

PLAN NOTES:

- ALL WINDOWS AND DOORS TO HAVE 1X4 TRIM
- 4" CORNER BOARDS THROUGHOUT
- 16" EAVES, 12" GABLE ENDS
- ALL ROOF PITCHES TO BE 5/12 UNLESS OTHERWISE NOTED
- STONE ON REAR ELEVATION FOR UNITS WITH BACKS TO 17TH STREET AND UNIVERSITY AVENUE ONLY. SEE SITEPLAN FOR REFERENCE.
- WINDOWS ON END UNITS AT THE END OF BUILDING ROWS ONLY, SEE SITEPLAN FOR REFERENCE

HICKORY 4

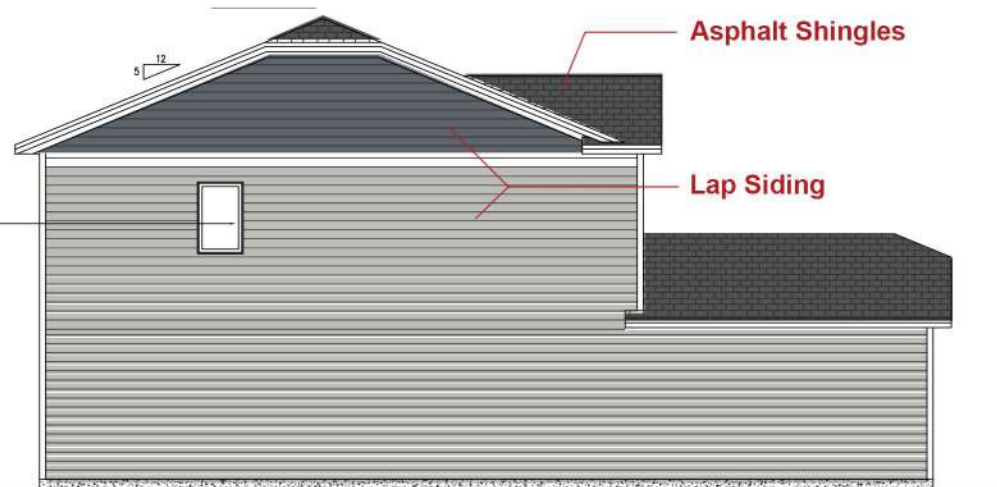


FRONT ELEVATION
3/32"=1'-0"

Masonry

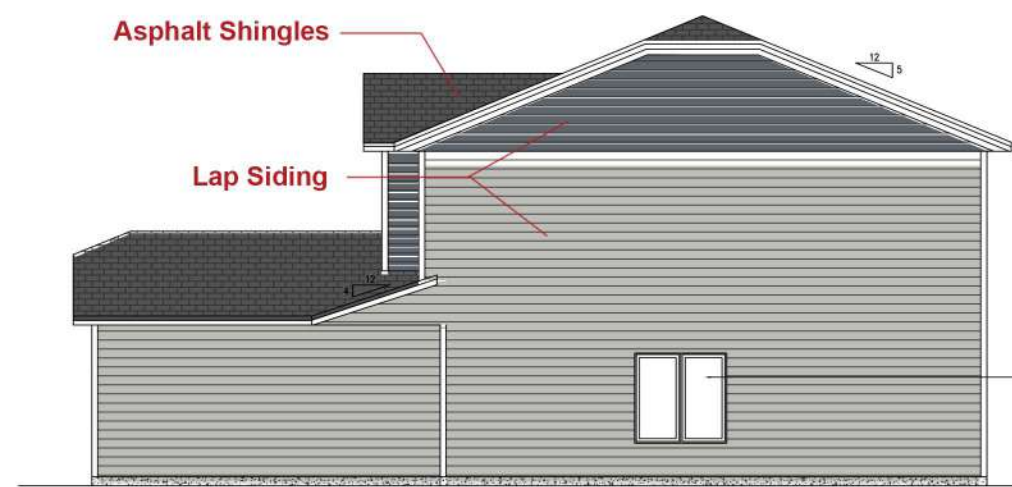
BUILDING HEIGHT - 26'-1"

UNIT SF - 1465 SF



LEFT ELEVATION
3/32"=1'-0"

Asphalt Shingles



RIGHT ELEVATION
3/32"=1'-0"

—WINDOW ON END UNIT
AT END OF BUILDING
ROW ONLY

WINDOW ON END UNIT
AT END OF BUILDING
ROW ONLY

EXTERIOR CLADDING

TOTAL -			
LAP SIDING	3920 SF	95%	
Blue	678	17%	
Gray	3242	78%	
MASONRY	212	5%	
FRONT -			
LAP SIDING	656 SF	75%	
Blue	476		
Gray	180		
MASONRY	212 SF	25%	
LEFT -			
LAP SIDING	805 SF	100%	
Blue	101		
Gray	704		
RIGHT -			
LAP SIDING	779 SF	100%	
Blue	101		
Gray	678		
BACK -			
LAP SIDING	1680 SF	100%	
Gray	1680		



