITTAL | |
| 1ST SUBMITTAL | |

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 TECH: CWO

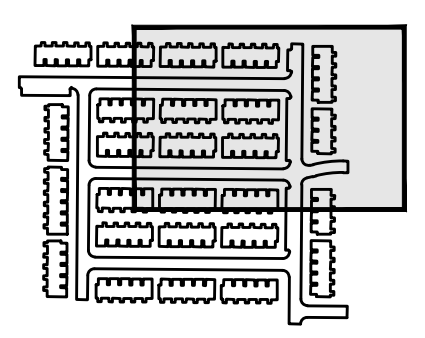
ES&A
 CIVIL DESIGN ADVANTAGE
 WAUKEE, IOWA

PRAIRIE VILLAGE TOWNHOMES PLAT 1
DIMENSION PLAN

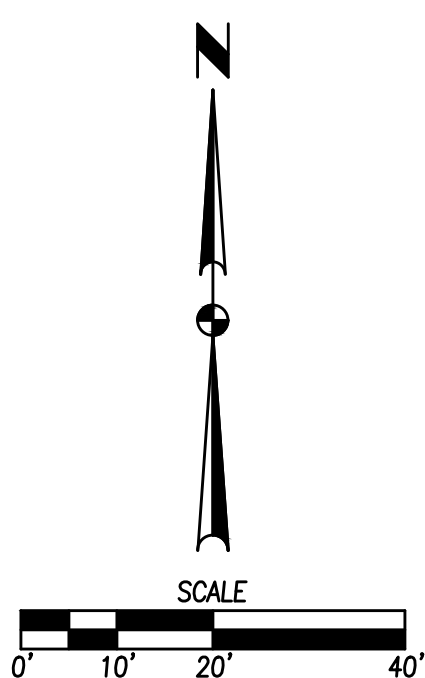
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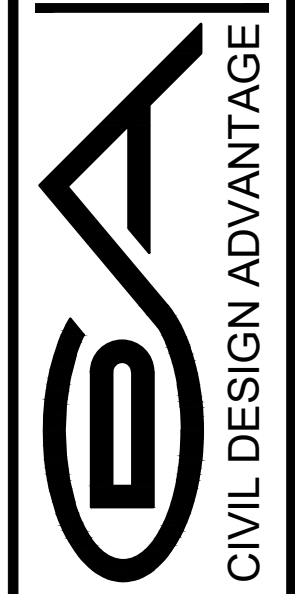


SHEET INDEX



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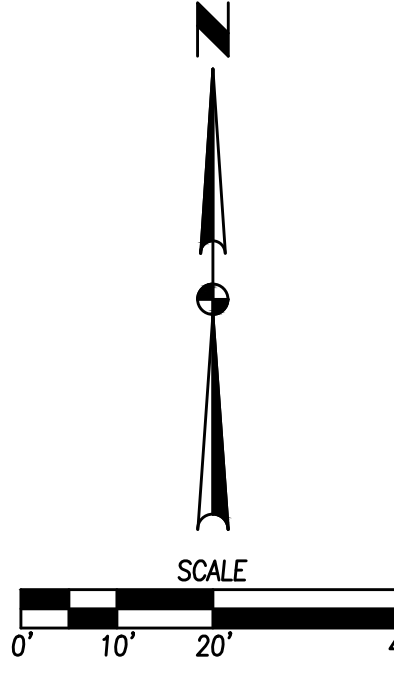
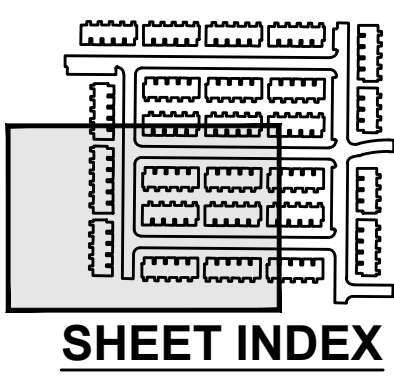


WAUKEE, IOWA

**PRAIRIE VILLAGE TOWNHOMES PLAT 1
DIMENSION PLAN**

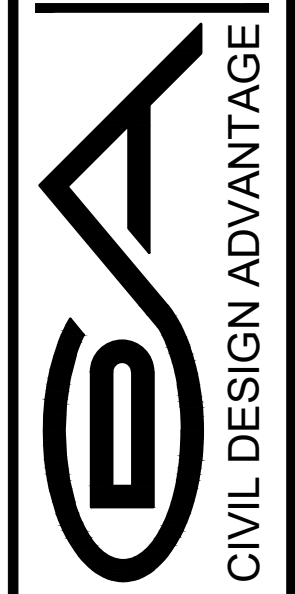
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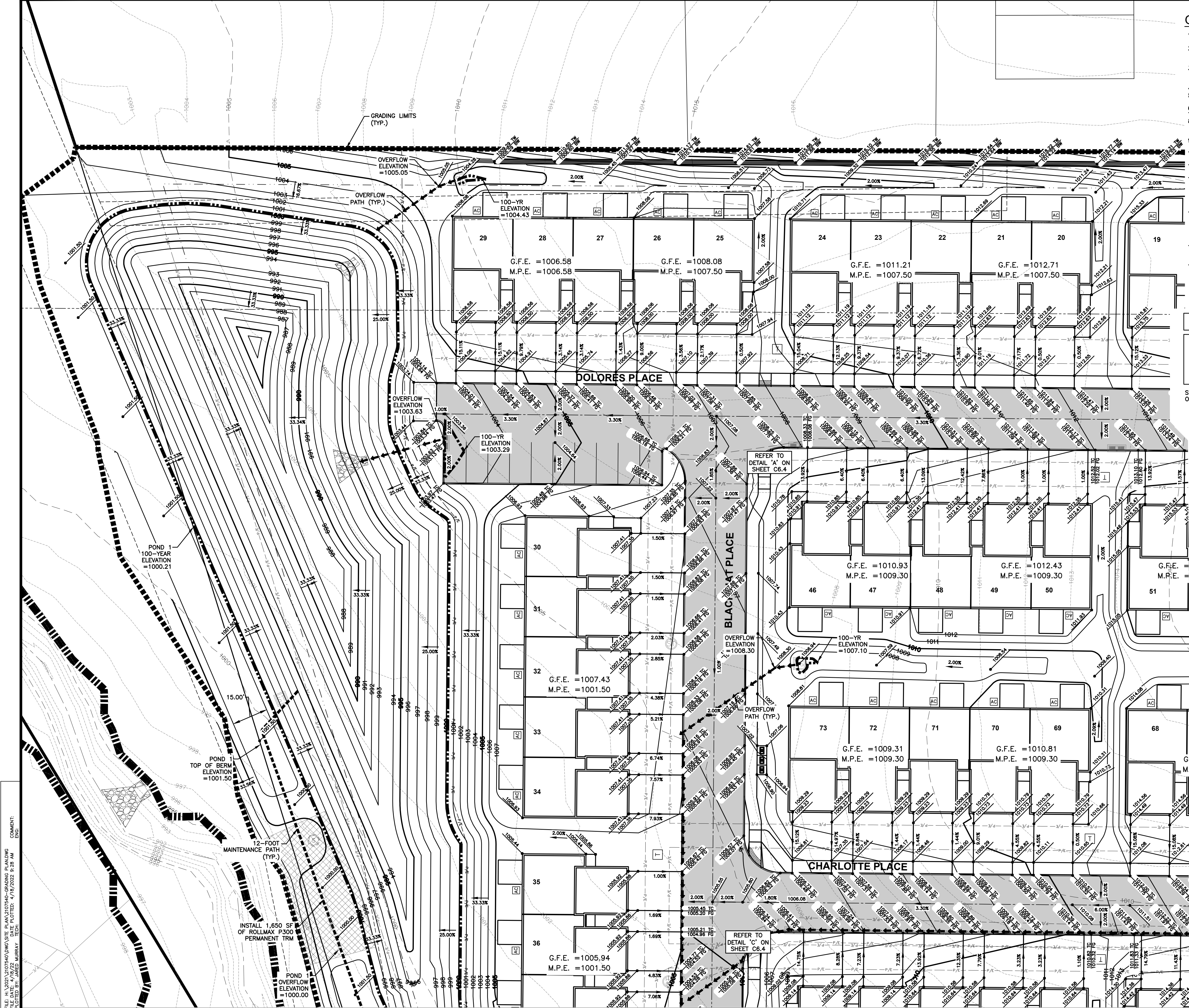
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 ENGINEER: JMM
 TECH: CWO



WAUKEE, IOWA

PRAIRIE VILLAGE TOWNHOMES PLAT 1
DIMENSION PLAN
C5.2
 2107.540



GRADING NOTES

1. THE COMPLETION AND APPROVAL OF THE COSECO PERMIT SHALL BE PROVIDED TO THE CITY OF WAUKEE BUILDING DIVISION AND STORM WATER DEPARTMENT PRIOR TO ANY GRADING ACTIVITIES.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. TOPSOIL IS TO BE STOCKPILED AND RESPAVED AT A MINIMUM DEPTH OF 8" AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2020 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE 2022 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND Haul Roads TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS: MAINTAIN 0.8% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKWAYS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
13. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), INSTALLATION OF THE ORIFICE PLATE AND INSTALLATION OF THE TEMPORARY STAND PIPE SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS POSSIBLE.
14. A CERTIFIED AS-BUILT GRADING PLAN OF THE DETENTION BASIN AND DRAINAGE SWALES SHALL BE SUBMITTED TO THE CITY OF WAUKEE UPON COMPLETION OF THE SITE IMPROVEMENTS FOR EACH PHASE OF CONSTRUCTION PRIOR TO FINAL ACCEPTANCE.
15. CONSTRUCTION OPERATIONS SHALL PROTECT STORM SEWERS AND DRAINAGE WAYS FROM ALLOWING SLURRY FROM CONCRETE OPERATIONS TO DISCHARGE OFFSITE.

