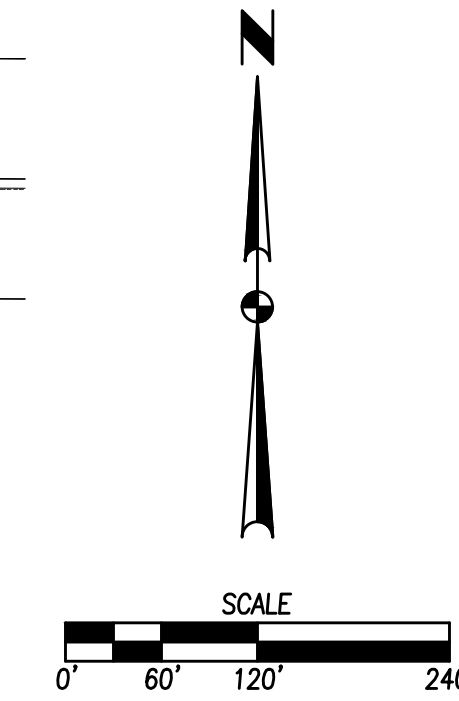
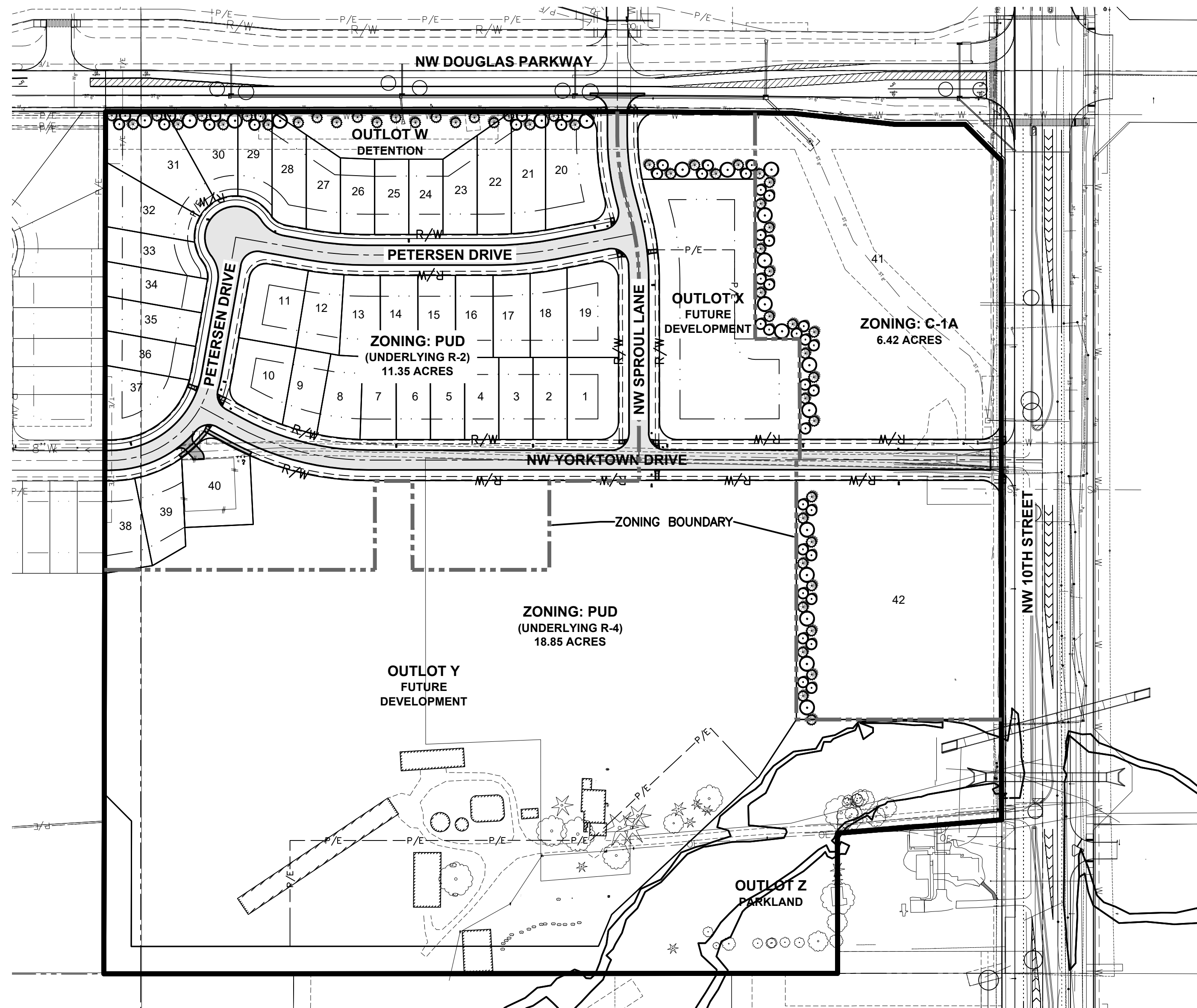
