

PRELIMINARY- NOT FOR CONSTRUCTION

ENTERPRISE R-A-C WAUKEE SITE IMPROVEMENT PLANS

SHEET INDEX:

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PROPERTY DESCRIPTION:

LOT 2, WAUKEE GREENWAY PARK PLAT 1, AN OFFICIAL PLAT, WAUKEE, DALLAS COUNTY, IOWA
SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

ADDRESS:

80 N WARRIOR LANE
WAUKEE, IOWA 50263

AREA:

90,745 SQUARE FEET - 2.08 ACRES

OWNER:

PHILLIP E BRODERICK, LLC.
22 GLENVIEW DR
DES MOINES, IA 50312

PREPARED FOR:

DANE WRIGHT
D WRIGHT CONSTRUCTION
325 GARFIELD STREET
CARLSLE, IA 50047

ZONING:

EXISTING / PROPOSED
C-1 COMMUNITY AND HIGHWAY SERVICE COMMERCIAL DISTRICT

SETBACKS

FRONT YARD	30 FEET (MIN.)
REAR YARD	30 FEET (MIN.)
SIDE YARD	NO MIN.
	30 FEET (MIN.) WHEN ADJACENT TO ANY R DISTRICT
MAX HEIGHT	NO MAX.
	2 STORIES OR 40 FEET WHEN ADJACENT TO AN R-1, R-2 OR R-4 DISTRICT
	1 STORY OR 14 FEET FOR ACCESSORY BLDG.

NO. OF EMPLOYEES:

6-8 EMPLOYEES

OCCUPANCY GROUP & DIVISION:

RENTAL / RETAIL

ENTERPRISE PARKING REQUIREMENTS:

AUTOMOTIVE SALES
REQUIRED: 1 SPACE PER 1,000 SF OF GROSS FLOOR AREA PLUS 1 PER 5,000 SF OF DEVELOPED AREA.
GROSS FLOOR AREA: 2,400 SQ. FT.
= 3 STALLS REQUIRED
DEVELOPED AREA: 36,554 SQ. FT.
= 8 STALLS REQUIRED
TOTAL STALLS REQUIRED: 11 STALLS

RENTAL CAR STORAGE PROVIDED: 79 STALLS
EMPLOYEE PARKING PROVIDED: 10 STALLS
CUSTOMER PARKING PROVIDED: 19 STALLS (INCLUDING 2 HANDICAP STALLS)

MERCY CLINIC PARKING REQUIREMENTS:

(PER MERCY CLINIC AT GREENWAY PARK SITE PLANS - FILED 2009)
3 SPACES PER 1,000 SF MEDICAL
PARKING REQUIRED = 87 SPACES (14,000 SF PROPOSED & 15,000 SF FUTURE)
PARKING PROVIDED = 106 SPACES

OPEN SPACE/IMPERVIOUS REQUIREMENTS:

TOTAL SITE AREA = 90,745 S.F. (2.08 AC)
REQUIRED OPEN SPACE = 18,149 S.F. (20%)
EXISTING OPEN SPACE = 66,331 S.F. (73%)
EXISTING IMPERVIOUS = 24,414 S.F. (27%)

PROPOSED OPEN SPACE = 29,336 S.F. (32.3%)
PROPOSED IMPERVIOUS = 61,410 S.F. (67.7%)
NET INCREASE IMPERVIOUS AREA = 36,996 S.F. (0.85 ACRES)

100-YEAR FLOOD ELEVATION:

NOT IN 100-YEAR FLOOD PLAIN

SITE CONTROL AND BENCHMARKS:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = NAVD83, GEOID 18)

POINT #9000, REBAR
NORTHING = 588988.33
EASTING = 538255.92
ELEVATION = 1017.06
DESCRIPTION: LOCATED NORTH OF THE OF THE PARKING SPACES IN THE SOUTH WEST CORNER OF THE PROPERTY



UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH 2022 SUDAS AND 2020 WAUKEE STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF WAUKEE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF WAUKEE.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.

PAVING NOTES:

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SEEDED IN ACCORDANCE WITH CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
- SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUB BASE PRIOR TO ANY PAVEMENT BEING PLACED.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A.D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

UTILITY NOTES:

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING (AT 515-276-0467) TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION PONDS HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.
- MANDREL AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVISION OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
- WATERMANS SHALL BE C-900. SIZE OF WATERMAIN AS SHOWN ON PLANS.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
- PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF WAUKEE.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF WAUKEE WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.
- ALL HYDRANTS SHALL BE FITTED WITH 6" STORZ FITTINGS.

PLAT NOTES:

- PER THE PLAT A BLANKET EASEMENT SHALL BE PROVIDED ACROSS LOTS 2 AND 3 FOR PUBLIC INGRESS/EGRESS, PEDESTRIAN AND CROSS ACCESS AND PARKING.
- PER THE PLAT SIDEWALKS ADJACENT TO LOTS 1, 2 AND 3 ARE REQUIRED AS A PART OF THE DEVELOPMENT OF EACH LOT.
- PER THE PLAT UTILITY SERVICES TO EACH LOT WITHIN THE PLAT ARE TO BE PROVIDED AS A PART OF THE DEVELOPMENT OF EACH LOT.

UTILITY MAPS PROVIDED BY:

- ELECTRIC (MIDAMERICAN / 515-252-8972)
- STORM AND SANITARY (CITY OF WAUKEE / 515-978-7920)
- FIBER OPTIC (AUREON / 515-830-0445)
(ICN / 800-572-3940)
(CENTURYLINK / 918-547-0147)
(MEDIACOM / 515-246-6668)
(UPN / 816-425-3556)
(VERIZON / 972-729-7000)
(MI-FIBER / 515-897-9192)
(CONSOLIDATED COMMUNICATIONS/ 507-386-3606)
- GAS (CITY OF WAUKEE / 515-978-7920)
- WATER (CITY OF WAUKEE / 515-978-7920)

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UTILITY CONFLICT NOTES:

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION

WETLAND NOTES:

- BISHOP ENGINEERING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

SURVEY NOTES:

- SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING ON 7-7-22.

SECURITY NOTES:

- CONTRACTOR RESPONSIBLE FOR SECURITY OF THE SITE.
- TEMPORARY FENCES OR ANY OTHER SECURITY MEASURES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- NO SECURITY MEASURES WILL BE ELIGIBLE FOR A CHANGE ORDER AND MUST BE INCLUDED IN THE BASE BID.

PAVEMENT SAWCUT NOTES:

- CONTRACTOR TO PROVIDE SAWCUT JOINTING PLAN TO SETH SUNDERMAN, BISHOP ENGINEERING (515-276-0467 OR SSUNDERMAN@BISHOPENGR.COM) PRIOR TO ANY CONCRETE PAVEMENT INSTALLATION.
- PAVEMENT MAY BE REQUIRED TO BE REMOVED AND REPLACED IF PLACED WITHOUT AN APPROVED PLAN.
- LONGITUDINAL JOINTS IN DRIVE LANES & THE OUTER MOST JOINT OF ALL PARKING AREAS SHALL BE SUDAS TYPE 'L-1' OR 'L-2' JOINTS AND HAVE STEEL INTERIOR PARKING LOT JOINTS. OTHER THAN THE OUTER MOST JOINT, DO NOT NEED STEEL AND SHALL BE SUDAS TYPE 'B' JOINTS.
- TYPICAL LONGITUDINAL JOINTS SHALL BE PLACED IN THE CENTER OF ALL DRIVE AISLES AND AT THE END OF ALL PARKING STALLS.
- ALL TRANSVERSE JOINTS SHALL BE SUDAS TYPE 'C' OR TYPE 'DW' JOINTS WITH STEEL IN THE CASE OF A DAY'S WORK JOINT.

PAVEMENT PLACEMENT NOTES:

- SEE PROJECT SPECIFICATION SECTION 32 13 13 FOR LASER SCREED REQUIREMENTS.

STORM & SANITARY TELEVISION NOTES:

- CONTRACTOR IS REQUIRED TO TELEVIEW ALL SANITARY AND STORM SEWER SYSTEM PRIOR TO PAVING OPERATIONS.
- CONTRACTOR SHALL SEND VIDEO INSPECTION TO THE ENGINEER FOR APPROVAL PRIOR TO PAVING.
- CONTRACTOR SHALL PROVIDE COPIES OF THE REPORTS AND VIDEOS TO THE CITY OF WAUKEE ENGINEERING DEPARTMENT FOR APPROVAL PRIOR TO PAVING.

REQUIRED AS-BUILTS:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF AS-BUILT TOPO OF ALL DETENTION PONDS & DETENTION POND STORM SEWER, PUBLIC STORM SEWER, RAMPS, LANDINGS, CROSSWALKS AND PUBLIC IMPROVEMENTS. CONTRACTOR SHALL CONTACT BISHOP ENGINEERING (SETH SUNDERMAN AT 515-276-0467) TO PERFORM SAID AS-BUILT SURVEYS. IF ANYTHING HAS BEEN CONSTRUCTED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.

"CONTRACTOR SHALL CONTACT BISHOP ENGINEERING FOR POND AS-BUILTS AFTER TOPSOIL RESPREAD AND BEFORE SEEDING HAS TAKEN PLACE"

AFTER DETENTION BASINS HAVE BEEN AS-BUILT AND APPROVED, BISHOP ENGINEERING SHALL PROVIDE A SIGNED CERTIFICATION STATEMENT TO THE CITY OF WAUKEE INDICATING THAT FACILITIES WERE CONSTRUCTED AS DESIGNED.

SWPPP NOTES:

- STORM WATER POLLUTION PREVENTION PLAN HAS BEEN PREPARED BY BISHOP ENGINEERING. CONTACT GODWIN AGBLEZE (515-276-0467) FOR A COPY OF THE SWPPP.
- THIS PROJECT INCLUDES SAWCUTTING OR CONCRETE GRINDING SO PROTECTION OF STORM SEWERS AND DRAINAGE WAYS WILL NEED TO BE PROVIDED FROM SLURRY FROM THE CONCRETE OPERATIONS. SEE SWPPP SHEET FOR ADDITIONAL DETAILS.

SPECIFICATIONS NOTES:

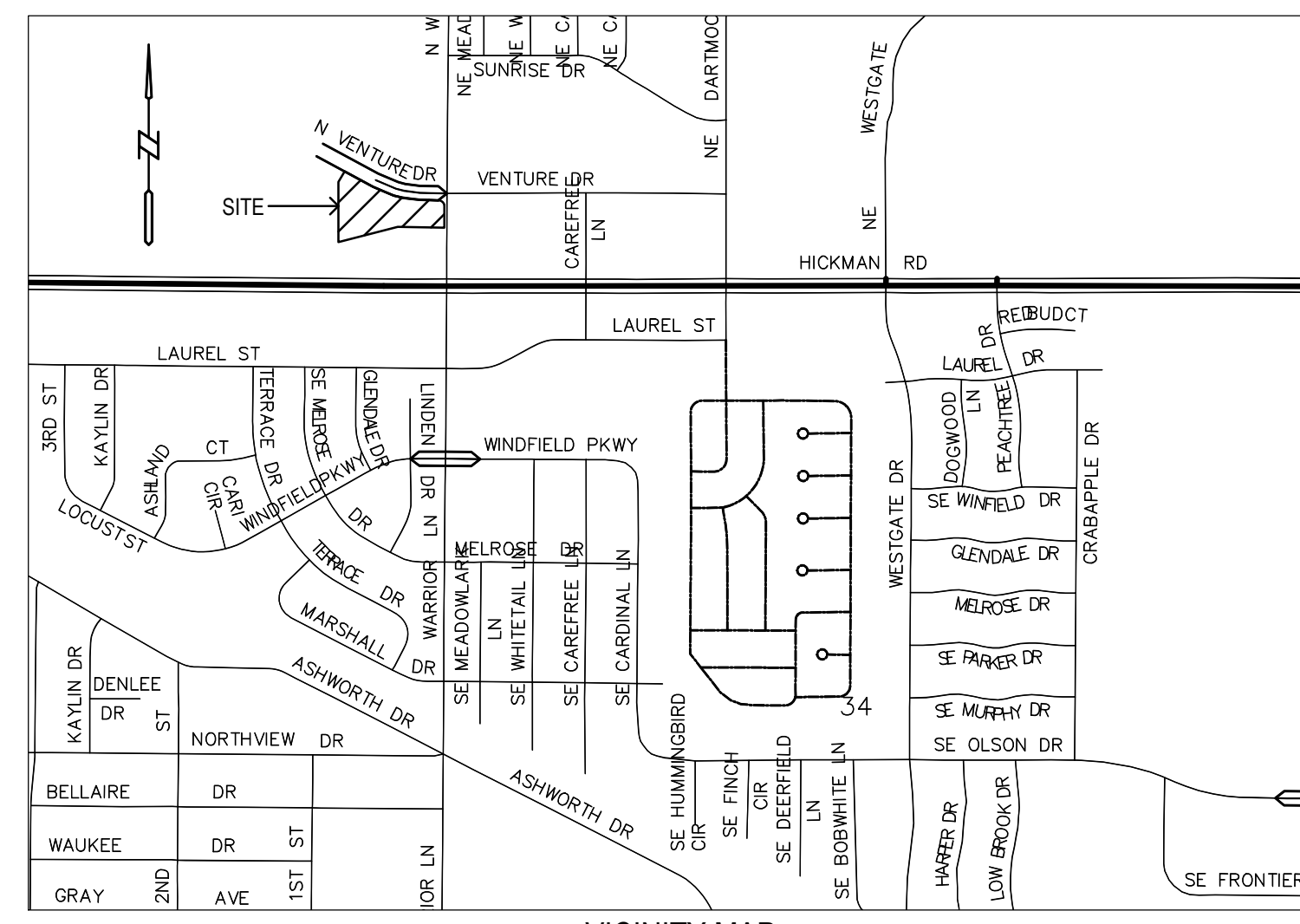
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE ENTERPRISE R.A.C WAUKEE PROJECT SPECIFICATIONS, CITY OF WAUKEE SPECIFICATIONS AND SUDAS SPECIFICATIONS.
- FOR ANY DISCREPANCIES BETWEEN THE ENTERPRISE R.A.C WAUKEE PROJECT SPECIFICATIONS AND THE CITY OF WAUKEE REQUIREMENTS AND SPECIFICATIONS, PLUMBING CODE, AND URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENT (2022 EDITION SUDAS), THE CITY OF WAUKEE STANDARD SPECIFICATIONS SHALL GOVERN.
- FOR ALL SPECIFICATION DISCREPANCIES, PROJECT ENGINEER SHALL BE CONTACTED PRIOR TO PROCEEDING WITH CONSTRUCTION. IF ENGINEER IS NOT CONTACTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PROBLEMS THAT RESULT FROM SAID DISCREPANCIES.
- FOR ALL SPECIFICATION DISCREPANCIES, CONTRACTOR MUST OBTAIN WRITTEN APPROVAL FROM THE CITY OF WAUKEE ENGINEERING DEPARTMENT FOR ANY CHANGES TO PROPOSED SITE INFRASTRUCTURE OR GRADES PRIOR TO PROCEEDING WITH ANY CHANGES.

STAKING NOTES:

- CONTRACTOR IS REQUIRED TO HAVE ALL STAKING DONE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR AND IN COORDINATION WITH THE PROJECT ENGINEER.
- CONTRACTOR IS REQUIRED TO HAVE ALL STAKING DONE DIRECTLY UNDER THE GENERAL CONTRACTOR BY A SINGLE COMPANY.
- STAKING DOES NOT RELIEVE CONTRACTOR OF ULTIMATE RESPONSIBILITY TO CONSTRUCT THE PROJECT PER PLAN.

EARTHWORK BALANCE NOTES:

- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY. CONTRACTOR RESPONSIBLE FOR MAKING THE SITE EARTHWORK BALANCE.
- THIS INCLUDES BUT IS NOT LIMITED TO TOPSOIL, POOR SOILS AND STRUCTURAL FILL NECESSARY TO MEET PROJECT PLANS AND SPECIFICATIONS.



