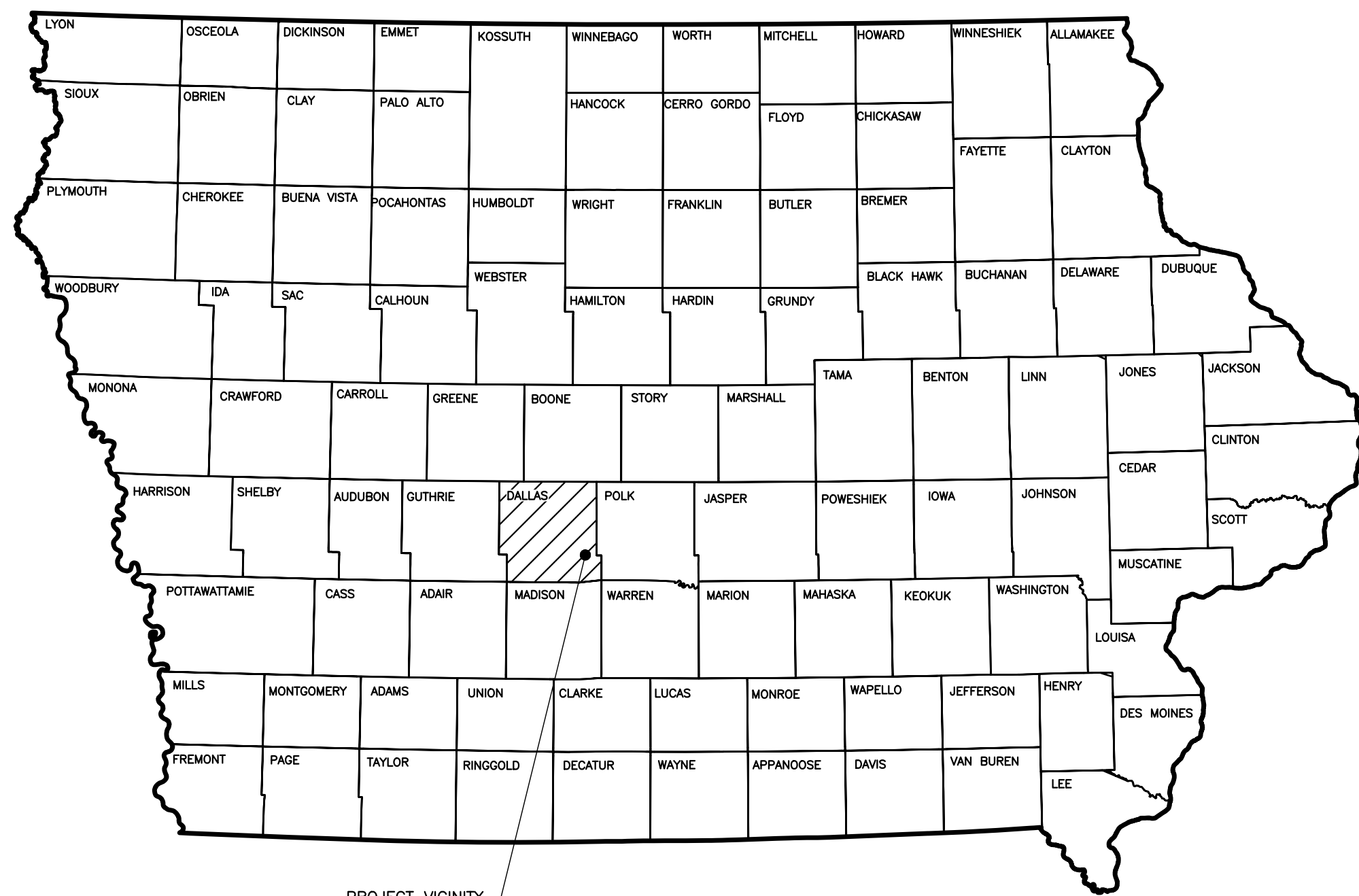


SITE PLAN

HIGHER GROUND EDUCATION

WAUKEE SITE

605 E HICKMAN ROAD, WAUKEE, IOWA
AUGUST 2022



SITE MAP
SCALE: 1"=200'

DRAWING INDEX		
SHEET NUMBER	DRAWING NUMBER	SHEET TITLE
1	C000	COVER SHEET
2	1	2021 ALTA/NSPS LAND TITLE SURVEY
3	2	2021 ALTA/NSPS LAND TITLE SURVEY
4	C200	LAYOUT PLAN
5	C300	GRADING PLAN
6	C500	DRAINAGE AND UTILITY PLAN
7	C700	LANDSCAPE PLAN
8	C701	LANDSCAPE NOTES AND DETAILS
9	C800	SITE DETAILS
10	C801	SITE DETAILS
11	C802	SITE DETAILS
12	C803	SITE DETAILS
13	C900	STORMWATER POLLUTION PREVENTION PLAN
14		PHOTOMETRIC PLAN

GENERAL SITE NOTES:

1. EXISTING CONDITIONS AS DEPICTED ON THESE PLANS ARE GENERAL AND ILLUSTRATIVE IN NATURE. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO EXAMINE THE SITE AND BE FAMILIAR WITH EXISTING CONDITIONS PRIOR TO BIDDING ON THIS PROJECT. IF CONDITIONS ENCOUNTERED DURING EXAMINATION ARE SIGNIFICANTLY DIFFERENT THAN THOSE SHOWN, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
2. THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
3. THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND OWNER'S REPRESENTATIVE FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
4. THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL APPLICABLE PERMITS, AND PAY ALL REQUIRED FEES PRIOR TO BEGINNING WORK.
5. ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE LATEST REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT.
6. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
7. ALL WORK SHALL COMPLY WITH THE 2020 WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND 2022 STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS).
8. ANY CHANGES TO THE PLANS MUST BE APPROVED IN WRITING BY THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES MADE WITHOUT APPROVAL FROM THE COMMUNITY DEVELOPMENT DEPARTMENT.

OWNER/TEAM INFORMATION

OWNER

MURPHY REAL ESTATE SERVICES, LLC
227 WEST MONROE, SUITE 5040
CHICAGO, ILLINOIS 60606
PH: (312) 625-1382
CONTACT: CHRIS HORNEY
EMAIL: CHORNEY@MURPHYRES.COM

DEVELOPER

GLOBAL POWER & CONSTRUCTION, INC.
75822 CAMP DEAN ROAD
BIG ROCK, ILLINOIS 60511
PH: (630) 733-0002
CONTACT: DYLAN FULLER
EMAIL: DYLAN@BUILDGPC.COM

ARCHITECT

ALLEN+PEPA ARCHITECTS, INC.
215 FULTON STREET
GENEVA, ILLINOIS 60134
PH: (630) 578-1105
CONTACT: AMANDA KERNER

CIVIL ENGINEER AND LANDSCAPE ARCHITECT

CIVIL & ENVIRONMENTAL CONSULTANTS, INC.
1230 EAST DIEHL ROAD, SUITE 200
NAPERVILLE, ILLINOIS 60563
PH: (630) 963-6026
FX: (630) 963-6027
CONTACTS: ANDREW R. GULLONE
PATRICK T. BENNETT, P.E.
EMAIL: PBENNETT@CECINC.COM

UTILITY COMPANIES

SANITARY SEWER SERVICE

CITY OF WAUKEE
805 UNIVERSITY AVENUE
WAUKEE, IOWA 50263
CONTACT: TIM ROYER
PH: 515-978-7920

WATER SERVICE

CITY OF WAUKEE
805 UNIVERSITY AVENUE
WAUKEE, IOWA 50263
CONTACT: TIM ROYER
PH: 515-978-7920

ELECTRIC SERVICE

MIDAMERICAN ENERGY
P.O. BOX 657
DES MOINES, IOWA 50306-0657
PH: 515-252-6632

GAS SERVICE

CITY OF WAUKEE
805 UNIVERSITY AVENUE
WAUKEE, IOWA 50263
CONTACT: TIM ROYER
PH: 515-978-7920

NO	DATE	DESCRIPTION
1	22-OCT-2022	REVISED PER CITY OF WAUKEE COMMENTS
2	18-NOV-2022	REVISED PER CITY OF WAUKEE COMMENTS
3	17-OCT-2022	REVISED PER CITY OF WAUKEE COMMENTS

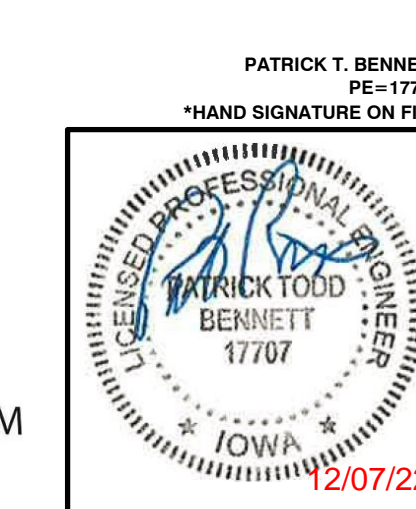
Civil & Environmental Consultants, Inc.
1230 East Diehl Road, Suite 200 - Naperville, IL 60563
630-963-6026 - 877-963-6026
www.cecinc.com