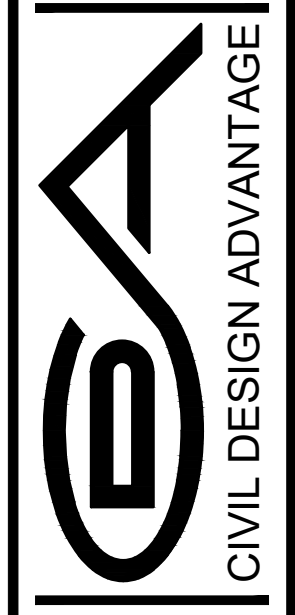
TOTAL AREA OF DISTURBANCE = 7.61 AC (331,300) SF

**** NOTE ****
G.F.E. = FINISHED FLOOR ELEVATION AT THE FRONT OF GARAGE DOOR. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS ON SLOPE THROUGH GARAGE.

STORM WATER OVERFLOW ROUTE → → → → →

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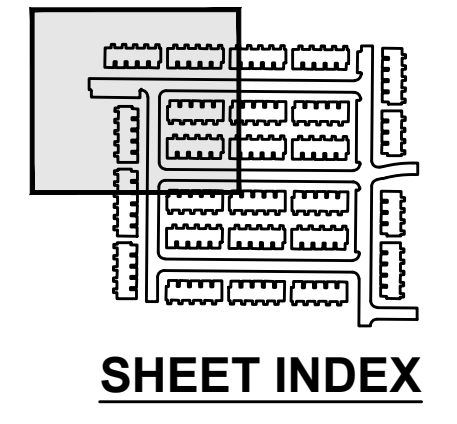
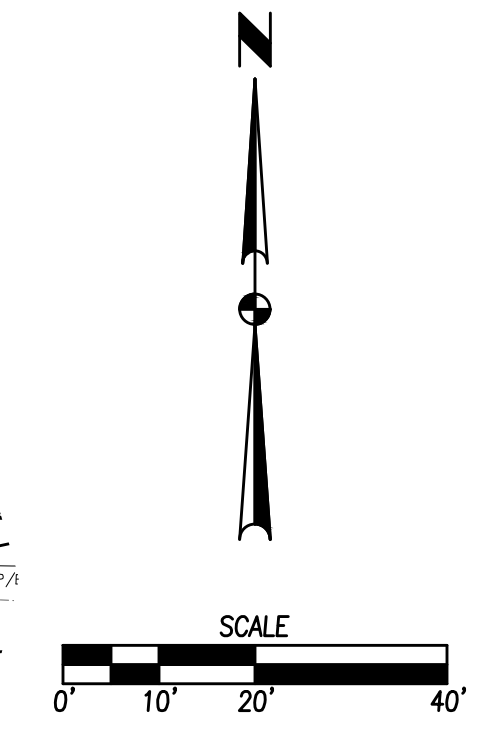


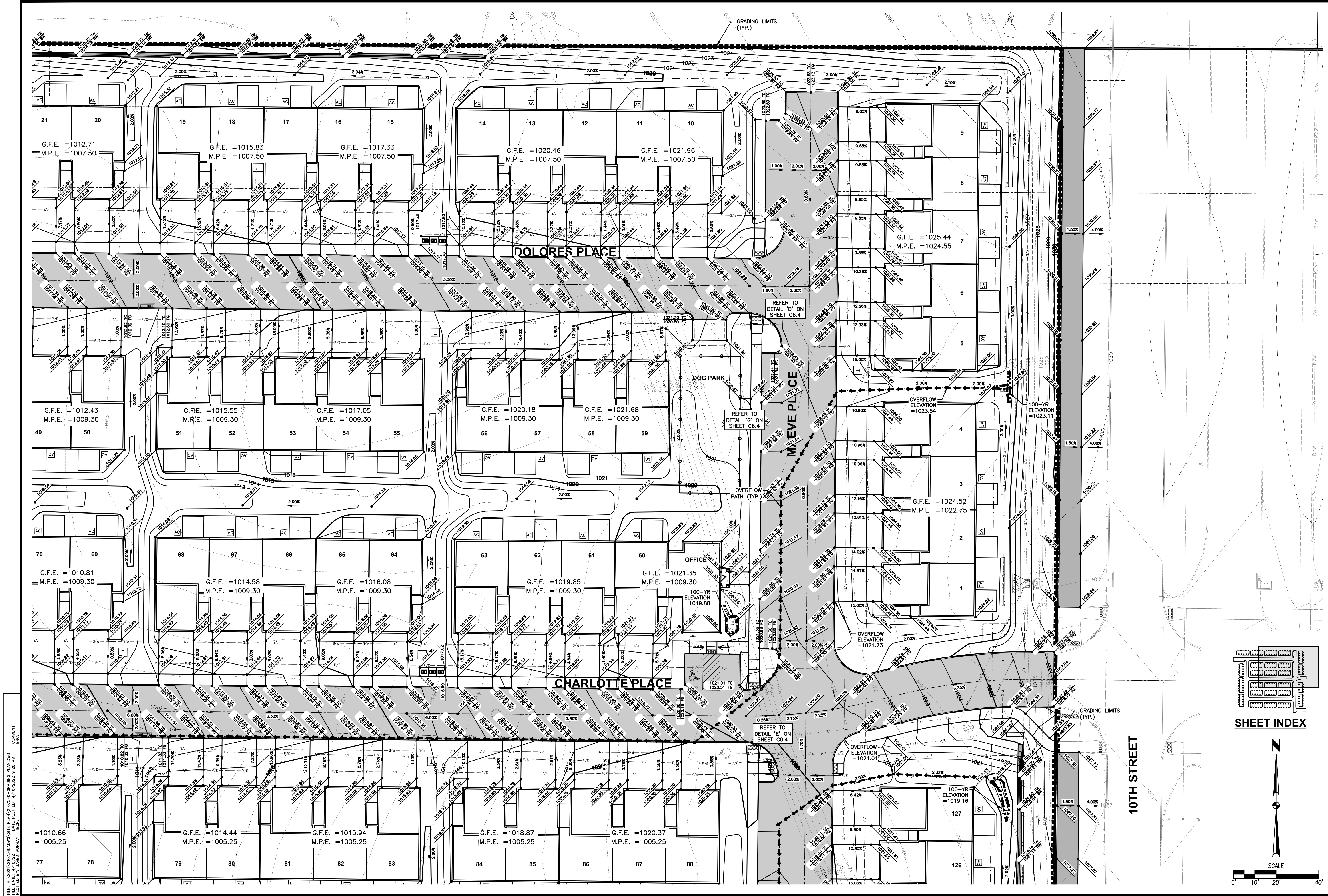
WAUKEE, IOWA

**PRAIRIE VILLAGE TOWNHOMES PLAT 1
GRADING PLAN**

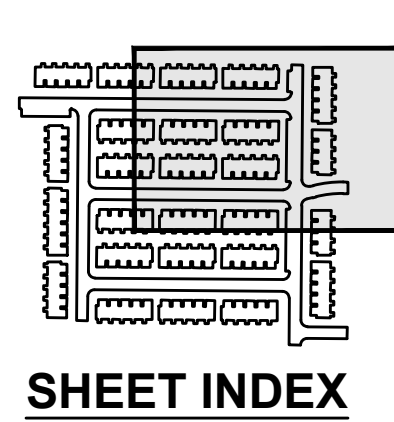
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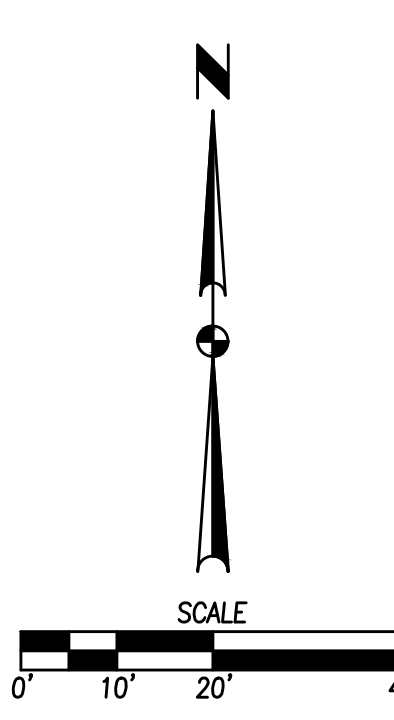




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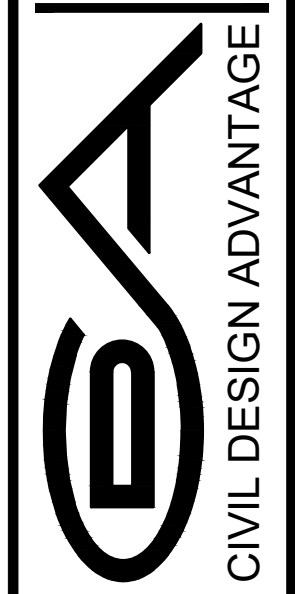