VICINITY MAP
SCALE: NONE

ABBREVIATIONS:

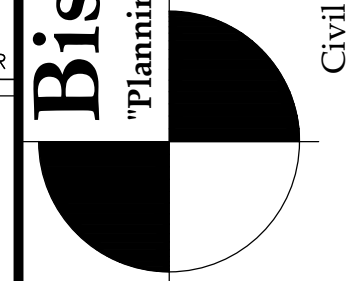
AC	ACRES	— SAN —	SANITARY SEWER
ASPH	ASPHALT	— ST —	STORM SEWER
BK	BOOK	— W —	WATER LINE
CONC	CONCRETE	— G —	GAS LINE
D	DEEDED DISTANCE	— UE —	UNDERGROUND ELECTRIC
EX	EXISTING	— OE —	OVERHEAD ELECTRIC
ENCL	ENCLOSURE	— TELE —	TELEPHONE LINE
FF	FINISHED FLOOR	— F/O —	FIBER OPTIC
FL	FLOW LINE	— CATV —	CABLE TV
FRAC	FRACTIONAL	⊙	STORM MANHOLE
M	MEASURED DISTANCE	⊠	CURB INTAKE
MH	MANHOLE	⊙	SURFACE INTAKE
OPC	ORANGE PLASTIC CAP	⊠	FLARED END SECTION
P	PLATTED DISTANCE	⊙	SANITARY MANHOLE
PG	PAGE	⊙	CLEANOUT
POB	POINT OF BEGINNING	⊙	FIRE HYDRANT
POC	POINT OF COMMENCEMENT	⊙	SPRINKLER
PRA	PREVIOUSLY RECORDED AS	⊙	IRRIGATION CONTROL VALVE
PUE	PUBLIC UTILITY EASEMENT	⊙	WATER MANHOLE
ROW	RIGHT OF WAY	⊙	WELL
RPC	RED PLASTIC CAP	⊙	WATER VALVE
SF	SQUARE FEET	⊙	WATER SHUT OFF
SAN	SANITARY	⊙	YARD HYDRANT
TYP	TYPICAL	⊙	ELECTRIC MANHOLE
YPC	YELLOW PLASTIC CAP	⊙	ELECTRIC METER
N	NORTH	⊙	ELECTRIC RISER
S	SOUTH	⊙	ELECTRIC VAULT
E	EAST	⊙	POWER POLE
W	WEST	⊙	TRANSFORMER POLE

LEGEND:

⊙	STORM MANHOLE
⊠	CURB INTAKE
⊙	SURFACE INTAKE
⊠	FLARED END SECTION
⊙	SANITARY MANHOLE
⊙	CLEANOUT
⊙	FIRE HYDRANT
⊙	SPRINKLER
⊙	IRRIGATION CONTROL VALVE
⊙	WATER MANHOLE
⊙	WELL
⊙	WATER VALVE
⊙	WATER SHUT OFF
⊙	YARD HYDRANT
⊙	ELECTRIC MANHOLE
⊙	ELECTRIC METER
⊙	ELECTRIC RISER
⊙	ELECTRIC VAULT
⊙	POWER POLE
⊙	TRANSFORMER POLE
⊙	LIGHT POLE
⊙	ELECTRIC JUNCTION BOX
⊙	ELECTRIC PANEL
⊙	TRANSFORMER
⊙	GROUND LIGHT
⊙	GUY WIRE
⊙	ELECTRIC HANDHOLE
⊙	GAS METER
⊙	GAS VALVE
⊙	AIR CONDITIONING UNIT
⊙	TELEPHONE RISER
⊙	TELEPHONE VAULT
⊙	TELEPHONE MANHOLE
⊙	TRAFFIC SIGNAL MANHOLE
⊙	FIBER OPTIC MANHOLE
⊙	FIBER OPTIC RISER
⊙	FIBER OPTIC VAULT
⊙	CABLE TV RISER
⊙	SIGN
⊙	BOLLARD
⊙	DENOTES NUMBER OF PARKING STALLS
●	PROPERTY CORNER - FOUND AS NOTED
○	PROPERTY CORNER- PLACED AS NOTED
⊙	SECTION CORNER - FOUND AS NOTED

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ENTERPRISE R.A.C.
WAUKEE, IOWA

COVER SHEET

REFERENCE NUMBER:
070600

DRAWN BY:
REB

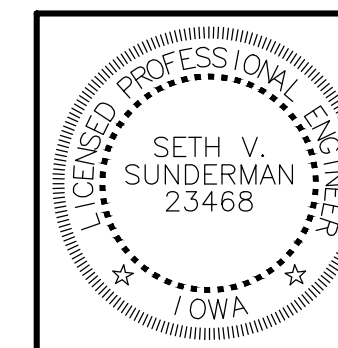
CHECKED BY:
SVS

REVISION DATE:
1ST CITY SUB - 2022-09-09
2ND CITY SUB - 2022-10-12
3RD CITY SUB - 2022-11-30

PROJECT NUMBER:
210170

SHEET NUMBER:

C0.1



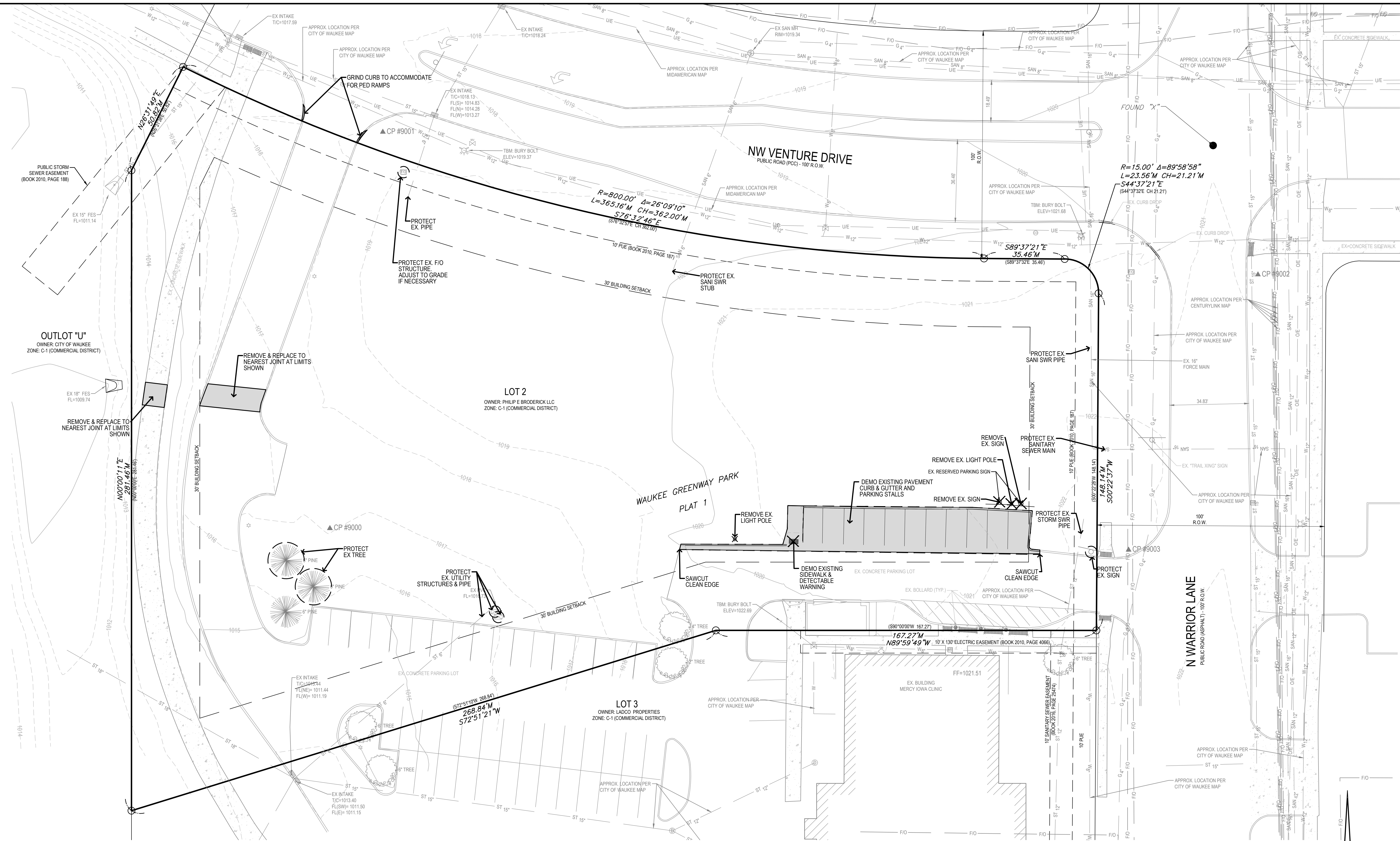
I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: **SETH V. SUNDERMAN, P.E. 23468** DATE: _____

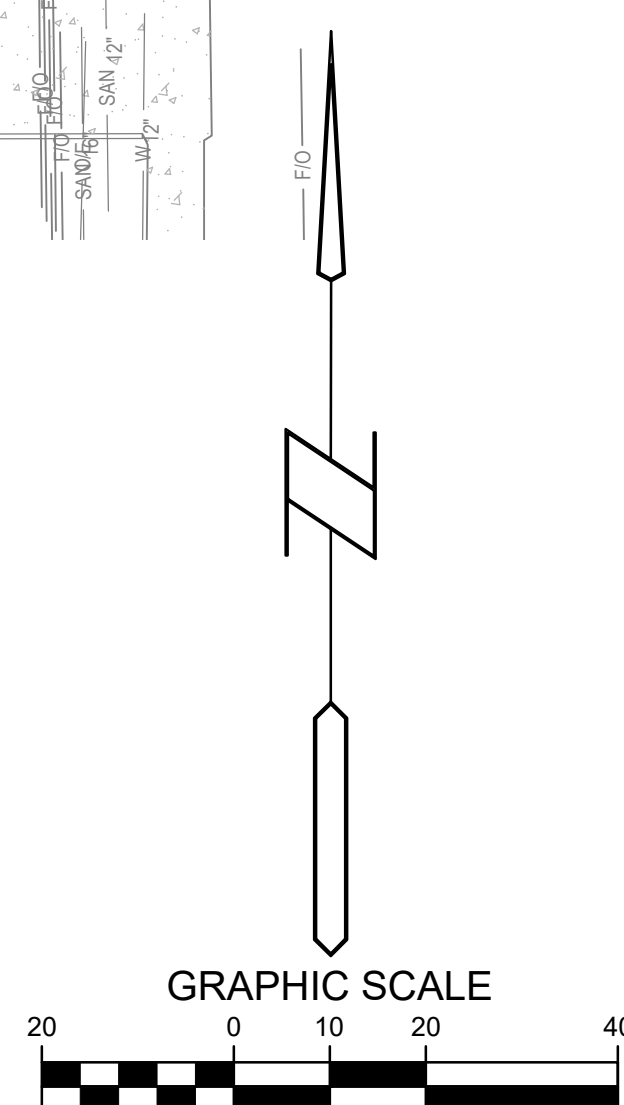
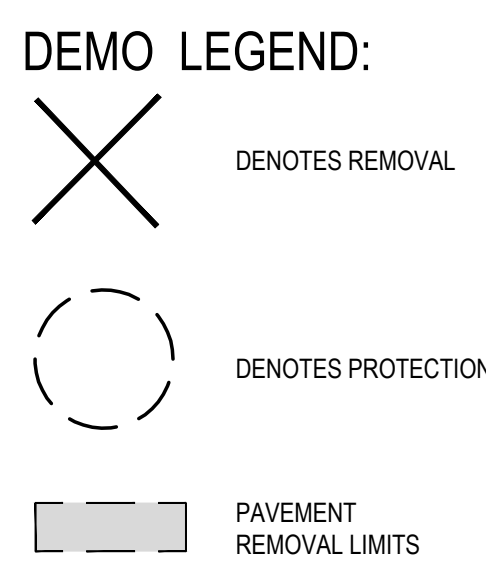
LICENSE RENEWAL DATE: DEC. 31, 2023
PAGES OR SHEETS COVERED BY THIS SEAL: C0.1, C1.1, C2.1, C3.1, C4.1, C6.1 & C7.1

PRELIMINARY- NOT FOR CONSTRUCTION

1/21/2022 5:20:18 PM L:\LAND PROJECTS\2021\21070 WAUKEE ENTERPRISE RENT-A-CARD\DWG\C1 EX CONDITIONS & DEMO.DWG



- DEMO NOTES:**
1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
 2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.
 3. PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.
 4. CONTRACTOR TO LOCATE AND VERIFY ALL EXISTING UTILITY LOCATIONS AND DEPTH ON SITE PRIOR TO CONSTRUCTION AND CONTACT ENGINEER/OWNER IF DIFFERENT FROM PLANS OR IN CONFLICT WITH CONSTRUCTION ACTIVITIES.
 5. CONTRACTOR TO COORDINATE PERMITTING, SIGNAGE AND LANE CLOSURE WITH CITY AS REQUIRED FOR WORK WITHIN RIGHT OF WAY PRIOR TO START OF CONSTRUCTION.
 6. CONTRACTOR TO PROTECT ALL UTILITIES, PAVEMENTS AND STRUCTURES THAT ARE NOT SCHEDULED FOR REMOVAL. CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY DAMAGED UTILITIES, PAVEMENTS, AND STRUCTURES NOT SCHEDULED FOR REMOVAL PER CITY/OWNER SPECIFICATIONS AT THE CONTRACTORS EXPENSE.
 7. CONTRACTOR TO REMOVE EXISTING TEMPORARY GRANULAR SURFACE AND UNSUITABLE MATERIALS WITHIN REMOVAL LIMITS SHOWN AND HAUL OFF TO AN APPROVED LOCATION.
 8. CONTRACTOR TO COORDINATE WITH OWNER FOR SALVAGING & STORING MATERIALS AT A LOCATION DESIGNATED BY THE OWNER.
 9. CONTRACTOR TO COORDINATE WITH UTILITY OWNERS AND MEP FOR ANY REQUIRED RELOCATION OR ADJUSTMENT OF EXISTING FIBER, ELECTRIC AND GAS LINES AS NEEDED TO AVOID CONFLICT WITH CONSTRUCTION ACTIVITIES AND IMPROVEMENTS.
 10. CONTRACTOR TO COORDINATE WITH ARCHITECT AND STRUCTURAL FOR ANY BUILDING AND STOOP DEMOLITION.



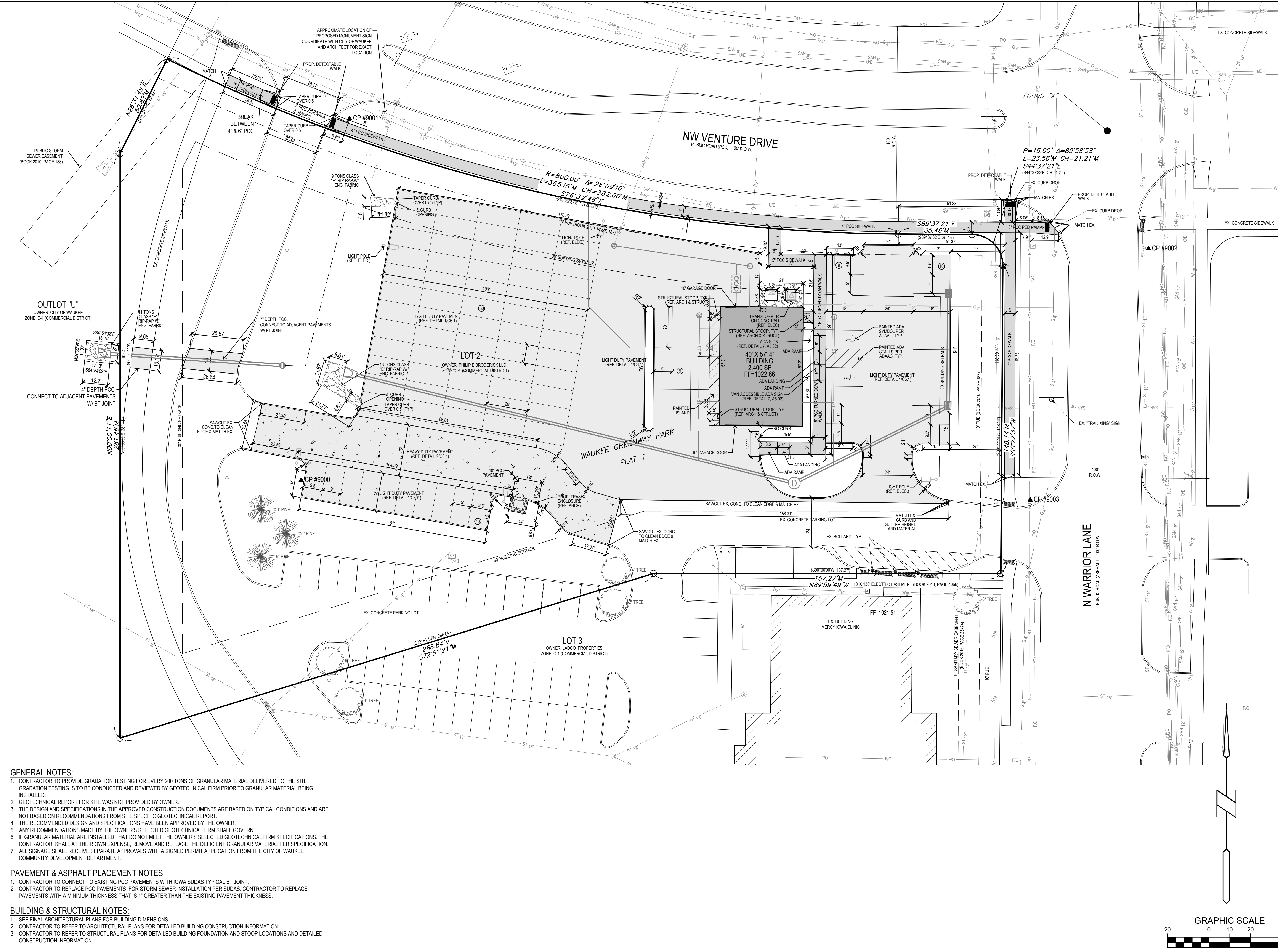
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CHECKED BY:	SVS
REVISION DATE:	1ST CITY SUB - 2022-09-09 2ND CITY SUB - 2022-10-12 3RD CITY SUB - 2022-11-30
PROJECT NUMBER:	210170
SHEET NUMBER:	C1.1

ENTERPRISE R.A.C.
WAUKEE, IOWA
EX. CONDITIONS & DEMO PLAN

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PRELIMINARY- NOT FOR CONSTRUCTION

1/21/2022 5:20:32 PM L:\LAND PROJECTS\2021\1070 WAUKEE ENTERPRISE RENT-A-CARD\WG2 LAYOUT.DWG



GENERAL NOTES:

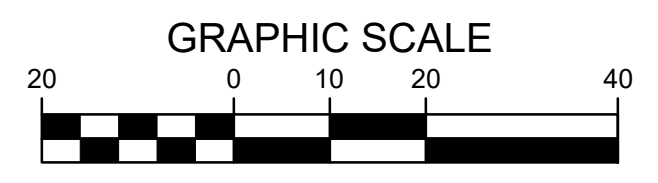
- CONTRACTOR TO PROVIDE GRADATION TESTING FOR EVERY 200 TONS OF GRANULAR MATERIAL DELIVERED TO THE SITE. GRADATION TESTING IS TO BE CONDUCTED AND REVIEWED BY GEOTECHNICAL FIRM PRIOR TO GRANULAR MATERIAL BEING INSTALLED.
- GEOTECHNICAL REPORT FOR SITE WAS NOT PROVIDED BY OWNER.
- THE DESIGN AND SPECIFICATIONS IN THE APPROVED CONSTRUCTION DOCUMENTS ARE BASED ON TYPICAL CONDITIONS AND ARE NOT BASED ON RECOMMENDATIONS FROM SITE SPECIFIC GEOTECHNICAL REPORT.
- THE RECOMMENDED DESIGN AND SPECIFICATIONS HAVE BEEN APPROVED BY THE OWNER.
- ANY RECOMMENDATIONS MADE BY THE OWNER'S SELECTED GEOTECHNICAL FIRM SHALL GOVERN.
- IF GRANULAR MATERIAL ARE INSTALLED THAT DO NOT MEET THE OWNER'S SELECTED GEOTECHNICAL FIRM SPECIFICATIONS, THE CONTRACTOR, SHALL AT THEIR OWN EXPENSE, REMOVE AND REPLACE THE DEFICIENT GRANULAR MATERIAL PER SPECIFICATION.
- ALL SIGNAGE SHALL RECEIVE SEPARATE APPROVALS WITH A SIGNED PERMIT APPLICATION FROM THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT.