HIGHER GROUND EDUCATION
WAUKEE SITE
605 E HICKMAN ROAD
WAUKEE, IOWA 50263

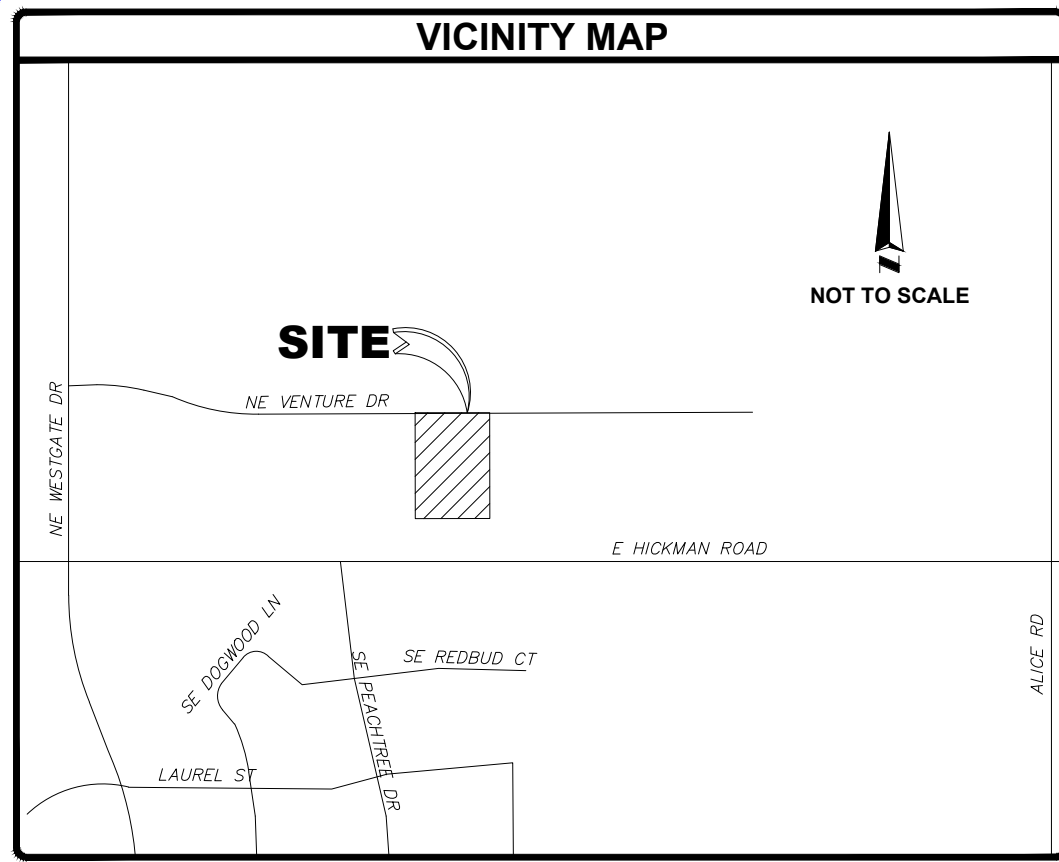
COVER SHEET

DATE: AUGUST 16, 2022 | DRAWN BY: ZAC/IRG
DWG SCALE: 1" = 200' | CHECKED BY: JGC
PROJECT NO: 323-450
APPROVED BY: *PTB

DRAWING NO:
C000



A:\130-2001\1302-4501-0000\1302450-001-0000.dwg (03/08/2022 15:12:12) - LF: 12/06/2022 09:17 AM



BASIS OF BEARING
 Bearings and distances are based on U.S. State Plane NAD 1983 Coordinates, assumed N89°54'32"E as the Northerly Right of Way Line of E HICKMAN ROAD.

UTILITY NOTE
 THE SURVEY SHOWS THE LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE COLLECTED PURSUANT TO ALTA SECTION 5 E IV TOGETHER WITH EVIDENCE FROM PLANS OBTAINED FROM THE UTILITY COMPANIES, OR PROVIDED BY THE CLIENT AND MARKINGS REQUESTED BY THE SURVEYOR PURSUANT TO A #11 UTILITY LOCATE OR SIMILAR REQUEST.
 GPRS, INC. PROVIDED PLANS AND FIELD MARKINGS

OBSERVED SIGNIFICANT OBSERVATIONS
 NO SIGNIFICANT OBSERVATIONS WERE NOTED AT THE TIME OF SURVEY

ZONING INFORMATION
 ZONE: C1-B LARGE SCALE COMMERCIAL
 MINIMUM FRONT YARD: 50 FEET; WHEN FRONTING ON THE RIGHT-OF-WAY OF A MAJOR THOROUGHFARE SHOWN ON THE OFFICIAL MAJOR STREET PLAN, THE FRONT YARD SHALL BE MEASURED FROM THE PROPOSED RIGHT-OF-WAY LINE
 MINIMUM SIDE YARD: NO MINIMUM SHALL APPLY EXCEPT WHERE THE SIDE YARD IS ADJACENT TO AN R DISTRICT, IN WHICH CASE THE SIDE YARD SHALL BE AT LEAST 40 FEET
 MINIMUM REAR YARD: 50 FEET
 MINIMUM LOT WIDTH: NO MINIMUM
 MINIMUM OPEN SPACE: THE TOTAL LAND AREA DEVOTED TO OPEN SPACE AND LANDSCAPING SHALL NOT BE LESS THAN 20% OF THE GROSS LAND AREA INCLUDED IN THE BUILDING LOT
 MINIMUM LOT AREA: NO MINIMUM
 MAXIMUM HEIGHT: 50 FEET; EXCEPT THAT RADIO COMMUNICATION TOWERS, CONSTRUCTED IN COMPLIANCE WITH CHAPTER 151 OF THIS CODE OF ORDINANCES, MAY NOT EXCEED 45 FEET IN HEIGHT
 MAXIMUM NUMBER OF STORIES: 3 STORIES
 PARKING:
 DAYCARE: 1 SPACE PER 6 CHILDREN, 5 SPACE MINIMUM + 1 SPACE PER VAN OR BUS + 1 QUEUE SPACE PER 6 CHILDREN
 REQUIRED SPACES: NOT APPLICABLE; VACANT LAND
 INFORMATION PROVIDED BY:
 PARTNER ENGINEERING AND SCIENCE, INC.
 2154 TORRANCE BLVD.
 TORRANCE, CA 90501
 REPORT #: 22-367280.6
 DATED: MAY 20, 2022; LAST UPDATED OCTOBER 10, 2022

FLOOD INFORMATION
 BY GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN ZONE "X", AS SHOWN ON THE FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 19049C0355F, WHICH BEARS AN EFFECTIVE DATE OF DECEMBER 7, 2018, AND IS NOT IN A SPECIAL FLOOD HAZARD AREA. NO FIELD SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE. ZONE "X" DENOTES AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