BACK ELEVATION
3/32"=1'-0"

Lap Siding

FOR REVIEW

VERIFY ALL DIMENSIONS TO INSURE THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL ROUGH OPENINGS AND OTHER DIMENSIONS FOR ACCURACY. THESE PLANS DETAIL CONNECTIONS AND SPECIFIC STRUCTURAL MEMBERS FOR NON-STANDARD APPLICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND SPECIFICATIONS FOR ALL MATERIALS AND FINISHES. THESE PLANS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS AND CONTRACT DOCUMENTS. DATE OF THIS DRAWING: 10/7/22. HOUSE NAME: HICKORY 4. DRAWN BY: AC. REVISION: 10/7/22. CUSTOMER SPEC ADDRESS: SHADOW CREEK. PLAN #: 2. PAGE OF: 10.



PLAN NOTES:

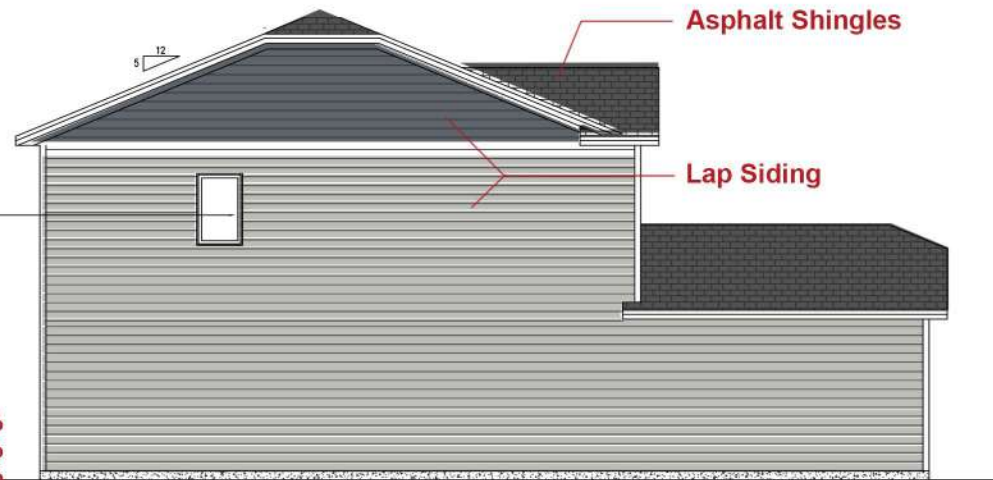
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HICKORY 4-stone

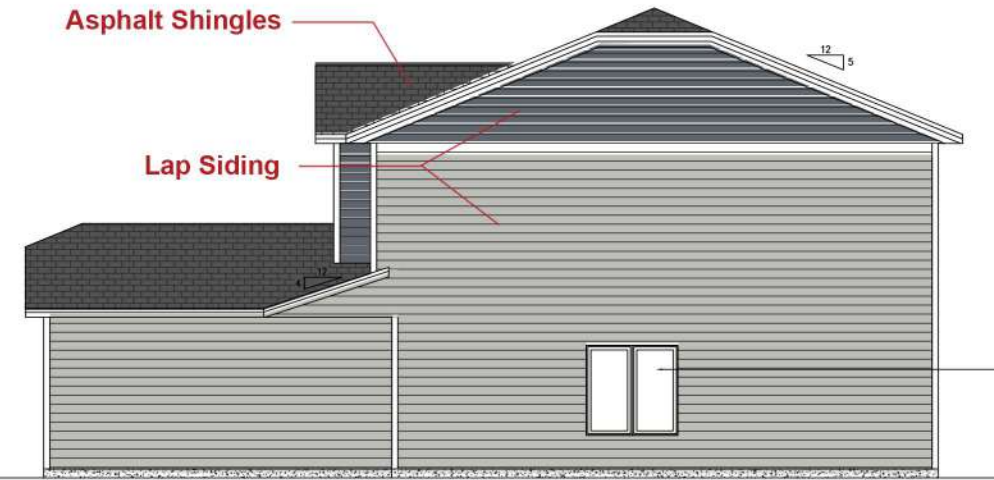


FRONT ELEVATION
3/32"=1'-0"

BUILDING HEIGHT - 26'-1"
UNIT SF - 1465 SF



LEFT ELEVATION
3/32"=1'-0"