SHEET INDEX



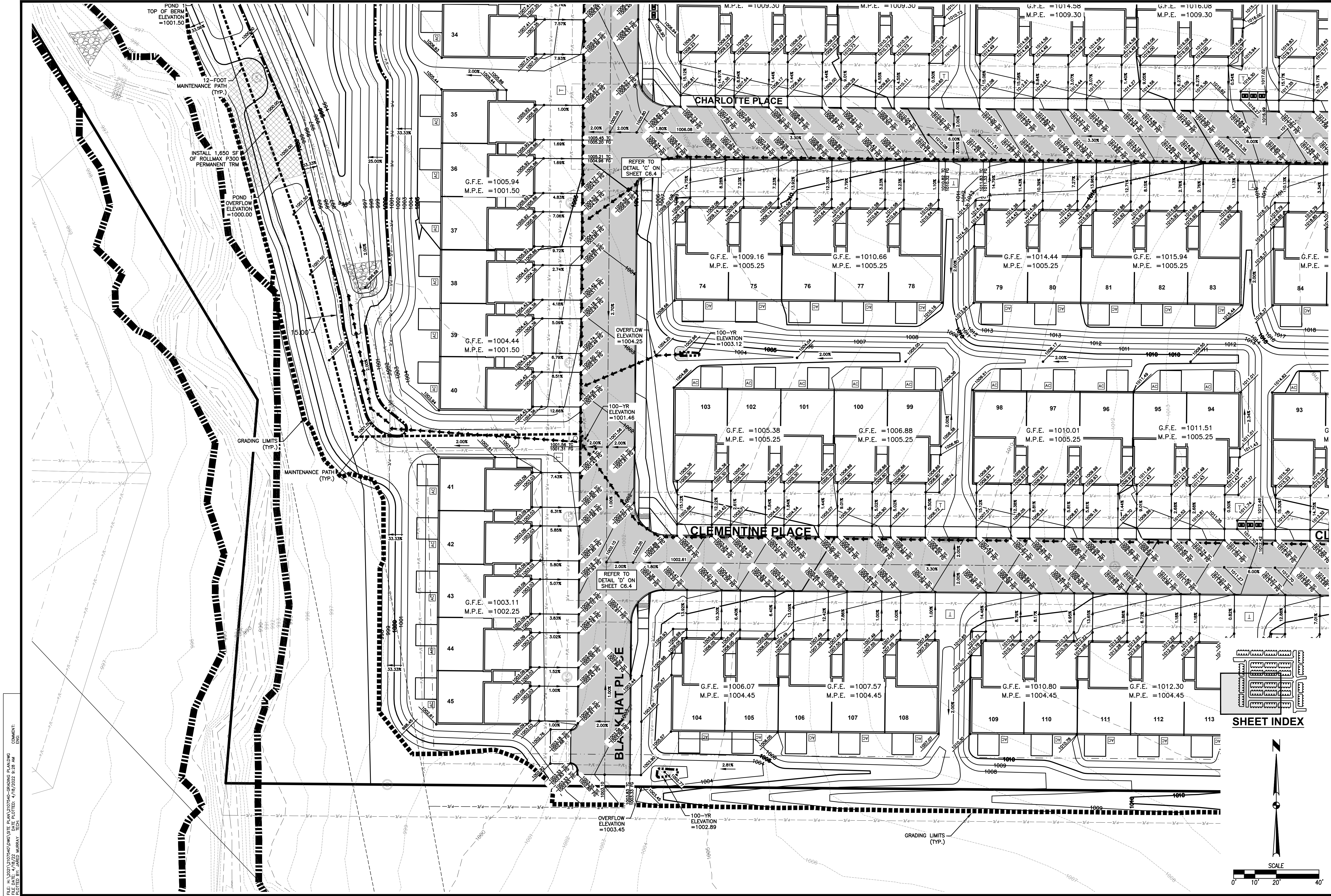
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WAUKEE, IOWA
 CIVIL DESIGN ADVANTAGE
 ENGINEER: JMM

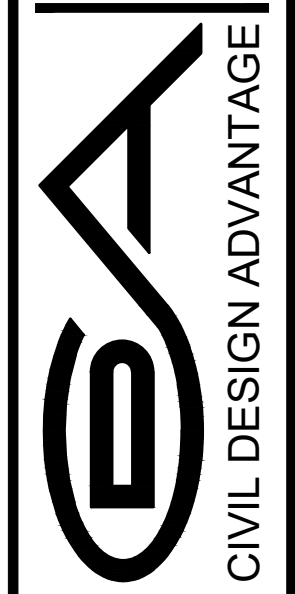
PRAIRIE VILLAGE TOWNHOMES PLAT 1
 GRADING PLAN



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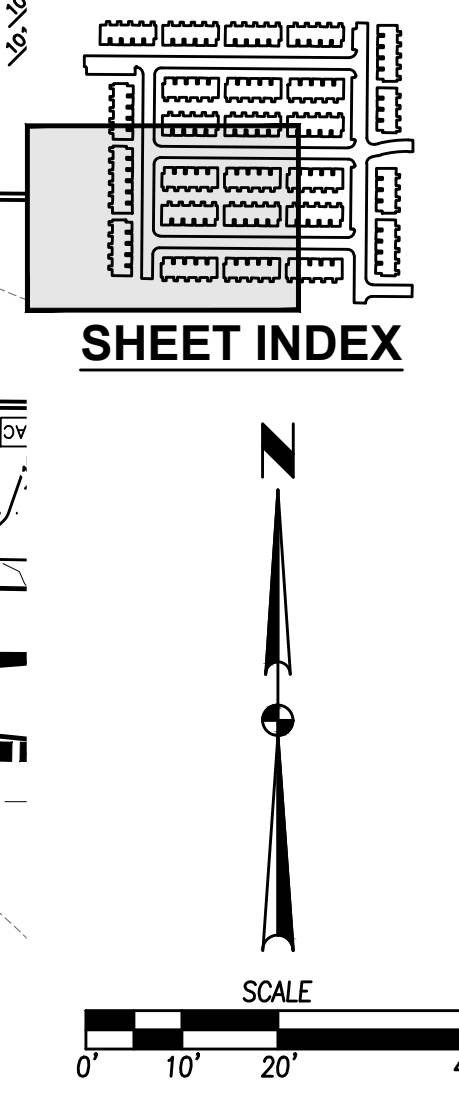
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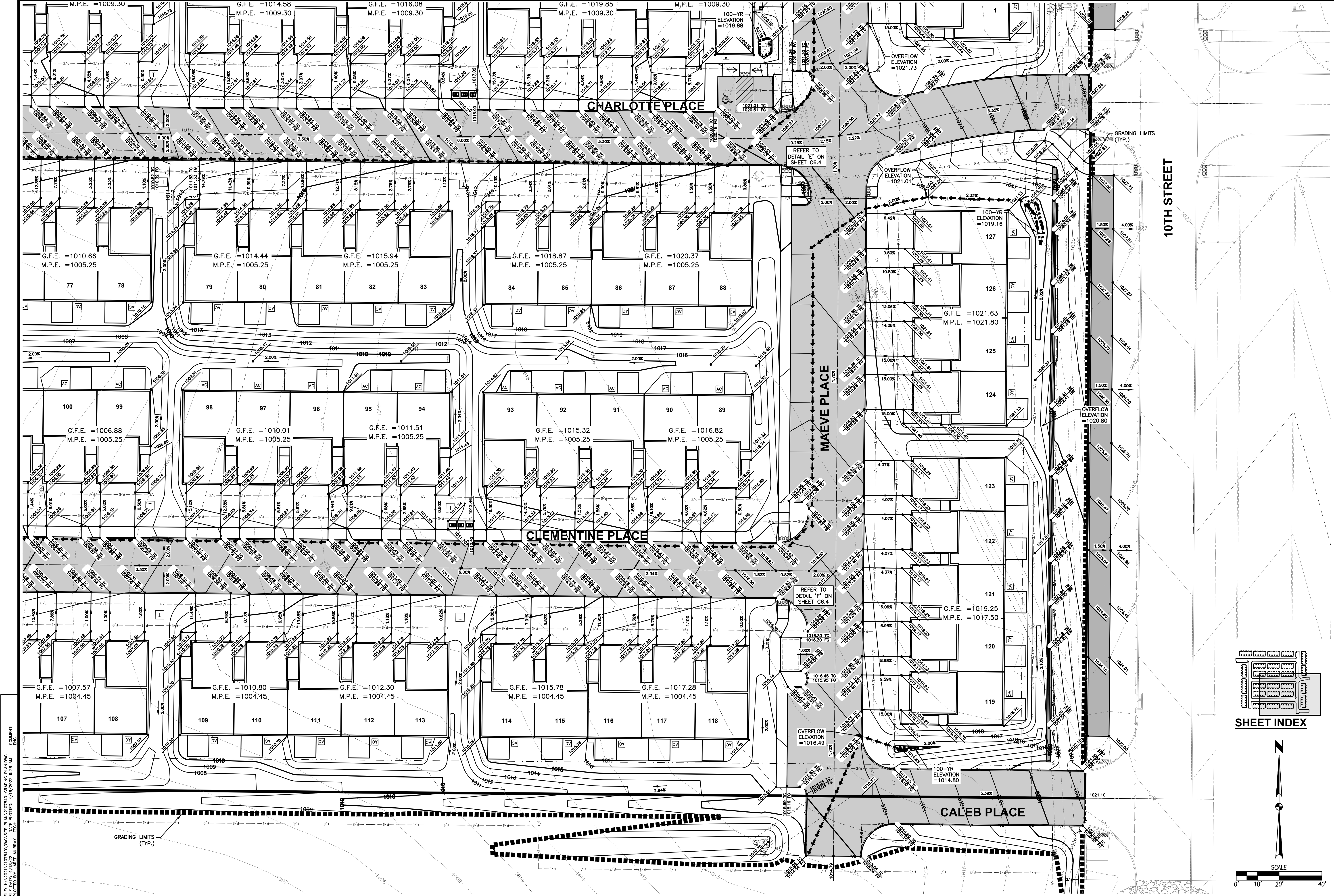


CIVIL DESIGN ADVANTAGE
 WAUKEE, IOWA

PRAIRIE VILLAGE TOWNHOMES PLAT 1
 GRADING PLAN

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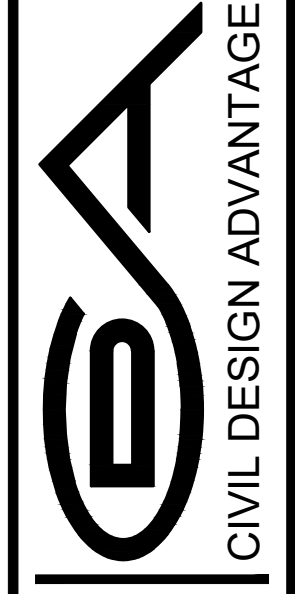