BUILDING HEIGHT
 NO BUILDINGS ON SITE AT THE TIME OF SURVEY

PARKING
 NO MARKED PARKING ON SITE AT THE TIME OF SURVEY

BUILDING AREA
 NO BUILDINGS ON SITE AT THE TIME OF SURVEY

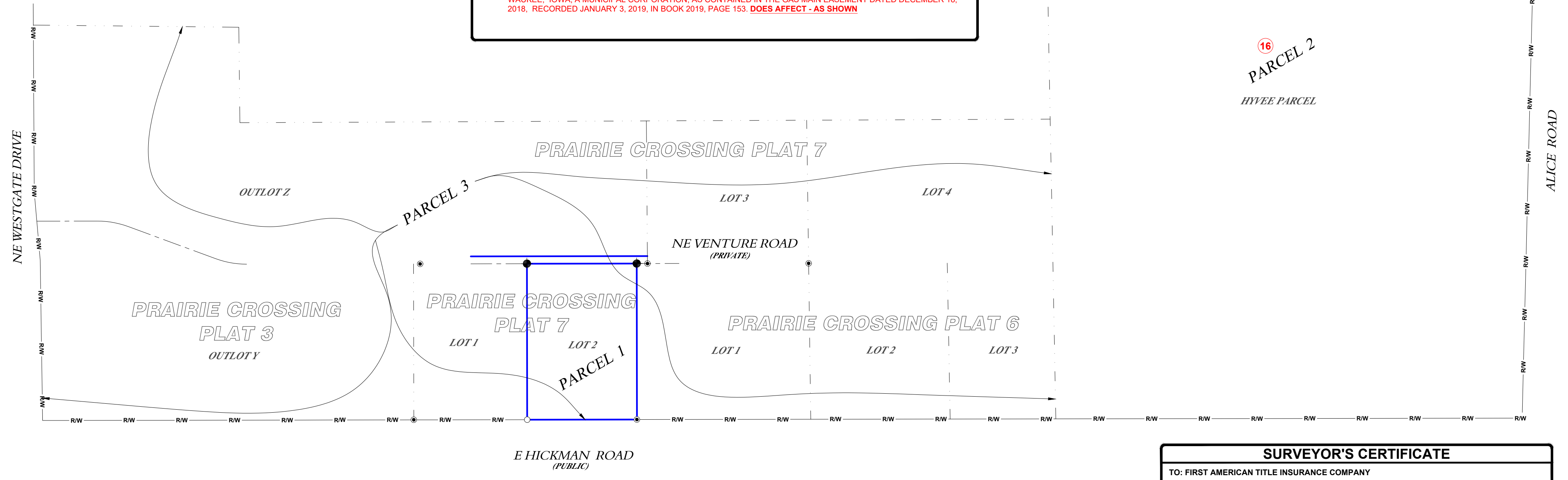
LAND AREA
 48,354 S.F.
 OR
 1.11 ACRES

- NOTES CORRESPONDING TO SCHEDULE "B" ITEMS**
- IOWA DEPARTMENT OF TRANSPORTATION AFFIDAVIT OF CONTROLLED ACCESS TO HIGHWAY #6, DATED OCTOBER 3, 1956, RECORDED OCTOBER 25, 1956, IN BOOK 404, PAGE 533. AFFECTS SUBJECT PROPERTY - NOTHING TO PLOT
 - RESOLUTION NO. 12 ANNEXING THE PROPERTY TO THE CITY OF WAUKEE, IOWA, RECORDED OCTOBER 22, 1982, IN BOOK 7, PAGE 164. AFFECTS SUBJECT PROPERTY - NOTHING TO PLOT
 - EASEMENT FOR TELECOMMUNICATIONS FACILITIES PURPOSES, TOGETHER WITH ANY INCIDENTAL RIGHTS, IN FAVOR OF U S WEST COMMUNICATIONS, INC., A COLORADO CORPORATION, AS CONTAINED IN THE EASEMENT AND OPTION DATED JUNE 11, 1991, RECORDED AUGUST 12, 1991, IN BOOK 702, PAGE 23. DOES AFFECT - AS SHOWN
 - EASEMENT FOR TELECOMMUNICATIONS FACILITIES PURPOSES, TOGETHER WITH ANY INCIDENTAL RIGHTS, IN FAVOR OF U S WEST COMMUNICATIONS, INC., A COLORADO CORPORATION, AS CONTAINED IN THE EASEMENT DATED OCTOBER 14, 1991, RECORDED OCTOBER 17, 1991, IN BOOK 705 PAGE 195. DOES AFFECT - AS SHOWN
 - RIGHTS OF DIRECT ACCESS TO PRIMARY ROAD NO. U.S. 6 CONVEYED TO THE STATE OF IOWA, BY WARRANTY DEED DATED AUGUST 10, 1998, RECORDED SEPTEMBER 8, 1998, IN BOOK 1998, PAGE 9638. AFFECTS SUBJECT PROPERTY - NOTHING TO PLOT
 - THIS ITEM HAS BEEN INTENTIONALLY DELETED.
 - EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND DATED SEPTEMBER 27, 2006, RECORDED SEPTEMBER 29, 2006, IN BOOK 2006, PAGE 15927. AMENDED BY FIRST AMENDMENT TO EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND DATED APRIL 23, 2012, RECORDED APRIL 27, 2012, IN BOOK 2012 PAGE 6581. FURTHER AMENDED BY SECOND AMENDMENT TO EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND DATED MARCH 3, 2014, RECORDED APRIL 14, 2014, IN BOOK 2014, PAGE 4107. FURTHER AMENDED BY THIRD AMENDMENT TO EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND DATED JUNE 1, 2016, RECORDED JUNE 9, 2016, IN BOOK 2016, PAGE 9212. WHICH IS AFFECTED BY JOINDER AGREEMENT TO THIRD AMENDMENT TO EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND DATED JUNE 1, 2016, RECORDED SEPTEMBER 22, 2016, IN BOOK 2016, PAGE 17963. SAME AS PARCEL 2 - AS SHOWN ON SHEET 1
 - EASEMENT FOR TELECOMMUNICATIONS FACILITIES PURPOSES, TOGETHER WITH ANY INCIDENTAL RIGHTS IN FAVOR OF QWEST CORPORATION, A COLORADO CORPORATION, AS CONTAINED IN THE EASEMENT AGREEMENT DATED NOVEMBER 7, 2006, RECORDED NOVEMBER 29, 2006, IN BOOK 2006, PAGE 19329. DOES AFFECT - AS SHOWN
 - DEVELOPMENT AGREEMENT BETWEEN THE CITY OF WAUKEE, IOWA AND ALICES, L.C., DATED AUGUST 6 2007, RECORDED AUGUST 15, 2007, IN BOOK 2007, PAGE 12839. AMENDED BY AMENDMENT TO DEVELOPMENT AGREEMENT DATED JULY 21, 2008, RECORDED AUGUST 19, 2008, IN BOOK 2008, PAGE 11523. AMENDED AND RE-STATEMENT DATED AND RE-STATEMENT DATED DEVELOPMENT AGREEMENT AMONG THE CITY OF WAUKEE, ALICES, L.C. AND TEAM DES MOINES PARTNERS, LLC, DATED MARCH 19, 2012, RECORDED APRIL 12, 2012, IN BOOK 2012, PAGE 5668. AFFECTS SUBJECT PROPERTY - NOTHING TO PLOT
 - AMENDED AND RE-STATEMENT OF COVENANTS MADE BY ALICES, L.C., AN IOWA LIMITED LIABILITY COMPANY, DATED MARCH 3, 2014, RECORDED APRIL 14, 2014, IN BOOK 2014, PAGE 4110. AMENDED BY FIRST AMENDMENT TO AMENDED AND RE-STATEMENT OF COVENANTS FOR PRAIRIE CROSSING COMMERCIAL OWNERS ASSOCIATION DATED MAY 31, 2016, RECORDED JUNE 9, 2016, IN BOOK 2016, PAGE 9211. FURTHER AMENDED BY SECOND AMENDMENT TO AMENDED AND RE-STATEMENT OF COVENANTS FOR PRAIRIE CROSSING COMMERCIAL OWNERS ASSOCIATION DATED JULY 11, 2019, RECORDED JULY 29, 2019, IN BOOK 2019, PAGE 13025. AFFECTS SUBJECT PROPERTY - NOTHING TO PLOT
 - DECLARATION OF CONSTRUCTION, RESTRICTIONS, OPERATING AND RECIPROCAL EASEMENTS BY ALICES, L.C., AN IOWA LIMITED LIABILITY COMPANY, DATED APRIL 27, 2018, RECORDED APRIL 27, 2018, IN BOOK 2018, PAGE 6862. AMENDED BY FIRST AMENDMENT TO DECLARATION OF CONSTRUCTION, RESTRICTIONS, OPERATING AND RECIPROCAL EASEMENTS DATED JULY 11, 2019, RECORDED JULY 29, 2019, IN BOOK 2019, PAGE 13026. SAME AS PARCEL 3 - AS SHOWN ON SHEET 1
 - EASEMENTS FOR UTILITIES PURPOSES AS SHOWN ON THE RECORDED PLAT OF PRAIRIE CROSSING PLAT 7, RECORDED JANUARY 3, 2019, IN BOOK 2019, PAGE 148. DOES AFFECT - AS SHOWN
 - EASEMENT FOR WATER MAIN PURPOSES, TOGETHER WITH ANY INCIDENTAL RIGHTS, IN FAVOR OF THE CITY OF WAUKEE, IOWA, A MUNICIPAL CORPORATION, AS CONTAINED IN THE PUBLIC UTILITY EASEMENT DATED DECEMBER 18, 2018, RECORDED JANUARY 3, 2019, IN BOOK 2019, PAGE 150. DOES AFFECT - AS SHOWN
 - EASEMENT FOR UTILITY PURPOSES, TOGETHER WITH ANY INCIDENTAL RIGHTS, IN FAVOR OF THE CITY OF WAUKEE, IOWA, A MUNICIPAL CORPORATION, AS CONTAINED IN THE PUBLIC UTILITY EASEMENT DATED DECEMBER 18, 2018, RECORDED JANUARY 3, 2019, IN BOOK 2019, PAGE 152. DOES AFFECT - AS SHOWN
 - EASEMENT FOR GAS MAIN PURPOSES, TOGETHER WITH ANY INCIDENTAL RIGHTS, IN FAVOR OF THE CITY OF WAUKEE, IOWA, A MUNICIPAL CORPORATION, AS CONTAINED IN THE GAS MAIN EASEMENT DATED DECEMBER 18, 2018, RECORDED JANUARY 3, 2019, IN BOOK 2019, PAGE 153. DOES AFFECT - AS SHOWN

TITLE DESCRIPTION
 REAL PROPERTY IN THE CITY OF WAUKEE, COUNTY OF DALLAS, STATE OF IOWA, DESCRIBED AS FOLLOWS:
 PARCEL 1:
 LOT 2 IN PRAIRIE CROSSING PLAT 7, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WAUKEE, DALLAS COUNTY, IOWA.
 PARCEL 2:
 NON-EXCLUSIVE EASEMENTS FOR PARKING, ACCESS, UTILITY AND DRAINAGE PURPOSES, AS SET FORTH IN THE EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND DATED SEPTEMBER 27, 2006, RECORDED SEPTEMBER 29, 2006, IN BOOK 2006, PAGE 15927. AMENDED BY FIRST AMENDMENT TO EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND DATED APRIL 23, 2012, RECORDED APRIL 27, 2012, IN BOOK 2012 PAGE 6581. FURTHER AMENDED BY SECOND AMENDMENT TO EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND DATED MARCH 3, 2014, RECORDED APRIL 14, 2014, IN BOOK 2014, PAGE 4107. FURTHER AMENDED BY THIRD AMENDMENT TO EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND DATED JUNE 1, 2016, RECORDED JUNE 9, 2016, IN BOOK 2016, PAGE 9212. WHICH IS AFFECTED BY JOINDER AGREEMENT TO THIRD AMENDMENT TO EASEMENTS WITH COVENANTS AND RESTRICTIONS AFFECTING LAND DATED JUNE 1, 2016, RECORDED SEPTEMBER 22, 2016, IN BOOK 2016, PAGE 17963.
 PARCEL 3:
 NON-EXCLUSIVE EASEMENTS FOR UTILITY, INGRESS, EGRESS AND PARKING PURPOSES, AS SET FORTH IN THE DECLARATION OF CONSTRUCTION, RESTRICTIONS, OPERATING AND RECIPROCAL EASEMENTS, DATED APRIL 27, 2018, RECORDED APRIL 27, 2018, IN BOOK 2018, PAGE 6862. AMENDED BY FIRST AMENDMENT TO DECLARATION OF CONSTRUCTION, RESTRICTIONS, OPERATING AND RECIPROCAL EASEMENTS DATED JULY 11, 2019, RECORDED JULY 29, 2019, IN BOOK 2019, PAGE 13026.
 THE PROPERTY SURVEYED IS THE SAME AS DESCRIBED ABOVE AND SHOWN IN THE TITLE COMMITMENT FROM FIRST AMERICAN TITLE INSURANCE COMPANY, COMMITMENT NO. NCS-1113539-SA1, WITH AN EFFECTIVE DATE OF JULY 1, 2022 AT 7:30 AM; LAST REVISED JULY 6, 2022.

TITLE COMMITMENT INFORMATION
 The Title Description and Schedule 'B' Items are the same as shown on the title commitment provided by First American Title Insurance Company, Commitment No. NCS-1113539-SA1, with an effective date of July 1, 2022 at 7:30 AM; last revised July 6, 2022.