RIGHT ELEVATION
3/32"=1'-0"

WINDOW ON END UNIT
AT END OF BUILDING
ROW ONLY

WINDOW ON END UNIT
AT END OF BUILDING
ROW ONLY

EXTERIOR CLADDING

TOTAL -			
LAP SIDING	3668 SF	89%	
Blue	678	16%	
Gray	2990	73%	
MASONRY	464 SF	11%	
FRONT -			
LAP SIDING	656 SF	75%	
Blue	476		
Gray	180		
MASONRY	212 SF	25%	
LEFT -			
LAP SIDING	805 SF	100%	
Blue	101		
Gray	704		
RIGHT -			
LAP SIDING	779 SF	100%	
Blue	101		
Gray	678		
BACK -			
LAP SIDING	1428 SF	85%	
Gray	1428		
MASONRY	252 SF	15%	



BACK ELEVATION
3/32"=1'-0"

FOR REVIEW

VERIFY ALL DIMENSIONS. ALTHOUGH EVERY POSSIBLE EFFORT IS MADE TO ACCURATELY REFLECT THE CONTRACTOR'S INTENTIONS AND OPERATIONS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.

PROJECT: SHADOW CREEK
DATE: 10/7/22
DRAWN BY: AC
REVISIONS: NONE

CUSTOMER: SHADOW CREEK
SPEC: HICKORY 4
ADDRESS: HICKORY 4

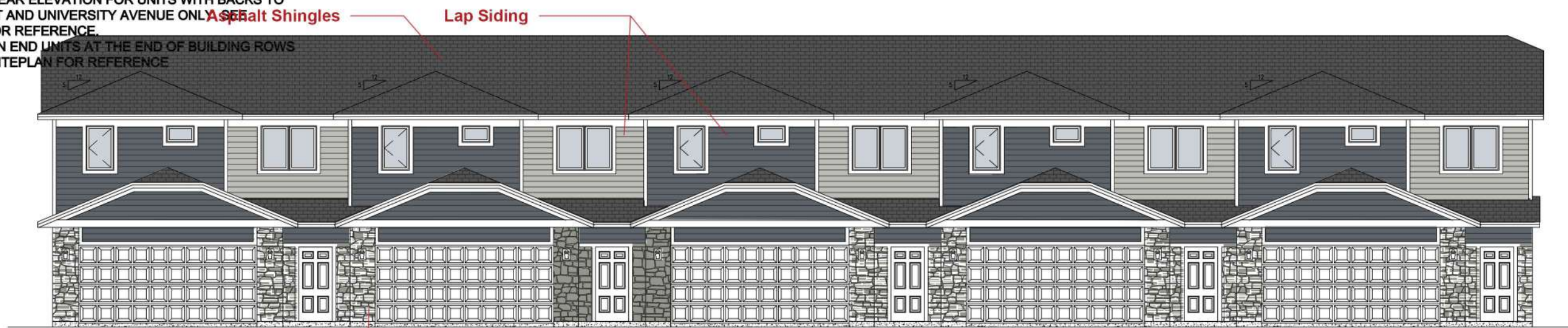
SIGNATURE COMPANIES LLC

PLAN #
PAGE OF
2 10

PLAN NOTES:

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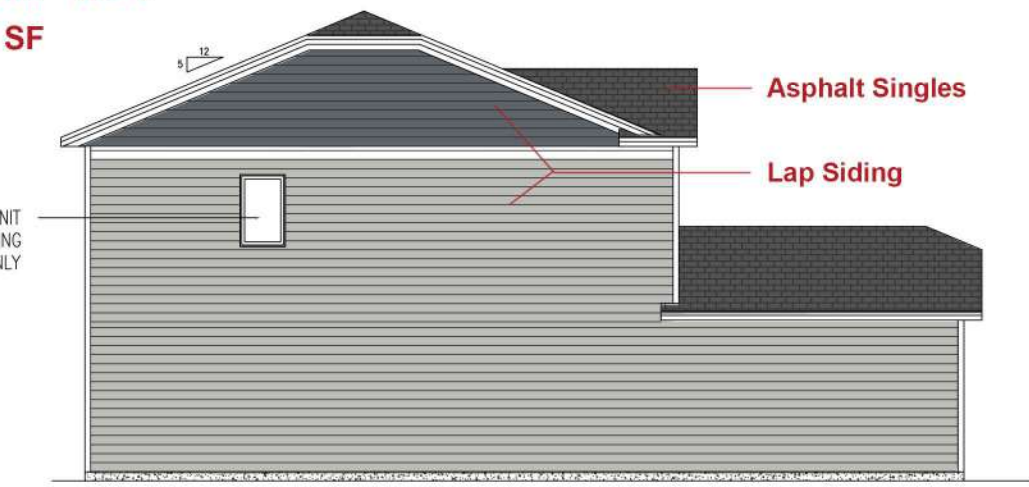
HICKORY 5