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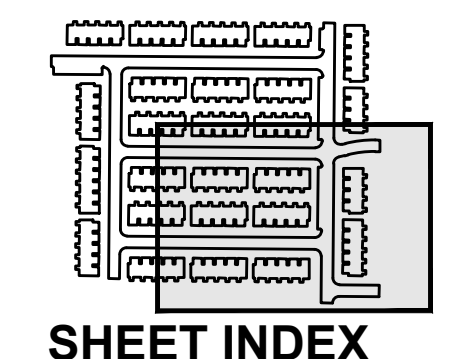
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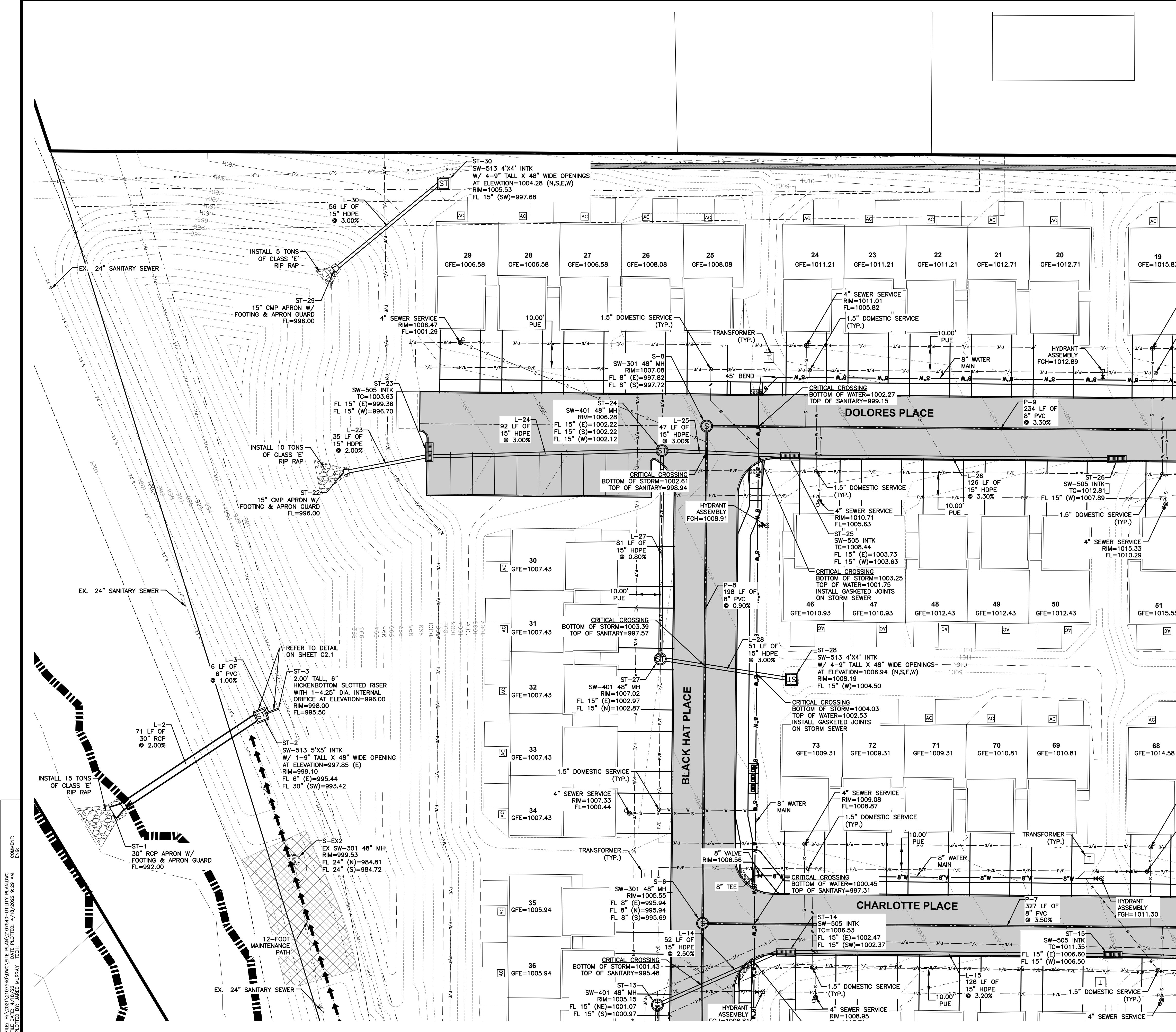


WAUKEE, IOWA
 CIVIL DESIGN ADVANTAGE

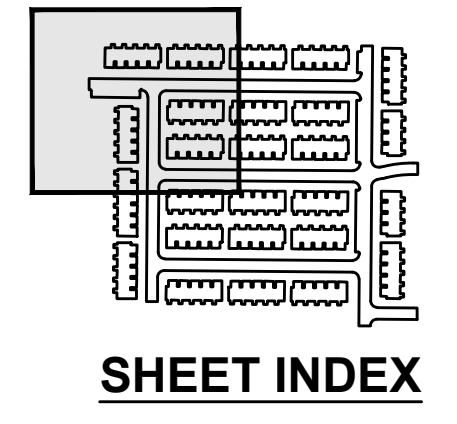
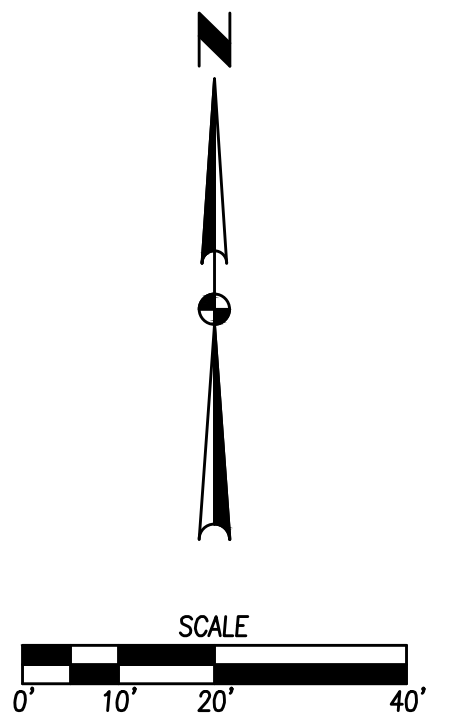
PRAIRIE VILLAGE TOWNHOMES PLAT 1
GRADING PLAN

C6.3
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- ### UTILITY NOTES
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
 - FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
 - PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
 - BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2022 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND THE 2020 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS. MAINTAIN A MINIMUM OF 6.5' COVER OVER ALL WATERMAINS.
 - ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
 - ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES. INSTALL CHIMNEY SEALS ON ANY ADJUSTED MANHOLES. ALL PROPOSED SANITARY MANHOLES ARE TO UTILIZE A TYPE 'B' CASTING.
 - ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
 - 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
 - MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
 - WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
 - ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE 2020 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
 - PRIVATE UTILITIES TO BE INSTALLED PER THE 2020 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE LATEST VERSION OF THE UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS. ALL APPLICABLE UTILITY COMPANIES SHALL BE CONTACTED 48 HOURS PRIOR TO ANY WORK BEING STARTED.
 - OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE DETENTION FACILITIES AND PRIVATE UTILITIES. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SEDIMENT CONTROLS AT ALL PERMANENT STORM SEWER INLETS. DROP DOWN INLET PROTECTION IS REQUIRED FOR PUBLIC STREETS.
 - CONTRACTOR SHALL TEST AND INSPECT ALL PROPOSED STORM SEWER, WATERMAIN AND SANITARY SEWER. THE CITY OF WAUKEE ENGINEERING DEPARTMENT IS REQUIRED TO WITNESS TESTING. ALL TESTING SHALL BE COMPLETED MEETING CITY OF WAUKEE STANDARDS.
 - ALL UTILITY TIE-INS TO EXISTING PUBLIC UTILITIES SHOULD BE COORDINATED WITH THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
 - ALL PRIVATE AND PUBLIC SANITARY SEWER AND STORM SEWER PIPES SHALL BE CLEANED OUT AND TESTED PRIOR TO PAVING. ALL SANITARY MANHOLES SHALL BE VACUUM TESTED. A HARD COPY OF THE REPORT AND VIDEO SHALL BE PROVIDED TO THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
 - ALL CONNECTIONS TO EXISTING SANITARY SEWER MANHOLES SHALL BE CORE DRILLED AND A LINK SEAL SHALL BE USED FOR THE CONNECTION.
 - IT IS THE OWNER'S RESPONSIBILITY TO COORDINATE IRRIGATION AND METER PITS WITH THE WAUKEE PUBLIC WORKS DEPARTMENT.
 - ALL HYDRANTS SHALL HAVE 5-INCH STORZ FITTINGS.
 - COORDINATE INSTALLATION OF UTILITIES AND PAVING WITH SURROUNDING PROPERTIES.
 - PROVIDE GASKETED JOINTS IN STORM SEWER AT WATER MAIN CROSSINGS.
 - ALL UTILITIES ARE PRIVATE.



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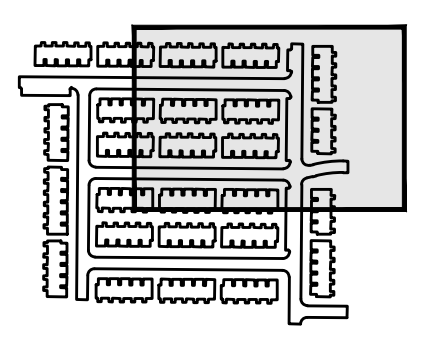
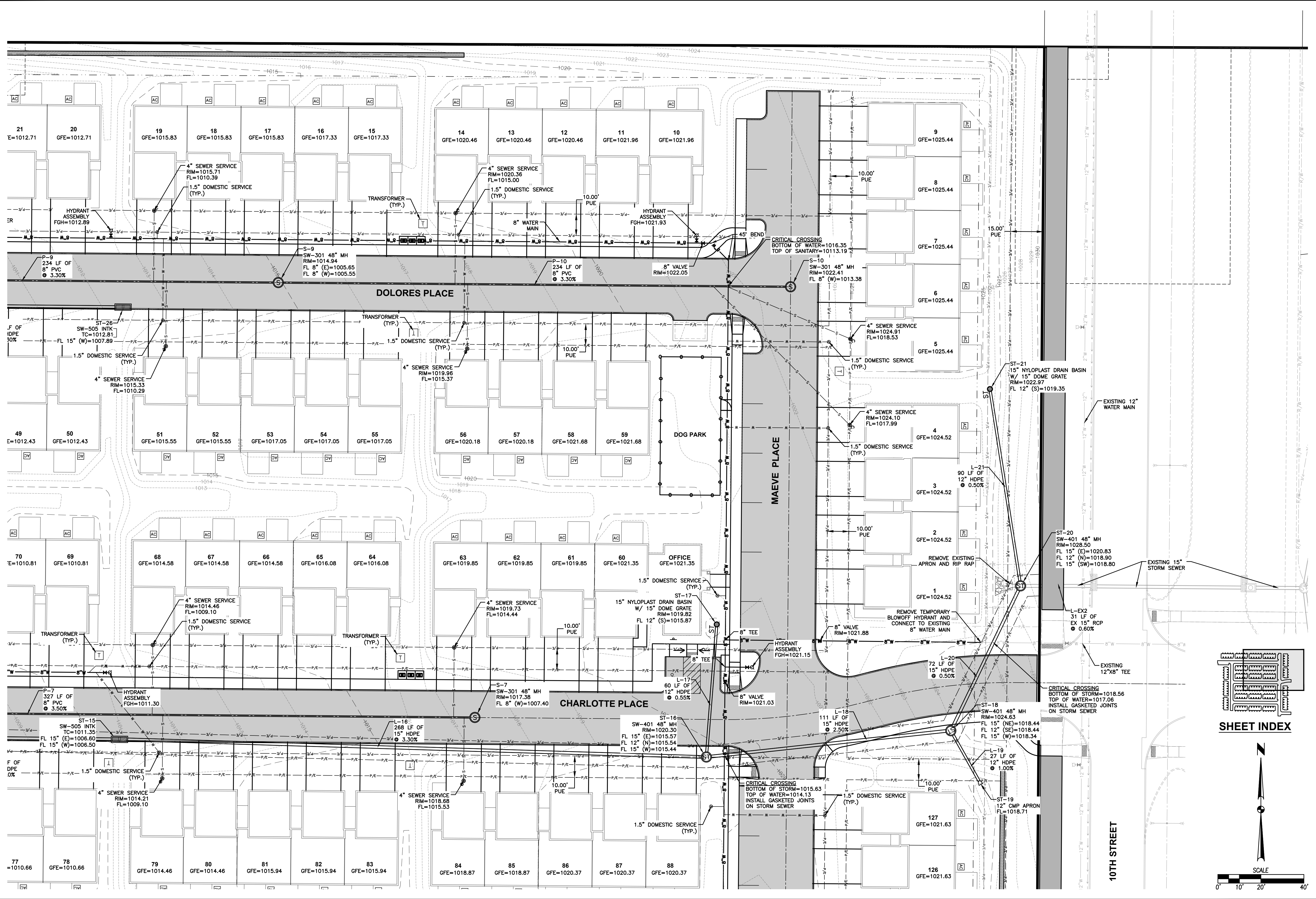
CIVIL DESIGN ADVANTAGE
ENGINEER: JMM
TECH: CWO