- SURVEYOR'S NOTES**
- ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATED TO UTILITIES, IMPROVEMENTS, STRUCTURES, BUILDINGS, PARTY WALLS, EASEMENTS, SERVITUDES, FOUNDATIONS AND POSSIBLE ENCRoACHMENTS ARE BASED SOLELY ON ABOVE GROUND, VISIBLE EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY REFERENCED HEREON.
 - SUBJECT TRACT HAS NO DIRECT PHYSICAL DRIVEWAY ACCESS TO A DEDICATED PUBLIC RIGHT-OF-WAY. SUBJECT TRACT HAS INDIRECT PHYSICAL ACCESS VIA PARCEL 3 TO NE WESTGATE DRIVE AND INDIRECT ACCESS VIA PARCEL 2 TO ALICE ROAD.
 - THE DIMENSIONS AND AREA OF THE BUILDING(S) SHOWN ARE BASED ON THE BUILDING'S EXTERIOR FOOTPRINT AT GROUND LEVEL.
 - THE POINT OF HEIGHT MEASUREMENT IS IDENTIFIED ON THE SURVEY AND WAS TAKEN FROM THE NEAREST ADJACENT GRADE AT SAID POINT. THIS POINT REPRESENTS THE HEIGHT OF THE STRUCTURE AS OBSERVED FROM GROUND LEVEL.
 - UNDERGROUND UTILITY LINES ARE PER INFORMATION PROVIDED BY GPRS, INC. GPRS FIELD MARKINGS AND UTILITY LOCATION MAPS WERE PROVIDED TO SURVEYOR AND ARE SHOWN HEREON. GPRS FINDINGS MAP IS DATED MAY 23, 2022.
 - THERE IS NO OBSERVABLE EVIDENCE OF EARTH MOVING WORK, OR BUILDING CONSTRUCTION ON THE SURVEYED PROPERTY.
 - THERE ARE NO OBSERVABLE EVIDENCE OF ANY CHANGES IN STREET RIGHT-OF-WAYS OR RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIR.
 - THERE IS NO OBSERVABLE EVIDENCE OF CEMETERIES ON THE SURVEYED PROPERTY.
 - ALL RECIPROCAL EASEMENT AGREEMENTS ("REAS") THAT HAVE BEEN REPORTED BY THE TITLE REPORT PROVIDED HAVE BEEN DENOTED ON THE SURVEY AND ARE SHOWN HEREON. THE LIMITS OF ANY OFFSITE APPURTENANT EASEMENTS THAT HAVE BEEN REPORTED BY THE TITLE REPORT PROVIDED HAVE BEEN DENOTED ON THE SURVEY AND ARE SHOWN HEREON.
 - THIS SURVEY DOES NOT PROVIDE A DETERMINATION OR OPINION CONCERNING THE LOCATION OR EXISTENCE OF WETLANDS, FAULT LINES, TOXIC OR HAZARDOUS WASTE AREAS, SUBSIDENCE, SUBSURFACE AND ENVIRONMENTAL CONDITIONS OR GEOLOGICAL ISSUES. NO STATEMENT IS MADE CONCERNING THE SUITABILITY OF THE SUBJECT TRACT FOR ANY INTENDED USE, PURPOSE OR DEVELOPMENT.
 - UNLESS SHOWN OTHERWISE, THE SURVEYED BOUNDARY SHOWN HEREON ARE CONTIGUOUS WITH ADJOINING PROPERTIES AND/OR RIGHTS OF WAY WITHOUT ANY GAPS, GORES OR OVERLAPS.
 - UNLESS SHOWN OTHERWISE, NO VISIBLE EVIDENCE OF SUBSTANTIAL AREAS OF REFUSE WERE OBSERVED AT THE TIME THE FIELDWORK WAS PERFORMED.
 - SITE BENCHMARK 1 (BM1) IS CUT 'X' IN CENTERLINE OF NE VENTURE STREET - VERTICAL DATUM NAVD88. ELEVATION = 1032.395'.
 SITE BENCHMARK 2 (BM2) IS CUT 'X' IN CENTERLINE OF NE VENTURE STREET - VERTICAL DATUM NAVD88. ELEVATION = 1031.374'.
 THE TYPE OF GPS UTILIZES AS NETWORK ADJUSTED REAL TIME KINEMATIC (TOPCON VRS NETWORK), IOWA SOUTH ZONE. TOPCON HIPER SR RECEIVERS WERE USED TO PERFORM THE SURVEY.
 - PARCEL 2 IS THE SAME AS SCHEDULE 'B' ITEM 16
 PARCEL 3 IS THE SAME AS SCHEDULE 'B' ITEM 20



SURVEYOR'S CERTIFICATE
 TO: FIRST AMERICAN TITLE INSURANCE COMPANY
 THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTANSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6a, 6b, 7a, 7b, 7c, 8, 9, 11b, 13, 14, 16, and 17 OF TABLE A THEREOF. THE FIELDWORK WAS COMPLETED ON MAY 26, 2022.
 DATE OF PLAT OR MAP: ***/**/****
 PRELIMINARY
 DAN J. KUEHL, PLS
 STATE OF IOWA
 REGISTRATION NUMBER: 19989
 EXPIRATION: DECEMBER 31, 2023

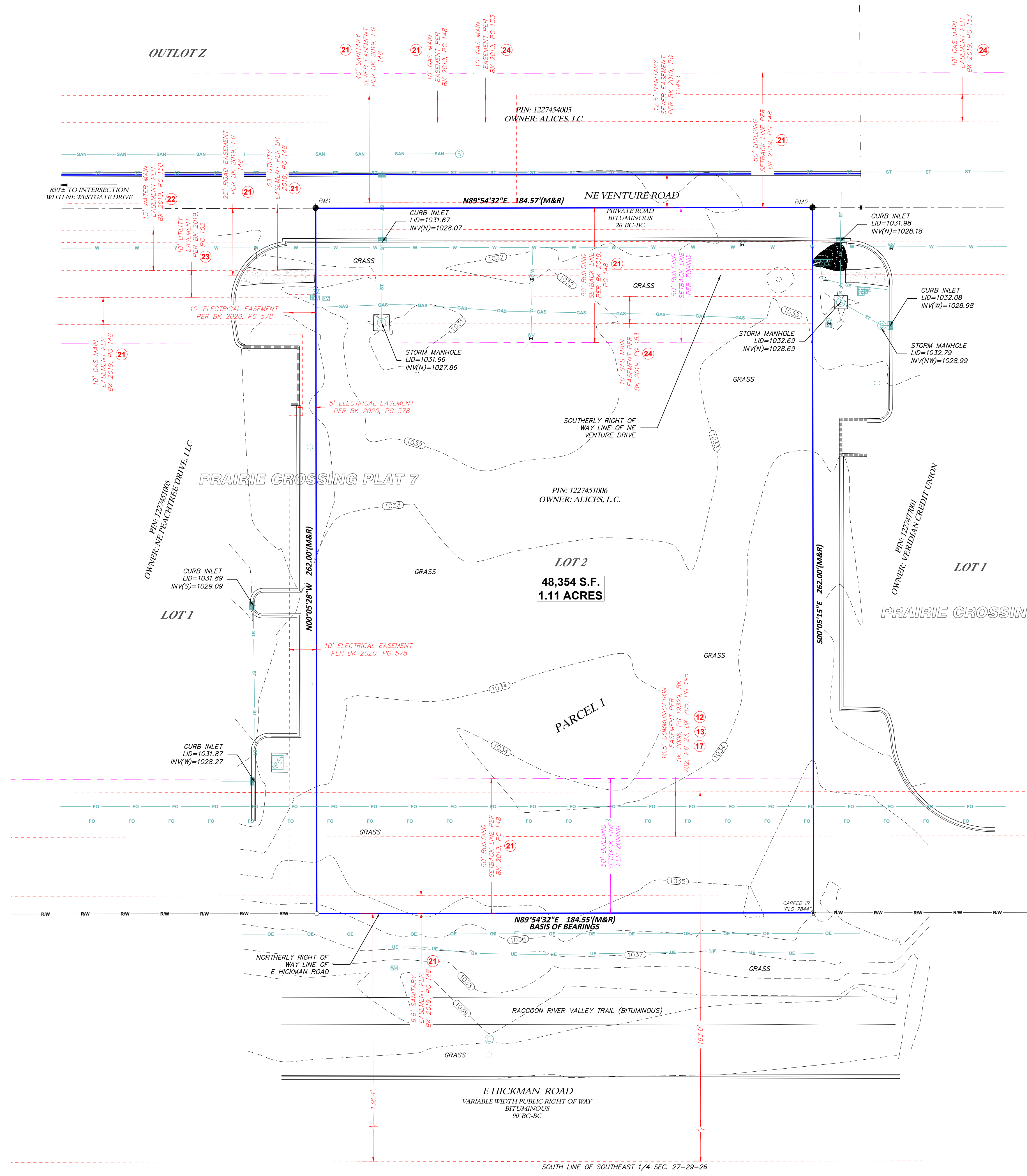
2021 ALTA/NSPS LAND TITLE SURVEY
 605 E HICKMAN ROAD
 SITE ADDRESS
 605 E HICKMAN ROAD
 CITY OF WAUKEE
 WAUKEE, IA
 PARTNER PROJECT NUMBER: 22-367280.7

COORDINATED BY
PARTNER CORPORATION
 2154 Torrance Boulevard
 Torrance, CA 90501
 Phone: 562-213-7479
 ALTA@partneresi.com
 www.partneresi.com

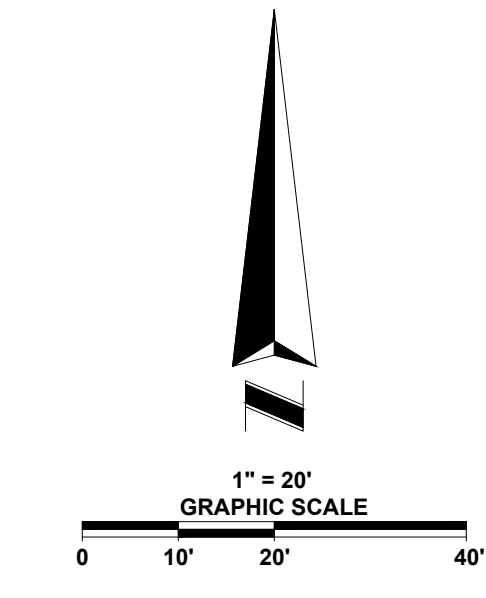
DATE	REVISIONS	DRAWN BY: KJM	DRAWING SCALE: 1"= 20'
10/18/22	ADD ZONING REPORT	CHECKED BY: BCH	JOB NO.: 224034
		FILENAME:	

SURVEYED BY

 8300 42ND STREET WEST ROCK ISLAND, IL 61201
 (O) 309-787-9988
 (F) 309-756-9540
 XCEL@XCELCONSULTANTSINC.COM



- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - BUILDING SETBACK LINE
- - - EASEMENT LINE
- - - RIGHT OF WAY LINE
- - - SURVEY TIE LINE
- ===== WALL
- CURB LINE
- GAS LINE
- OVERHEAD ELECTRIC LINE
- STORM DRAIN LINE
- WATER LINE
- UNDERGROUND ELECTRIC LINE
- SANITARY SEWER LINE
- FIBER/COMMUNICATION LINE
- CENTERLINE
- FOUND CUT "X" (UNLESS NOTED)
- SET 5/8" XCEL CAPPED IR
- ① TITLE EXCEPTION NUMBER
- A SIGNIFICANT OBSERVATION LETTER
- P PARKING COUNT
- ESD MANHOLE (ELECTRIC, SANITARY, STORM DRAIN)
- W FIRE HYDRANT
- W VALVE (GAS, WATER)
- D DRAINAGE INLET
- A AREA LIGHT
- W ELECTRIC PEDESTAL
- M METER (WATER, GAS)
- V FIBER OPTIC VAULT
- U UTILITY POLE
- T TRANSFORMER
- IR IRON ROD
- IP IRON PIPE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- * BUILDING HEIGHT LOCATION
- (M&R) MEASURED & RECORD
- S.F. SQUARE FEET
- BC BACK OF CURB
- CONCRETE SURFACE



CONVEYANCE BY ANY MEANS. ALL INFORMATION HEREON, USE OF THIS FORMAT IS STRICTLY PROHIBITED WITHOUT PRIOR WRITTEN CONSENT.

