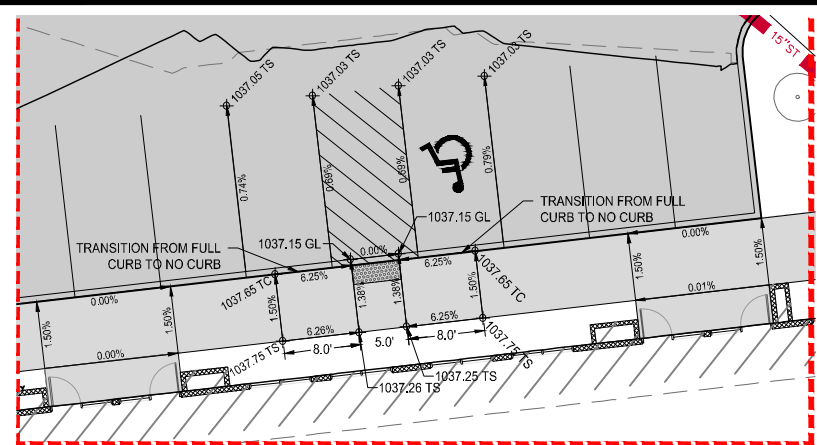


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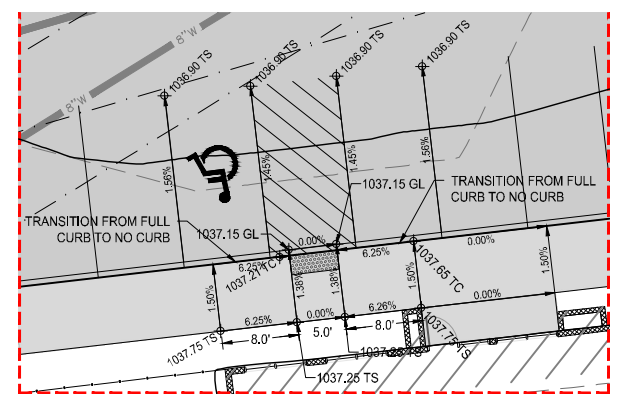
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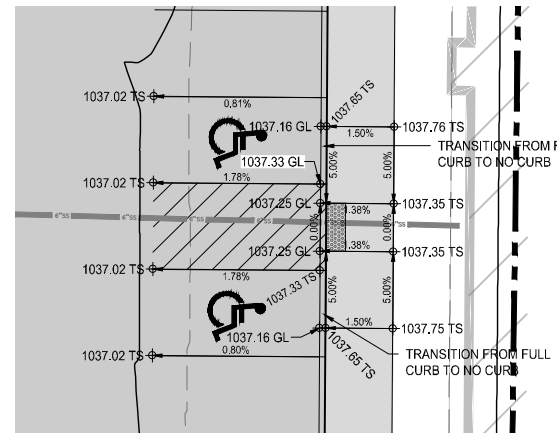
DETAIL A - ADA GRADING
SCALE: 1" = 10"



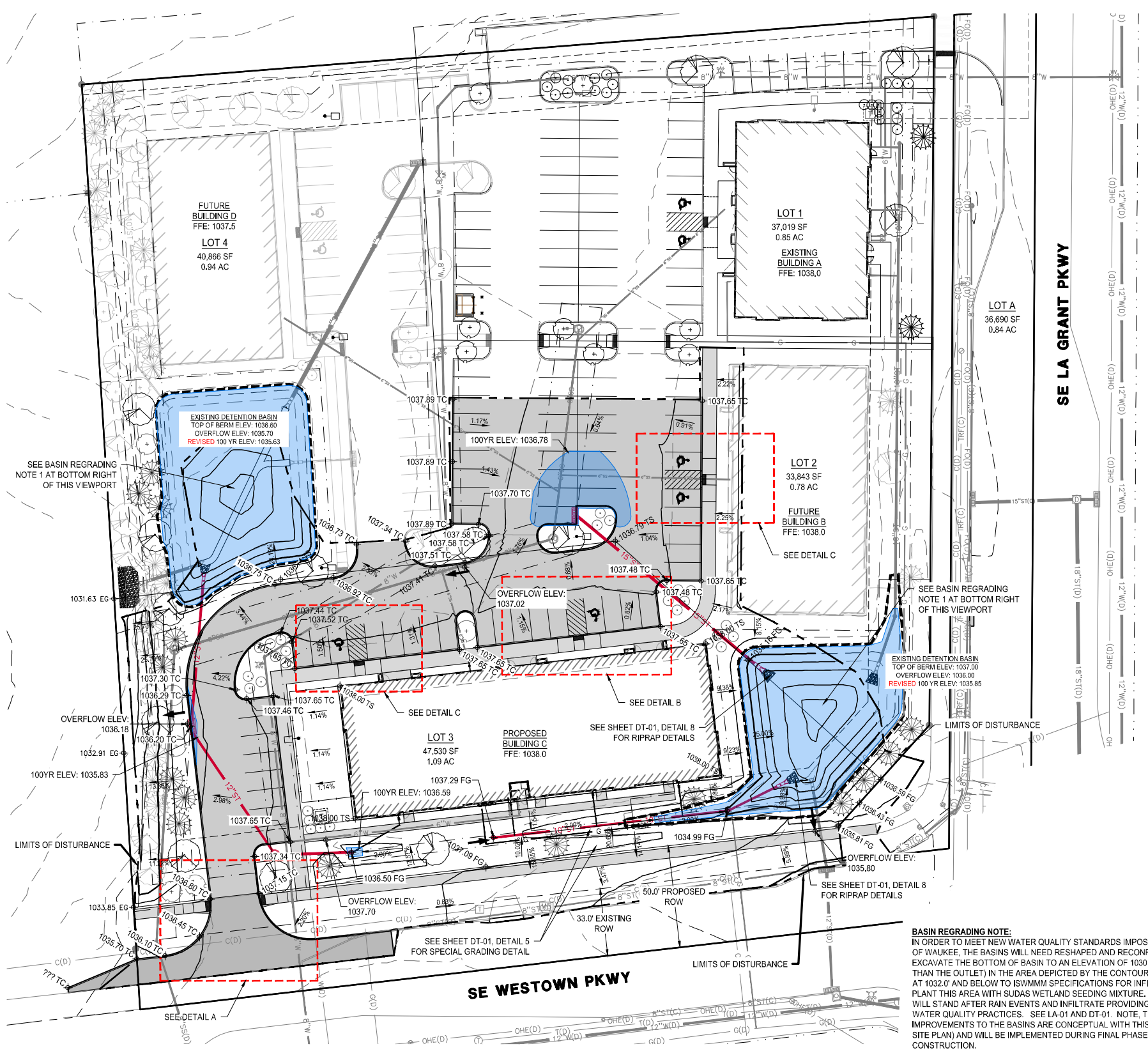
DETAIL B - ADA GRADING
SCALE: 1" = 10"