FRONT ELEVATION
1/8"=1'-0"

Masonry

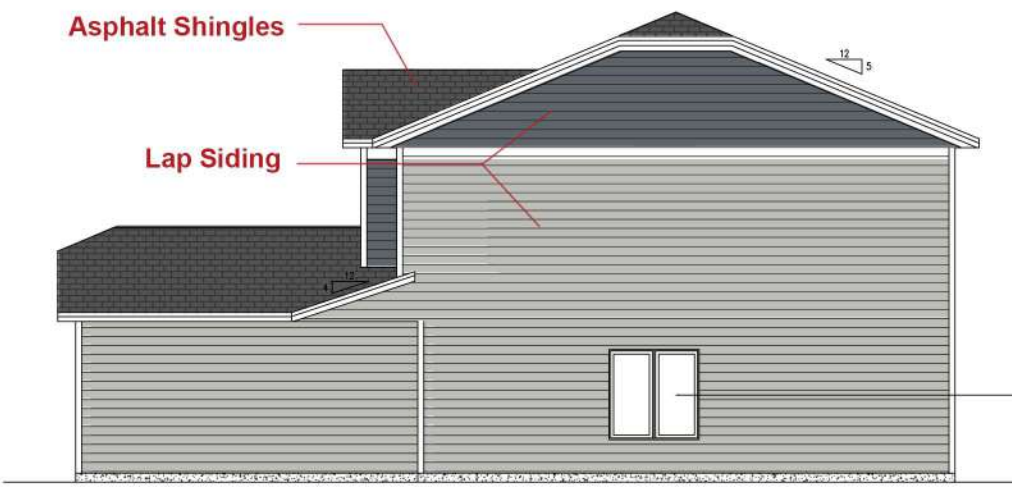
BUILDING HEIGHT - 26'-1"
UNIT SF - 1465 SF



LEFT ELEVATION
1/8"=1'-0"

EXTERIOR CLADDING

TOTAL -			
LAP SIDING	4504 SF	94%	
Blue	797	17%	
Gray	3707	77%	
MASONRY	265	6%	
FRONT -			
LAP SIDING	820 SF	75%	
Blue	595		
Gray	225		
MASONRY	265 SF	25%	
LEFT -			
LAP SIDING	805 SF	100%	
Blue	101		
Gray	704		
RIGHT -			
LAP SIDING	779 SF	100%	
Blue	101		
Gray	678		
BACK -			
LAP SIDING	2100 SF	100%	
Gray	2100		



RIGHT ELEVATION
1/8"=1'-0"



BACK ELEVATION
1/8"=1'-0"

FOR REVIEW

VERIFY ALL DIMENSIONS. ALTHOUGH EVERY POSSIBLE EFFORT IS MADE TO ACCURATELY REFLECT THE CONTRACTOR'S INTENTIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS OF THE SITE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.

DATE: 10/7/22

CUSTOMER SPEC ADDRESS: SHADOW CREEK

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SIGNATURE COMPANIES LLC

PLAN NOTES:

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HICKORY 6

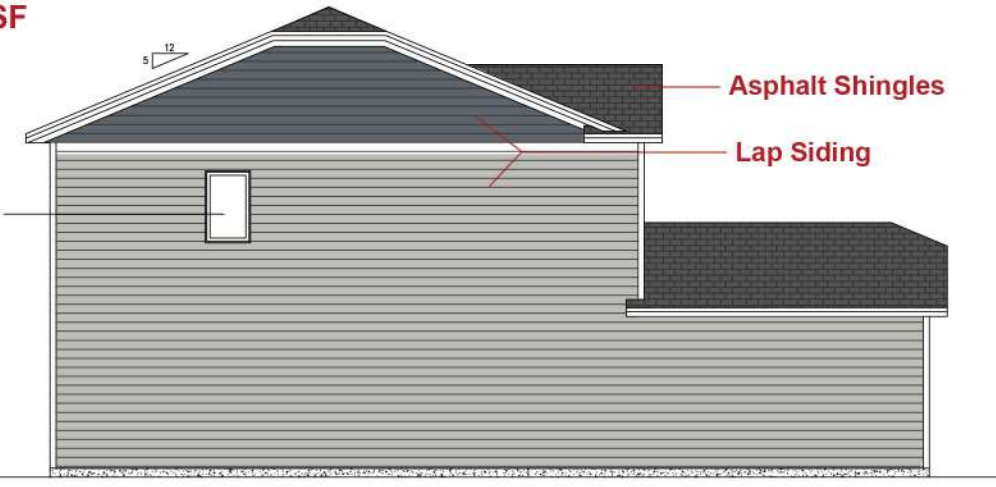


FRONT ELEVATION
1/8"=1'-0"