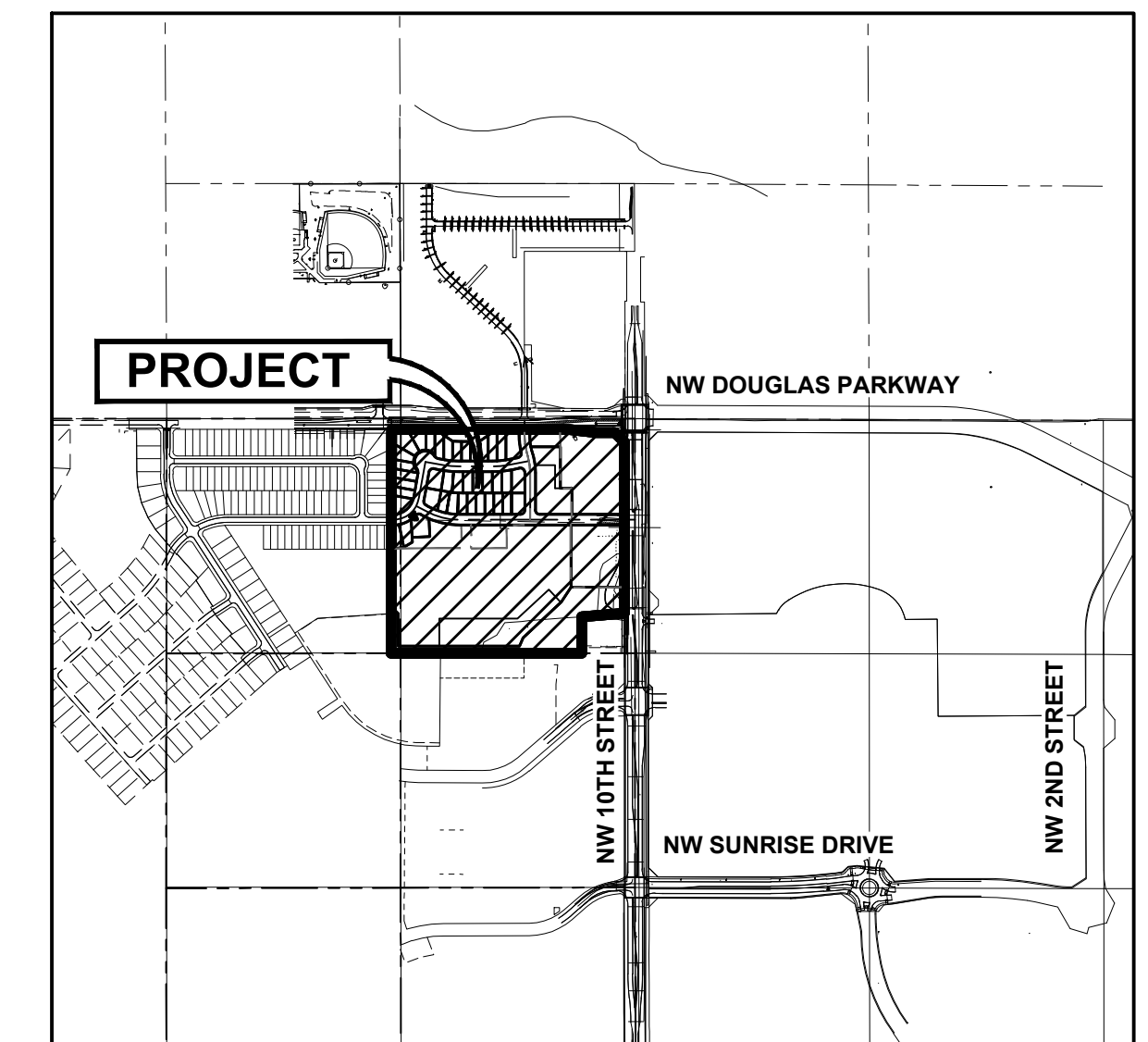