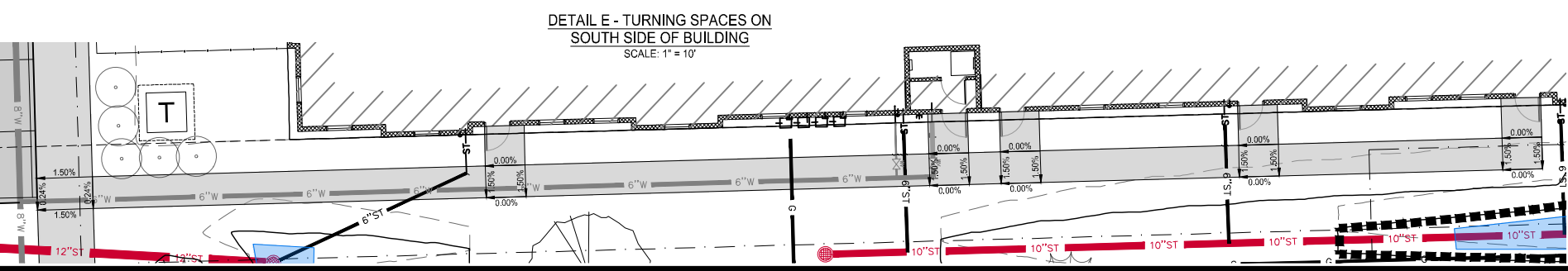
DETAIL C - ADA GRADING
SCALE: 1" = 10"



DETAIL D - ADA GRADING
SCALE: 1" = 10"



BASIN REGRADING NOTE:
IN ORDER TO MEET NEW WATER QUALITY STANDARDS IMPOSED BY THE CITY OF WAUKEE, THE BASINS WILL NEED RESHAPED AND RECONFIGURED. EXCAVATE THE BOTTOM OF BASIN TO AN ELEVATION OF 1030.5' (1.5' LOWER THAN THE OUTLET) IN THE AREA DEPICTED BY THE CONTOURS. AMEND SOIL AT 1032.0' AND BELOW TO ISWMM SPECIFICATIONS FOR INFILTRATION. PLANT THIS AREA WITH SUDAS WETLAND SEEDING MIXTURE. STORMWATER WILL STAND AFTER RAIN EVENTS AND INFILTRATE PROVIDING ENHANCED WATER QUALITY PRACTICES. SEE LA-01 AND DT-01. NOTE, THESE IMPROVEMENTS TO THE BASINS ARE CONCEPTUAL WITH THIS PHASE (LOT 3 SITE PLAN) AND WILL BE IMPLEMENTED DURING FINAL PHASE OF CONSTRUCTION.

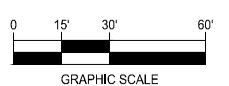


DETAIL E - TURNING SPACES ON SOUTH SIDE OF BUILDING
SCALE: 1" = 10"

GRADING PLAN



NORTH



GRAPHIC SCALE

STONE PRAIRIE PLAT 7
LOT 3 SITE PLAN

WAUKEE, IOWA
191082-020

CURRENT VERSION DATE:
5/31/2022

ENGINEER: J. BECKER
DRAWN BY: J. BECKER
CHECKED BY: FIELD BOOK NO.:

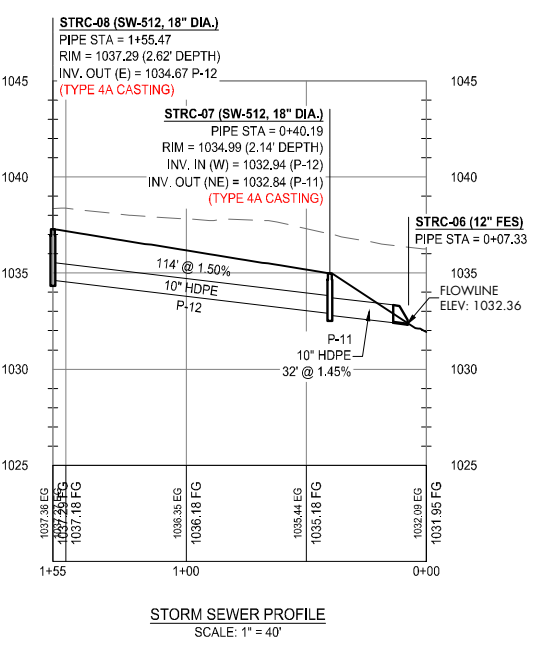
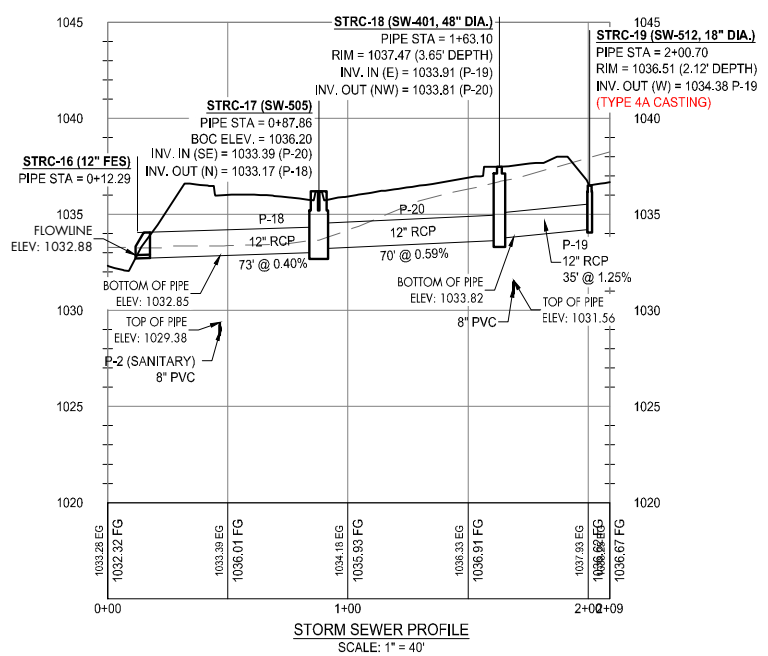
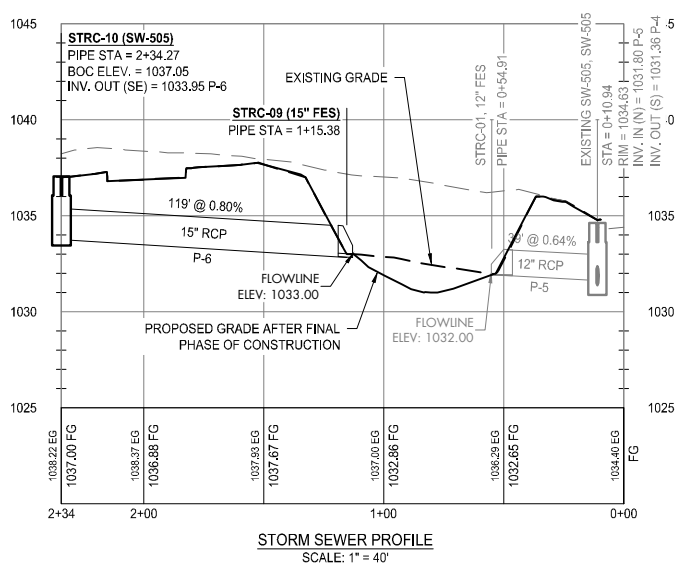
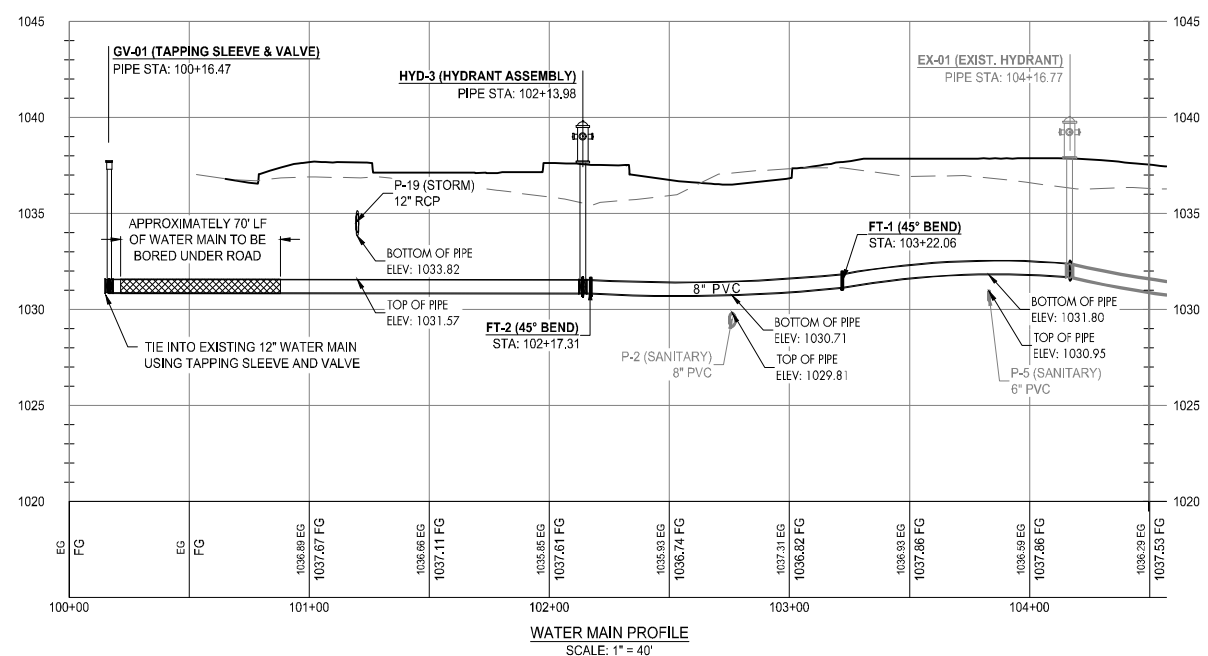
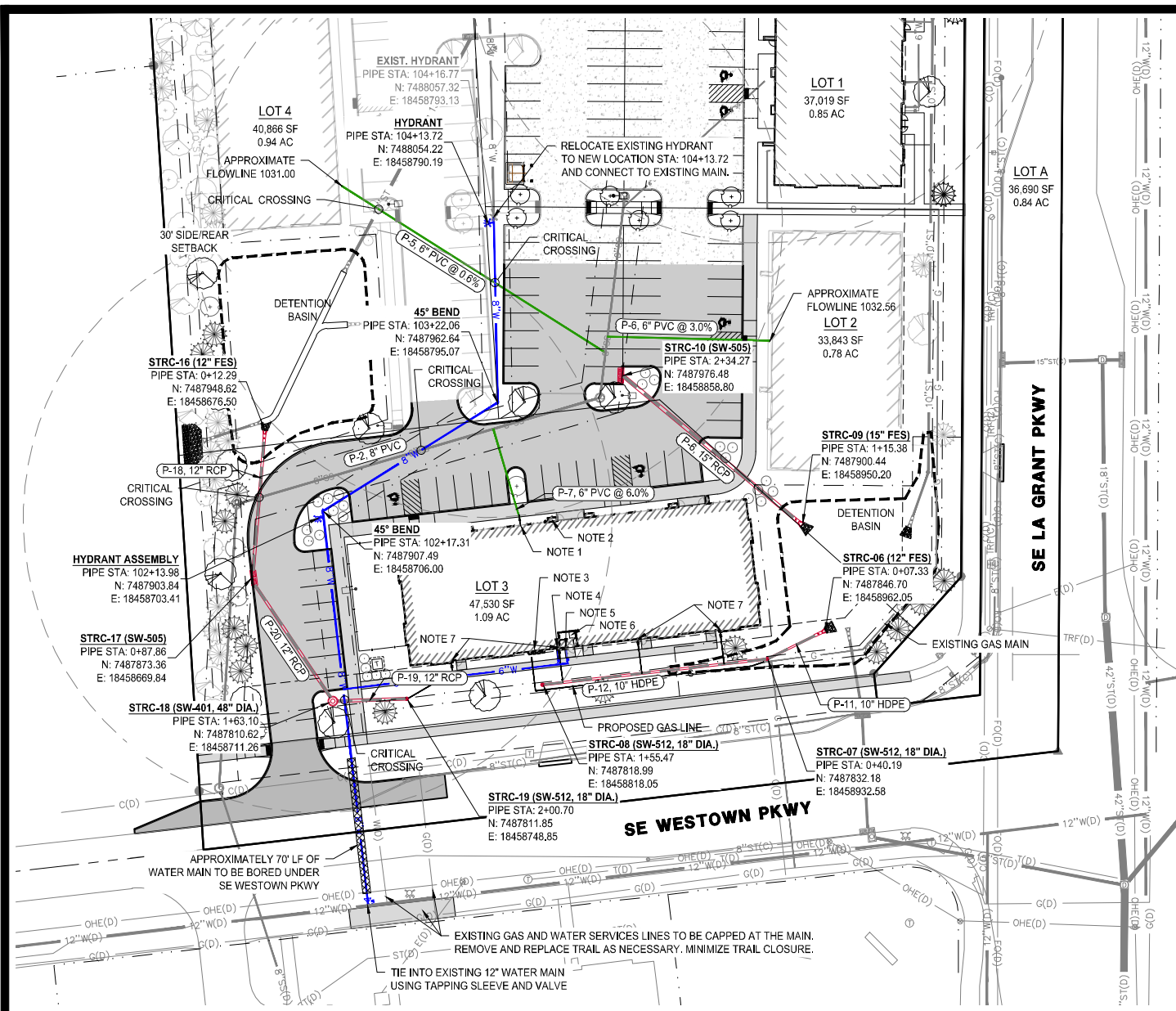
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- UTILITIES NOTES:**
- 1) SANITARY CONNECTION, INVERT ELEVATION 1033.0
 - 2) FDC LOCATION.
 - 3) GAS MANIFOLD LOCATION.
 - 4) 2" DOMESTIC WATER SERVICE AND VALVE. APPROX. ELEV. 1033.0.
 - 5) 6" FIRE LINE AND VALVE. APPROX. ELEV. 1033.0.
 - 6) RISER ROOM AND ROOF ACCESS LOCATION.
 - 7) 4" DOWNSPOUT COLLECTOR LINES. APPROX. ELEV. 1036.0.
 - 8) ANY GROUND MOUNTED OR ROOF MOUNTED MECHANICAL UNITS ARE REQUIRED TO BE FULLY SCREENED FROM PUBLIC VIEW.
- *UTILITIES NOTES ABOVE, INCLUDING SIZES, LOCATIONS, AND ELEVATIONS, ARE BASED ON MEP PLANS PROVIDED TO MCCLURE ON 3/14/22.