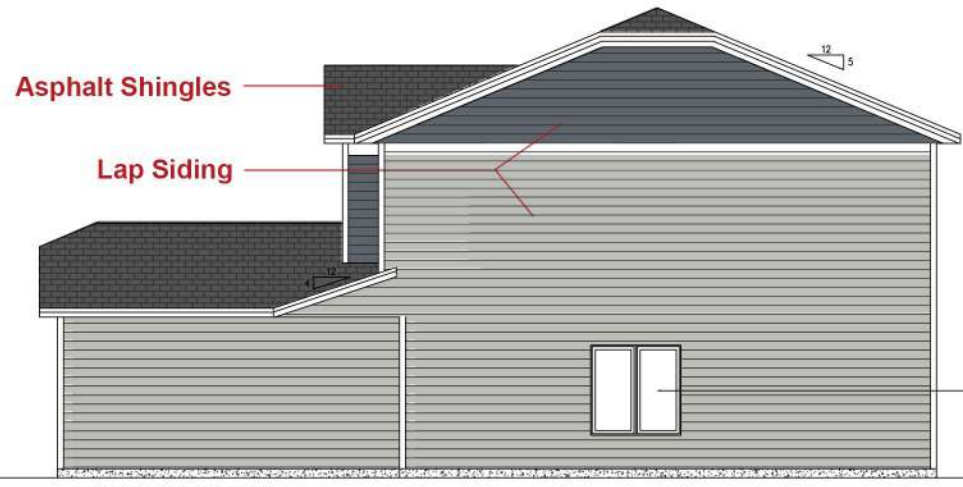
BUILDING HEIGHT - 26'-1"
UNIT SF - 1465 SF

EXTERIOR CLADDING

TOTAL -			
LAP SIDING	5088 SF	94%	
Blue	916	17%	
Gray	4172	77%	
MASONRY	318	6%	
FRONT -			
LAP SIDING	984 SF	75%	
Blue	714		
Gray	270		
MASONRY	318 SF	25%	
LEFT -			
LAP SIDING	458 SF	100%	
Blue	101		
Gray	704		
RIGHT -			
LAP SIDING	445 SF	100%	
Blue	101		
Gray	678		
BACK -			
LAP SIDING	2520 SF	100%	
Gray	2520		



LEFT ELEVATION
1/8"=1'-0"



RIGHT ELEVATION
1/8"=1'-0"



BACK ELEVATION
1/8"=1'-0"

FOR REVIEW

VERIFY ALL DIMENSIONS. ALTHOUGH EVERY POSSIBLE EFFORT IS MADE TO ACCURATELY REFLECT THE CONTRACTOR'S INTENTIONS AND OPERATIONS, IT IS THE CONTRACTOR'S RESPONSIBILITY TO CHECK AND CONFIRM ALL DIMENSIONS AND CONDITIONS OF THE PROJECT BEFORE PROCEEDING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AUTHORITIES.

CUSTOMER: SHADOW CREEK
SPEC: HICKORY 6
ADDRESS: 10/7/22

DATE: 10/7/22

DRAWN BY: AC
REVIEWED:

PLAN # 1
PAGE OF 9

SIGNATURE COMPANIES

PLAN NOTES:

- ALL WINDOWS AND DOORS TO HAVE 1X4 TRIM
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HICKORY 6-Stone-Alt



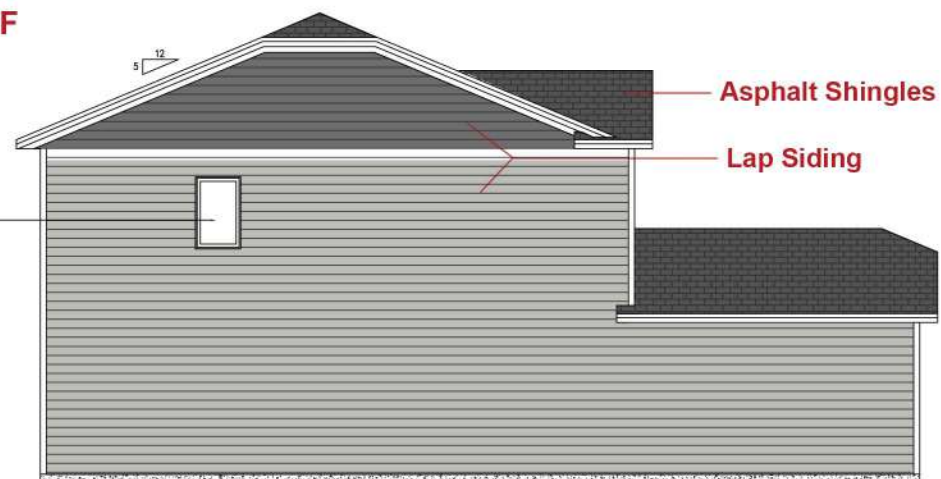
FRONT ELEVATION
1/8"=1'-0"