PAVEMENT & ASPHALT PLACEMENT NOTES:

- CONTRACTOR TO CONNECT TO EXISTING PCC PAVEMENTS WITH IOWA SUDAS TYPICAL BT JOINT.
- CONTRACTOR TO REPLACE PCC PAVEMENTS FOR STORM SEWER INSTALLATION PER SUDAS. CONTRACTOR TO REPLACE PAVEMENTS WITH A MINIMUM THICKNESS THAT IS 1" GREATER THAN THE EXISTING PAVEMENT THICKNESS.

BUILDING & STRUCTURAL NOTES:

- SEE FINAL ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
- CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR DETAILED BUILDING CONSTRUCTION INFORMATION.
- CONTRACTOR TO REFER TO STRUCTURAL PLANS FOR DETAILED BUILDING FOUNDATION AND STOOP LOCATIONS AND DETAILED CONSTRUCTION INFORMATION.



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ENTERPRISE R.A.C.
 WAUKEE, IOWA

REFERENCE NUMBER:
070600

DRAWN BY:
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CHECKED BY:
SVS

REVISION DATE:
1ST CITY SUB - 2022-09-09
2ND CITY SUB - 2022-10-12
3RD CITY SUB - 2022-11-30

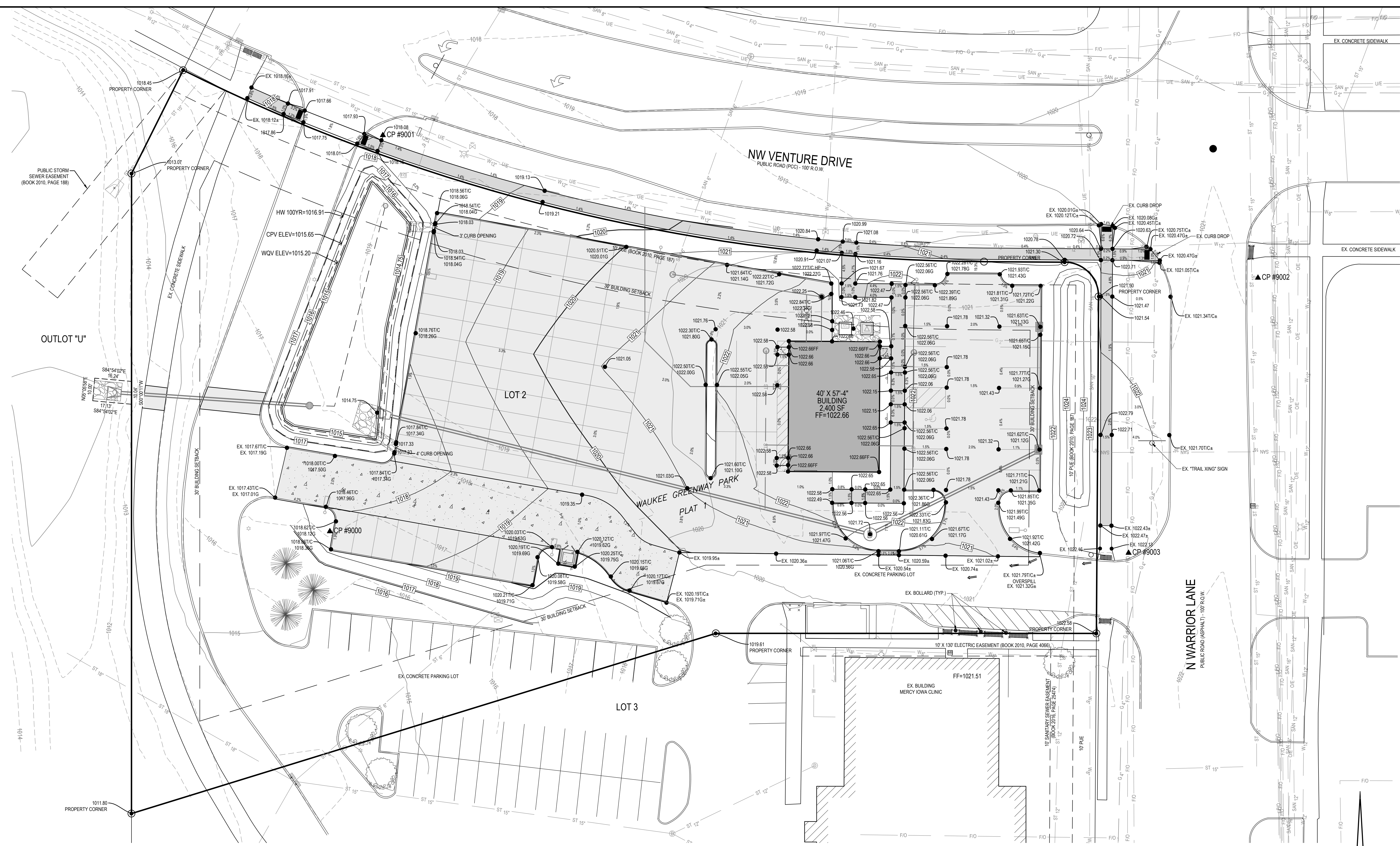
PROJECT NUMBER:
210170

SHEET NUMBER:
C2.1

LAYOUT PLAN

PRELIMINARY- NOT FOR CONSTRUCTION

1/21/2022 5:30:12 PM L:\LAND PROJECTS 2021\21010 WAUKEE ENTERPRISE RENT-A-CARD\WG3 GRADING PLAN.DWG



GRADING LEGEND:

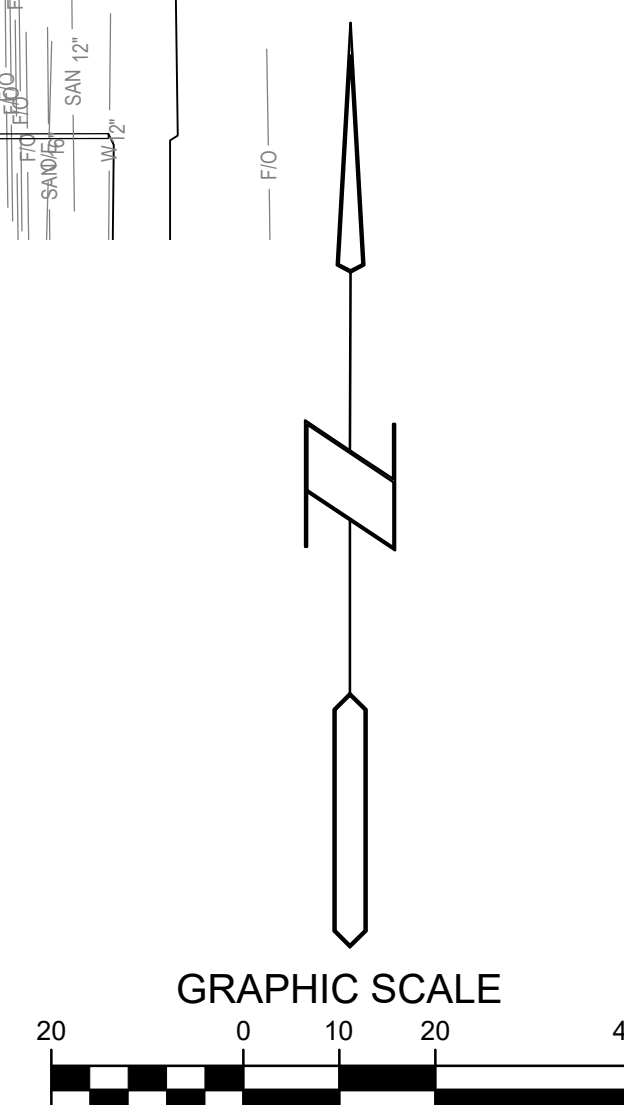
EXISTING CONTOUR	---
PROPOSED CONTOUR	---
FINISHED GROUND ELEVATION	● 150.50
TOP OF CURB ELEVATION	● 150.50T/C
GUTTER ELEVATION	● 150.50G
TOP OF WALL ELEVATION	● 150.50T/W
BOTTOM OF WALL ELEVATION	● 150.50B/W
EDGE OF WALK ELEVATION	● 150.50E/W
TOP OF STAIR ELEVATION	● 150.50T/S
BOTTOM OF STAIR ELEVATION	● 150.50B/S

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

- ADA RAMP & LANDING NOTES:**
- RAMPS ON SIDEWALKS THAT EXCEED 5% RUNNING SLOPE MUST HAVE A MINIMUM OF 5'X5' LANDING AT THE TOP AND BOTTOM OF THE RAMP. THE LANDING SHALL NOT EXCEED 2% SLOPE IN ANY DIRECTION.
 - NOT ALL RAMPS AND LANDINGS ARE CALLED OUT ON PLANS. ANYWHERE A WALK EXCEEDS 5% SLOPE, AS SHOWN ON THE GRADING PLAN, SHALL BE CONSIDERED AN ADA RAMP AND THEREFORE MUST HAVE LANDINGS.
- TOPSOIL NOTES:**
- STRIP AND STOCKPILE THE TOP 8" OF SOIL ON ALL DISTURBED AREAS.
 - RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 8" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 8".
 - TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.**
 - TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 30 PERCENT ORGANIC MATTER.
 - CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

- GENERAL NOTES:**
- CONTRACTOR TO COORDINATE WITH ARCHITECTURAL PLANS FOR BUILDING OVERHEAD AND MAN DOOR ELEVATION DETAILS. ALL BUILDING STOOPS SHALL HAVE A MINIMUM 1.0% CROSS SLOPE AND A MAX 2% CROSS SLOPE.
 - CONTRACTOR TO VERIFY AND COORDINATE EXTERIOR PAVEMENT ELEVATIONS ADJACENT TO STOOP AND DOOR LOCATIONS TO PROVIDE A MINIMUM 1.0% SLOPE AND A MAX 5% SLOPE AWAY FROM BUILDING AND BUILDING STOOPS.
 - ALL LIGHT DUTY AND HEAVY DUTY PAVEMENT AREAS SHALL HAVE A MINIMUM 1.0% SLOPE TO PROVIDE POSITIVE DRAINAGE.
 - SIDEWALKS SHALL HAVE A MINIMUM 1.0% CROSS SLOPE AND A MAX 2% CROSS SLOPE AT ANY LOCATION.
 - THE GENERAL CONTRACTOR AND THEIR SURVEYOR SHALL BE RESPONSIBLE FOR CREATING THE STAKING MODEL. CONTRACTOR TO VERIFY ALL GRADING ELEVATIONS AND CONTACT THE OWNER/ENGINEER, PRIOR TO CONSTRUCTION. IF THERE ARE ANY DISCREPANCIES OR CONFLICTS BETWEEN THE PLANS AND TYPICAL CONSTRUCTION STANDARDS AND TOLERANCES.
 - ANY AS-BUILT PAVEMENTS THAT ARE IDENTIFIED TO HAVE LOW SPOTS OR PONDING SHALL BE REMOVED AND REPLACED, AT CONTRACTOR'S EXPENSE, AS NEEDED TO PROVIDE POSITIVE DRAINAGE.
 - CONTRACTOR SHALL ADJUST EXISTING UTILITY STRUCTURES RIMS TO GRADE.
 - CONTRACTOR TO COORDINATE WITH UTILITY PROVIDERS FOR ANY RELOCATION OR LOWERING OF EXISTING UTILITIES TO ACCOMMODATE GRADING AND NEW UTILITIES. ANY REMOVAL AND REPLACEMENT OF SAID UTILITIES SHALL BE INCIDENTAL.

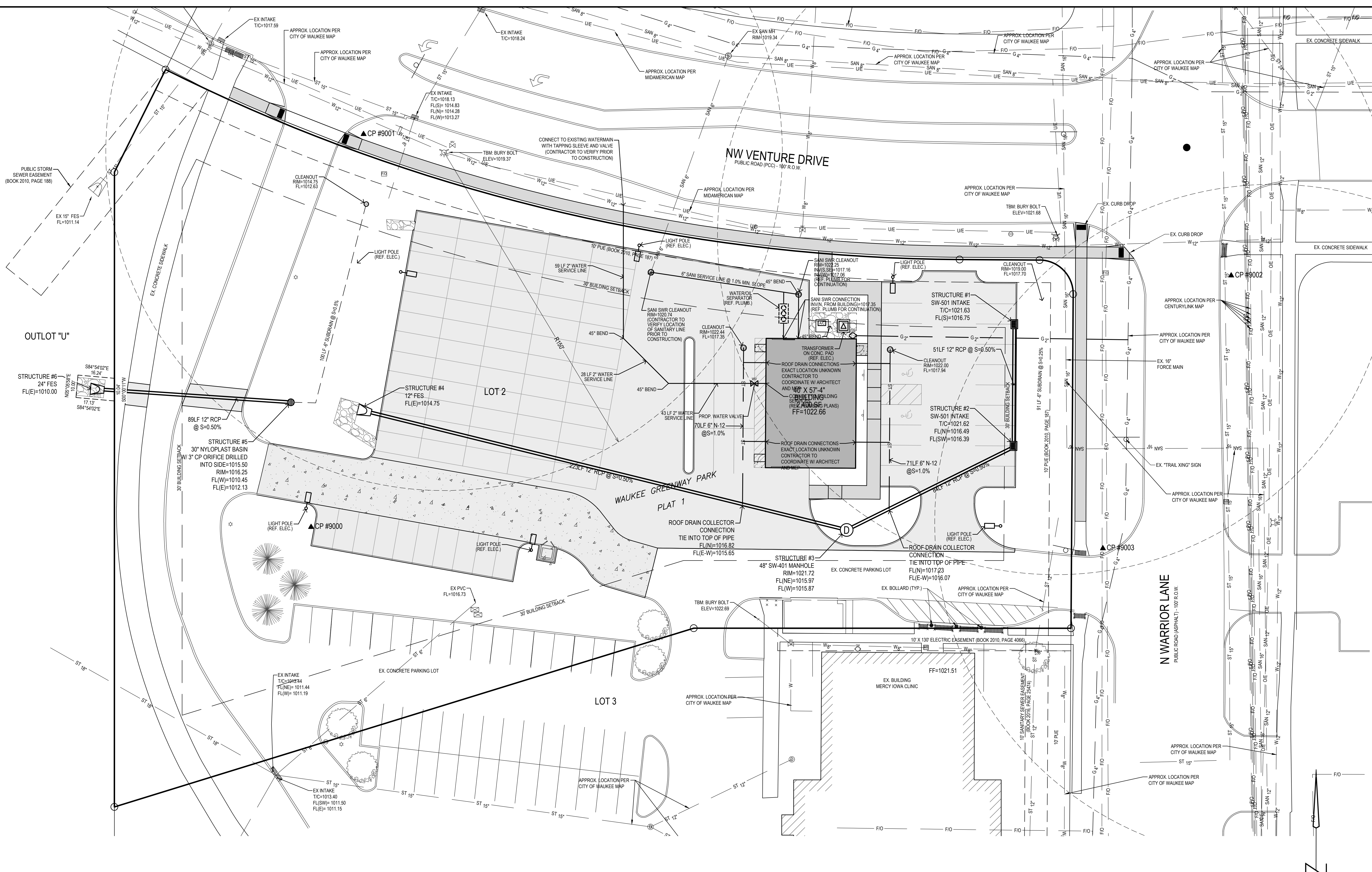
- BUILDING DOOR ELEVATIONS:**
- THE ELEVATIONS SHOWN AT THE BUILDING DOORS AND BUILDING WALLS ON THE GRADING PLAN ARE FOR COORDINATION ONLY. BUILDING ARCHITECTURAL/STRUCTURAL PLANS AND DETAILS SHALL GOVERN FOR BUILDING DOOR ELEVATIONS, STOOP SLOPES AND EXPOSED WALLS OR FOOTINGS.
 - CONTRACTOR TO COORDINATE AND VERIFY ALL BUILDING AND DOOR ELEVATIONS WITH EXTERIOR IMPROVEMENTS TO MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING PRIOR TO CONSTRUCTION. IF THERE IS A DISCREPANCY, CONTRACTOR TO CONTACT OWNER/ENGINEER FOR DIRECTION PRIOR TO CONSTRUCTION AND/OR INSTALLATION.
- OWNER MAINTENANCE NOTES:**
- THE OWNER SHALL BE RESPONSIBLE FOR MAINTAINING THE DETENTION BASIN TO ASSURE THE EFFECTIVENESS OF STORM WATER MANAGEMENT.
 - CONDUCT QUARTERLY INSPECTIONS FOR ANY DEFECTS, OBSTRUCTIONS OR CHANGES FROM ORIGINAL DESIGN.
 - REMOVE ALL TRASH, LITTER, DEBRIS OR OBSTRUCTIONS FROM THE BASIN AND ANY INLETS & OUTLETS.
 - INSPECT AND DETERMINE DEPTH OF BASIN ON AN ANNUAL BASIS.
 - REMOVE ANY ACCUMULATED SEDIMENT FROM THE OUTLET STRUCTURE ANNUALLY. REMOVE ANY SEDIMENT ACCUMULATED IN THE BASIN WHEN IT HAS REACHED A DEPTH OF 25% OR MORE OF THE ORIGINAL DESIGN DEPTH.
 - ALL MAINTENANCE, RESTORATION AND REPAIRS SHALL COMPLY WITH THE ORIGINAL DESIGN.



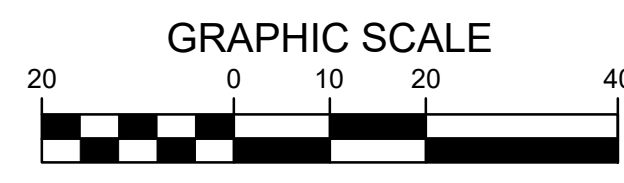
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ENTERPRISE R.A.C.
WAUKEE, IOWA
GRADING PLAN

REFERENCE NUMBER:	070600
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SHEET NUMBER:	C3.1



- UTILITY NOTES:**
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
 2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5' OF COVER UNLESS NOTED OTHERWISE.
 3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
 4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
 5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
 6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
 7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
 8. ALL NYLOPLAST BASINS SHALL HAVE CASTINGS SECURELY FASTENED TO THE BASIN BODY, AND ALL GRATES/LIDS SHALL BE BOLTED DOWN TO THE CASTINGS.
 9. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
 10. GREASE INTERCEPTOR AND ANY VENT LINES ARE SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. REFER TO PLUMBING PLANS FOR DETAILED DRAWINGS AND SPECIFICATIONS. PLUMBING PLANS SHALL TIE INTO SANITARY SERVICE AT LOCATION AND ELEVATION SHOWN ON PLANS.