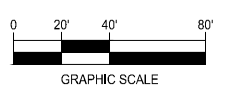
NOTE:
UTILITIES AND STRUCTURES THAT ARE EITHER GRAY OR NOT LABELED ARE INTENDED TO BE FUTURE CONSTRUCTION. FUTURE SITE PLANS WILL BE NECESSARY TO PROPOSE THOSE UTILITIES, INCLUDING CRITICAL CROSSINGS OF THESE UTILITIES.



UTILITY PLANS



NORTH



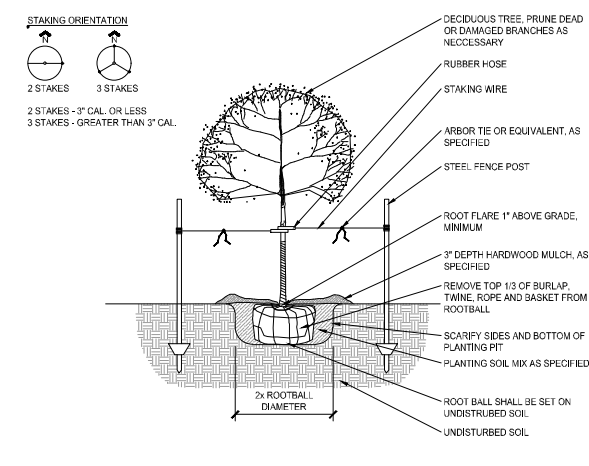
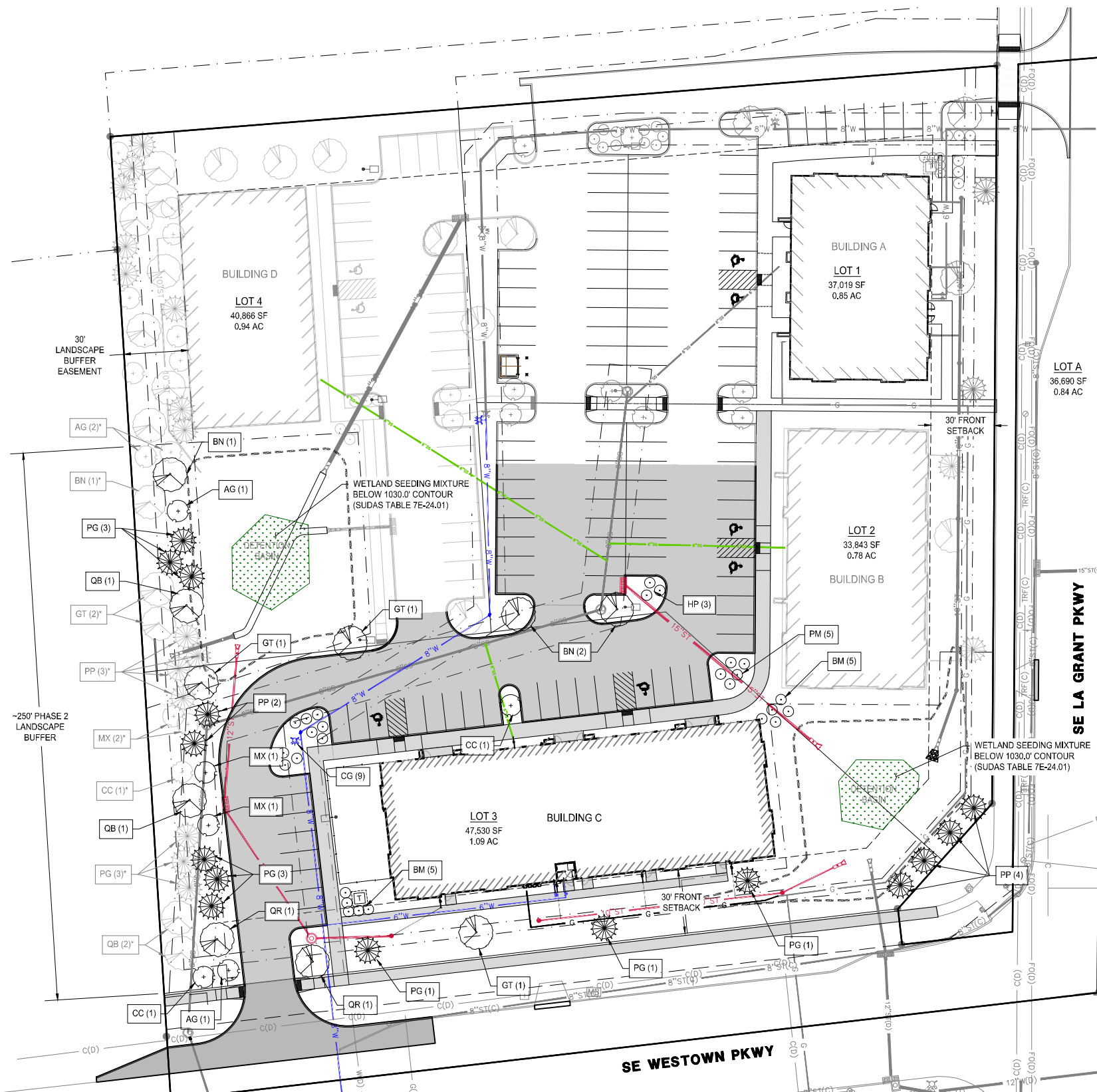
**STONE PRAIRIE PLAT 7
LOT 3 SITE PLAN**

WAUKEE, IOWA
191082-020

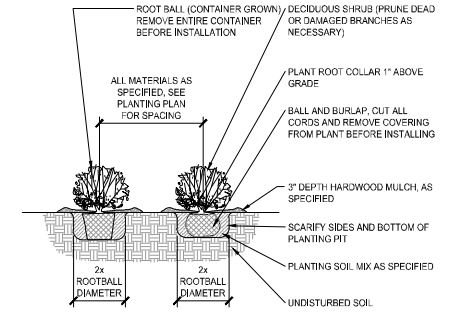
CURRENT VERSION DATE:
5/31/2022

ENGINEER: J. BECKER
DRAWN BY: J. BECKER
CHECKED BY:
FIELD BOOK NO.:

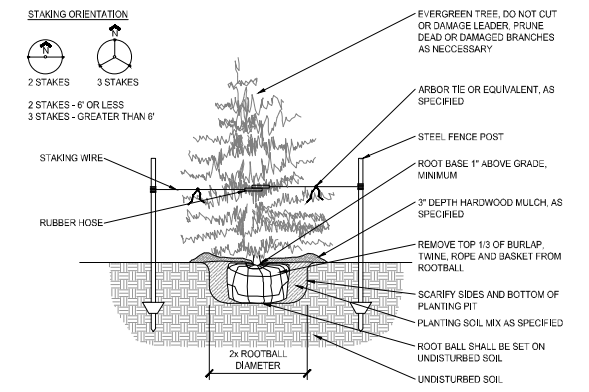
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1 DETAIL: DECIDUOUS TREE PLANTING
1/2" = 1'-0"



2 DETAIL: SHRUB PLANTING
1/2" = 1'-0"



3 DETAIL: EVERGREEN TREE PLANTING
1/2" = 1'-0"

LANDSCAPING OPEN SPACE REQUIREMENTS

	CALCULATION	PLANTS REQUIRED	TOTAL PLANTS PROPOSED	PHASE 2 PROPOSED
1 TREE PER 1,000 SF OF REQ. OPEN SPACE MIN. 50% SHALL BE OVERSTORY MIN. 25% SHALL BE EVERGREEN	x (31,852 / 1,000) = 31.9 32 x 50% 32 x 25%	= 32 TREES = 16 OVERSTORY = 8 EVERGREEN	38 TREES 16 OVERSTORY 11 EVERGREEN 11 ORNAMENTAL	13 TREES 5 OVERSTORY 7 EVERGREEN 1 ORNAMENTAL
1 SHRUB PER 1,000 SF OF REQ. OPEN SPACE	x (31,852 / 1,000) = 31.9	= 32 SHRUBS	49 SHRUBS	27 SHRUBS

30' LANDSCAPING BUFFER REQUIREMENTS (PHASE 2)

	CALCULATION	PLANTS REQUIRED	PLANTS PROPOSED (PHASE 2)*
2 OVERSTORY PER 50 LF OF BUFFER	x (250 / 50) = 10	= 10 OVERSTORY	10 OVERSTORY*
3 EVERGREEN PER 50 LF OF BUFFER	x (250 / 50) = 15	= 15 EVERGREEN	15 EVERGREEN*
2 ORNAMENTAL PER 50 LF OF BUFFER	x (250 / 50) = 10	= 10 ORNAMENTAL	10 ORNAMENTAL*

*SOME TREES ARE SHOWN IN GREY FOR THIS LANDSCAPE PLAN, WHICH INDICATES FUTURE INSTALLATION. THIS PLAN PROPOSES FUTURE INSTALLATION OF A PORTION OF THE BUFFER REQUIREMENTS BECAUSE UTILITIES WILL BE ROUTED THROUGH THE PUE AND GAS EASEMENT PROVIDED IN THE BUFFER WHEN BUILDING D IS CONSTRUCTED. LIKELY WIPING OUT A LARGE PORTION OF THE BUFFER REQUIREMENTS. THE REMAINING BUFFER PLANTINGS WILL BE INSTALLED WITH BUILDING D.