WAUKEE, IOWA

PRAIRIE VILLAGE TOWNHOMES PLAT 1
UTILITY PLAN

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ES&A
 CIVIL DESIGN ADVANTAGE
 WAUKEE, IOWA

PRAIRIE VILLAGE TOWNHOMES PLAT 1
UTILITY PLAN

C7.1
 2107.540

ENGINEER: JMM



INSTALL 15 TONS OF CLASS 'E' RIP RAP

ST-1
30" RCP APRON W/ FOOTING & APRON GUARD
FL=992.00

S-EX2
EX SW-301 48" MH
RIM=999.53
FL 24" (N)=984.81
FL 24" (S)=984.72

12-FOOT MAINTENANCE PATH

EX. 24" SANITARY SEWER

INSTALL 15 TONS OF CLASS 'E' RIP RAP

30" CMP APRON W/ FOOTING & APRON GUARD
FL=996.68

ST-4
71 LF OF 30" HDPE
@ 0.40%

P-EX2B
333 LF OF EX 24" PVC
@ 0.44%

ST-5
SW-401 60" MH
RIM=1000.60
FL 30" (E)=997.06
FL 30" (N)=996.96

SW-401 48" MH
RIM=1002.27
FL 15" (E)=997.77
FL 15" (S)=997.77
FL 18" (N)=997.67

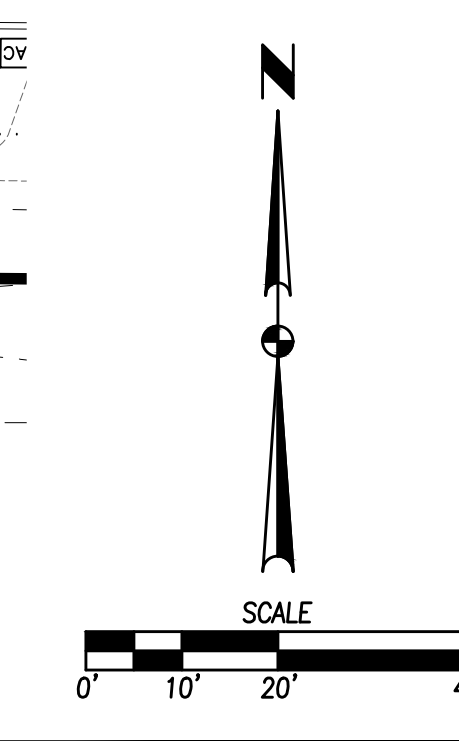
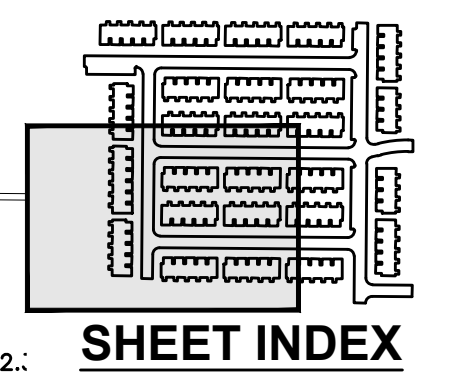
ST-7
SW-401 48" MH
RIM=1002.27
FL 15" (E)=997.77
FL 15" (S)=997.77
FL 18" (N)=997.67

ST-10
SW-401 48" MH
RIM=1002.87
FL 15" (SE)=998.16
FL 15" (N)=998.06

ST-1
SW-303 48" MH
RIM=998.46
FL 24" (N)=983.26 (VERIFY)
FL 8" (E)=984.33
FL 24" (S)=983.26 (VERIFY)

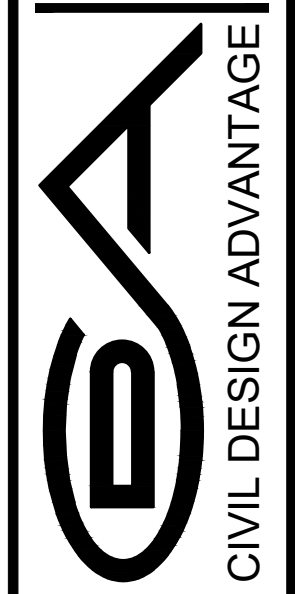
P-EX2A
162 LF OF EX 24" PVC
@ 0.44%

ST-10A
SW-513 4'x4' INTK W/ 4-9" TALL X 48" WIDE OPENINGS AT ELEVATION=1002.77 (N,S,E,W)
RIM=1004.02
FL 15" (NW)=998.40



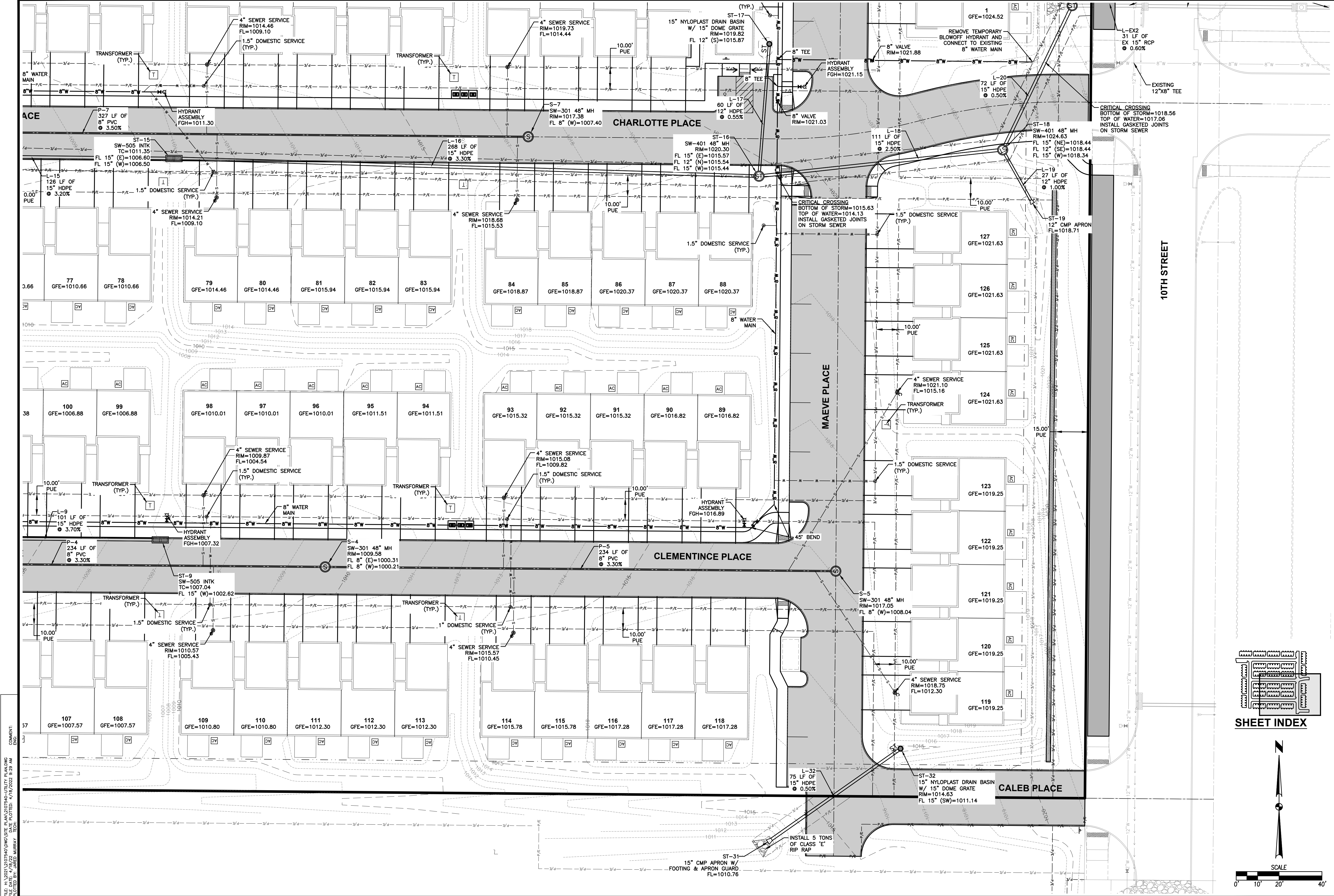
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|------------|---------------|
| 04/18/2022 | 4TH SUBMITTAL |
| 03/28/2022 | 3RD SUBMITTAL |
| 02/11/2022 | 2ND SUBMITTAL |
| 01/17/2022 | 1ST SUBMITTAL |

4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400 FAX: (515) 369-4410
TECH: CWO