ENTERPRISE R.A.C.
WAUKEE, IOWA

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UTILITY PLAN

LANDSCAPE NOTES:

- ALL SEEDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, INCLUDING R.O.W. UNLESS NOTED OTHERWISE. SOD LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
- STAKE SOD ON ALL SLOPES 3 : 1 OR GREATER.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE.
- OVERSTORY TREE SHALL BE A MINIMUM OF 8 FEET IN HEIGHT, EVERGREEN TREE A MINIMUM OF 6 FEET IN HEIGHT AND ORNAMENTAL TREES SHALL BE A MINIMUM OF 6' IN HEIGHT.
- FOR WARRANTY PURPOSES, THE DATE OF INITIAL ACCEPTANCE SHALL BE SUBMITTED IN WRITING TO THE OWNER AND/OR OWNER'S REPRESENTATIVE AFTER ALL PLANT MATERIALS HAVE BEEN INSTALLED AND REVIEWED BY OWNER OR OWNER'S REPRESENTATIVE. PLANT MATERIALS WILL ONLY BE ACCEPTED IF THEY ARE IN AN ALIVE AND THRIVING CONDITION.
- CONDITIONAL ACCEPTANCE OF PLANT MATERIAL MAY BE GIVEN FOR PLANTS INSTALLED IN A DORMANT CONDITION WITH INITIAL ACCEPTANCE OCCURRING THE FOLLOWING SPRING ONCE THEY ARE SHOWN TO BE ALIVE AND THRIVING.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS (INCLUDING SIZING INFORMATION) MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- STAKING AND GUYING OF TREES SHALL BE AT THE DISCRETION OF THE CONTRACTOR BASED ON CURRENT ACCEPTED NURSERY STANDARDS. GENERALLY, TREES IN LARGE OPEN AREAS SUBJECT O SIGNIFICANT WIND SHALL BE STAKED. STAKE AND WRAP TREES IMMEDIATELY AFTER PLANTING. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD. REMOVE ALL STAKES AND GUY WIRES NO MORE THAN ONE YEAR AFTER INSTALLATION.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
- ALL EDGING SHALL BE DURAEDGE 3/16" STEEL EDGING - COLOR BLACK, OR APPROVED EQUAL..
- CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.

GENERAL LANDSCAPE REQUIREMENTS

TOTAL SQUARE FOOTAGE OF PROJECT AREA 90,744 SF
 REQUIRED OPEN SPACE(20%) 18,149 SF

GENERAL LANDSCAPE REQUIREMENT

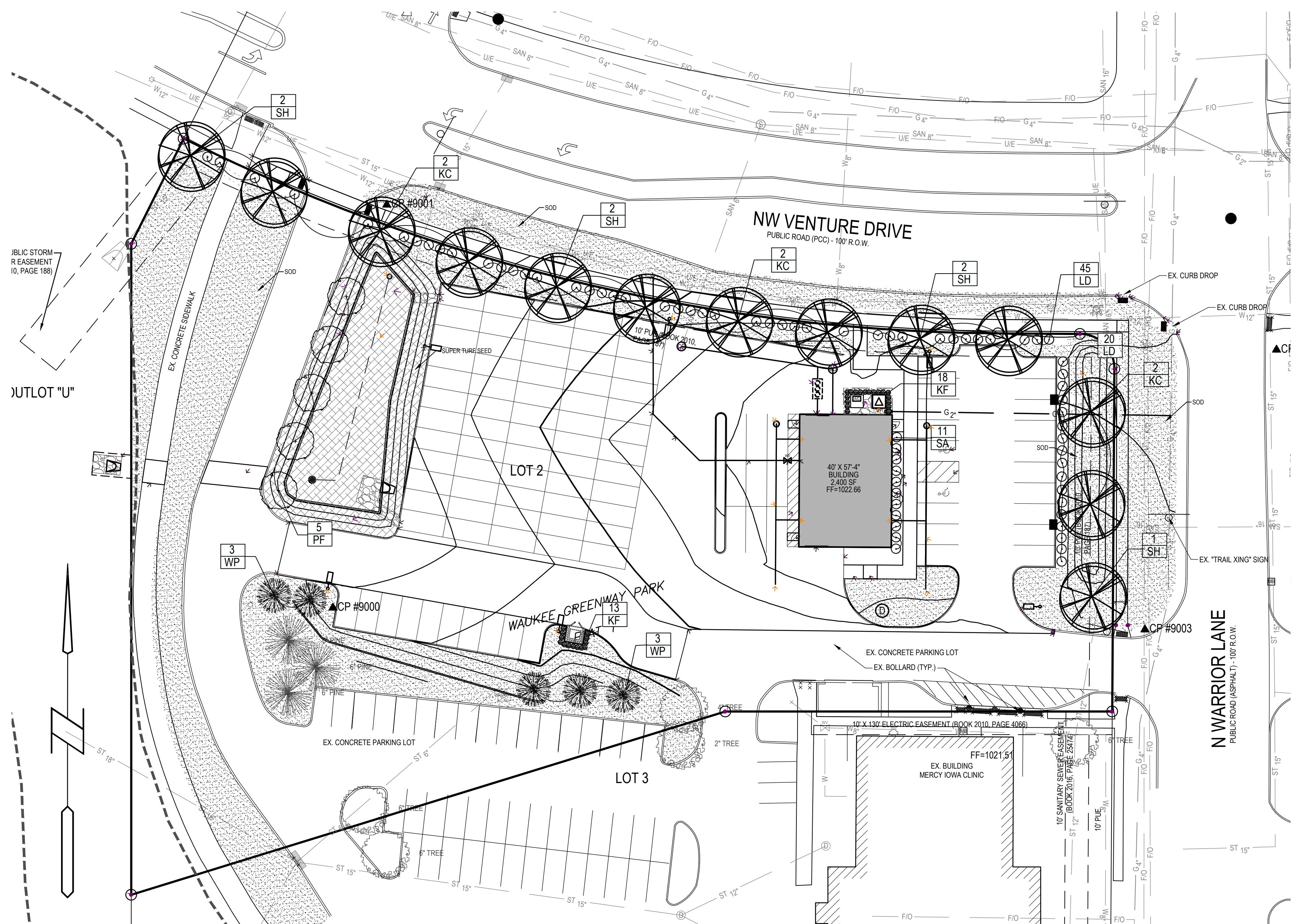
TOTAL REQUIRED OVERSTORY 10
 TOTAL REQUIRED EVERGREEN 5
 TOTAL REQUIRED SHRUBS 19

PROVIDED LANDSCAPE MATERIAL

TOTAL REQUIRED OVERSTORY 13
 TOTAL REQUIRED EVERGREEN 5
 TOTAL REQUIRED SHRUBS 58

PARKING PERIMETER REQUIREMENTS

TOTAL LENGTH OF STREET FRONTAGE 481 LF
 REQUIRED OVERSTORY TREES (1 / 40 LF) 12
 PROVIDED OVERSTORY TREE(S) 13

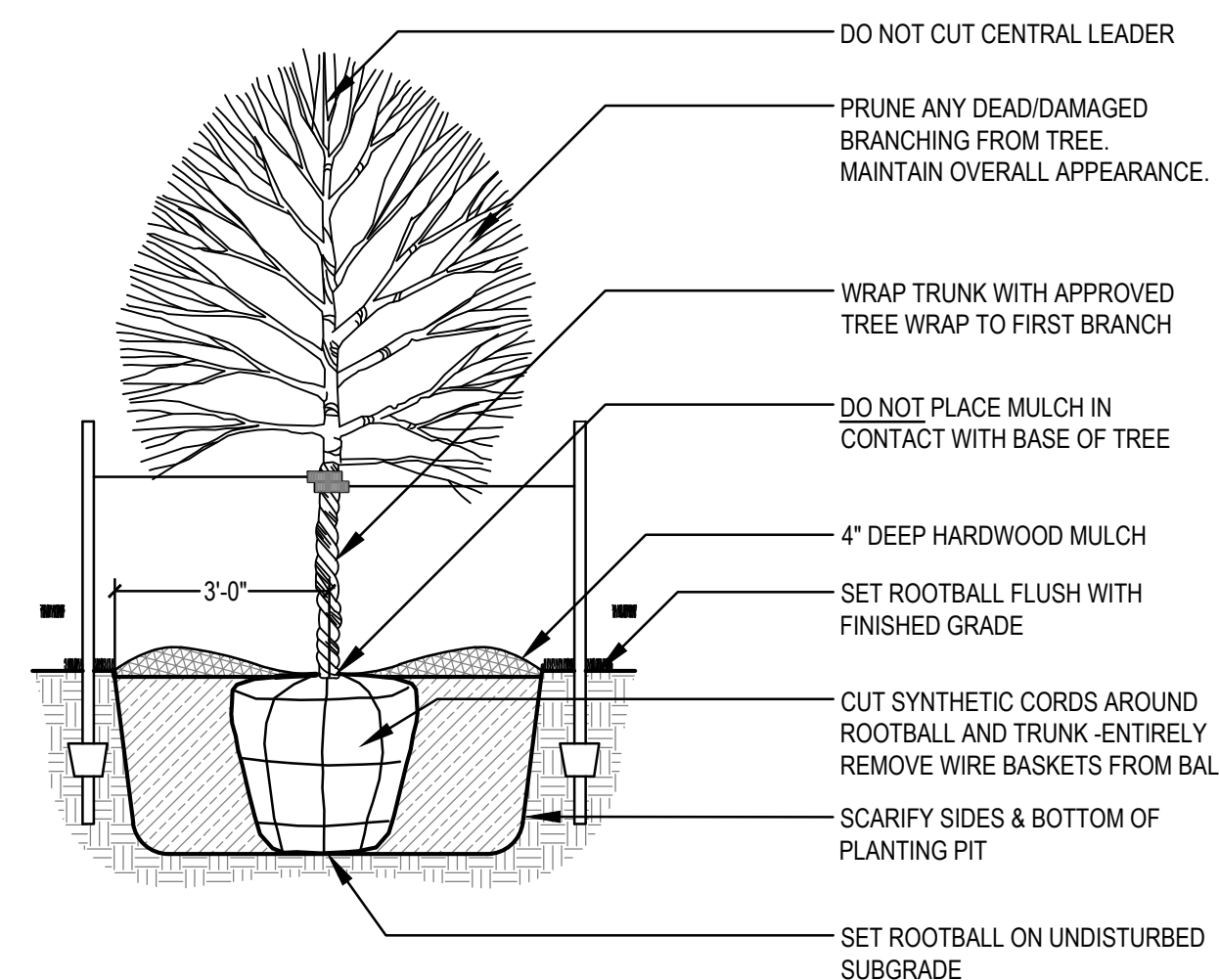


PLANTING SCHEDULE

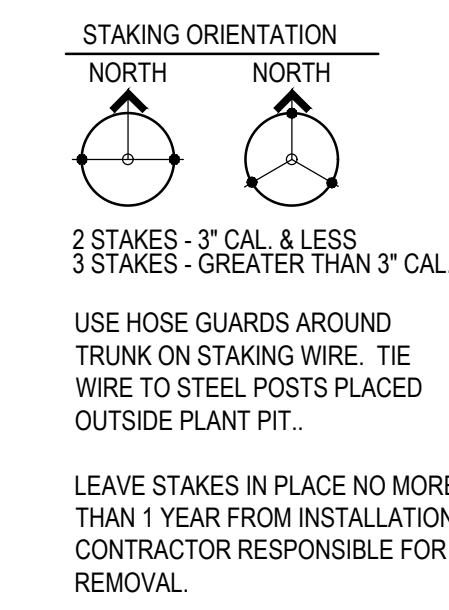
CODE	QUAN	COMMON NAME	LATIN NAME	SIZE	APPR. HGT	ROOT	NOTES
OVERSTORY TREES							
SH	7	SKYLINE HONEYLOCUST	GLEDTISIA TRIACANTHOS INERMIS 'SKYLINE'	2.0' CAL	12'-14'	B&B	MAT CHED SPECIMENS
KC	6	KENTUCKY COFFEETREE	GYMNOADLUS DIOICUS	2.0' CAL	12'-14'	B&B	MAT CHED SPECIMENS
EVERGREEN TREES							
WP	5	WHITE PINE	PINUS STROBUS	6'	6'	B&B	FULL FORM TO GROUND
SHRUBS							
LD	60	LITTLE DEVIL NINEBARK	PHYSOCARPUS OPULIFOLIUS	#5		CONT	FULL FORM - MATCHED
ORNAMENTAL GRASSES							
KF	31	KARL FOERSTER FEAT HER REED GRASS	CALAMAGROSIS ACUTIFOLIA KARL FOERSTER'	#1		CONT	FULLY ROOTED IN CONT ANER
PERENNIALS							
SA	11	SALVIA 'MAY NIGHT'	SALVIA X SYLVESTRIS 'MAY NIGHT'	#1		CONT	FULLY ROOTED IN CONT ANER

SEED: MIX TO BE "SUPER TURF II" BY UNITED SEEDS (OR APPROVED EQUAL). SEED AT A RATE OF 440 LBS PER ACRE. SEEDING DATES, SITE PREPARATION, SEEDING INSTALLATION, WATER REQUIREMENTS, FERTILIZING, AND MOWING PER UNITED SEEDS TECH BULLETIN FOR SEED TYPE. OVERSEEDING (IF REQUIRED) TO BE INSTALLED AT 220 LBS PER ACRE.

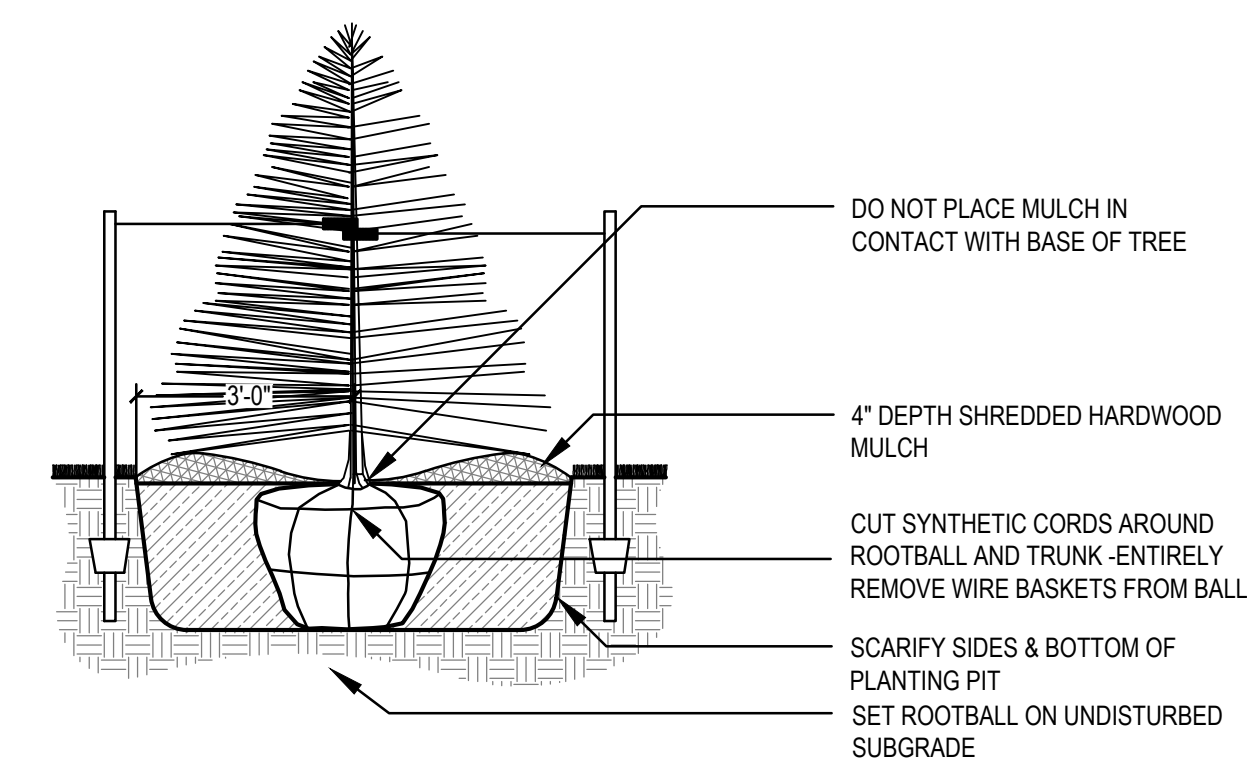
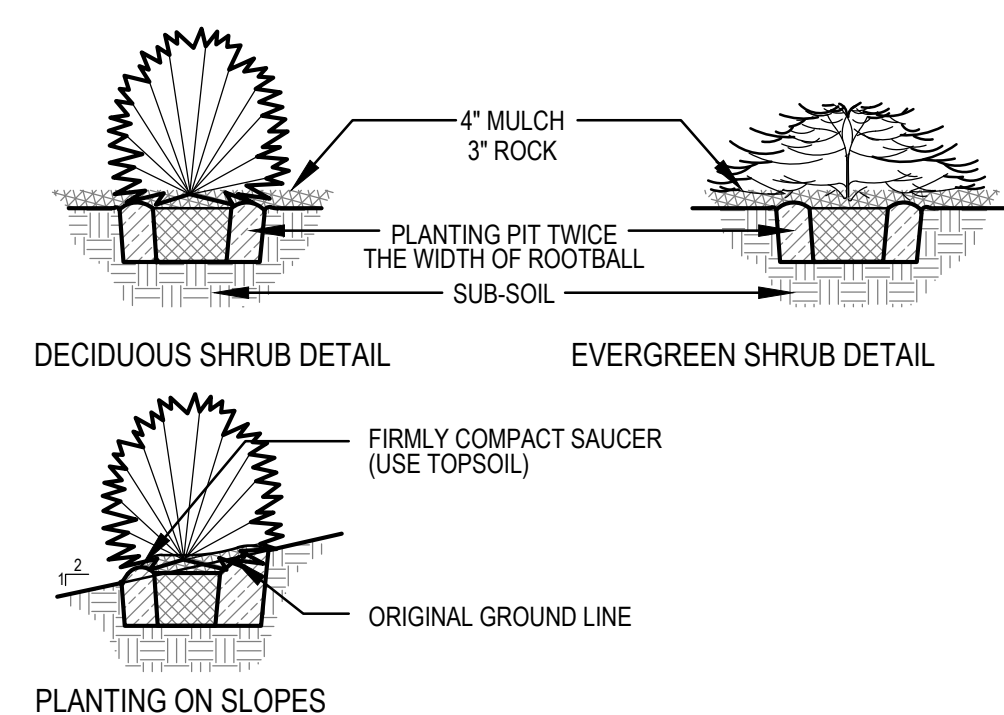
SOD: PROVIDE AND INSTALL SOD FROM LOCAL SUPPLIERS. AREAS TO BE SODDED MUST BE FREE OF ALL CONSTRUCTION DEBRIS AND ANY DIRT CLUMPS OVER 1" IN DIAMETER. THOROUGHLY WATER SOD UPON INSTALLATION. CONTRACTOR TO MAINTAIN WATERING UNTIL SOD IS ESTABLISHED (ROOTS KNITTED INTO SUBSURFACE)