ABBREVIATION	BOTANICAL NAME	COMMON NAME	CONDITION	MIN. HEIGHT	QUANTITY	FUTURE QUANTITY
OVERSTORY TREES						
BN	BETULA NIGRA	RIVER BIRCH	1.5" CALIPER	8 FEET	4	1
GT	GLEDISTIA TRIACANTHOS VAR. INERMIS 'SKYLINE'	SKYLINE HONEY LOCUST	1.5" CALIPER	8 FEET	4	2
QB	QUERCUS BICOLOR	SWAMP WHITE OAK	1.5" CALIPER	8 FEET	4	2
QR	QUERCUS RUBRA	RED OAK	1.5" CALIPER	8 FEET	4	0
					TOTAL = 16	5
EVERGREEN TREES						
PG	PICEA GLAUCA DENSATA	BLACK HILLS SPRUCE	1.5" CALIPER	6 FEET	12	3
PP	PICEA PUNGENS	COLORADO SPRUCE	1.5" CALIPER	6 FEET	12	3
					TOTAL = 24	6
ORNAMENTAL TREES						
AG	AMERLANCHIER X GRANDIFLORA 'AUTUMN BRILLIANCE'	AUTUMN BRILLIANCE SERVICEBERRY	1.5" CALIPER	6 FEET	5	2
CC	CERCIS CANADENSIS	EASTERN REDBUD	1.5" CALIPER	6 FEET	3	1
MX	MALUS X 'PRAIRIE FIRE'	PRAIRIE FIRE CRABAPPLE	1.5" CALIPER	6 FEET	3	2
					TOTAL = 11	5
SHRUBS						
CG	CAREX GLAUCA 'BLUE ZINGER'	BLUE ZINGER SEDGE	CONTAINER	#3	9	0
HP	HYDRANGEA PANICULATA 'JANE'	LITTLE LIME HYDRANGEA	CONTAINER	#3	3	0
PM	PIRANGA MEYERI 'PALABIN'	DWARF KOREAN LILAC	CONTAINER	#3	5	0
BM	BUXUS MICROPHYLLA 'BULHOUSE'	SPRINTER BOXWOOD	CONTAINER	#3	10	0
					TOTAL = 27	0

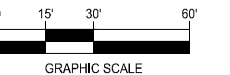
- LANDSCAPE PLAN NOTES:**
- PLANT QUANTITIES ARE FOR INFORMATION ONLY. DRAWING SHALL PREVAIL IF CONFLICT OCCURS. CONTRACTOR IS RESPONSIBLE FOR CALCULATING OWN QUANTITIES AND BASING BID ACCORDINGLY.
 - CONTRACTOR SHALL PLACE EITHER MULCH OR ROCK AROUND TREES AND IN LANDSCAPING BEDS AT THE OWNERS' DISCRETION. IF MULCH, USE SHREDDED HARDWOOD BARK MULCH AROUND ALL TREES AND IN ALL PLANTING BEDS TO A DEPTH OF 3". WALNUT PRODUCTS ARE PROHIBITED.
 - KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO AMERICAN STANDARD FOR NURSERY STOCK, ANSI Z-60.1-2004, OR MOST RECENT EDITION.
 - THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE LANDSCAPE ARCHITECT.
 - THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL TREES WITHIN 21 DAYS FOLLOWING THE AWARD OF CONTRACT. TIMELY PROCUREMENT OF ALL PLANT MATERIAL IS ESSENTIAL TO THE SUCCESSFUL COMPLETION AND INITIAL ACCEPTANCE OF THE PROJECT.
 - SUBSTITUTIONS SHALL ONLY BE ALLOWED WHEN THE CONTRACTOR HAS EXHAUSTED ALL SOURCES FOR THE SPECIFIED MATERIAL, AND HAS PROVEN THAT THE SPECIFIED MATERIAL IS NOT AVAILABLE. THE CONTRACTOR MUST PROVIDE NAME AND VARIETY OF SUBSTITUTION TO THE LANDSCAPE ARCHITECT AND CITY FOR APPROVAL PRIOR TO TAGGING OR PLANTING. SUBSTITUTIONS SHALL BE NEAREST EQUIVALENT SIZE OF VARIETY OF PLANT HAVING SAME ESSENTIAL CHARACTERISTICS.
 - ALL PLANT MATERIAL SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES, WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT SCHEDULE. THE CONTRACTOR SHALL SUPPLY PLANTS IN QUANTITY AS SHOWN ON DRAWINGS.
 - STAKE OR PLACE ALL PLANTS IN FIELD AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT FOR APPROVAL BY THE OWNER PRIOR TO PLANTING.
 - ALL DISTURBED AREAS NOT OTHERWISE COVERED BY BUILDING, PAVEMENT, AND LANDSCAPE BEDS SHALL BE SODDED.
 - RIGHT-OF-WAY OF SE LA GRANT PARKWAY AND SE WESTOWN PARKWAY TO BE SODDED.
 - ANY ROOF MOUNTED OR GROUND MOUNTED MECHANICAL UNITS ARE REQUIRED TO BE SCREENED FROM PUBLIC VIEW.

*LANDSCAPING THAT IS NOT LABELED IN PLAN VIEW IS CONSIDERED FUTURE AND IS NOT INCLUDED IN THE PLANT SCHEDULE TABLE. EXTRANEOUS NAMES LISTED TO PROVIDE DIRECTION FOR FUTURE SITE PLANS.