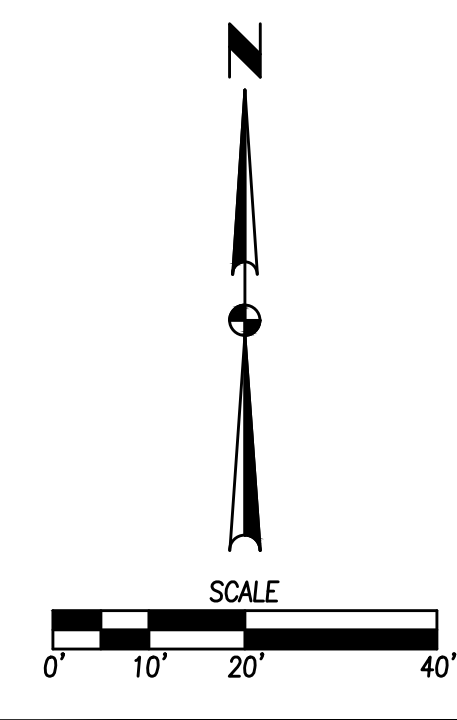
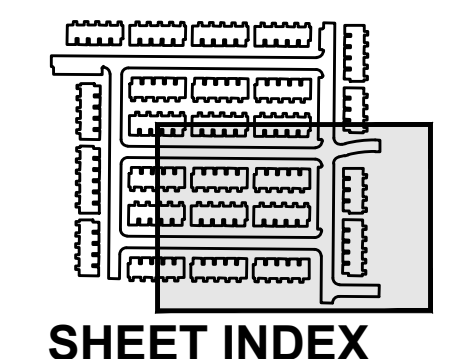


CIVIL DESIGN ADVANTAGE
ENGINEER: JMM
WAUKEE, IOWA

PRAIRIE VILLAGE TOWNHOMES PLAT 1
UTILITY PLAN
C7.2
2107.540

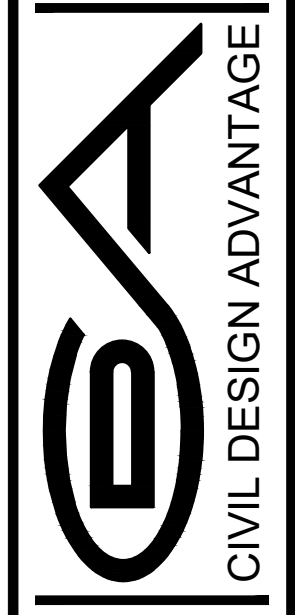


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 PLOTTED BY: AMARU MURRAY
 DATE: 4/18/2022 9:29 AM



| DATE | REVISIONS |
|------------|---------------|
| 04/18/2022 | 4TH SUBMITTAL |
| 03/28/2022 | 3RD SUBMITTAL |
| 02/11/2022 | 2ND SUBMITTAL |
| 01/17/2022 | 1ST SUBMITTAL |