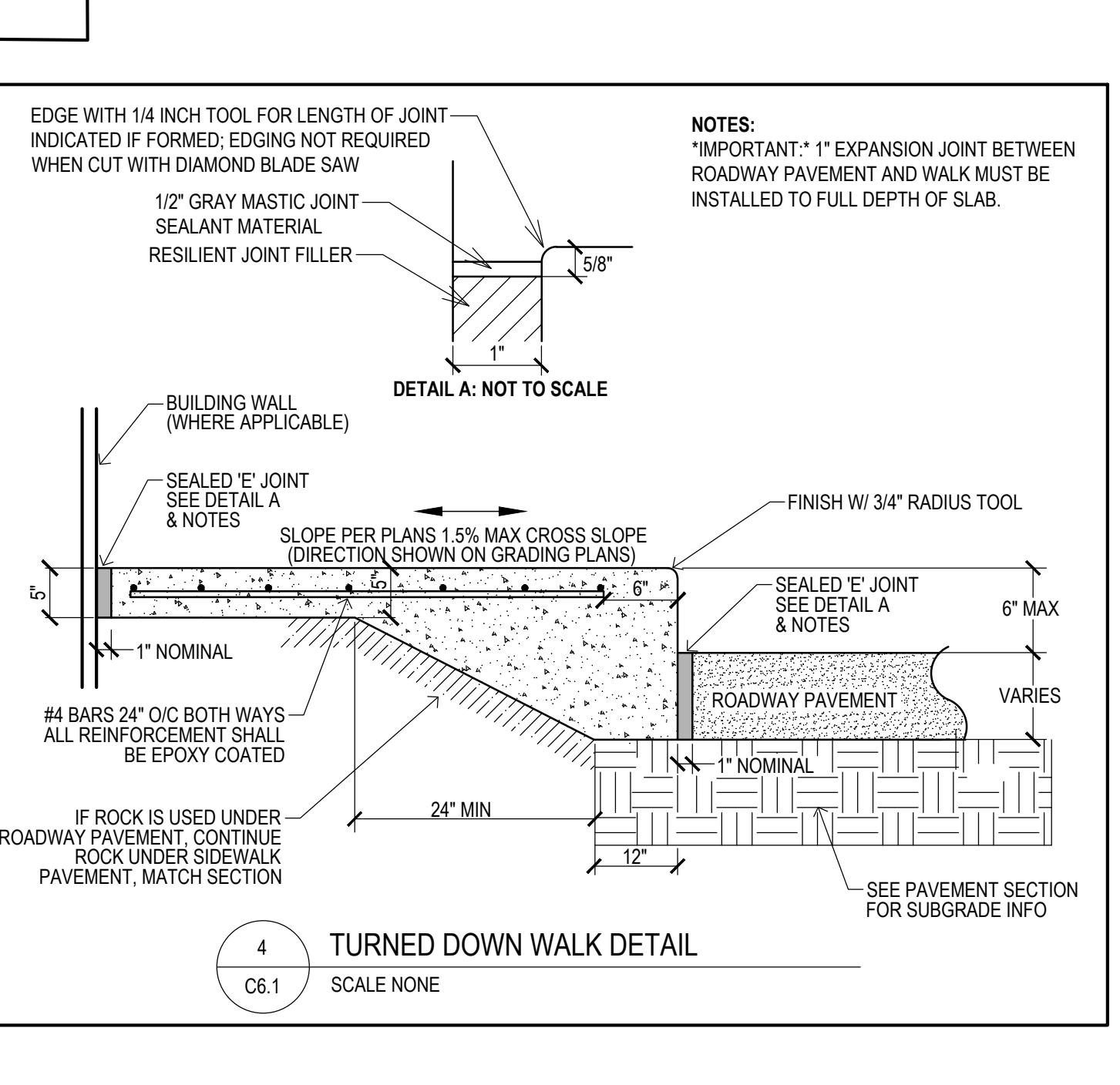
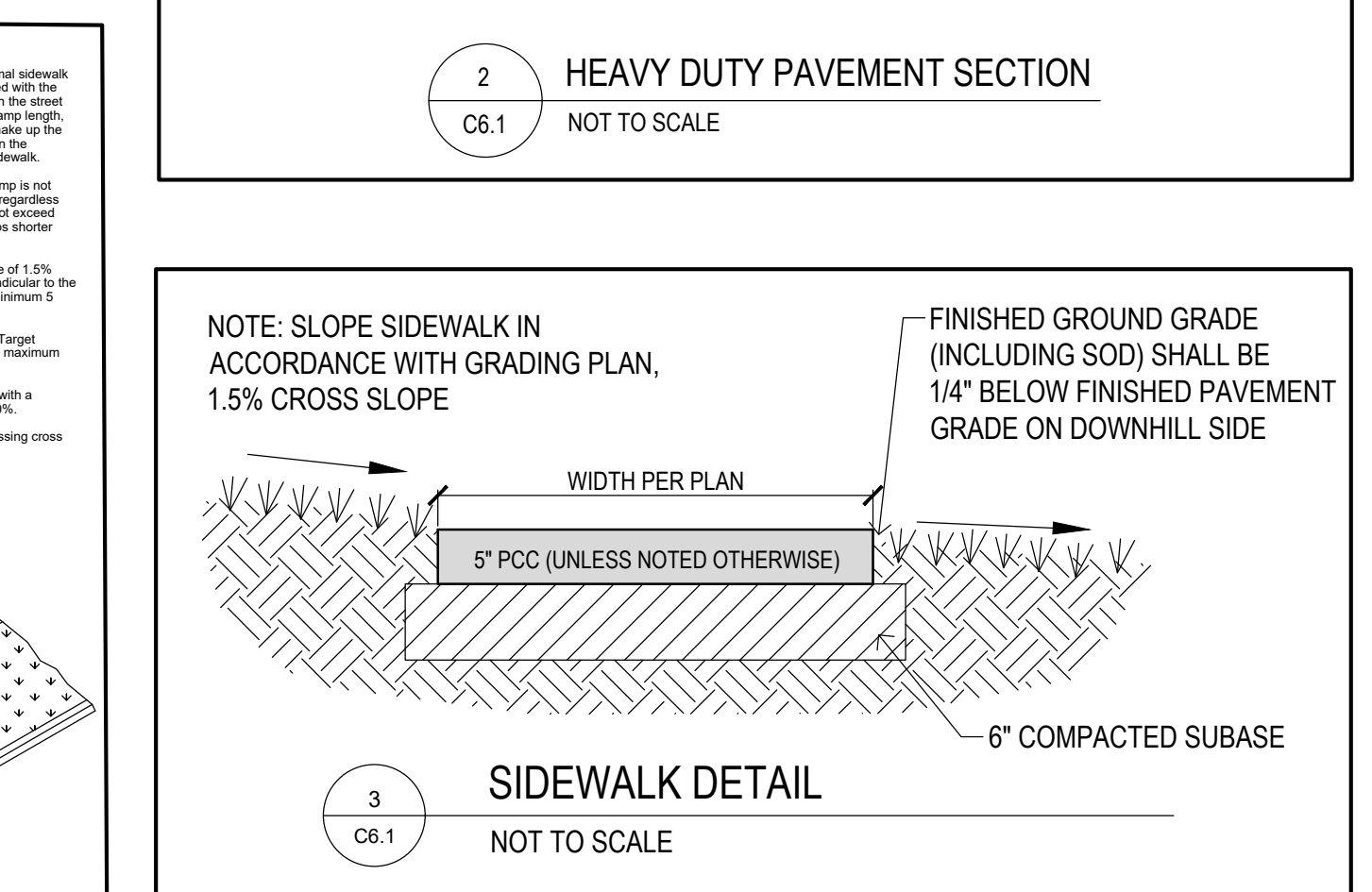
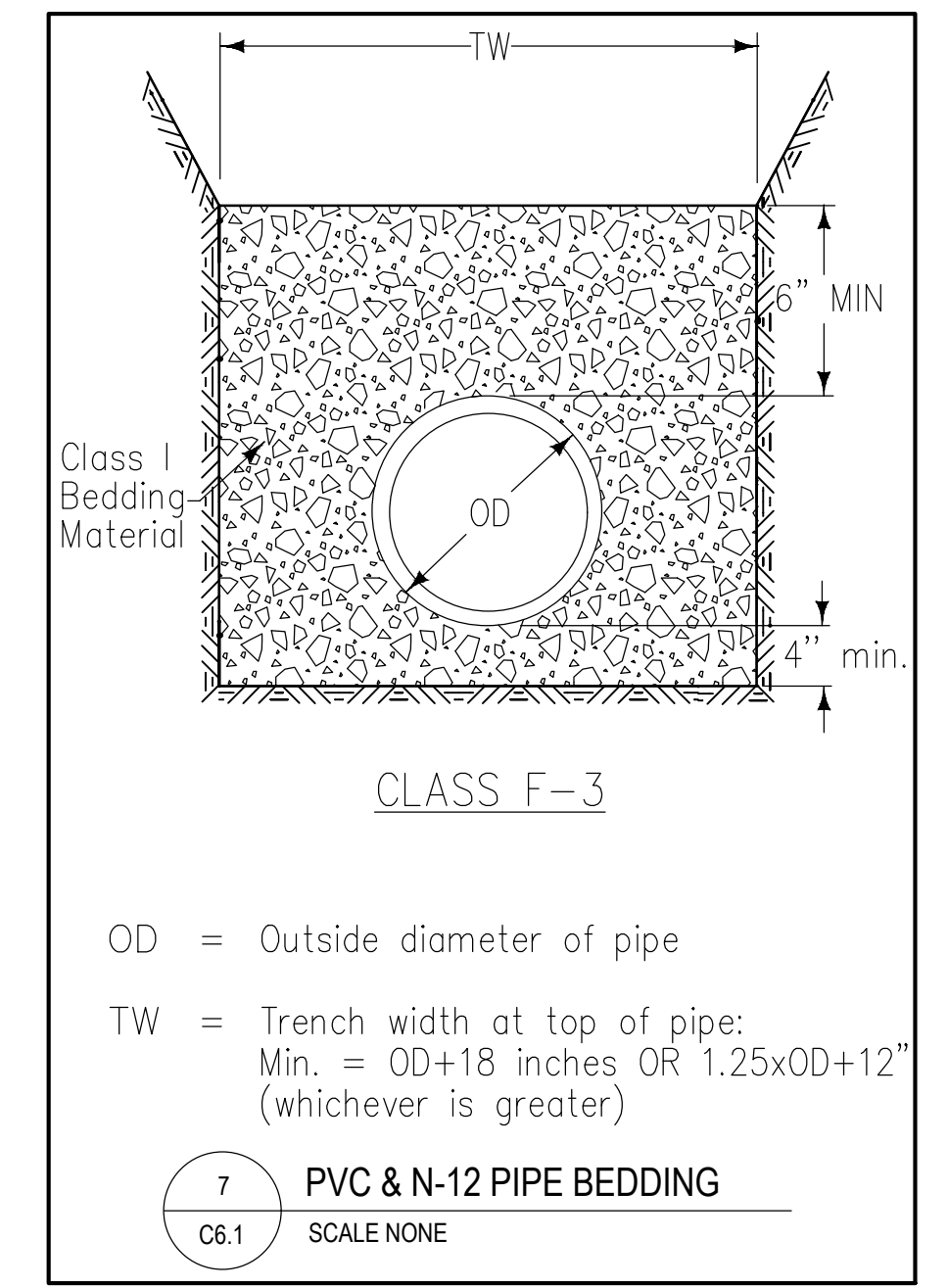
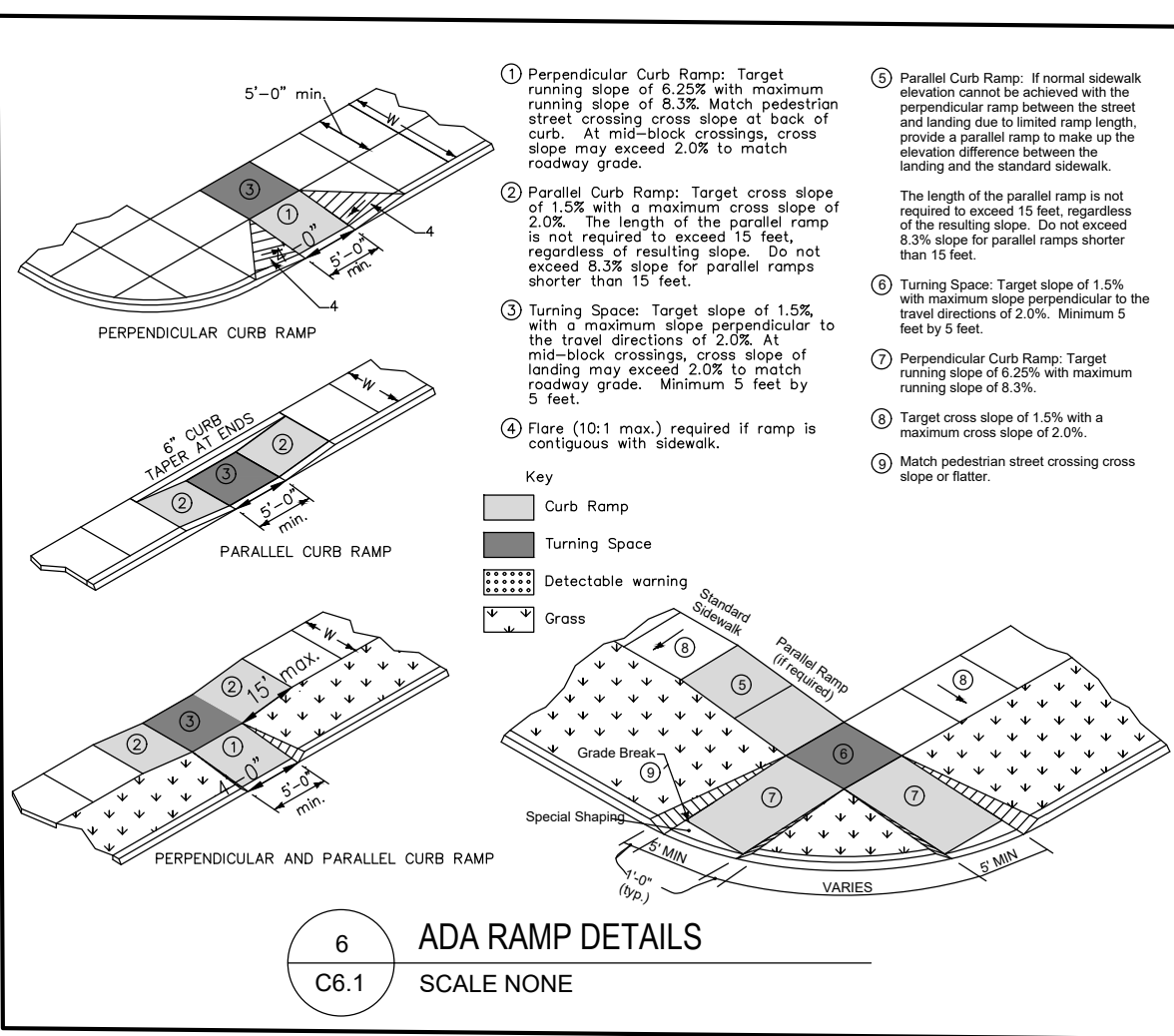
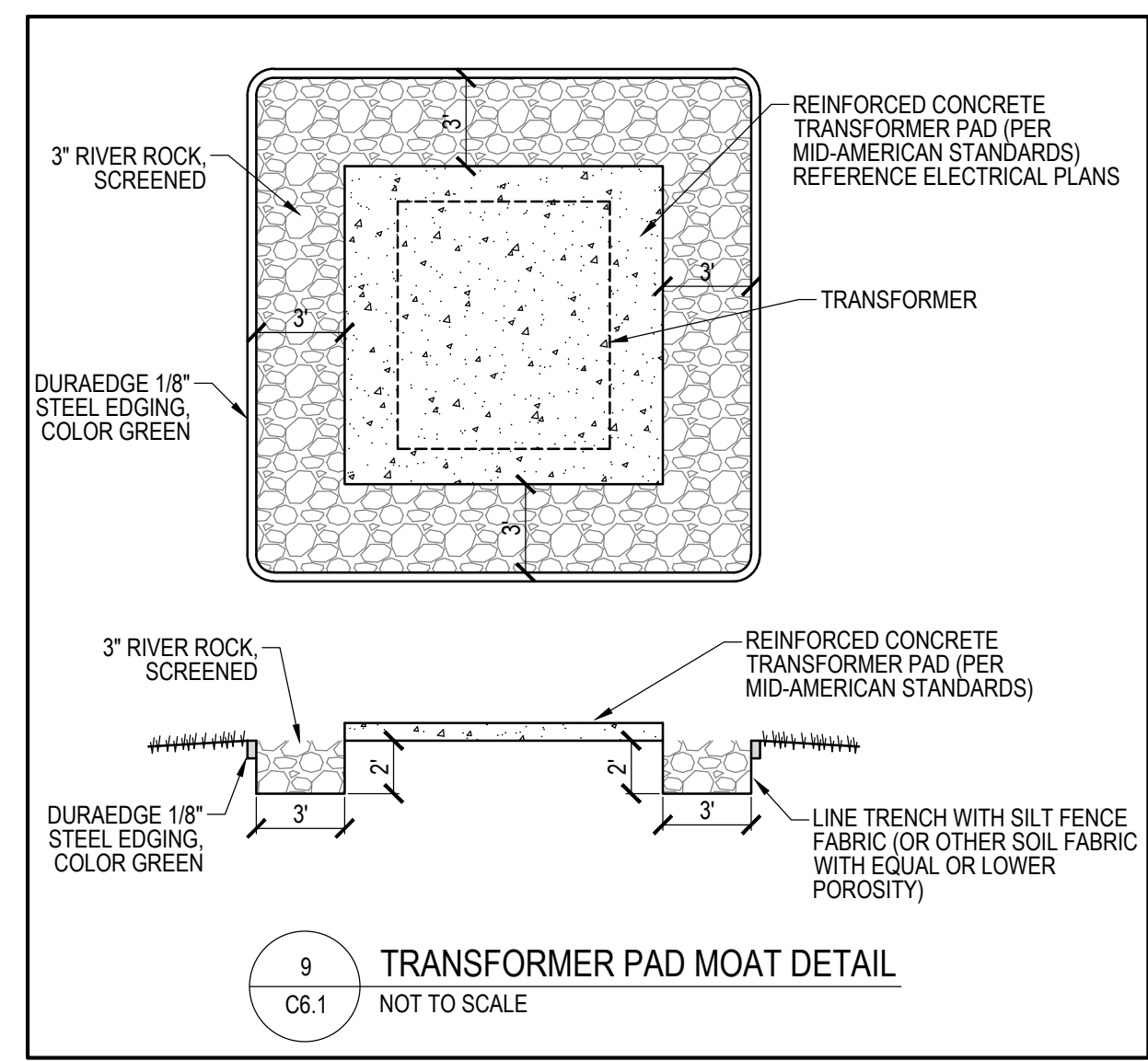
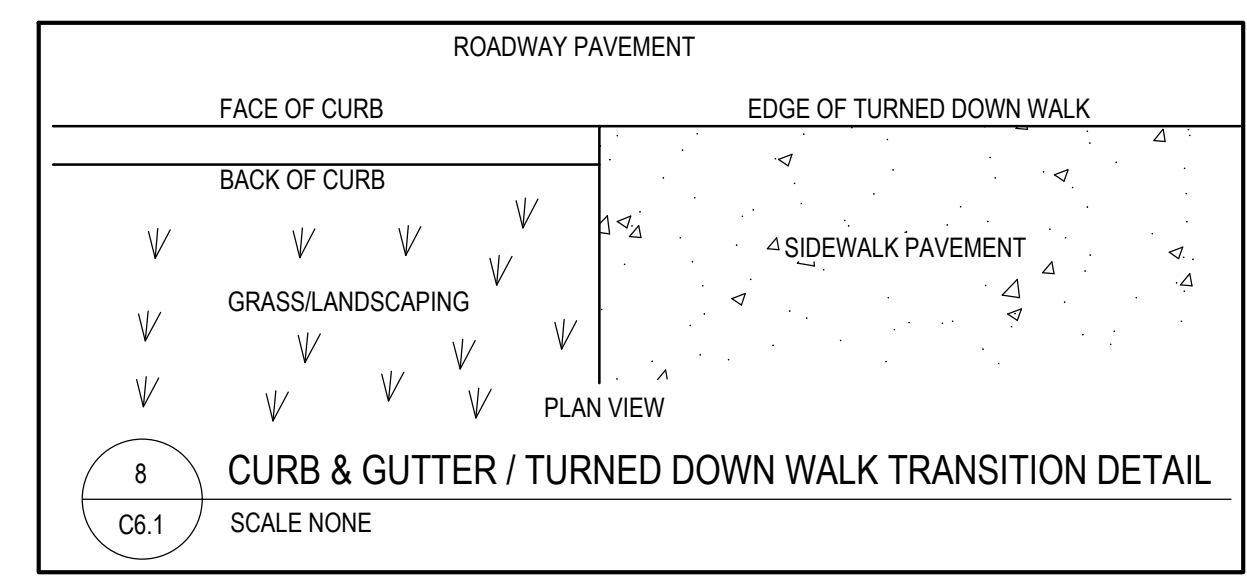
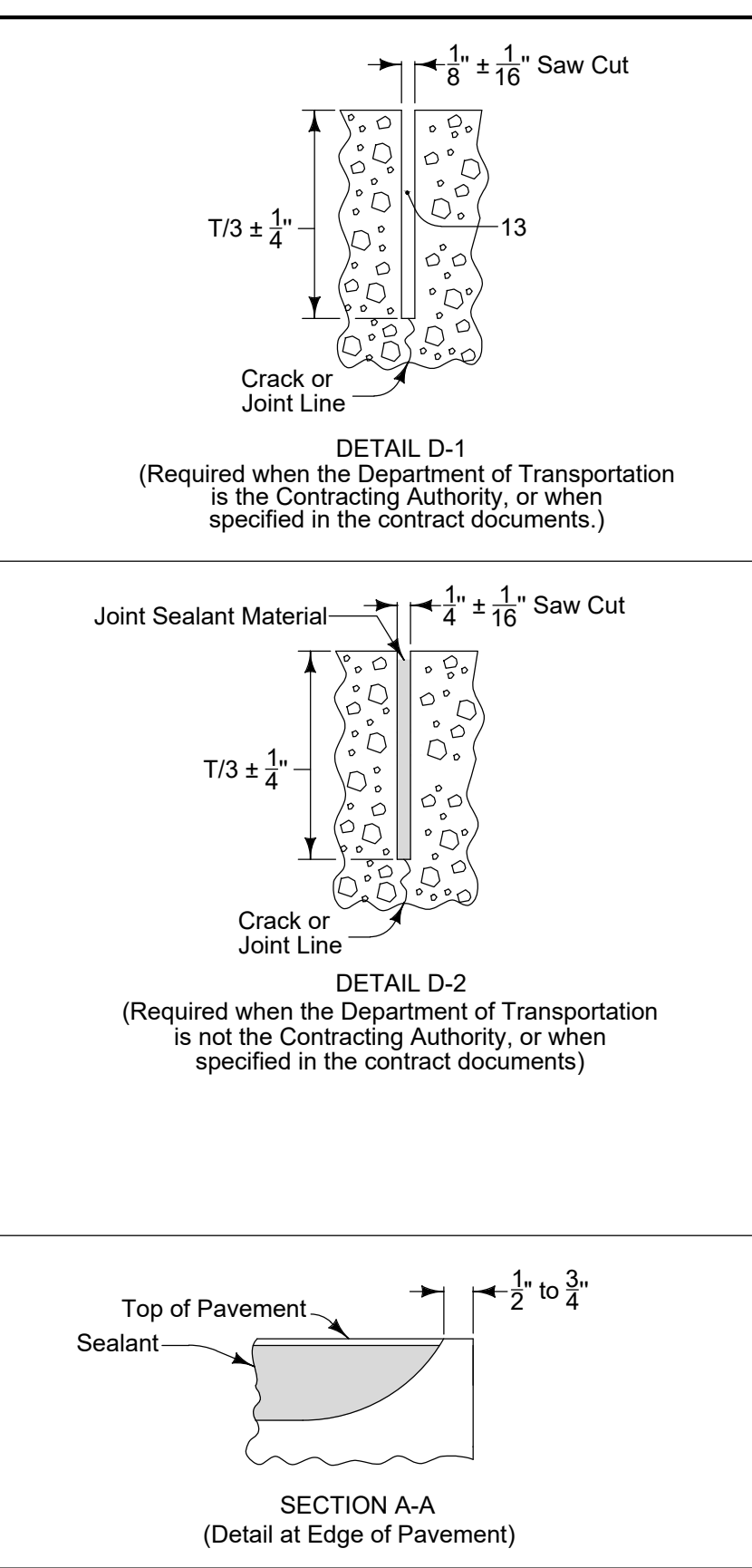
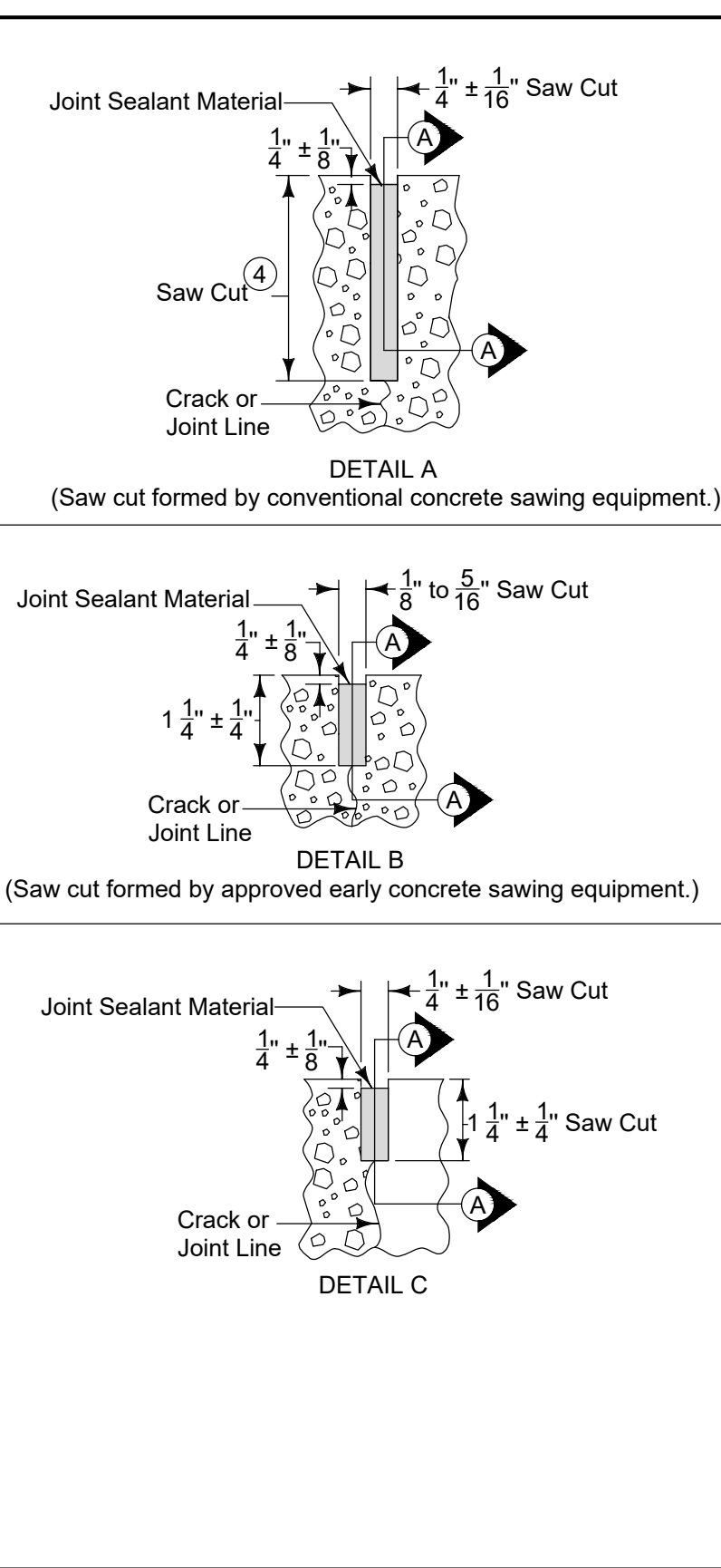
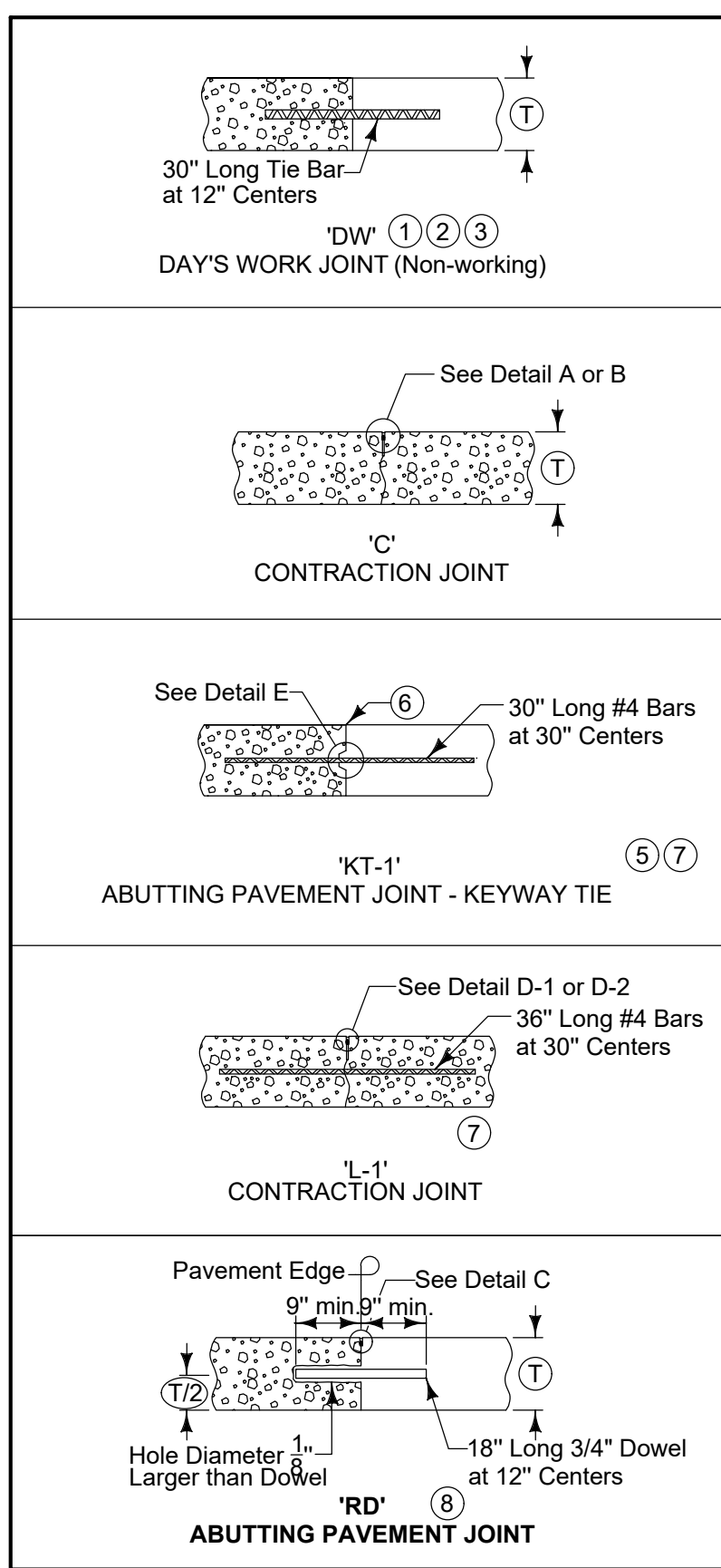
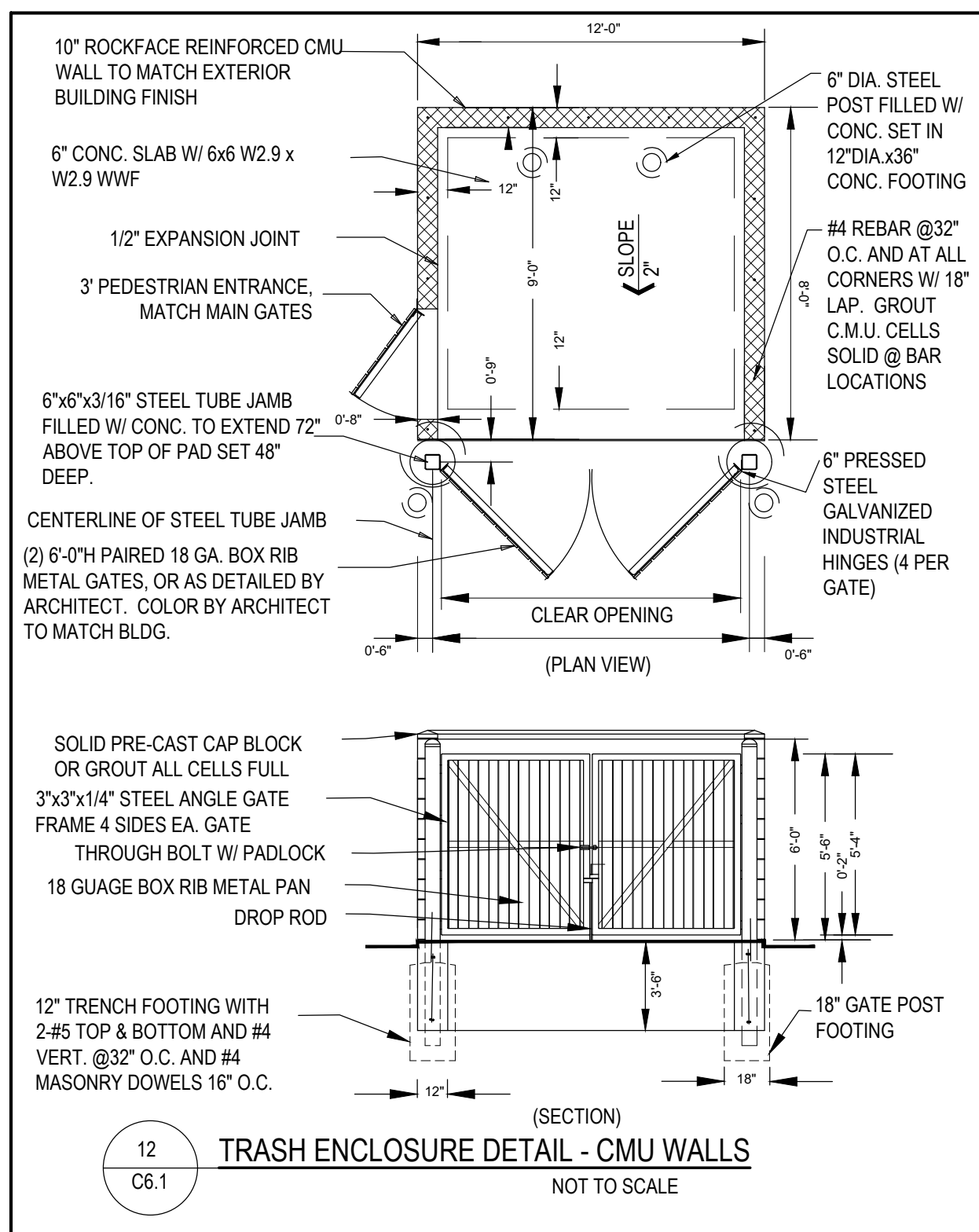
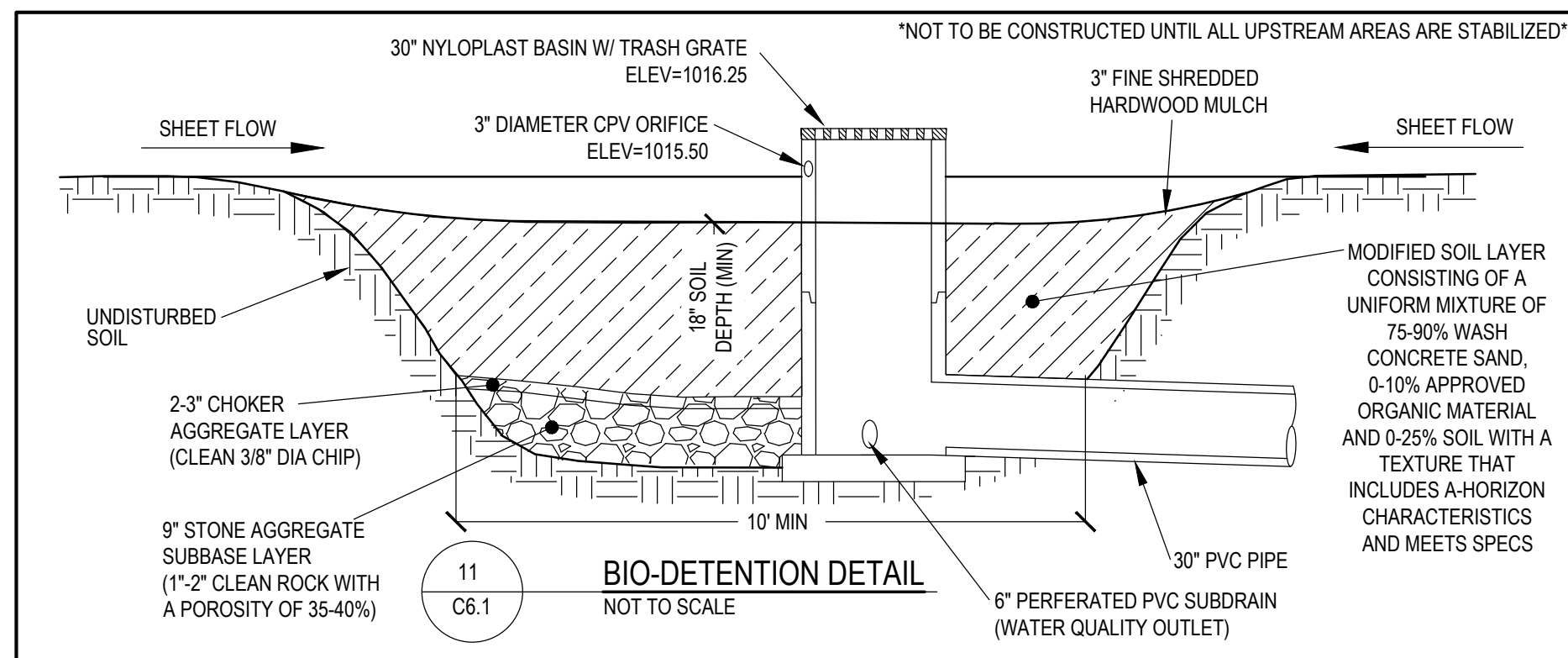
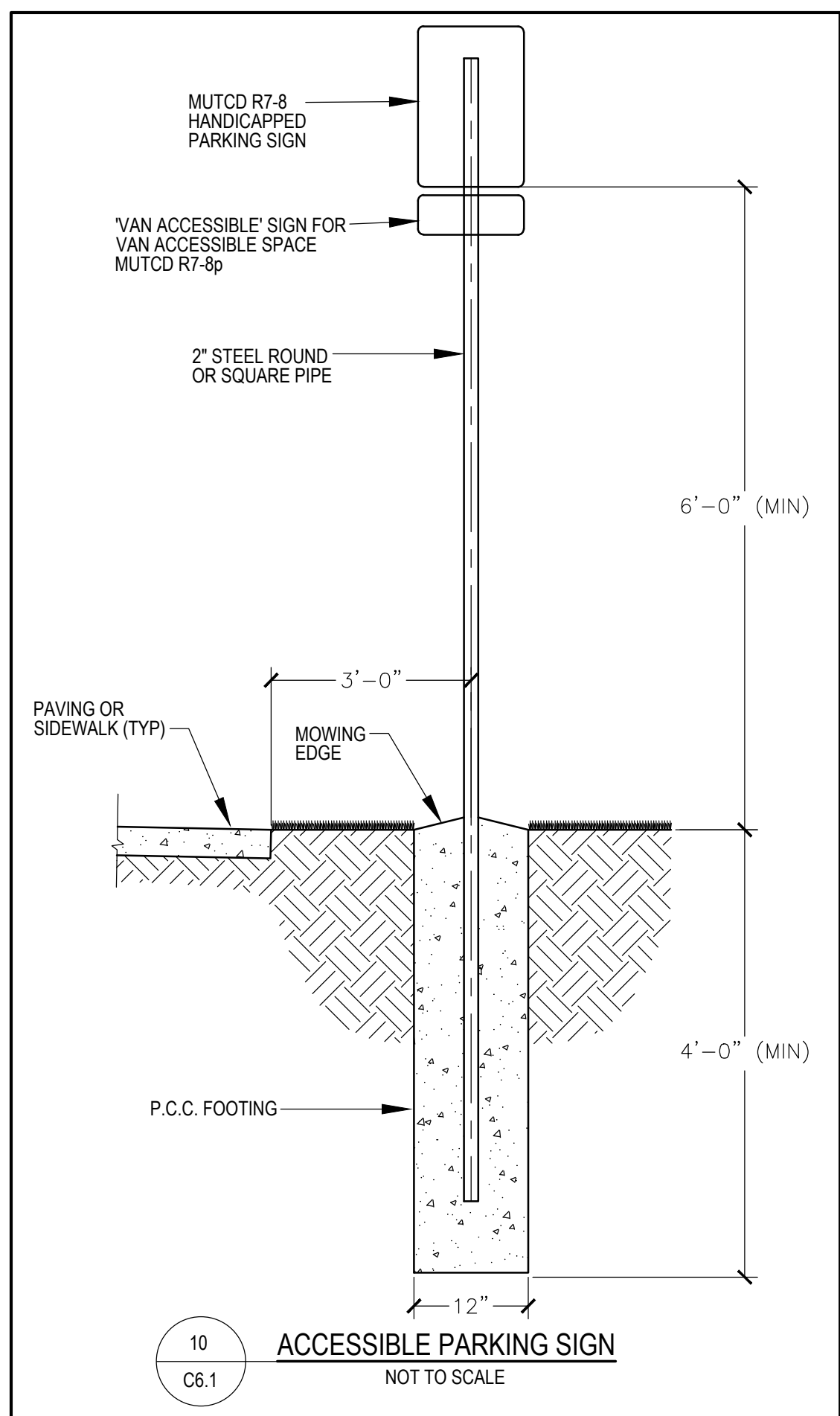
DECIDUOUS TREE PLANTING (TYP.)
 SCALE: NOT TO SCALE