LANDSCAPE PLAN



NORTH



GRAPHIC SCALE

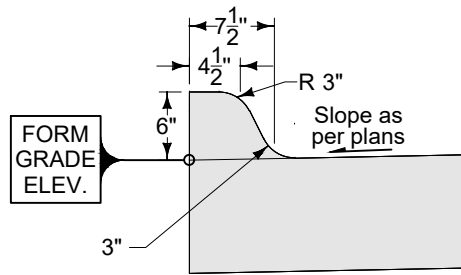
STONE PRAIRIE PLAT 7
LOT 3 SITE PLAN

WAUKEE, IOWA
191082-020

CURRENT VERSION DATE:
5/31/2022

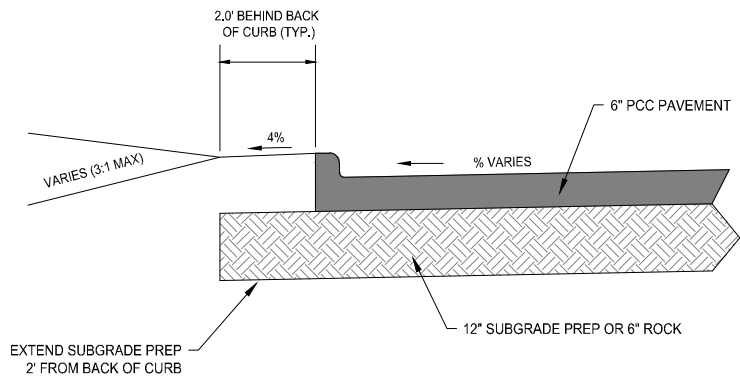
ENGINEER: J. BECKER
DRAWN BY: J. BECKER

CHECKED BY: FIELD BOOK NO.

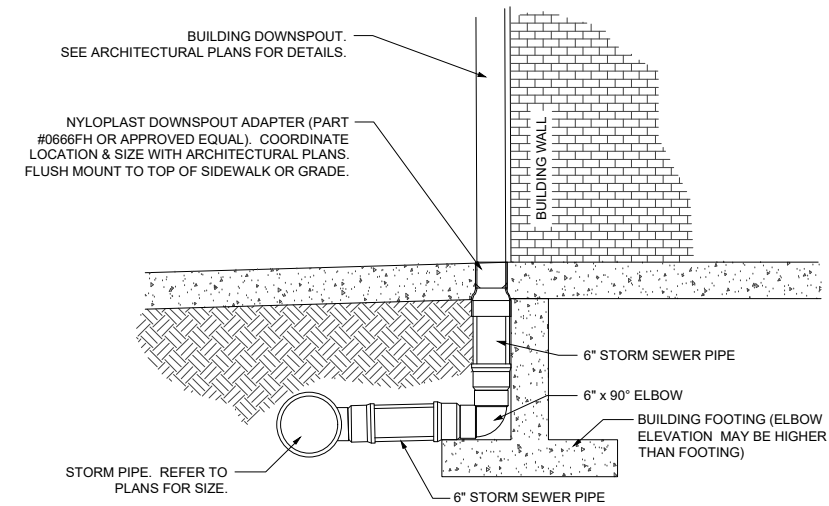


6" STANDARD CURB

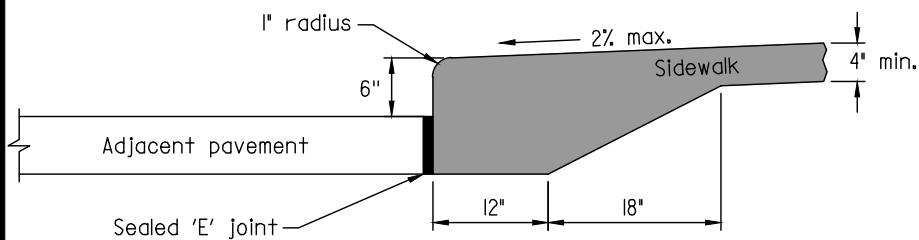
1 6' STANDARD CURB (SUDAS 7010.102)
NOT TO SCALE



2 TYPICAL PARKING PAVEMENT SECTION & GRADING
NOT TO SCALE



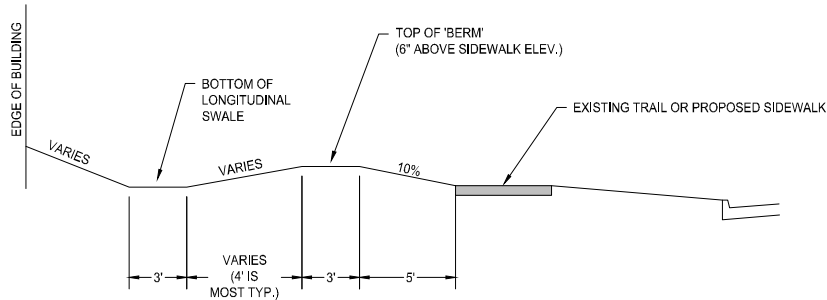
3 BUILDING DOWNSPOUT CONNECTION
NOT TO SCALE



DETAIL 3

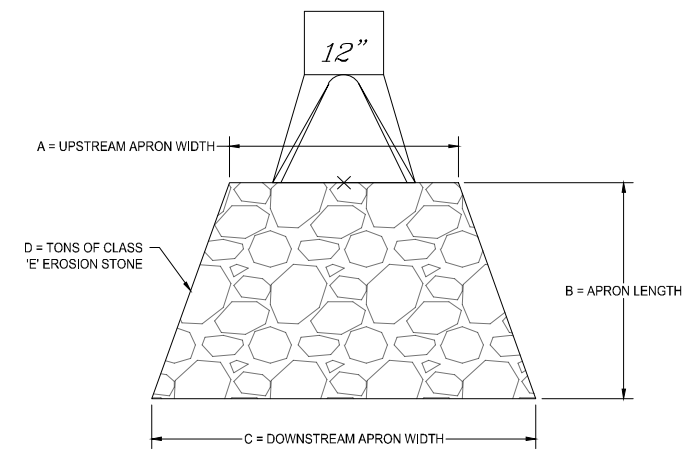
NOTE: SUDAS 7030.202 DETAILS 1 OR 2 MAY BE USED IN LIEU OF DETAIL 3