PRELIMINARY PLAT FOR: ALDER POINT WAUKEE, IOWA

VICINITY MAP



DATE	5/03/2022
REVISIONS	THIRD SUBMITTAL SECOND SUBMITTAL FIRST SUBMITTAL
4/19/2022	4/05/2022

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

TECH:
ENGINEER:

WAUKEE, IOWA

ALDER POINT
PRELIMINARY PLAT

1 / 5
2108.640

OWNER/DEVELOPER

HRC ALDER POINT, LLC
CONTACT: STEVE MOSELEY
6900 WESTOWN PARKWAY
WEST DES MOINES, IOWA 50266
PH: (515) 283-5190

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
CONTACT: EMILY HARDING
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
PH: (515) 369-4400

DATE OF SURVEY

DECEMBER 2021

ZONING

PD-1 (BK 2021, PG 34684)
C-1A, R-2/PD-1
AND R-4/PD-1

PARKLAND DEDICATION

PARKLAND REQUIRED:
SINGLE FAMILY: 39 UNITS * 3
PERSONS/UNIT * 6.5 ACRES/1000
PEOPLE = 0.76 AC

PARKLAND PROVIDED: 3.59 AC (OUTLOT Z)
* EXCESS PARKLAND PROVIDED SHALL BE
USED TO SATISFY PARKLAND DEDICATION
REQUIREMENT FOR OUTLOTS X & Y WHEN
THEY ARE DEVELOPED.

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED
FROM FIELD SURVEY AND RECORDS OBTAINED
BY THIS SURVEYOR. THE SURVEYOR MAKES NO
GUARANTEE THAT THE UTILITIES SHOWN
COMPRISE ALL THE UTILITIES IN THE AREA,
EITHER IN SERVICE OR ABANDONED. THE
SURVEYOR FURTHER DOES NOT WARRANT THAT
THE UTILITIES SHOWN ARE IN THE EXACT
LOCATION SHOWN.

GENERAL NOTES

- A PRE-CONSTRUCTION MEETING WITH THE CITY OF WAUKEE IS REQUIRED BEFORE CONSTRUCTION.
- ALL SIDEWALKS SHALL BE 5 FEET WIDE UNLESS OTHERWISE NOTED.
- ALL PROPOSED PEDESTRIAN CROSSINGS ARE TO BE INSTALLED AS PART OF PLAT IMPROVEMENTS.
- SIDEWALKS SHALL BE INSTALLED AS PART OF INDIVIDUAL LOT DEVELOPMENT.
- LANDSCAPE BUFFERS ALONG THE NORTH BOUNDARY ARE TO BE INSTALLED WITH PLAT IMPROVEMENTS. LANDSCAPE BUFFERS IN LOTS 41 AND 42 ARE TO BE INSTALLED WHEN THE LOTS ARE DEVELOPED.
- ALL FIELD TILES ENCOUNTERED SHALL BE REPAIRED AND CONNECTED TO STORM SEWERS WHERE POSSIBLE. LOCATIONS SHALL BE PROVIDED TO ENGINEER FOR NOTATION ON AS-BUILTS INCLUDING LOCATION, TYPE OF TILE, & TILE ELEVATION.
- ALL STORM SEWER CROSS RUNS WILL NEED TO BE CONTAINED WITHIN ONE PANEL OF PAVEMENT.
- ALL PUBLIC IMPROVEMENTS SHALL COMPLY WITH THE 2020 WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2022 EDITION OF SUDAS.
- A GEOTECHNICAL REPORT WILL BE REQUIRED WITH THE REVIEW AND APPROVAL OF THE CONSTRUCTION DRAWINGS.
- LOTS NOT ASSIGNED AN MPE, MOE, OR MGS WILL BE REQUIRED TO HAVE A DETAILED GRADING PLAN FOR INDIVIDUAL LOT DEVELOPMENT.
- OUTLOT W IS COVERED BY A DETENTION EASEMENT.

DEVELOPMENT SCHEDULE

BEGIN: SPRING 2022
END: FALL 2022

DEVELOPMENT SUMMARY

PD-1 (BK 2021, PG 34684), C-1A, R-2/PD-1 AND
R-4/PD-1 = 36.62 ACRES (1,595,337 SQUARE FEET)

SUBMITTAL DATES

FIRST SUBMITTAL: 4/05/2022
SECOND SUBMITTAL: 4/19/2022
THIRD SUBMITTAL: 5/03/2022

BULK REGULATIONS

C-1A BULK REGULATIONS (LOTS 41-42)

- 30' FRONT YARD SETBACK
- 30' REAR YARD SETBACK
- NO MINIMUM SIDEYARD, EXCEPT WHEN ADJACENT TO ANY R DISTRICT, THE MINIMUM SIDE YARD SETBACK SHALL BE 30 FEET