4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 TECH: CWO



WAUKEE, IOWA
 CIVIL DESIGN ADVANTAGE
 ENGINEER: JMM

UTILITY PLAN

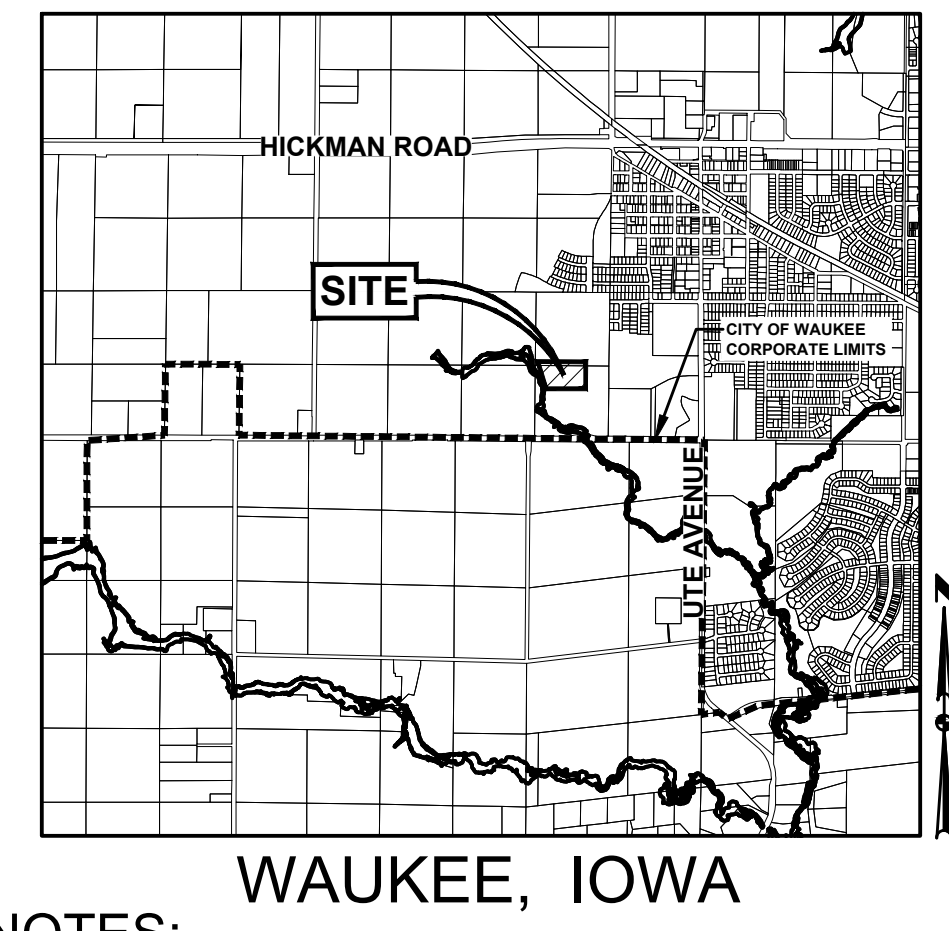
PRAIRIE VILLAGE TOWNHOMES PLAT 1

C7.3

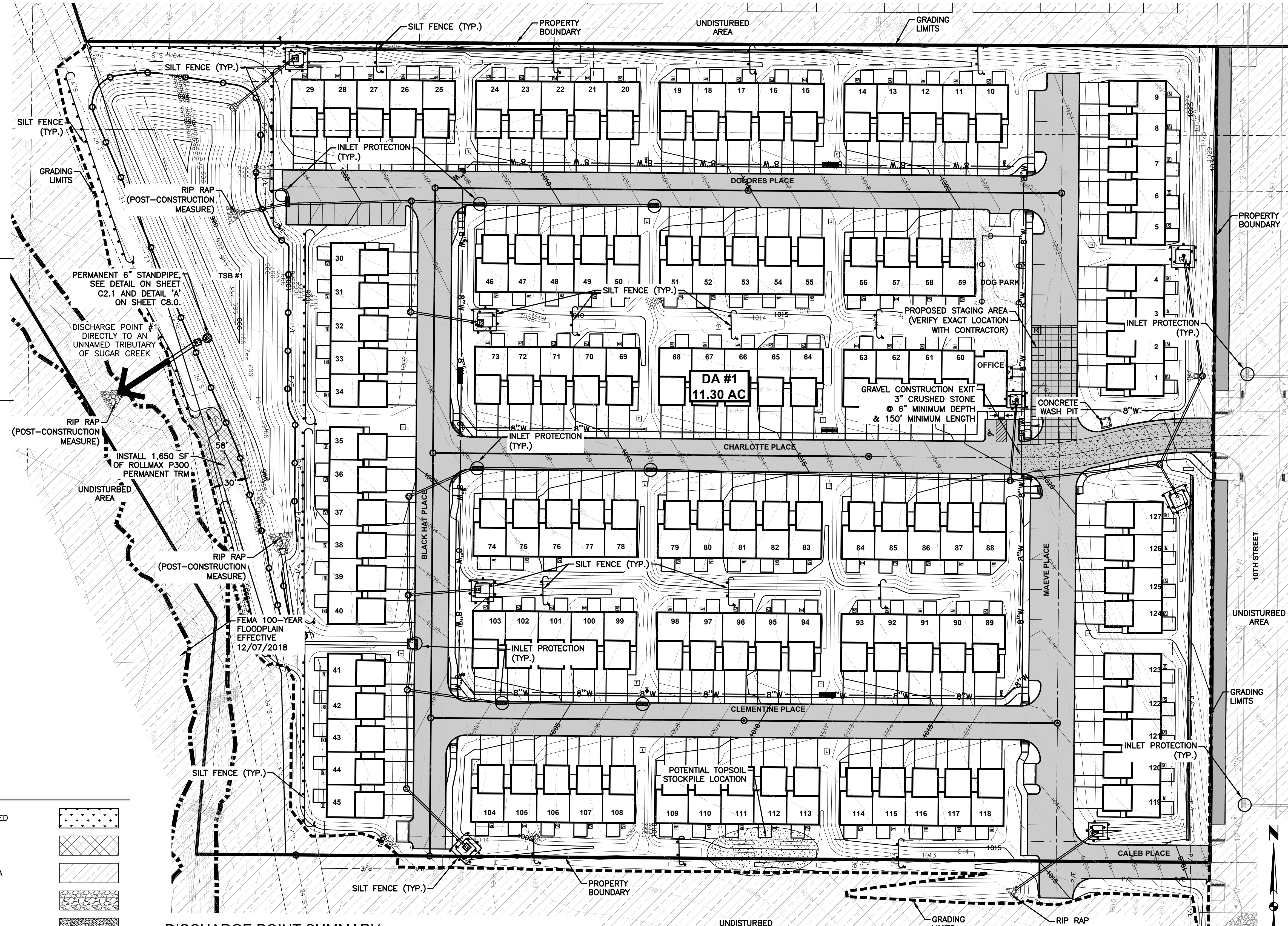
2107.540

PRAIRIE VILLAGE TOWNHOMES PLAT 1

VICINITY MAP
NOT TO SCALE



EROSION AND SEDIMENT CONTROL PLAN

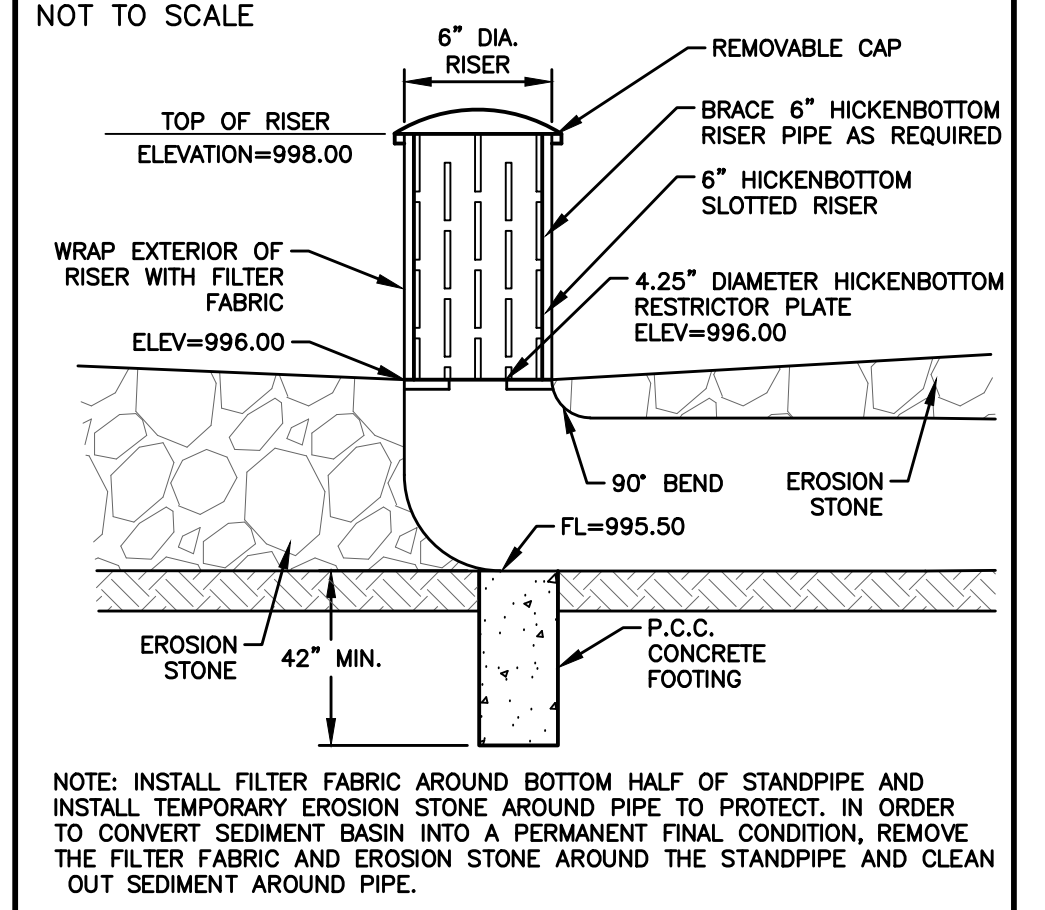


- NOTES:**
- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
 - DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
 - STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.
 - SHOULD A TEMPORARY SEED MIX BE REQUIRED TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENTS IT SHALL BE A SUDAS TYPE 4 TEMPORARY SEED MIX.

STABILIZATION QUANTITIES

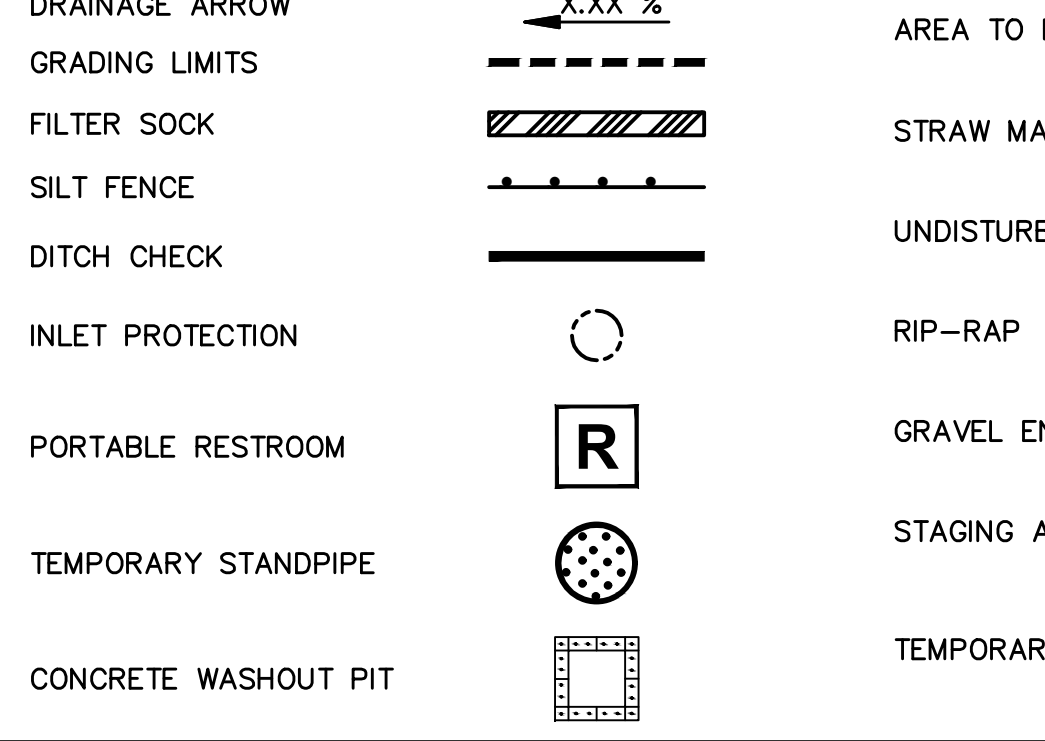
| ITEM NO. | ITEM | UNIT | TOTAL |
|----------|------------------------------------|------|-------|
| 1 | SILT FENCE | LF | 2,463 |
| 2 | SEEDING, FERTILIZING, AND MULCHING | AC | 4.62 |
| 3 | INLET PROTECTION DEVICES | EA | 7 |
| 4 | CONCRETE WASHOUT PIT | EA | 1 |
| 5 | 6" HDPE PERMANENT STANDPIPE | EA | 1 |
| 6 | SOD | AC | 4.62 |

PERMANENT STAND PIPE DETAIL - ST-3



NOTE: INSTALL FILTER FABRIC AROUND BOTTOM HALF OF STANDPIPE AND INSTALL TEMPORARY EROSION STONE AROUND PIPE TO PROTECT. IN ORDER TO CONVERT SEDIMENT BASIN INTO A PERMANENT FINAL CONDITION, REMOVE THE FILTER FABRIC AND EROSION STONE AROUND THE STANDPIPE AND CLEAN OUT SEDIMENT AROUND PIPE.

DETAIL 'A'



DISCHARGE POINT SUMMARY

| | |
|--|---------------|
| DISCHARGE POINT #1 DIRECTLY TO AN UNNAMED TRIBUTARY OF SUGAR CREEK | |
| TOTAL AREA DISTURBED TO DISCHARGE POINT | 11.30 ACRES |
| STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT) | 40,680 CU FT |
| VOLUME PROVIDED IN SILT FENCE (2,463 LF @ 10.0 CU FT/LF OF FENCE) | 24,630 CU FT |
| VOLUME PROVIDED IN TSB #1 | 83,615 CU FT |
| TOTAL VOLUME PROVIDED | 108,245 CU FT |

DATE: 04/18/2022, 03/28/2022, 02/11/2022, 01/17/2022

REVISIONS: 4TH SUBMITTAL, 3RD SUBMITTAL, 2ND SUBMITTAL, 1ST SUBMITTAL

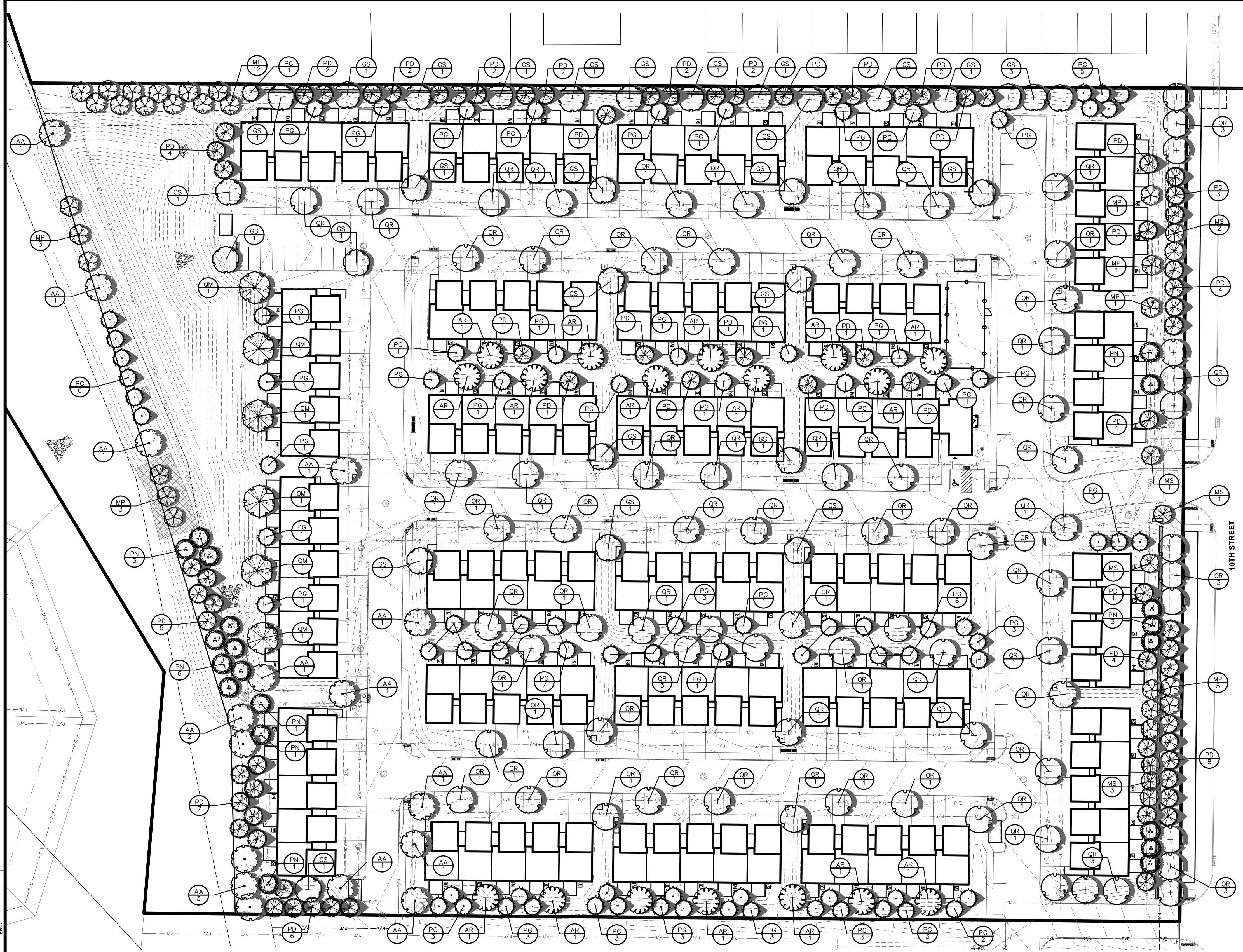
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PHONE: (515) 369-4400 FAX: (515) 369-4410