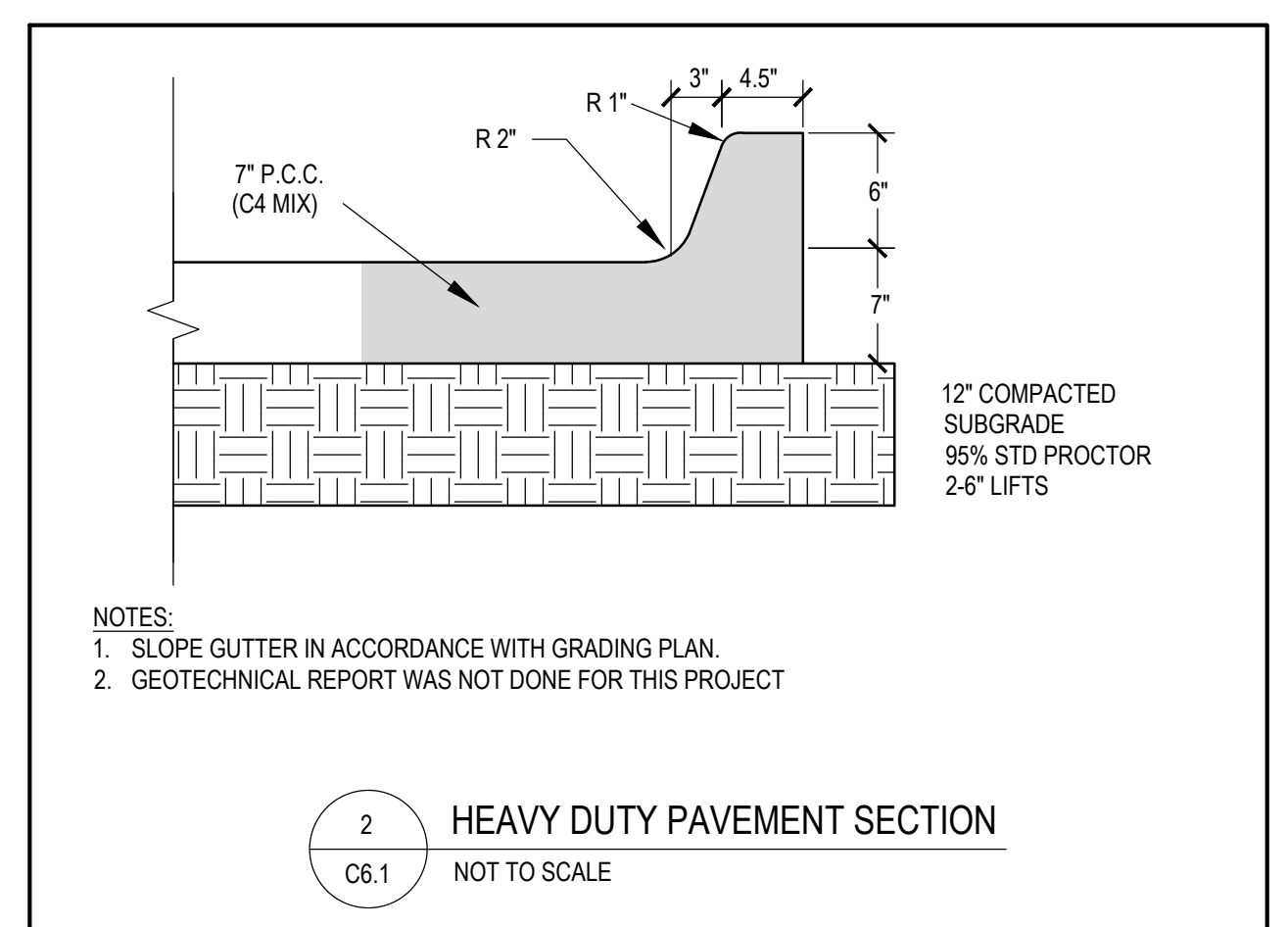
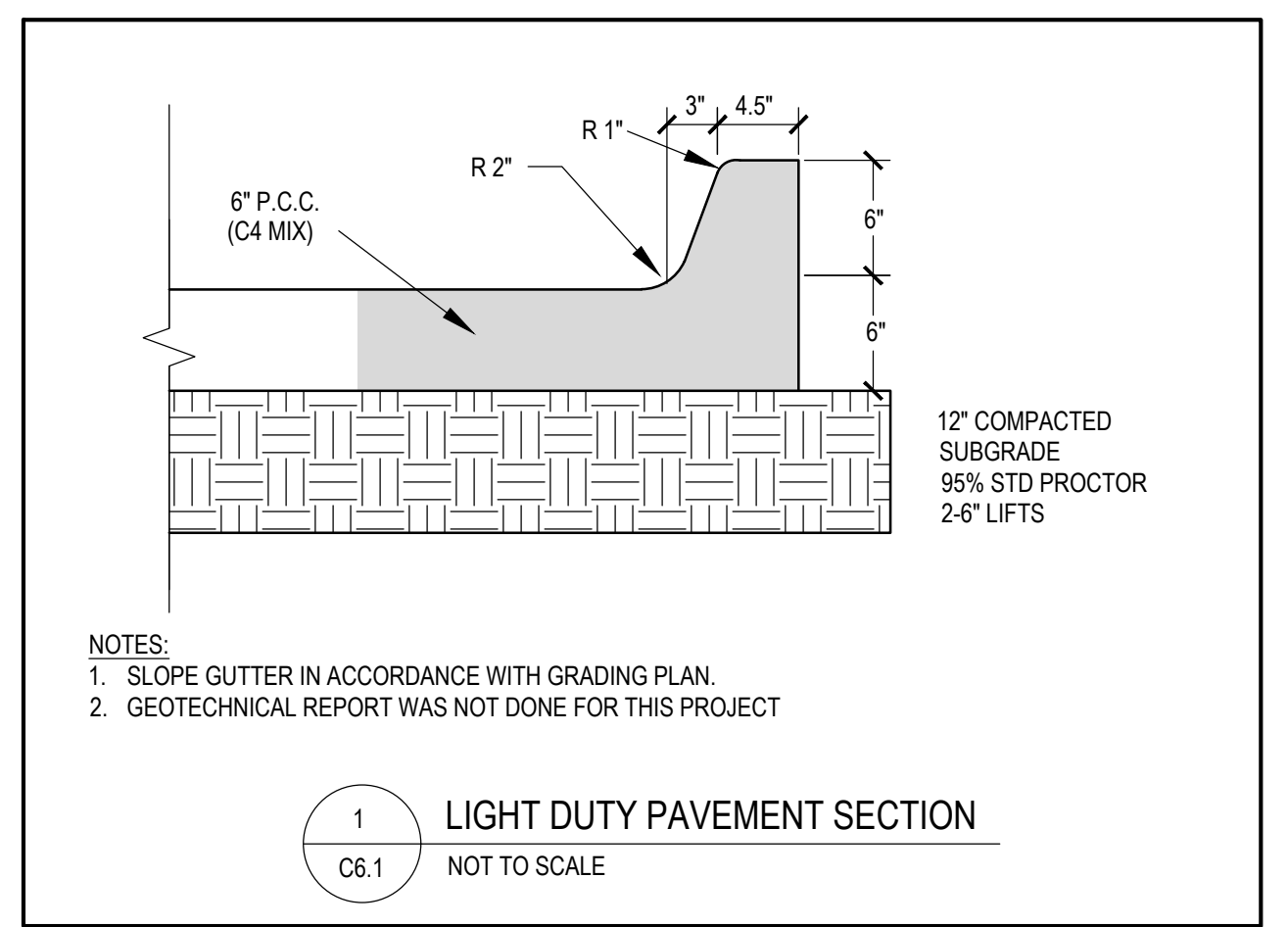
SHRUB PLANTING (TYP.)
 SCALE: NOT TO SCALE