PD BULK REGULATIONS

AREA 'A' (UNDERLYING R-2 ONE AND TWO FAMILY RESIDENTIAL DISTRICT) (LOTS 1-40)

- 50' MINIMUM LOT WIDTH
- 30' FRONT YARD SETBACK
- 25' REAR YARD SETBACK
- 10' SIDE YARD SETBACK (5' MIN. ON ONE SIDE)
- 5,500 SF MINIMUM LOT AREA
- MINIMUM TWO STALL ATTACHED GARAGE
- MINIMUM OF 15% BRICK AND/OR STONE ON FRONT YARD, STREET-FACING FACADES
- VINYL SIDING SHALL BE PERMITTED UTILIZING A 0.042-INCH MINIMUM THICKNESS
- ADJACENT LOTS CANNOT SHARE THE SAME ELEVATION
- MINIMUM OF TWO TREES AND TWO SHRUBS PER LOT AT TIME OF LOT DEVELOPMENT
- LOTS 37-44 CANNOT BE PLATTED UNTIL THE EXISTING CELL TOWER IS REMOVED

- MINIMUM SQUARE FOOTAGE OF HOMES
- 1,100 SF FOR SINGLE STORY
- 1,400 SF FOR TWO-STORY

AREA 'B' (UNDERLYING R-4 ROW DWELLING & TOWNHOME DWELLING DISTRICT) (OUTLOTS X & Y)

- PERIMETER SETBACK: - 30'
- INTERNAL SETBACKS: - 30' FROM PUBLIC STREET ROW
- 25' FRONT SETBACK FROM PRIVATE STREET BACK OF CURB
- 15' SIDE SETBACK FROM PRIVATE STREET BACK OF CURB

INTERNAL BUILDING SEPARATION:

- 12' (SIDE TO SIDE)
- 30' (BACK TO BACK)
- 20' (BACK TO SIDE)

NOTES:

- DENSITY: 12 UNITS/ACRES MAX.
- MINIMUM TWO STALL ATTACHED GARAGE
- MINIMUM OF 20% BRICK AND/OR STONE ON FRONT YARD, STREET-FACING FACADES
- VINYL SIDING SHALL BE PERMITTED UTILIZING A 0.042-INCH MINIMUM THICKNESS
- ADJACENT BUILDINGS CANNOT SHARE THE SAME COLOR SCHEME
- ATTACHED AND DETACHED TOWNHOME UNITS ARE ALLOWED
- A LANDSCAPE BUFFER IS NOT REQUIRED FOR TOWNHOME UNITS THAT ARE ACROSS A PUBLIC STREET FROM SINGLE FAMILY LOTS

LEGAL DESCRIPTION

PARCEL "A" OF THE SURVEY OF THE NE 1/4 NE 1/4 SECTION 29, TOWNSHIP 79 NORTH, RANGE 26 WEST OF THE 5TH P.M., AS SHOWN IN BOOK 2003, PAGE 59, IN THE OFFICE OF THE RECORDER OF WAUKEE, DALLAS COUNTY, IOWA, EXCEPT TRACT "A" THEREOF AS SHOWN IN BOOK 2003, PAGE 58; AND

THE EAST 1370.0 FEET OF THE NORTH 1319.28 FEET, AS MEASURED ON THE EAST LINE THEREOF OF THE NORTHEAST 1/4 OF SECTION 29, TOWNSHIP 79 NORTH, RANGE 26 WEST OF THE 5TH P.M., WAUKEE, DALLAS COUNTY, IOWA EXCEPT PARCEL "A" AS SHOWN ON SURVEY IN BOOK 2003, PAGE 59; EXCEPT TRACT "A", TRACT "B" AND PARCEL "B" AS SHOWN IN BOOK 2003, PAGE 58; AND EXCEPT PARCEL 20-98 AS SHOWN ON SURVEY IN BOOK 2021, PAGE 13204; AND

TRACT "A" OF THE NE 1/4 OF THE NE 1/4 OF SECTION 29, TOWNSHIP 79 NORTH, RANGE 26 WEST OF THE 5TH P.M., WAUKEE, AS SHOWN IN BOOK 2003, PAGE 58 IN THE OFFICE OF THE RECORDER OF DALLAS COUNTY, IOWA; AND

EXCEPT LAND DEEDED TO THE CITY OF WAUKEE IN BOOK 2019, PAGE 24588.