TECH: CWO
ENGINEER: JMM

ES&A
CIVIL DESIGN ADVANTAGE

PRAIRIE VILLAGE TOWNHOMES PLAT 1
EROSION AND SEDIMENT CONTROL PLAN
WAUKEE, IOWA

C8.0
2107.540



LANDSCAPE NOTES

- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
- THE 2022 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, AND THE 2020 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
- ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
- SOD ALL DISTURBED AREAS.
- BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
- WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
- SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
- ALL EDGING SHALL BE SPADE CUT EDGE.
- PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
- ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
- CONTRACTOR SHALL WARRANT ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

MINIMUM PLANTING REQUIREMENTS

- MINIMUM SIZE: THE MINIMUM SIZE FOR REQUIRED PLANTINGS, OTHER THAN THOSE IN REQUIRED BUFFERS, SHALL BE AS FOLLOWS:
 - A. DECIDUOUS OVERSTORY TREES SHALL BE A MINIMUM OF EIGHT (8) FEET IN HEIGHT.
 - B. EVERGREEN TREES SHALL BE A MINIMUM OF SIX (6) FEET IN HEIGHT.
 - C. DECIDUOUS ORNAMENTAL TREES SHALL BE A MINIMUM OF SIX (6) FEET IN HEIGHT.
- MINIMUM QUANTITY: THE MINIMUM NUMBER OF PLANTINGS PER SITE SHALL BE AS FOLLOWS:
 - A. A MINIMUM OF FIFTY PERCENT (50%) OF ALL REQUIRED TREES SHALL BE OVERSTORY SHADE TREES.
 - B. FOR ALL USES EXCEPT SINGLE-FAMILY ATTACHED AND DETACHED RESIDENTIAL DWELLINGS, A MINIMUM OF TWENTY FIVE PERCENT (25%) OF ALL REQUIRED TREES SHALL BE EVERGREEN TREES.

OPEN SPACE LANDSCAPE REQUIREMENTS

REQUIRED: 254 TREES
2 TREES PER UNIT (127)

PROVIDED: 254 TREES

| PLANT SCHEDULE WEST BUFFER | | | | |
|----------------------------|-------------|------------------------|------------------------------------|--------------------|
| EVERGREEN TREES | QTY | COMMON NAME | BOTANICAL NAME | CONDITION AND SIZE |
| PD | 12 | Douglas Fir | <i>Pseudotsuga menziesii</i> | B&B, 6' HEIGHT |
| PG | 6 | Colorado Blue Spruce | <i>Picea pungens 'Glauca'</i> | B&B, 6' HEIGHT |
| ORNAMENTAL TREES | | | | |
| QTY | COMMON NAME | BOTANICAL NAME | CONDITION AND SIZE | |
| MP | 6 | Prairifire Crab Apple | <i>Malus x 'Prairifire'</i> | B&B, 6' HEIGHT |
| PN | 12 | Newport Flowering Plum | <i>Prunus cerasifera 'Newport'</i> | B&B, 6' HEIGHT |
| OVERSTORY TREES | | | | |
| QTY | COMMON NAME | BOTANICAL NAME | CONDITION AND SIZE | |
| AA | 9 | Autumn Blaze Red Maple | <i>Acer rubrum 'Autumn Blaze'</i> | B&B, 8' HEIGHT |

| PLANT SCHEDULE EAST BUFFER | | | | | |
|----------------------------|-------------------------|--|--------------------|--|--|
| EVERGREEN TREES | QTY | BOTANICAL / COMMON NAME | CONDITION AND SIZE | | |
| PD | 24 | <i>Pseudotsuga menziesii</i> Douglas Fir | B&B, 6' HEIGHT | | |
| PG | 1 | <i>Picea pungens 'Glauca'</i> Colorado Blue Spruce | B&B, 6' HEIGHT | | |
| ORNAMENTAL TREES | | | | | |
| QTY | BOTANICAL / COMMON NAME | CONDITION AND SIZE | | | |
| MP | 8 | <i>Malus x 'Prairifire'</i> Prairifire Crab Apple | B&B, 6' HEIGHT | | |
| MS | 8 | <i>Malus x 'Spring Snow'</i> Spring Snow Crab Apple | B&B, 6' HEIGHT | | |
| PN | 8 | <i>Prunus cerasifera 'Newport'</i> Newport Flowering Plum | B&B, 6' HEIGHT | | |
| OVERSTORY TREES | | | | | |
| QTY | BOTANICAL / COMMON NAME | CONDITION AND SIZE | | | |
| QR | 12 | <i>Quercus rubra</i> Red Oak | B&B, 8' HEIGHT | | |

| PLANT SCHEDULE OPEN SPACE | | | | | |
|---------------------------|-------------------------|--|--------------------|--|--|
| EVERGREEN TREES | QTY | BOTANICAL / COMMON NAME | CONDITION AND SIZE | | |
| PD | 38 | <i>Pseudotsuga menziesii</i> Douglas Fir | B&B, 6' HEIGHT | | |
| PG | 78 | <i>Picea pungens 'Glauca'</i> Colorado Blue Spruce | B&B, 6' HEIGHT | | |
| ORNAMENTAL TREES | | | | | |
| QTY | BOTANICAL / COMMON NAME | CONDITION AND SIZE | | | |
| MP | 12 | <i>Malus x 'Prairifire'</i> Prairifire Crab Apple | B&B, 6' HEIGHT | | |
| OVERSTORY TREES | | | | | |
| QTY | BOTANICAL / COMMON NAME | CONDITION AND SIZE | | | |
| AA | 7 | <i>Acer rubrum 'Autumn Blaze'</i> Autumn Blaze Red Maple | B&B, 8' HEIGHT | | |
| AR | 17 | <i>Acer rubrum</i> Red Maple | B&B, 8' HEIGHT | | |
| GS | 29 | <i>Gleditsia triacanthos 'Skyline'</i> Skyline Honey Locust | B&B, 8' HEIGHT | | |
| QM | 6 | <i>Quercus macrocarpa</i> Burr Oak | B&B, 8' HEIGHT | | |
| QR | 67 | <i>Quercus rubra</i> Red Oak | B&B, 8' HEIGHT | | |

AC CONDENSER UNIT
T ELECTRICAL TRANSFORMER

SCREENING
ALL GROUND MOUNTED MECHANICAL UNITS TO BE ADEQUATELY SCREENED FROM PUBLIC VIEW.

PROVIDED:
ALL LOCATIONS ARE SCREENED WITH A 25' LANDSCAPE BUFFER, FROM PUBLIC VIEW.

25' BUFFER REQUIREMENTS (EAST)

BUFFER MATERIAL REQUIREMENTS (PER 50 LINEAR FEET OF BUFFER)
1 OVERSTORY, 2 EVERGREEN, AND 2 ORNAMENTAL

BUFFER LENGTH = 582'

REQUIRED:
OVERSTORY TREES = 12
EVERGREEN TREES = 24
ORNAMENTAL TREES = 24

PROVIDED:
OVERSTORY TREES = 12
EVERGREEN TREES = 24
ORNAMENTAL TREES = 24

25' BUFFER REQUIREMENTS (SOUTHWEST)

BUFFER MATERIAL REQUIREMENTS (PER 50 LINEAR FEET OF BUFFER)
1 OVERSTORY, 2 EVERGREEN, 2 ORNAMENTAL TREES

BUFFER LENGTH = 271'

REQUIRED:
OVERSTORY TREES = 6
EVERGREEN TREES = 12
ORNAMENTAL TREES = 12

PROVIDED:
OVERSTORY TREES = 6
EVERGREEN TREES = 12
ORNAMENTAL TREES = 12

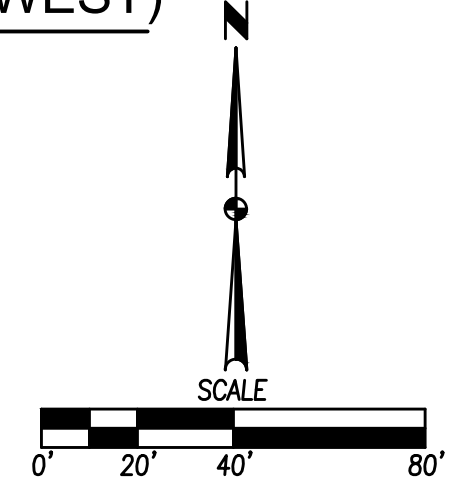
25' BUFFER REQUIREMENTS (NORTHWEST)

BUFFER MATERIAL REQUIREMENTS (PER 50 LINEAR FEET OF BUFFER)
0.33 OVERSTORY, 0.66 EVERGREEN AND 0.66 ORNAMENTAL TREES

BUFFER LENGTH = 368'

REQUIRED:
OVERSTORY TREES = 3
EVERGREEN TREES = 6
ORNAMENTAL TREES = 6

PROVIDED:
OVERSTORY TREES = -
EVERGREEN TREES = -
ORNAMENTAL TREES = 1



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 DATE: 4/18/2024
 XXXX2024

ES&A
 CIVIL DESIGN ADVANTAGE
 WAUKEE, IOWA
PRAIRIE VILLAGE TOWN HOMES PLAT 1
LANDSCAPE PLAN
 3405 S.E. CROSSROADS DRIVE, SUITE G
 GRIMES, IOWA 50111
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 TECH: JDS
 ENGINEER: JMM
C9.0
 2107.540