4 CLASS A SIDEWALK CURB DETAIL (SUDAS 7010.102)
NOT TO SCALE



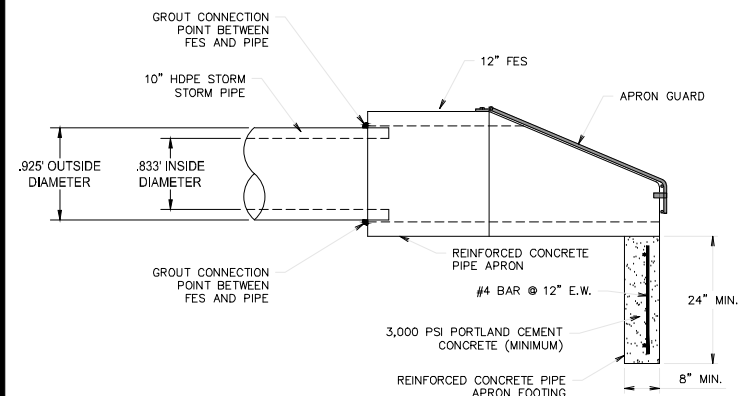
PURPOSE: SPECIAL GRADING IS PROPOSED BETWEEN PROPOSED BUILDINGS AND TRAIL/SIDEWALK ALONG THE EXISTING RIGHT-OF-WAY TO ENSURE ON-SITE STORMWATER IS COLLECTED IN THE PROPOSED STORM SEWER AND STORM SYSTEM.

5 BUILDING/SWALE/SIDEWALK INTERFACE GRADING
NOT TO SCALE

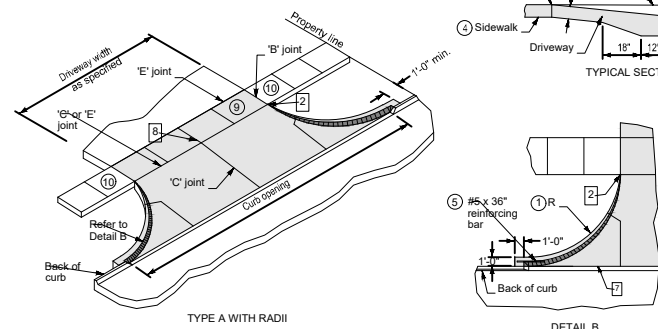


STRUCTURE NAME	A	B	C	D
STRC - 6	3'	5'	6'	3 TONS
STRC - 9	4'	5'	6'	3 TONS
STRC - 16	3'	5'	6'	3 TONS

DETAILS

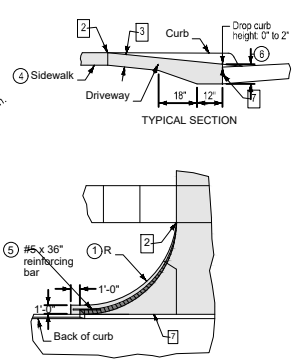


6 DOWNSPOUT OUTLET FES DETAIL
NOT TO SCALE

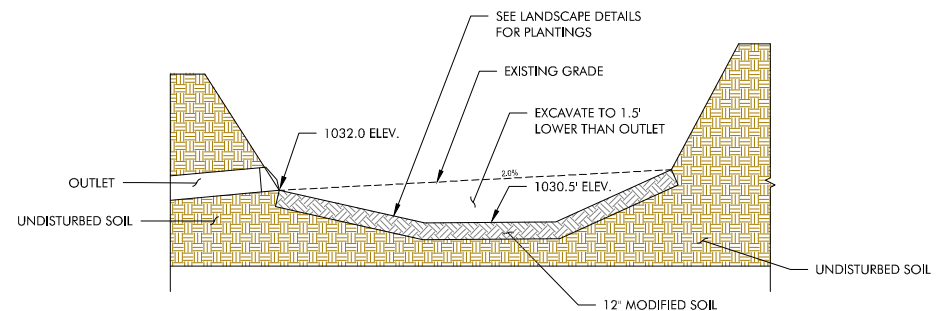


7 SUDAS TYPE A DRIVEWAY DETAIL
NOT TO SCALE

- Driveway radius (R). Residential: 10 foot minimum, 15 foot maximum. Commercial and industrial: As specified in the contract documents.
- Transition the curb height to 0 inches at end of taper radius or at the front edge of sidewalk. Do not extend raised curb across sidewalk.
- Pavement thickness. Residential: 6 inches minimum. Commercial and industrial: 7 inches minimum.
- Sidewalk thickness through driveway to match thickness of driveway.
- Center reinforcing bar vertically in the pavement.
- Match thickness of adjacent roadway, 8 inches minimum.
- Provide 'E' joint at back of curb unless 'B' joint is specified.
- For alleys, invert the pavement crown 2% toward center of alley.
- Target cross slope of 1.5% with a maximum cross slope of 2.0%. If specified in the contract documents, construct the sidewalk through the driveway 5 feet wide to serve as a passing space.
- If cross slope of adjacent sidewalk panel exceeds 2.0%, remove and replace to transition from existing sidewalk to sidewalk through driveway. If elevation change requires a curb ramp, comply with Figure 7030.205, verify need for detectable warning panel with Engineer.



8 FES - RIP RAP DETAILS
NO SCALE



9 BASIN RE-SHAPING DETAIL
NO SCALE

building strong communities.

1360 NW 121ST. Street
Clive, Iowa 50325
515-964-1229
fax 515-964-2370

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STONE PRAIRIE PLAT 7
LOT 3 SITE PLAN

WAUKEE, IOWA
191082-020

CURRENT VERSION DATE:
5/31/2022

ENGINEER: J. BECKER
DRAWN BY: J. BECKER
CHECKED BY: FIELD BOOK NO.

DRAWING NO. DT-01
SHEET NO. 9 / 9