LEGEND

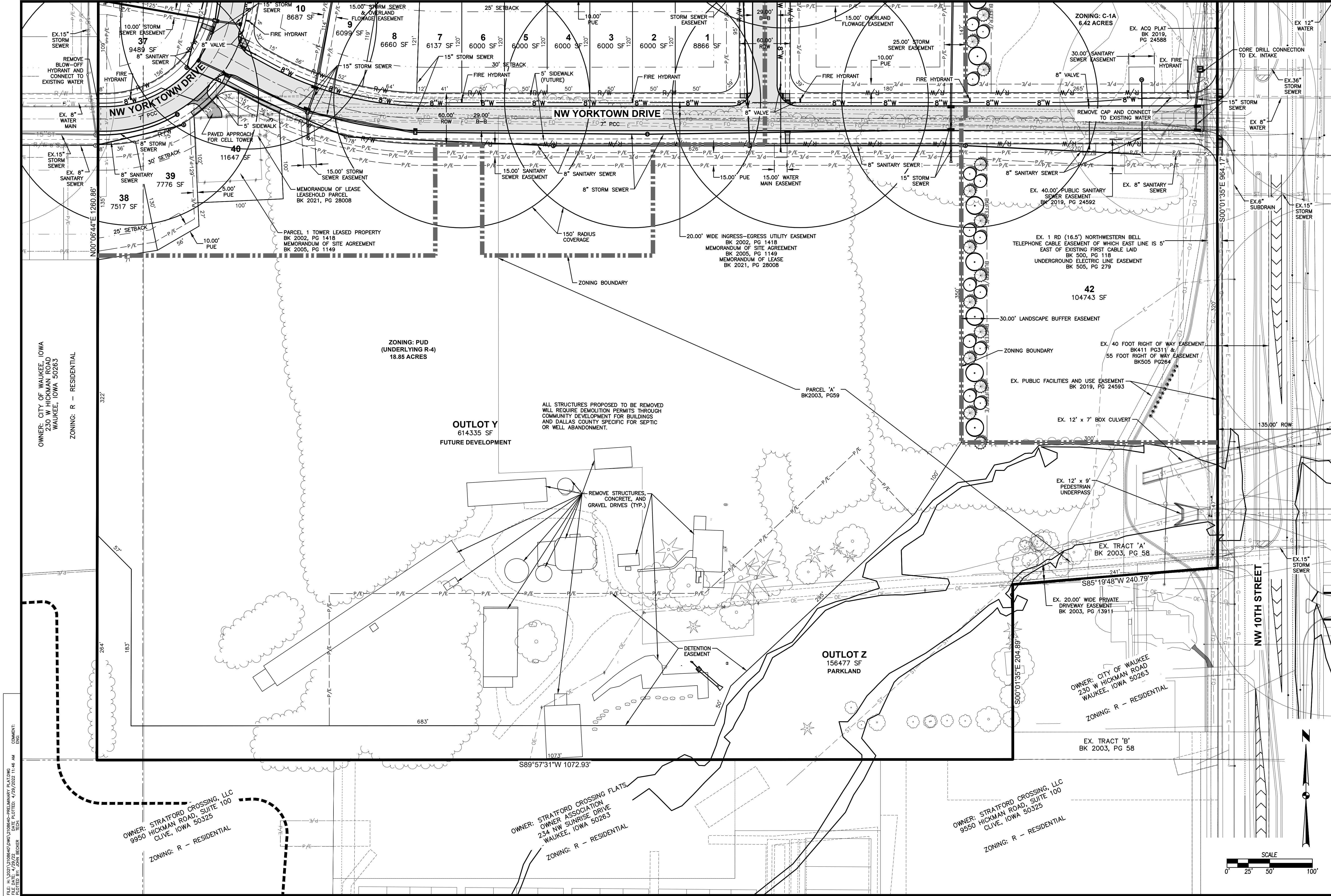
	FOUND	SET
SECTION CORNER AS NOTED	▲	△
1/2" REBAR, YELLOW CAP #16747 (UNLESS OTHERWISE NOTED)	●	○
5/8" REBAR (UNLESS OTHERWISE NOTED)	●	○
PLATTED BEARING & DISTANCE	P	
MEASURED BEARING & DISTANCE	M	
RECORDED BEARING & DISTANCE	R	
DEEDED BEARING & DISTANCE	D	
MINIMUM OPENING ELEVATION	MOE	
MINIMUM GRADE AT STRUCTURE	MGS	
PUBLIC UTILITY EASEMENT	P.U.E.	
CENTERLINE	---	
SECTION LINE	---	
EASEMENT LINE	---	