BUILDING HEIGHT - 26'-1"

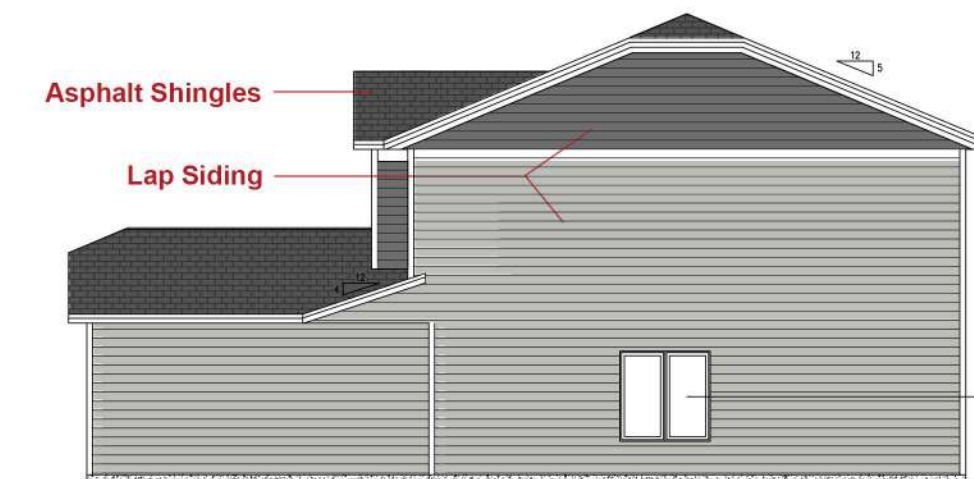
UNIT SF - 1465 SF

EXTERIOR CLADDING

TOTAL -			
LAP SIDING	5088 SF	94%	
D. Gray	916	17%	
Gray	3794	66%	
MASONRY	696	12%	
FRONT -			
LAP SIDING	984 SF	75%	
D. Gray	714		
Gray	270		
MASONRY	318 SF	25%	
LEFT -			
LAP SIDING	458 SF	100%	
D. Gray	101		
Gray	704		
RIGHT -			
LAP SIDING	445 SF	100%	
D. Gray	101		
Gray	678		
BACK -			
LAP SIDING	2142 SF	85%	
Gray	2142		
MASONRY	378 SF	15%	



LEFT ELEVATION
1/8"=1'-0"



RIGHT ELEVATION
1/8"=1'-0"



BACK ELEVATION
1/8"=1'-0"

FOR REVIEW

VERIFY ALL DIMENSIONS. ALTHOUGH EVERY POSSIBLE EFFORT IS MADE TO ACCURATELY REFLECT THE CONTRACTOR'S INTENTIONS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONFIRM ALL DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONFIRM ALL DIMENSIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONFIRM ALL DIMENSIONS.

CUSTOMER SPEC ADDRESS: SHADOW CREEK

DATE: 10/7/22

HICKORY 6

AC

REVISIONS

1 9

PAGE OF

PLAN #

SIGNATURE COMPANIES LLC

PLAN NOTES:

WHITFIELD 6-AIT

- ALL WINDOWS AND DOORS TO HAVE 1X4 TRIM
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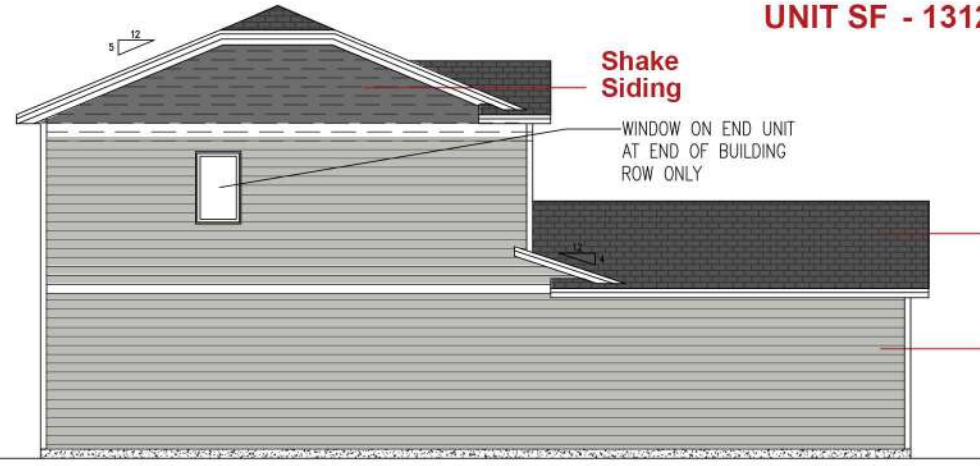