2021 ALTA/NSPS LAND TITLE SURVEY
605 E HICKMAN ROAD
 SITE ADDRESS
 605 E HICKMAN ROAD
 CITY OF WAUKEE
 WAUKEE, IA
PARTNER PROJECT NUMBER: 22-367280.7

COORDINATED BY

 CORPORATE OFFICE
 2154 Torrance Boulevard
 Torrance, CA 90501
 Phone: 388-213-7479
 ALTA@partneresi.com
 www.partneresi.com

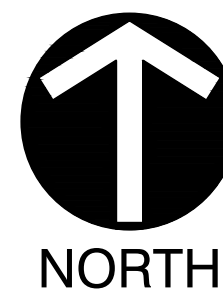
DATE	REVISIONS	DRAWN BY: KJM	DRAWING SCALE: 1"= 20'
10/18/22	ADD ZONING REPORT	CHECKED BY: BCH	JOB NO.: 224034
		FILENAME:	

SURVEYED BY

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 ISLAND, IL 61201
 (O) 309-787-9988
 (F) 309-756-9540
 XCEL@XCELCONSULTANTSINC.COM

**SHEET 2
OF 2**

THIS SURVEY WAS COORDINATED, NOT PERFORMED, BY PARTNER. SURVEY OBTAINED FROM AND CERTIFIED TO BY A PROFESSIONAL SURVEYOR LICENSED TO PRACTICE IN THE SAME STATE THE SUBJECT PROPERTY IS LOCATED



EXISTING 40' SANITARY EASEMENT PER BOOK 2019, PAGE 148

PIN: 1227454003
OWNER: ALICES, L.C.
ZONING: C-1B

EXISTING 10' GAS MAIN EASEMENT PER BOOK 2019, PAGE 148

SITE INFORMATION:

PARCEL ID: 1227451008
 LOT SIZE: 48,354 SQ.FT. (1.11± AC)
 IMPERVIOUS SURFACE AREA: 32,404 SQ.FT. (0.74 AC.)
 PERVIOUS SURFACE AREA: 15,950 SQ.FT. (0.37 AC.)
 IMPERVIOUS SURFACE PERCENT: 67%
 OPEN SPACE PERCENT: 33%

BUILDING SIZE: 10,614 SQ.FT.

PARKING SUMMARY:
 1 SPACE PER 6 CHILDREN PLUS 1 SPACE PER VAN PLUS 1 QUEUE SPACE PER 6 CHILDREN WHEN A DROP OFF LANE IS PROPOSED.*

REQUIRED PARKING: 23 SPACES
 PROPOSED PARKING: 37 SPACES
 ACCESSIBLE PARKING SPACES: 2 SPACES
 TOTAL PARKING SPACES: 39 SPACES

REQUIRED BICYCLE PARKING: NOT APPLICABLE
 PROVIDED BICYCLE PARKING: 3 SPACES

ZONING: C-1B (LARGE SCALE COMMERCIAL DISTRICT)

BUILDING SETBACKS:
 FRONT: 50 FEET
 REAR: 50 FEET
 SIDE: NONE

PARKING SETBACKS:
 10 FEET FROM RIGHT-OF-WAY
 5 FEET FROM SIDE AND REAR PROPERTY LINES

*THERE ARE NO VAN SPACES OR DROP OFF LANES PROPOSED

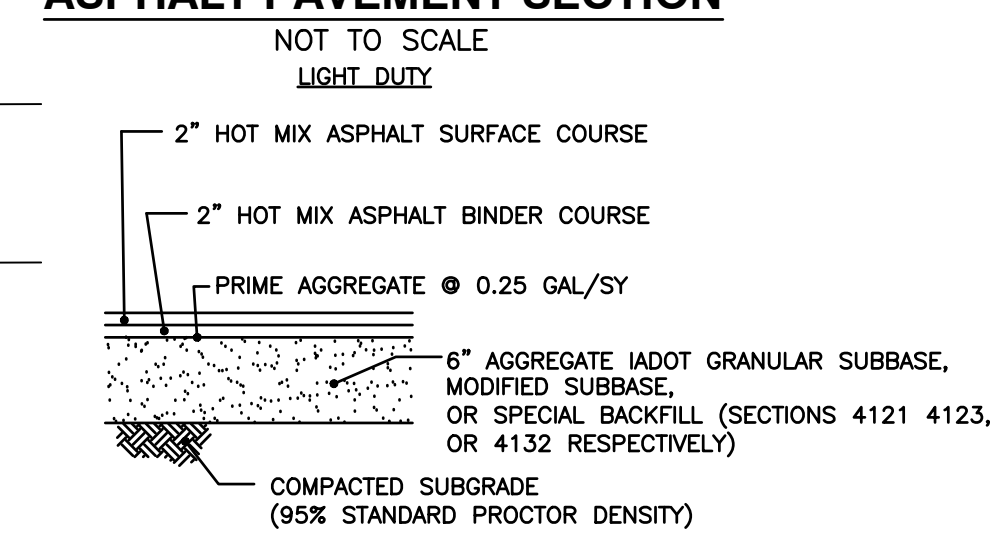
GENERAL SITE LAYOUT NOTES:

- THE CONTRACTOR SHALL CHECK EXISTING GRADES, DIMENSIONS, AND INVERTS IN THE FIELD AND REPORT ANY DISCREPANCIES TO THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING WORK.
- THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES, INCLUDING IRRIGATION LINES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. RELOCATE EXISTING UTILITIES AS INDICATED, OR AS NECESSARY FOR CONSTRUCTION.
- PROVIDE A SMOOTH TRANSITION BETWEEN EXISTING PAVEMENT AND NEW PAVEMENT. FIELD ADJUSTMENT OF FINAL GRADES MAY BE NECESSARY. INSTALL ALL UTILITIES, INCLUDING IRRIGATION SLEEVING, PRIOR TO INSTALLATION OF PAVED SURFACES.
- SITE WORK CONCRETE WALKS AND PADS SHALL HAVE A BROOM FINISH TO ALL SURFACES. SITE WORK CONCRETE SHALL BE CLASS A (4,000 PSI @ 28 DAYS) UNLESS OTHERWISE NOTED.
- ALL DAMAGE TO EXISTING PAVEMENT TO REMAIN WHICH RESULTS FROM THE CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE.
- SITE DIMENSIONS SHOWN ARE FROM THE BACK OF CURB TO BACK OF CURB UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL MAINTAIN ONE SET OF AS-BUILT / RECORD DRAWINGS ON THE JOB SITE DURING CONSTRUCTION FOR DISTRIBUTION TO THE OWNER AND/OR OWNER'S REPRESENTATIVE UPON COMPLETION.
- REFER TO THE ARCHITECTURAL DRAWINGS FOR EXACT DIMENSIONS AND LOCATIONS OF UTILITY SERVICE ENTRY LOCATIONS AND PRECISE BUILDING DIMENSIONS.
- THIS SITE LAYOUT IS SPECIFIC TO THE APPROVALS NECESSARY FOR THE CONSTRUCTION IN ACCORDANCE WITH THE CITY OF WAUKEE. NO CHANGES TO THE SITE LAYOUT ARE ALLOWED WITHOUT THE WRITTEN APPROVAL OF THE ENGINEER. CHANGES MADE TO THE SITE LAYOUT WITHOUT APPROVAL IS SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. CHANGES INCLUDE BUT ARE NOT LIMITED TO, INCREASED IMPERVIOUS PAVEMENT, ADDITION / DELETION OF PARKING SPACES, MOVEMENT OF CURB LINES, CHANGES TO DRAINAGE STRUCTURES AND PATTERNS, LANDSCAPING, ETC.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES. IF PAVING IS NOT INSTALLED PRIOR TO BUILDING CONSTRUCTION COMMENCING AFTER FOOTING INSTALLED, AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING TO EXTEND WITHIN 100 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS SHALL BE PROVIDED AND COMPLY WITH THE REQUIREMENTS OF SECTION 503.2 OF THE IFC.

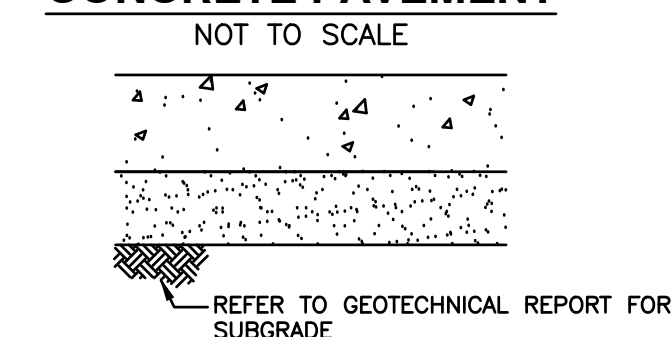
PROPOSED SITE KEY NOTES

- (A) CONCRETE PAVEMENT; SEE THIS SHEET.
- (B) LIGHT DUTY ASPHALT PAVEMENT; SEE THIS SHEET.
- (C) 6" CONCRETE CURB; SEE DETAIL 801A ON SHEET 800.
- (D) 6" CONCRETE CURB - REVERSE; SEE DETAIL 801B ON SHEET 800.
- (E) CLASS A SIDEWALK; SEE DETAIL 802 ON SHEET C800.
- (F) CLASS B SIDEWALK; SEE DETAIL 802 ON SHEET C800.
- (G) CROSSWALK; SEE DETAIL 804 ON SHEET C800.
- (H) ADA PARKING SPACE AND SIGN SEE DETAILS 805, 806, AND 807 ON SHEET C800.
- (I) 4" WIDE PAINTED PARKING SPACE STRIPE, COLOR WHITE.
- (J) BIKE RACK; SEE DETAIL 809 ON SHEET C801.
- (K) CURB RAMP WITH DETECTABLE WARNING SURFACE; SEE DETAILS 808 ON SHEET C800.
- (L) DUMPSTER ENCLOSURE; REFER TO ARCHITECTURAL PLANS.
- (M) TRANSFORMER PAD; SEE SHEET C500 FOR MORE INFORMATION.
- (N) 4" TALL ALUMINUM FENCE; REFER TO ARCHITECTURAL PLANS.
- (O) MONUMENT SIGN; REFER TO ARCHITECTURAL PLANS.
- (P) STORAGE SHED; REFER TO ARCHITECTURAL PLANS.
- (Q) STOP BAR; SEE DETAIL 803 ON SHEET C800.