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

PRELIMINARY
NOT FOR CONSTRUCTION

EMILY N. HARDING, P.E.
19972
LICENSE NUMBER 19972
DATE 4/19/2022
DATE IS DECEMBER 31, 2023
PAGES 5 SHEETS COVERED BY THIS SEAL:
ALL SHEETS

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PLOT: 4/19/2022 11:45 AM
DRAWN BY: EMILY HARDING
CHECKED BY: GARY BECKER

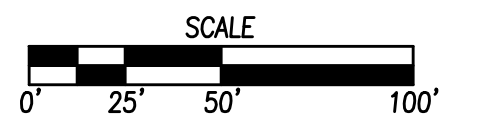


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 DATE: 4/19/2022 11:46 AM
 TECH: CHAD BECKER

OWNER: STRATFORD CROSSING, LLC
 9950 HICKMAN ROAD, SUITE 100
 CLIVE, IOWA 50325
 ZONING: R - RESIDENTIAL

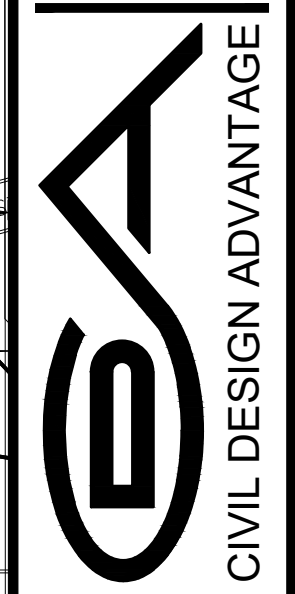
OWNER: STRATFORD CROSSING FLATS
 OWNER ASSOCIATION
 234 NW SUNRISE DRIVE
 WAUKEE, IOWA 50263
 ZONING: R - RESIDENTIAL

OWNER: STRATFORD CROSSING, LLC
 9550 HICKMAN ROAD, SUITE 100
 CLIVE, IOWA 50325
 ZONING: R - RESIDENTIAL



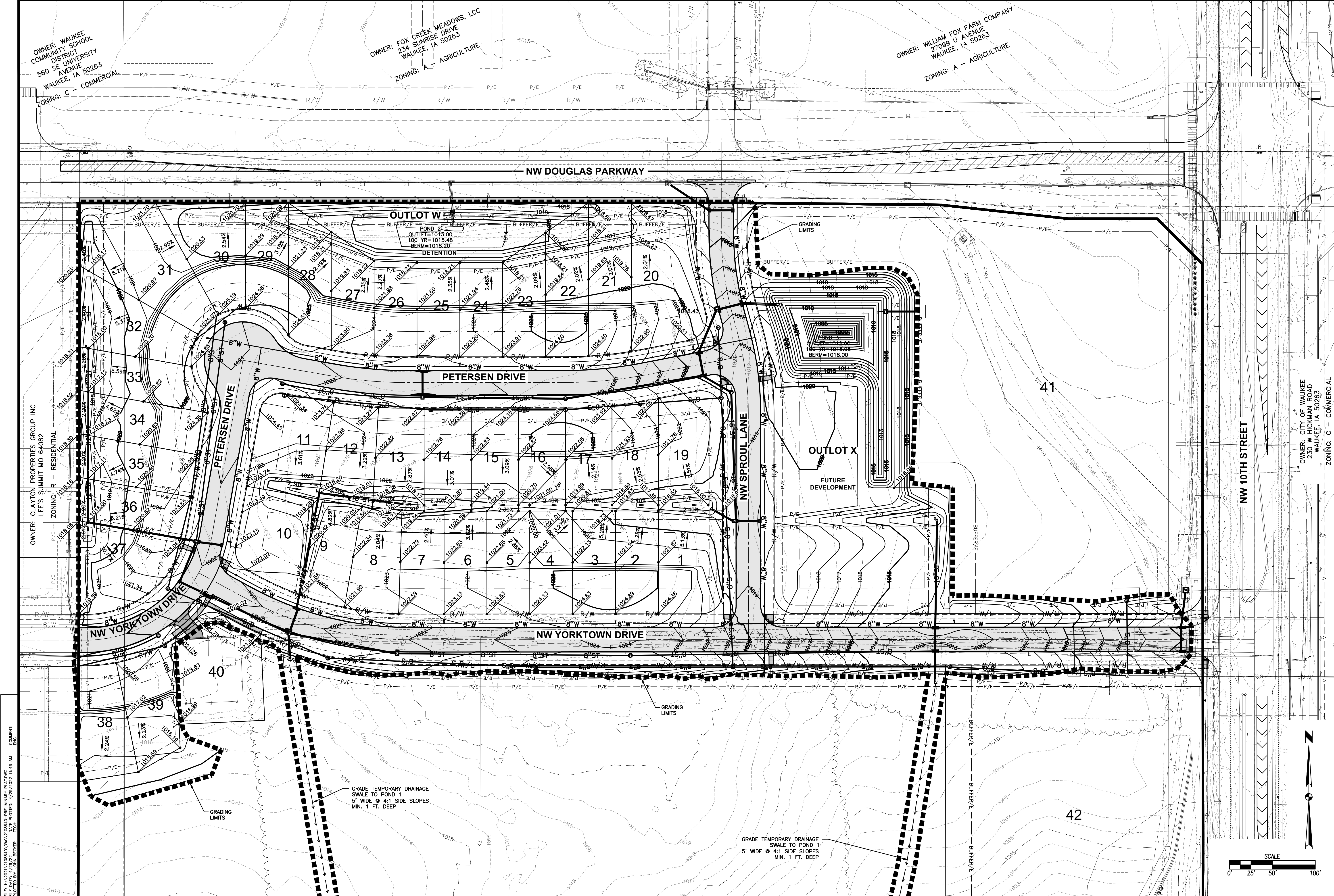
DATE	REVISIONS
5/03/2022	THIRD SUBMITTAL
4/19/2022	SECOND SUBMITTAL
4/05/2022	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400