FRONT ELEVATION
3/32"=1'-0"

BUILDING HEIGHT - 24' - 8 1/2"
UNIT SF - 1312 SF

EXTERIOR CLADDING

TOTAL -		
LAP SIDING	5049 SF	94%
D. Gray	901	17%
Gray	4148	77%
MASONRY	324	6%
FRONT -		
LAP SIDING	1086 SF	77%
D. Gray	702	
Gray	384	
MASONRY	324 SF	23%
LEFT -		
LAP SIDING	730 SF	100%
D. Gray	98	
Gray	632	
RIGHT -		
LAP SIDING	713 SF	100%
D. Gray	101	
Gray	612	
BACK -		
LAP SIDING	2520 SF	100%
Gray	2520	



LEFT ELEVATION
3/32"=1'-0"



RIGHT ELEVATION
3/32"=1'-0"



BACK ELEVATION
3/32"=1'-0"

FOR REVIEW

VERIFY ALL DIMENSIONS. ALTHOUGH EVERY POSSIBLE EFFORT IS MADE TO ACCURATELY REFLECT THE CONTRACTOR'S INTENT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL DIMENSIONS AND CONDITIONS IN THE FIELD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.

DRAWN BY: AC
 CHECKED BY: AC
 DATE: 10/17/2022
 PROJECT: WHITFIELD 6
 ADDRESS: SHADOW CREEK
 CUSTOMER SPEC: SIGNATURE COMPANIES LLC
 PLAN # 1
 PAGE OF 9

PLAN NOTES:

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WHITFIELD 6-Stone-Alt

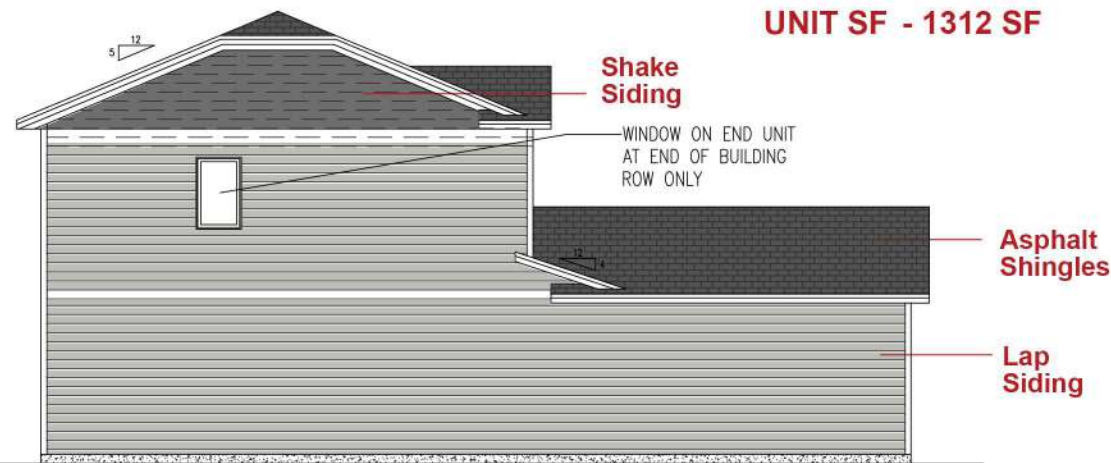


FRONT ELEVATION
3/32"=1'-0"