ASPHALT PAVEMENT SECTION



CONCRETE PAVEMENT

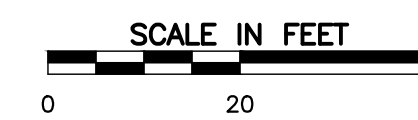


DRIVEWAY APRON (INCLUDING SIDEWALK AT APRON)

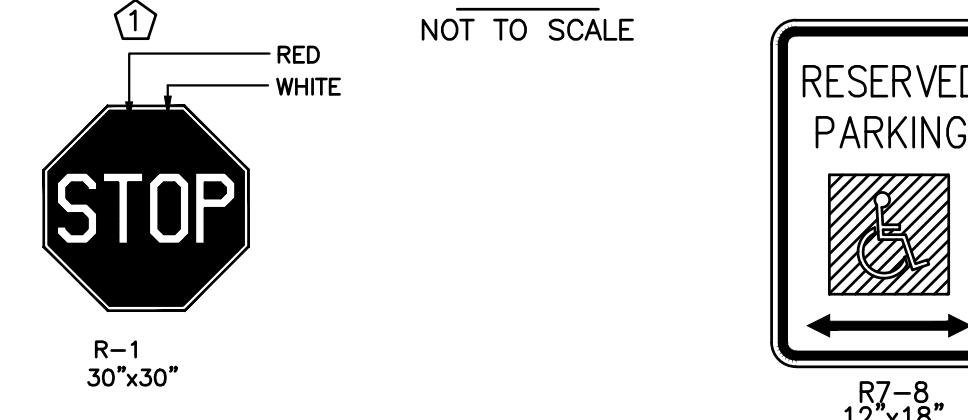
MATCH EXISTING DRIVEWAY SECTION. MINIMUM 8" PORTLAND CEMENT CONCRETE, 4,000 PSI
 4" AGGREGATE IADOT GRANULAR SUBBASE, MODIFIED SUBBASE, OR SPECIAL BACKFILL (SECTIONS 4121, 4123, OR 4132 RESPECTIVELY)

TRASH ENCLOSURE

8" PORTLAND CEMENT CONCRETE, 4,000 PSI
 4" AGGREGATE IADOT GRANULAR SUBBASE, MODIFIED SUBBASE, OR SPECIAL BACKFILL (SECTIONS 4121, 4123, OR 4132 RESPECTIVELY)



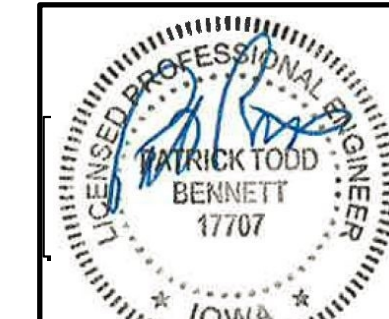
SIGNS



NOTES:

- SET POSTS IN CONCRETE TO A MINIMUM DEPTH OF 36". SIGN PANELS SHALL BE 0.100 ALUMINUM WITH RAISED OR SILKSCREEN COPY.
- FOR POST MOUNTING, USE NON-CORROSIVE 3/8" 2. MACHINE BOLTS W/ WASHERS, 2 PER SIGN; OR IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- FOR WALL MOUNTING, USE NON-CORROSIVE 3/8" LAG BOLTS W/ LEAD EXPANSION SHIELD, 4 PER SIGN.
- ALL TRAFFIC CONTROL SIGNS, SIGN POSTS, AND SIGN HARDWARE SHALL SATISFY THE REQUIREMENTS OF IOWADOT.
- FINE AMOUNT SHALL BE DISPLAYED IN ACCORDANCE WITH LOCAL LAW. THE AMOUNT SHOWN HEREON IS REPRESENTATIVE ONLY. COORDINATE POSTING OF FINE AMOUNT WITH LOCAL LAW ENFORCEMENT AGENCY.

PATRICK T. BENNETT
PE-17707
*HAND SIGNATURE ON FILE



NO.	DATE	DESCRIPTION
1	27-OCT-2022	REVISED PER CITY OF WAUKEE COMMENTS
2	18-NOV-2022	REVISED PER CITY OF WAUKEE COMMENTS
3	7-DEC-2022	REVISED PER CITY OF WAUKEE COMMENTS

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 1230 East Diehl Road, Suite 200 - Naperville, IL 60563
 630-963-6026 - 877-963-6026
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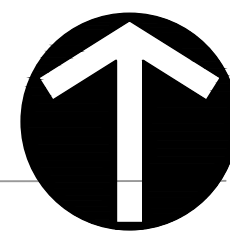
**HIGHER GROUND EDUCATION
 WAUKEE SITE
 605 E HICKMAN ROAD
 WAUKEE, IOWA 50263**

DATE:	AUGUST 18, 2022	DRAWN BY:	ZAC/ARG	JGC
DWG SCALE:	1" = 20'	CHECKED BY:	JGC	323-450
PROJECT NO.:		APPROVED BY:		*PTB

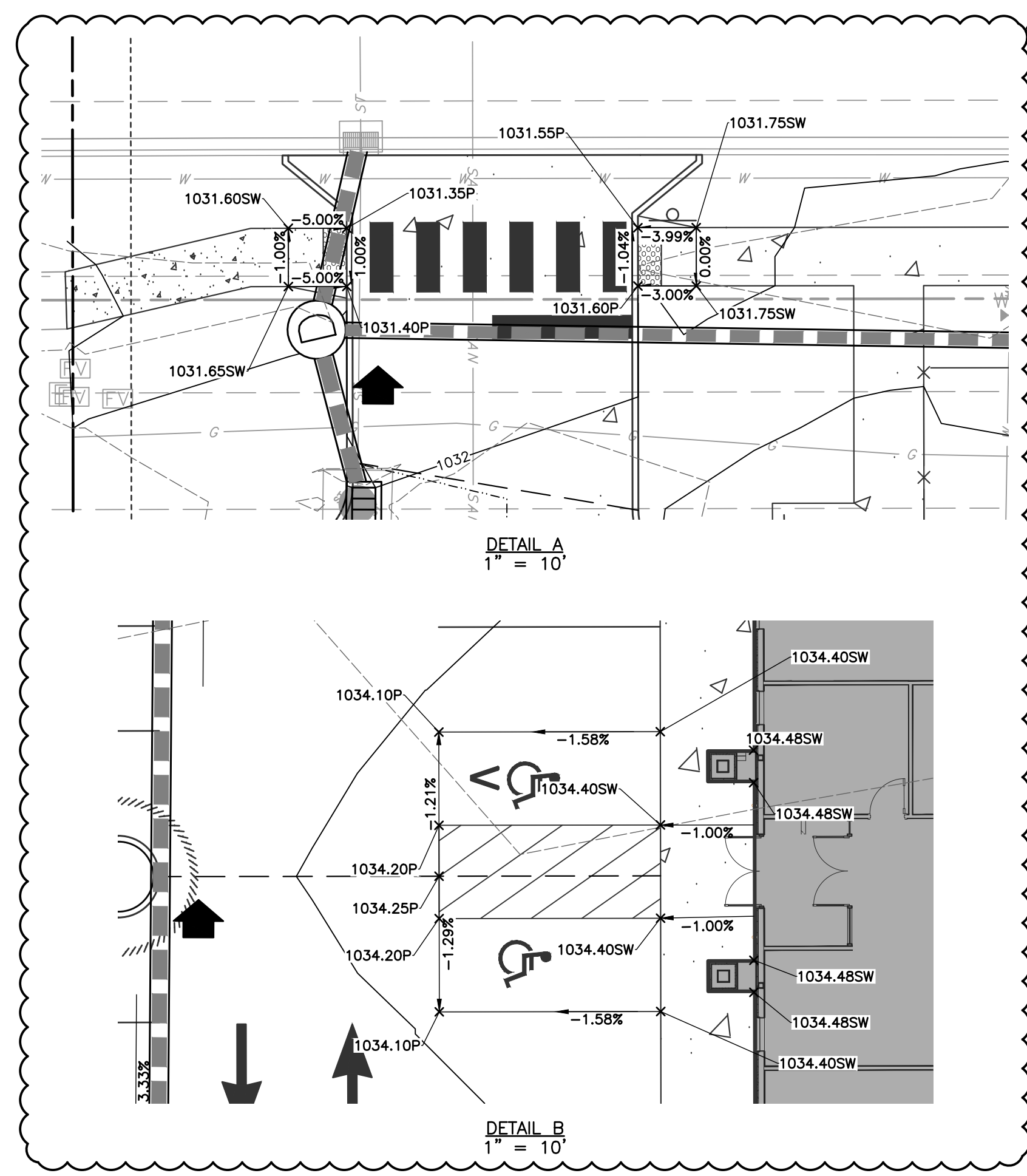
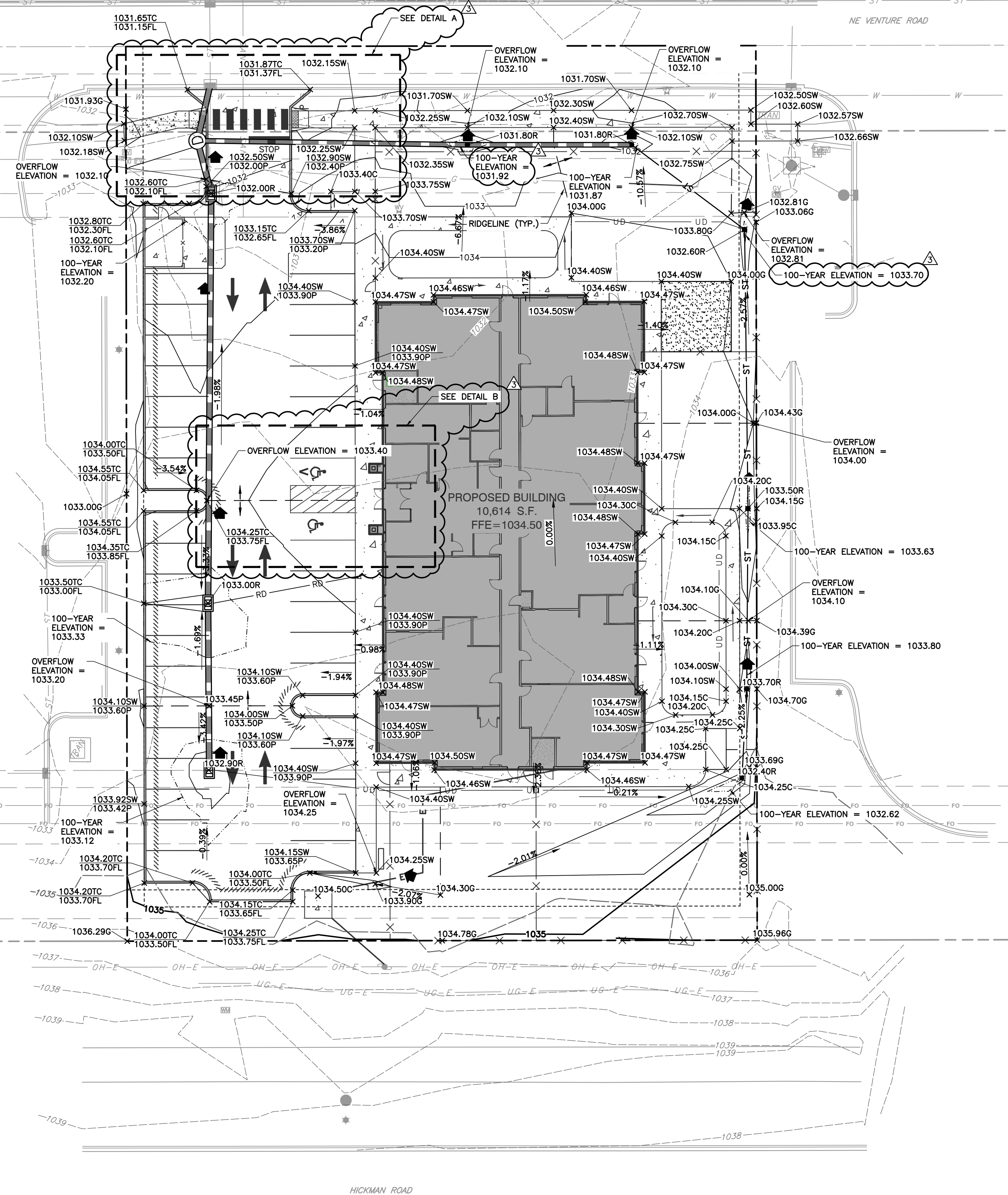
LAYOUT PLAN
C200