WAUKEE, IOWA

ALDER POINT PRELIMINARY PLAT



OWNER: WAUKEE COMMUNITY SCHOOL DISTRICT
560 36 UNIVERSITY AVENUE
WAUKEE, IA 50263
ZONING: C - COMMERCIAL

OWNER: FOX CREEK MEADOWS, LCC
234 SUNRISE DRIVE
WAUKEE, IA 50263
ZONING: A - AGRICULTURE

OWNER: WILLIAM FOX FARM COMPANY
27099 U AVENUE
WAUKEE, IA 50263
ZONING: A - AGRICULTURE

OWNER: CLAYTON PROPERTIES GROUP INC
LEE'S SUMMIT MO 64082
ZONING: R - RESIDENTIAL

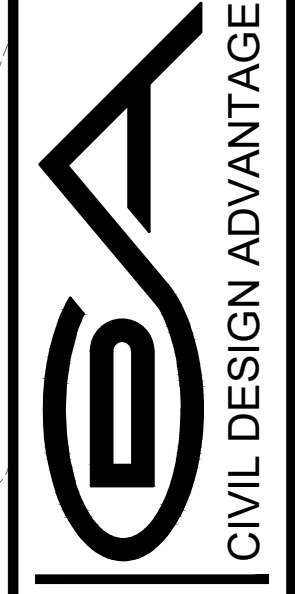
OWNER: CITY OF WAUKEE
230 W HICKMAN ROAD
WAUKEE, IA 50263
ZONING: C - COMMERCIAL

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REVISIONS	DATE
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SECOND SUBMITTAL	4/19/2022
FIRST SUBMITTAL	4/05/2022

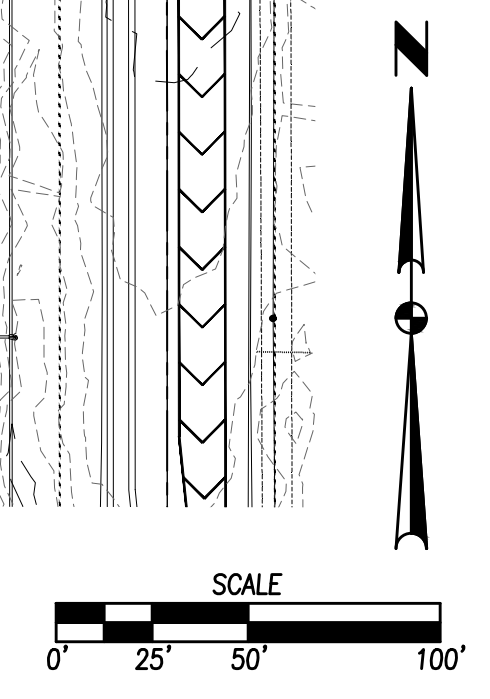
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

TECH: ENGINEER:



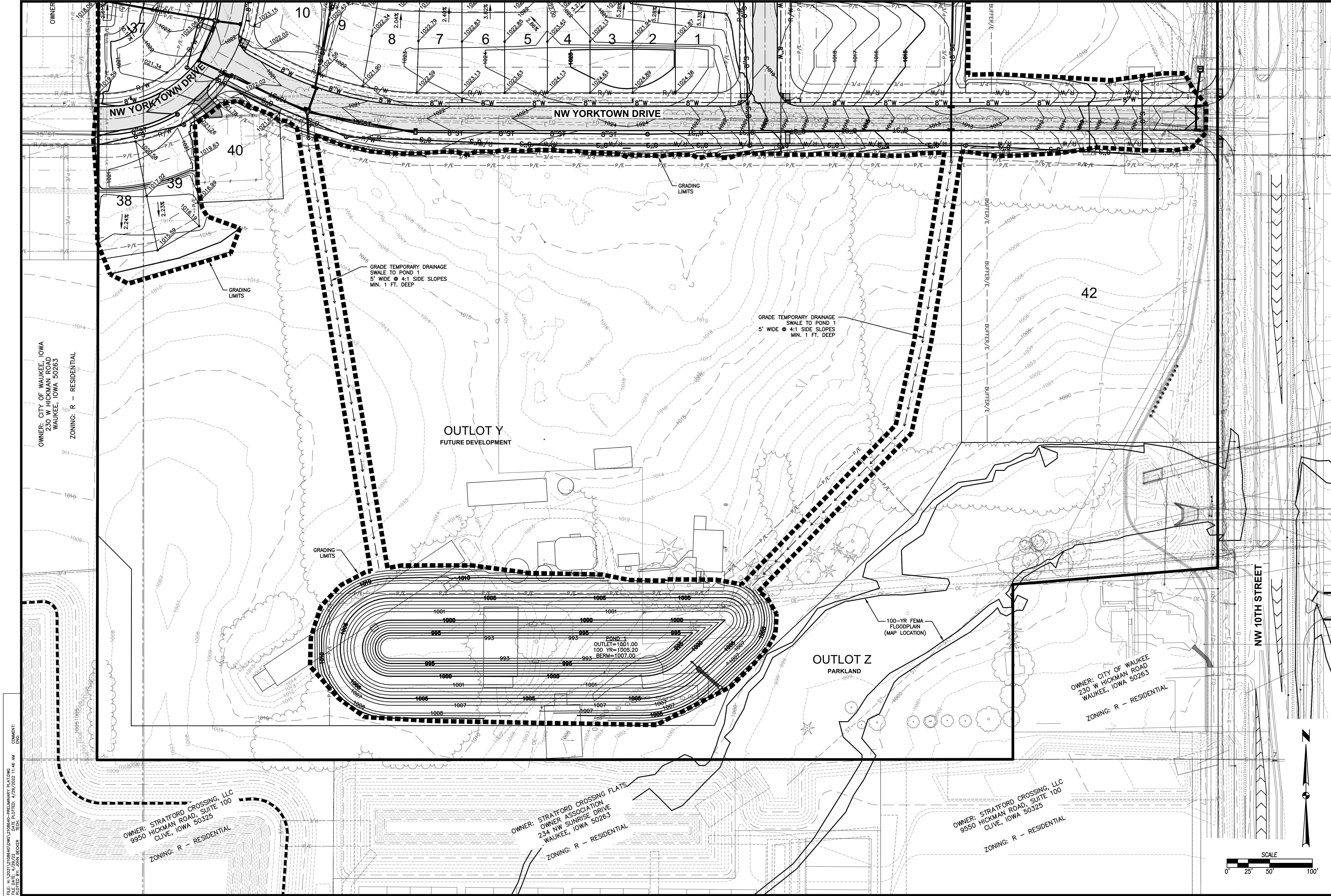
WAUKEE, IOWA

**ALDER POINT
PRELIMINARY PLAT**



GRADE TEMPORARY DRAINAGE SWALE TO POND 1
5' WIDE @ 4:1 SIDE SLOPES
MIN. 1 FT. DEEP

GRADE TEMPORARY DRAINAGE SWALE TO POND 1
5' WIDE @ 4:1 SIDE SLOPES
MIN. 1 FT. DEEP



FILE: H:\2021\2108640\DWG\2108640-PRELIMINARY PLATTING
PLOTTED BY: GARY BECKER
DATE: 4/19/2022 11:46 AM
COMMENT: DWG

	DATE	5/03/2022
	THIRD SUBMITTAL	4/19/2022
	SECOND SUBMITTAL	
REVISIONS		
ALDER POINT PRELIMINARY PLAT	4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400	TECH: ENGINEER:
WAUKEE, IOWA		5 5 2108.640