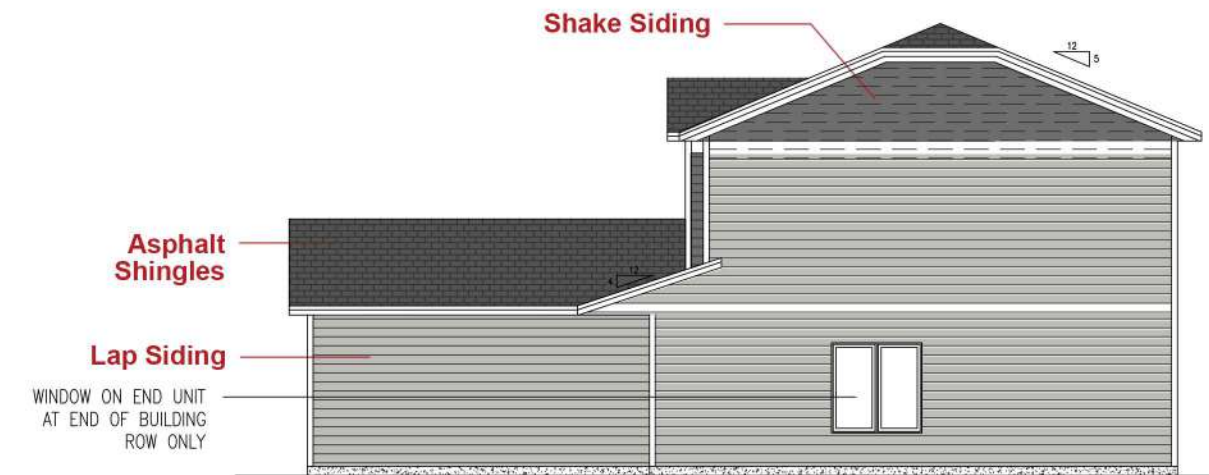
BUILDING HEIGHT - 24' - 8 1/2"
UNIT SF - 1312 SF

EXTERIOR CLADDING

TOTAL -		
LAP SIDING	4671 SF	94%
D. Gray	901	17%
Gray	3770	77%
MASONRY	702	6%
FRONT -		
LAP SIDING	1086 SF	77%
D. Gray	702	
Gray	384	
MASONRY	324 SF	23%
LEFT -		
LAP SIDING	730 SF	100%
D. Gray	98	
Gray	632	
RIGHT -		
LAP SIDING	713 SF	100%
D. Gray	101	
Gray	612	
BACK -		
LAP SIDING	2142 SF	85%
Gray	2142	
MASONRY	378 SF	15%



LEFT ELEVATION
3/32"=1'-0"



RIGHT ELEVATION
3/32"=1'-0"



BACK ELEVATION
3/32"=1'-0"

FOR REVIEW

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DRAWN BY: AC
DATE: 10/7/2022

CUSTOMER SPEC ADDRESS: WHITFIELD 6 SHADOW CREEK

PLAN # 1
PAGE OF 9

SIGNATURE COMPANIES

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WHITFIELD 6-Stone

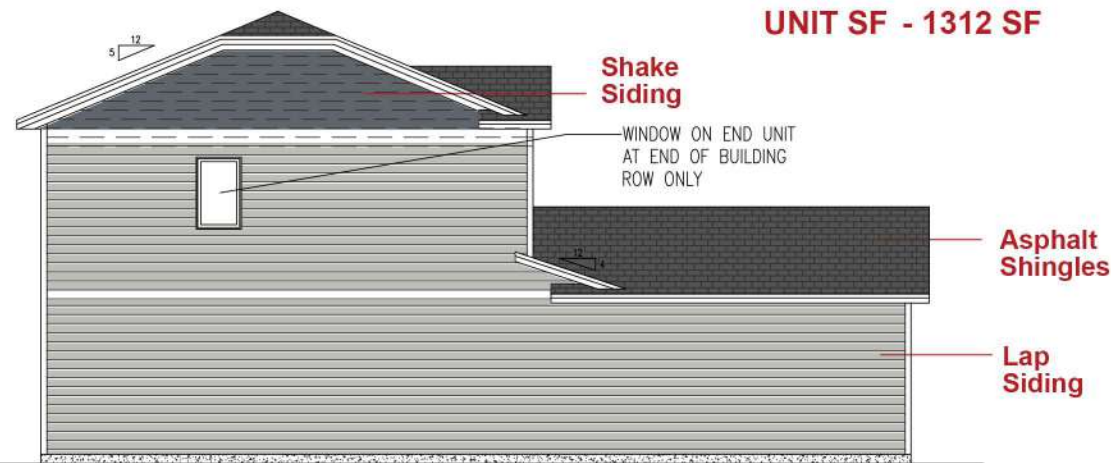


FRONT ELEVATION
3/32"=1'-0"

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Blue	98		
Gray	632		
RIGHT -			
LAP SIDING	713 SF	100%	
Blue	101		
Gray	612		
BACK -			
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Gray	2142		
MASONRY	378 SF	15%	



LEFT ELEVATION
3/32"=1'-0"



RIGHT ELEVATION
3/32"=1'-0"



BACK ELEVATION
3/32"=1'-0"

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DRAWN BY: AC
REVISION: 10/7/2022

CUSTOMER SPEC ADDRESS: SHADOW CREEK

SIGNATURE COMPANIES

PLAN #
PAGE OF
1 9