- REFERENCE**
- EXISTING BOUNDARY AND TOPOGRAPHIC CONDITIONS PREPARED BY PARTNER ENGINEERING AND SCIENCE INC. AND PROVIDED MURPHY REAL ESTATE SERVICES, FILE NAME: "224034 WAUKEE VACANT.DWG."
 - PROPOSED BUILDING FOOTPRINT PROVIDED BY ALLEN PEPA, FILE NAME: "22-014 HIGHER GROUND WAUKEE - FLR PLAN - 7-27-22.DWG"
 - SEE GEOTECHNICAL REPORT PREPARED BY TERRACON GEOREPORT DATED SEPTEMBER 7, 2022.

A:\1300-2001\1301-4501-04001\DWG\1071\13014501-0101-C200.dwg(12/9/2022 15:12:59:2022 - mrtreg) - LP: 12/9/2022 8:57 AM



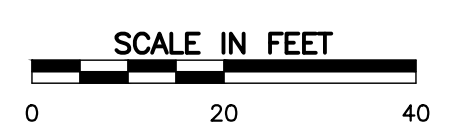
NORTH



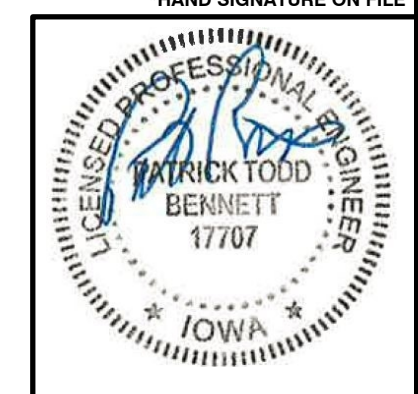
- GENERAL GRADING NOTES:**
- CONTRACTOR SHALL STRICTLY ADHERE TO THE EROSION CONTROL MEASURES PREPARED FOR THIS PROJECT.
 - EARTHWORK SHALL INCLUDE CLEARING AND GRUBBING, STRIPPING AND STOCKPILING TOPSOIL, MASS GRADING, EXCAVATION, FILLING, UNDER CUT AND REPLACEMENT, IF REQUIRED, AND COMPACTION.
 - CONTRACTOR TO REFILL UNDERCUT AREAS WITH SUITABLE MATERIAL AND COMPACT AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
 - PLACE TOPSOIL OVER THE SUBGRADE OF UNPAVED, DISTURBED AREAS TO A DEPTH INDICATED ON THE LANDSCAPE PLANS (8" MINIMUM). PAVEMENT SLOPES ACROSS ACCESSIBLE PARKING STALLS AND ADJOINING ACCESS AISLES SHALL BE MAXIMUM 2%. TOPSOIL SHALL MEET THE SUDAS 2010 FOR ON-SITE TOPSOIL.
 - ALL SLOPES SHALL BE 3:1 (HORIZONTAL:VERTICAL) MAXIMUM UNLESS NOTED OTHERWISE.
 - ALL AREAS NOT PAVED SHALL BE STABILIZED IN ACCORDANCE WITH THE EROSION CONTROL PLAN, UNLESS NOTED OTHERWISE.
 - ALL EXCESS SOIL MATERIALS SHALL BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED SHALL BE REMOVED BY THE CONTRACTOR AND DISPOSED OF OFFSITE AT NO ADDITIONAL COST TO THE OWNER IN ACCORDANCE WITH ALL LOCAL AND STATE CODES AND PERMIT REQUIREMENTS.
 - CONTRACTOR SHALL PERPETUATE ALL DRAINS AND TILES ENCOUNTERED DURING CONSTRUCTION. COORDINATE WITH ENGINEER OF RECORD REGARDING THE CONNECTION TO THE PROPOSED STORM SEWER SYSTEM.
 - REFERENCE GEOTECHNICAL REPORT PREPARED BY TERRACON GEOREPORT DATED SEPTEMBER 7, 2022 FOR GEOTECHNICAL RECOMMENDATIONS.

- LEGEND**
- 900 PROPOSED INDEX CONTOUR
 - 899 PROPOSED INTERMEDIATE CONTOUR
 - PROPOSED RIDGE LINE
 - PROPOSED STORM PIPE
 - ST PROPOSED 10" HDPE
 - UD PROPOSED UNDERDRAIN
 - RD PROPOSED ROOF DRAIN
 - PROPOSED NYLOPLAST DRAIN
 - PROPOSED INLET/CATCH BASIN
 - STORM OVERFLOW ROUTE
 - 917.00 PROPOSED SPOT ELEVATION
 - TC=917.23 PROPOSED CURB SPOT ELEVATION
 - FL=916.73
- ABBREVIATIONS:**
- TC = TOP OF CURB
 - FL = FLOWLINE
 - P = PAVEMENT
 - SW = SIDEWALK
 - C = CONCRETE
 - G = GROUND
 - R = RIM
 - 100-YEAR PONDING DEPTH

- REFERENCE**
- EXISTING BOUNDARY AND TOPOGRAPHIC CONDITIONS PREPARED BY PARTNER ENGINEERING AND SCIENCE INC. AND PROVIDED MURPHY REAL ESTATE SERVICES, FILE NAME: "224034 WAUKEE VACANT.DWG."
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 - SEE GEOTECHNICAL REPORT PREPARED BY TERRACON GEOREPORT DATED SEPTEMBER 7, 2022.



IOWA 811 ONE CALL SM



REVISION RECORD

NO.	DATE	DESCRIPTION
1	27.02.2022	REVISED PER CITY OF WAUKEE COMMENTS
2	18.02.2022	REVISED PER CITY OF WAUKEE COMMENTS
3	17.02.2022	REVISED PER CITY OF WAUKEE COMMENTS

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**HIGHER GROUND EDUCATION
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GRADING PLAN

DATE:	AUGUST 18, 2022	DRAWN BY:	ZAC/ARG
DWG SCALE:	1" = 20'	CHECKED BY:	JGC
PROJECT NO.:	323-450	APPROVED BY:	*PTB

DRAWING NO.: **C300**

A:\1300-2001\1301-4501-0000\Drawings\1301\1301450-0101-C300.dwg(13030) 15:12:53 2022 - mmpmpj - 12/16/2022 8:58 AM



EXISTING 6" SANITARY SEWER LATERAL DOWNSTREAM INVERT ASSUMED AT 1019.81 BASED ON PLAT 7 AS-BUILT PLANS

CRITICAL CROSSING
6" SAN INV = ±1020.8
6" SAN TOP = ±1021.3
12" STM INV = ±1028.3
12" STM TOP = ±1029.3

COORDINATE GAS LINE CONNECTION WITH GAS COMPANY PRIOR TO CONSTRUCTION

CRITICAL CROSSING
WATERMAIN INV = UNKNOWN
12" STM INV = ±1028.6
12" STM TOP = ±1029.6
CONTRACTOR SHALL VERIFY THE DEPTH OF THE WATERMAIN AND NOTIFY ENGINEER AND WATER COMPANY IF THERE IS A CONFLICT WITH THE WATERMAIN.

REPLACE EXISTING FRAME WITH SW-604 TYPE 6 INTAKE

REMOVE EXISTING HYDRANT AND CONNECT TO EXISTING WATERLINE. COORDINATE WITH WATER UTILITY COMPANY. ADJUST VALVE TO PROPOSED GRADE

CRITICAL CROSSING
GAS INV = UNKNOWN
12" STM INV = ±1029.4
12" STM TOP = ±1030.4
CONTRACTOR SHALL VERIFY THE DEPTH OF THE GAS LINE AND NOTIFY ENGINEER AND GAS COMPANY IF THERE IS A CONFLICT WITH THE GAS LINE.

CRITICAL CROSSING
WATER INV = UNKNOWN
12" STM INV = ±1028.1
12" STM TOP = ±1029.1
CONTRACTOR SHALL VERIFY THE DEPTH OF THE WATERMAIN AND NOTIFY ENGINEER AND WATER COMPANY IF THERE IS A CONFLICT WITH THE WATERMAIN.

EXISTING FIRE HYDRANT
17 LF 15" RCP @ 1.06%
WATER QUALITY UNIT
RIM=1031.94
INV. IN (15"S)=1028.35
INV. IN (12"E)=1028.35
INV. OUT (15"N)=1028.25

CRITICAL CROSSING
GAS INV = UNKNOWN
12" STM INV = ±1028.6
12" STM TOP = ±1029.6
CONTRACTOR SHALL VERIFY THE DEPTH OF THE GAS LINE AND NOTIFY ENGINEER AND GAS COMPANY IF THERE IS A CONFLICT WITH THE GAS LINE.

EXISTING STRUCTURE
RIM=1032.00
INV. IN (15"S)=1029.00
INV. OUT (15"N)=1028.86
REMOVE EXISTING LID AND REPLACE WITH SW604 TYPE 6. REMOVE EXISTING OUTLET PIPE AND REPLACE WITH PROPOSED RCP.