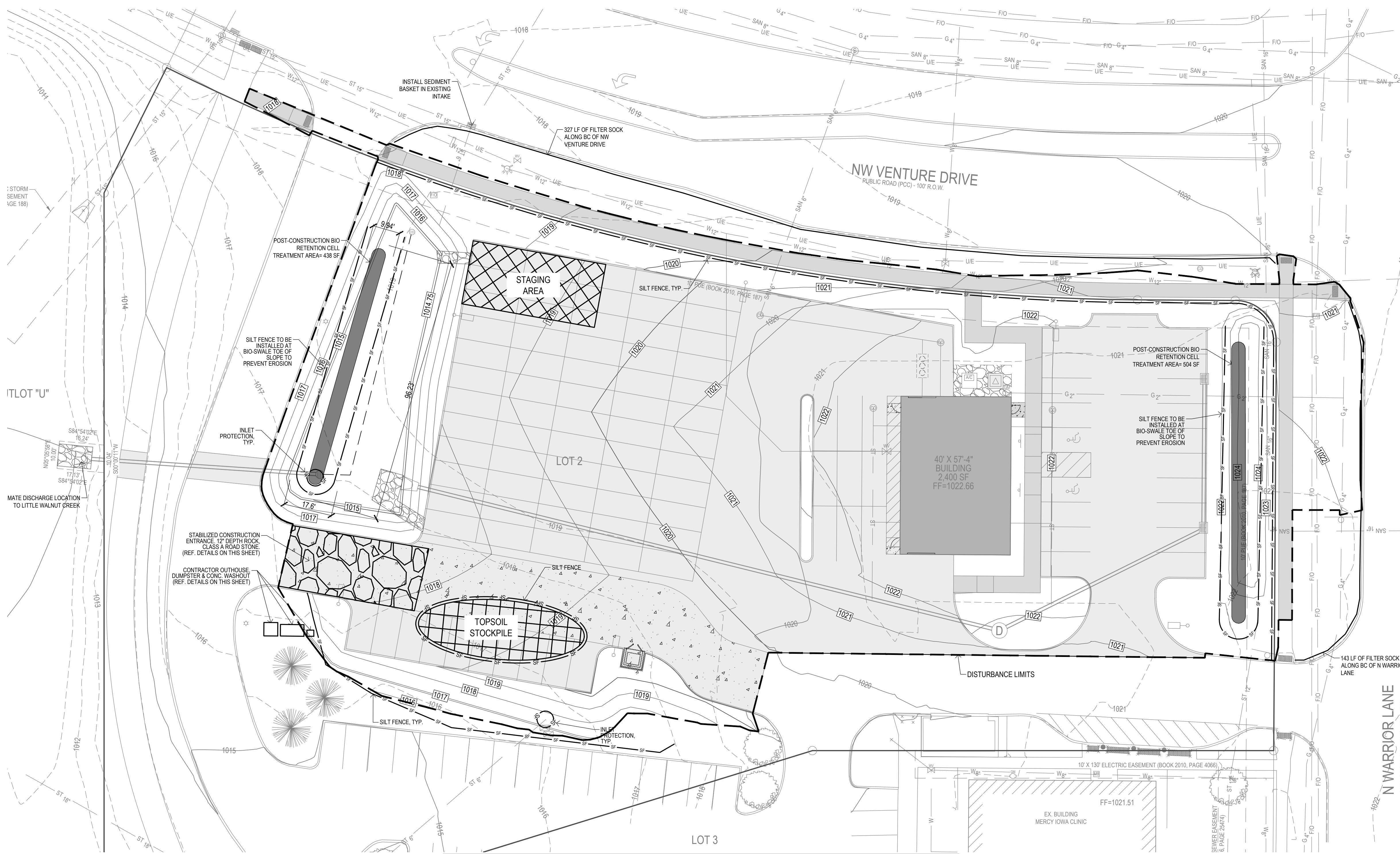
EVERGREEN TREE PLANTING (B&B)
 SCALE: NOT TO SCALE



- 1 Locate 'DW' joint at a mid-panel location between future 'C' or 'CD' joints. Place no closer than 5 feet to a 'C' or 'CD' joint.
- 2 Place bars within the limits shown under dowel assemblies.
- 3 'RT' joint may be used in lieu of 'DW' joint at the end of the days work. Remove any pavement damaged due to the drilling at no additional cost to the Contracting Authority.
- 4 Saw 'C' joint to a depth of T/3.
- 5 Bar supports may be necessary for fixed form paving to ensure the bar remains in a horizontal position in the plastic concrete.
- 6 Sawing or sealing of joint not required.
- 7 The following joints are interchangeable, subject to the pouring sequence:
'BT'-1 and L-1'
'BT'-2 and L-2'
'BT'-3 and L-3'
- 8 Edge with 1/4 inch tool for length of joint indicated if formed; edging not required when cut with diamond blade saw. Remove header block and board when second slab is placed.
- 5
C6.1
JOINING DETAILS
SCALE NONE



STORM WATER POLLUTION PREVENTION PLAN



PROPERTY DESCRIPTION:
 (WARRANTY DEED BOOK 2006, PAGE 19861)
 ALL THAT PORTION OF SE 1/4 OF SECTION 28, TOWNSHIP 79 NORTH, RANGE 26 WEST OF THE 5TH P.M. LYING NORTH OF THE RECREATIONAL TRAIL DEEDED TO THE STATE OF IOWA IN DEEDS RECORDED IN BOOK 1999 PAGE 385 AND BOOK 1999 PAGE 386 OF THE RECORDS OF DALLAS COUNTY, IOWA

SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

ADDRESS:
 80 N WARRIOR LANE
 WAUKEE, IOWA 50263

AREA:
 90,745 SQUARE FEET - 2.08 ACRES

OWNER:
 PHILLIP E BRODERICK, LLC.
 22 GLENVIEW DR
 DES MOINES, IA 50312

PREPARED FOR:
 DANE WRIGHT
 D WRIGHT CONSTRUCTION
 325 GARFIELD STREET
 CARLSLE, IA 50047

ZONING:
 EXISTING
 C-1 COMMUNITY AND HIGHWAY SERVICE COMMERCIAL DISTRICT

SETBACKS

FRONT YARD	30 FEET (MIN.)
REAR YARD	30 FEET (MIN.)
SIDE YARD	NO MIN.
	30 FEET (MIN.) WHEN ADJACENT TO ANY R

DISTRICT

MAX HEIGHT	NO MAX.
	2 STORIES OR 40 FEET WHEN ADJACENT TO AN
	R-1, R-2 OR R-4 DISTRICT
	1 STORY OR 14 FEET FOR ACCESSORY BLDG.

SITE CONTROL AND BENCHMARKS:
 BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS DATUM = NAD 83, IOWA SOUTH
 BENCHMARK DATUM = NAVD88, GEOID 18)

POINT #9000, REBAR
 NORTHING = 588988.33
 EASTING = 1538255.82
 ELEVATION = 1017.06
 DESCRIPTION: LOCATED NORTH OF THE OF THE PARKING SPACES IN THE SOUTH WEST CORNER OF THE PROPERTY

EROSION CONTROL NOTES:

- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES, ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
- SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
- INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
- INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
- INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
- OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH SUDAS SPEC 11.080 DURING ALL CONCRETE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REVISING AND/OR INSTALLING ADDITIONAL EROSION CONTROL MEASURES/SEEDING AS NEEDED TO ACCOMMODATE THE CONSTRUCTION PHASING AND SWPPP INSPECTOR REQUIREMENTS. SUCH CHANGES SHALL BE INCIDENTAL TO THE PROJECT. ALL CHANGES SHALL BE DOCUMENTED AND RECORDED.

EROSION CONTROL REMOVAL NOTES:

- AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.

GRADING LEGEND:

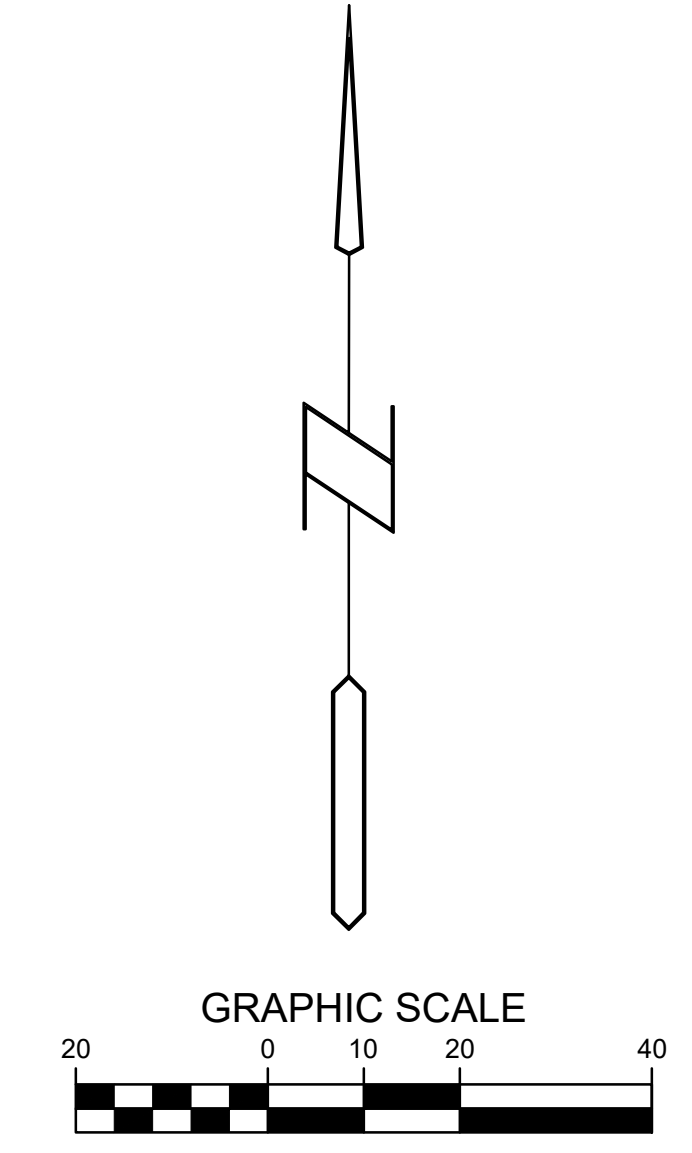
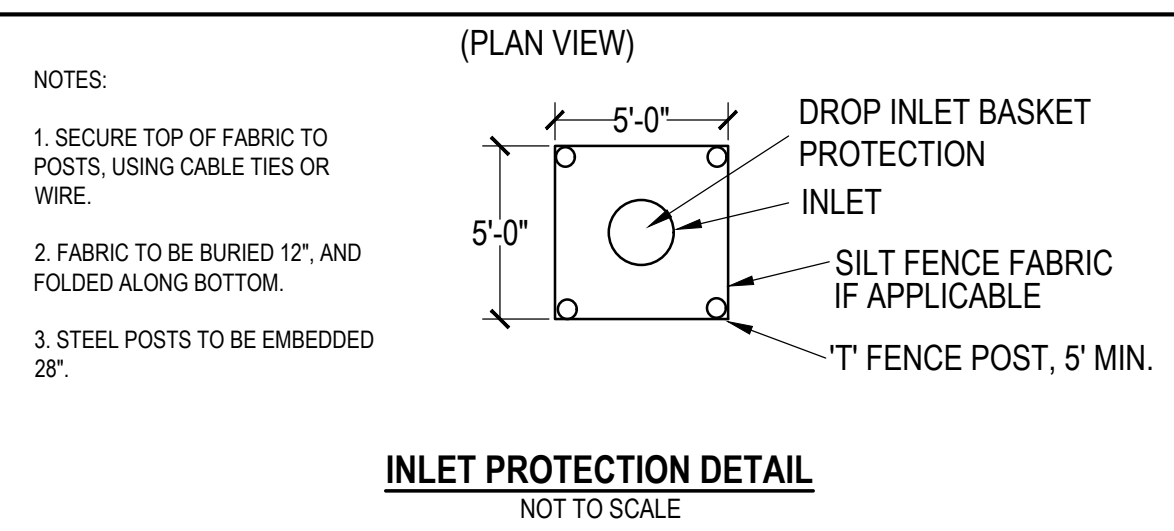
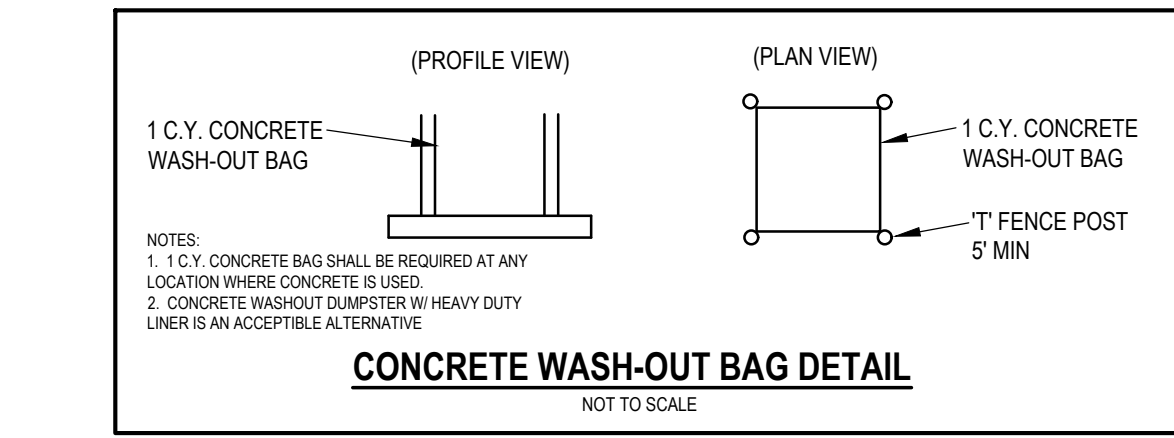
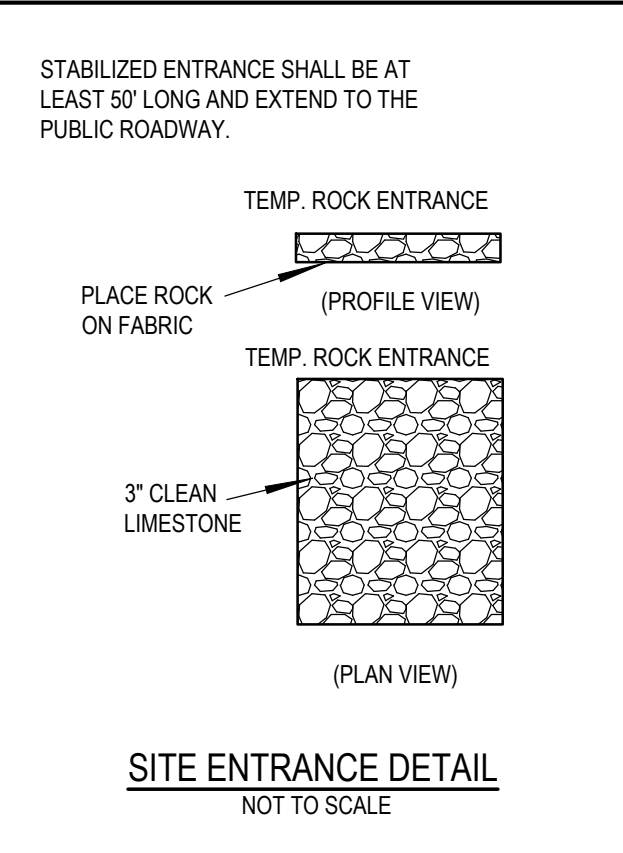
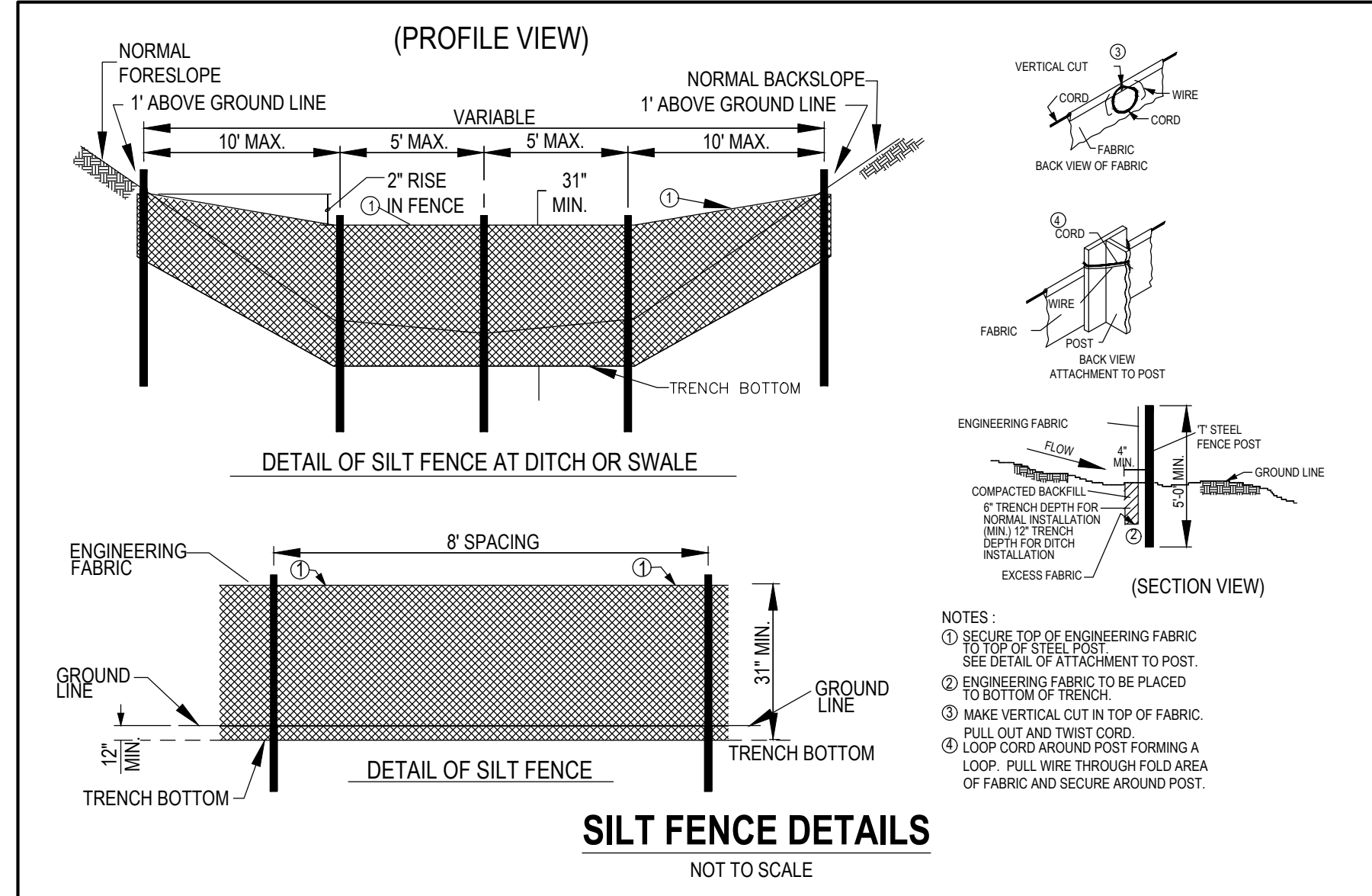
EXISTING CONTOUR	---150---
PROPOSED CONTOUR	—150—
FINISHED GROUND ELEVATION	● 150.50
TOP OF CURB ELEVATION	● 150.50T/C
GUTTER ELEVATION	● 150.50G
TOP OF WALL ELEVATION	● 150.50T/W
BOTTOM OF WALL ELEVATION	● 150.50B/W
EDGE OF WALK ELEVATION	● 150.50E/W
TOP OF STAIR ELEVATION	● 150.50T/S
BOTTOM OF STAIR ELEVATION	● 150.50B/S

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

DISTURBED AREA = 1.3 ACRES±

LEGEND:

—SF—SF—SF	SILT FENCE (TYP)
---	EXISTING CONTOUR
—	PROPOSED CONTOUR
—	STABILIZED ENTRANCE AT LEAST 50' LONG 12" DEEP CLASS "A" ROAD STONE ON GEOTEXTILE



UTILITY NOTE:
 THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

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 Established 1959
 Civil Engineering & Land Surveying

ENTERPRISE R.A.C.
 WAUKEE, IOWA

SWPPP

REFERENCE NUMBER:	070600
DRAWN BY:	REB
CHECKED BY:	SVS
REVISION DATE:	1ST CITY SUB - 2022-09-09 2ND CITY SUB - 2022-10-12 3RD CITY SUB - 2022-11-30
PROJECT NUMBER:	210170
SHEET NUMBER:	C7.1