PROPOSED SANITARY MANHOLE
RIM ELEV=1032.3
6" SAN INV (E)=1027.7
6" SAN INV DROP (E)=1022.2
ASSUMED INV (N)=1021.2±
CONTRACTOR SHALL INSTALL OUTSIDE DROP STRUCTURE, SEE DETAIL 821 SHEET C803

120 LF 15" RCP @ 0.50%

EXISTING FIRE HYDRANT
150' COVERAGE AREA

100-YEAR ELEVATION = 1033.33
49 LF 15" RCP @ 0.51%

SW-511
RIM=1032.90
INV. OUT (15"N)=1029.95

100-YEAR ELEVATION = 1033.12

UNDERDRAIN TO BE SOLID PVC PIPE TO CONNECTION

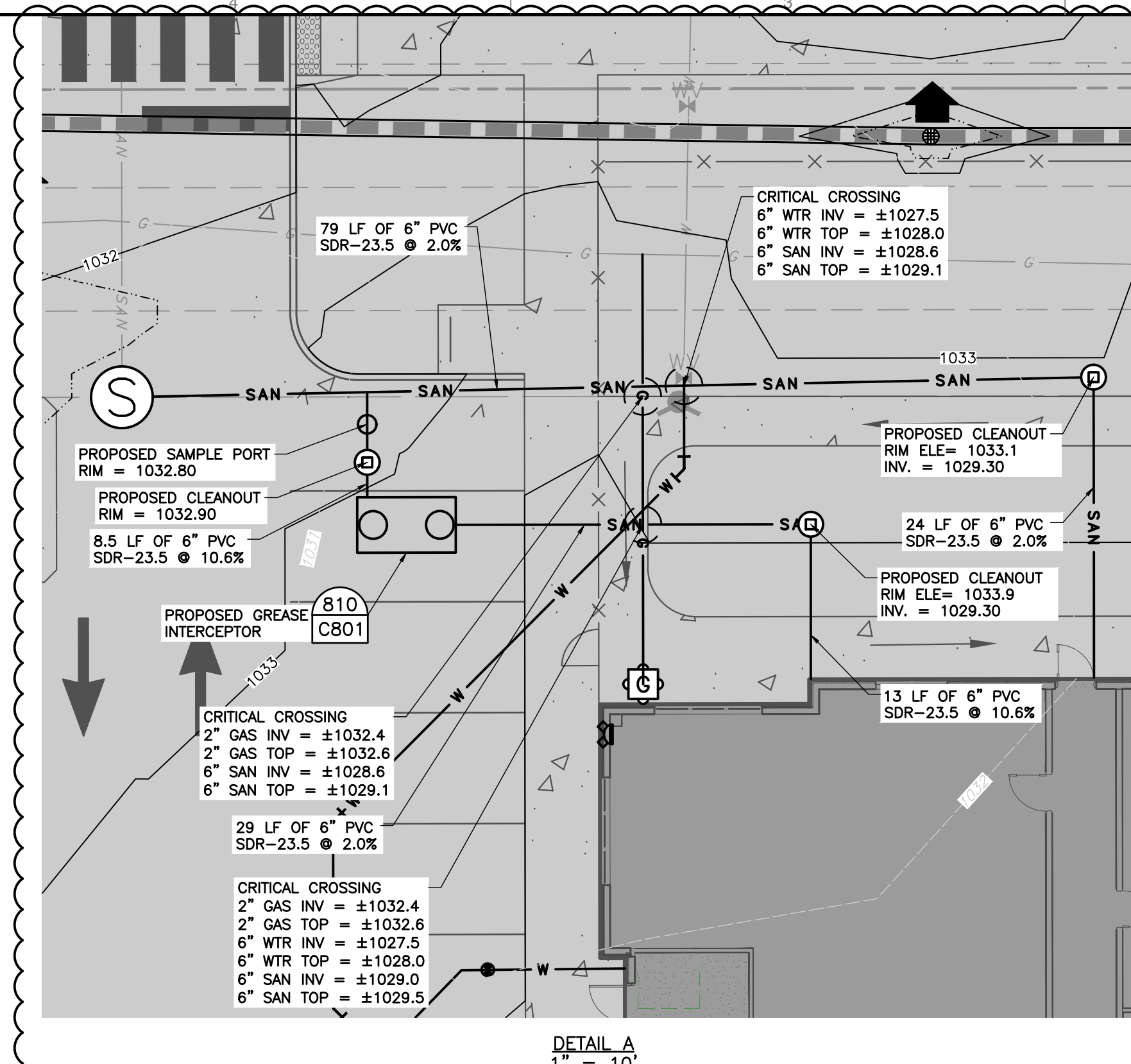
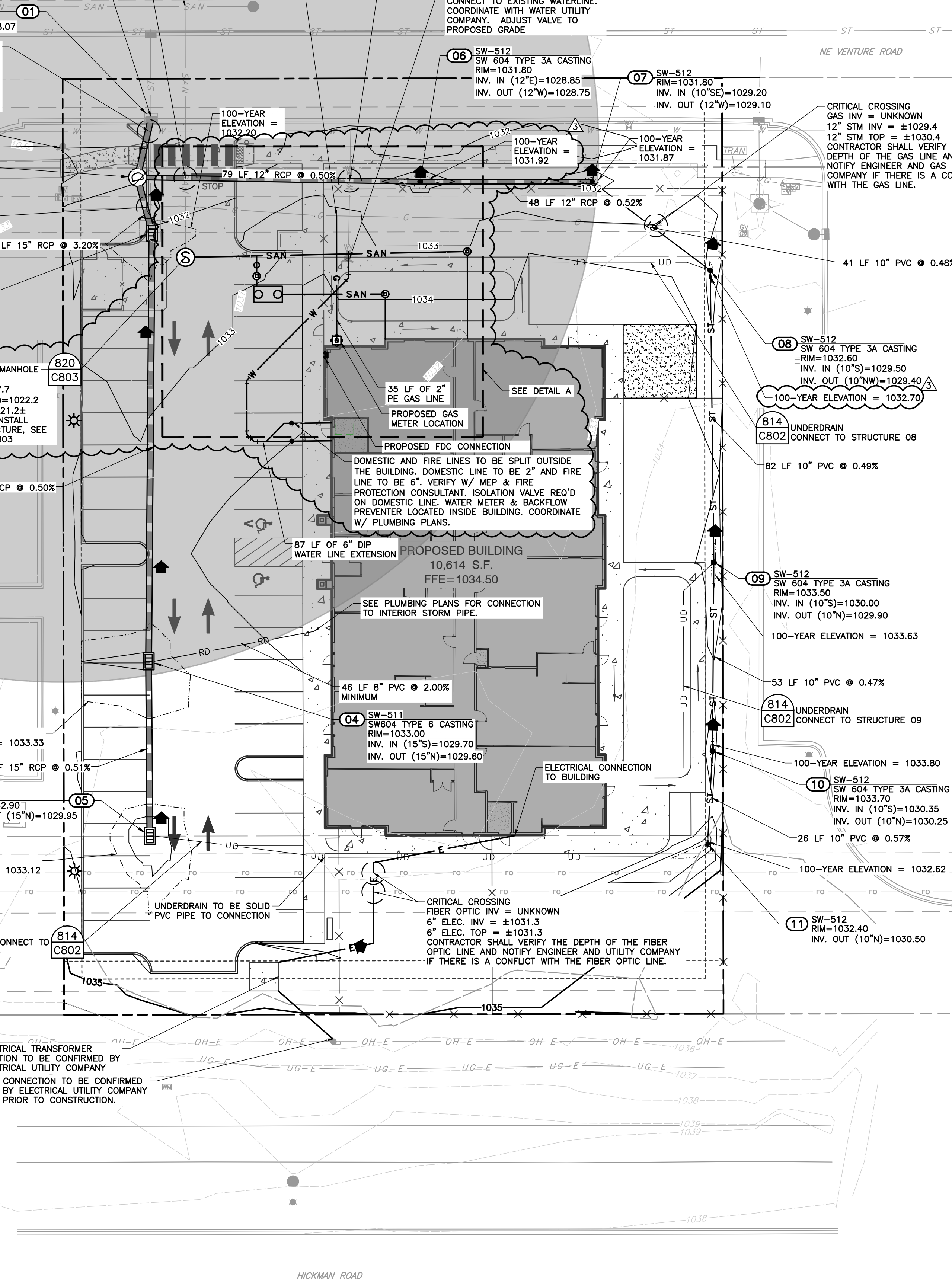
ELECTRICAL TRANSFORMER LOCATION TO BE CONFIRMED BY ELECTRICAL UTILITY COMPANY

CONNECTION TO BE CONFIRMED BY ELECTRICAL UTILITY COMPANY PRIOR TO CONSTRUCTION

HICKMAN ROAD

NE VENTURE ROAD

CRITICAL CROSSING
FIBER OPTIC INV = UNKNOWN
6" ELEC. INV = ±1031.3
6" ELEC. TOP = ±1031.3
CONTRACTOR SHALL VERIFY THE DEPTH OF THE FIBER OPTIC LINE AND NOTIFY ENGINEER AND UTILITY COMPANY IF THERE IS A CONFLICT WITH THE FIBER OPTIC LINE.



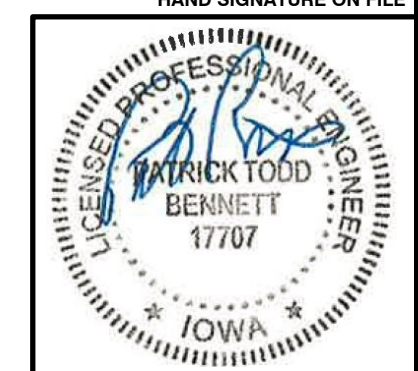
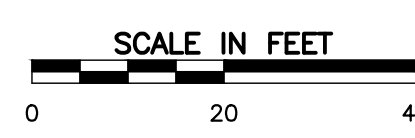
GENERAL UTILITY NOTES:

- BEFORE INSTALLATION OF STORM OR SANITARY SEWER, OR OTHER UTILITY, THE CONTRACTOR SHALL VERIFY ALL CROSSINGS, BY EXCAVATION WHERE NECESSARY, AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT HE IS NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.
- THE UTILITIES INDICATED ON THESE PLANS AND ON THE SURVEY MAY NOT BE A COMPLETE INVENTORY OF ALL THE EXISTING UTILITIES PRESENT ON AND AROUND THE SITE. THE LOCATION AND SIZE OF THESE UTILITIES MAY BE APPROXIMATE. THE ENGINEER SHALL NOT BE HELD LIABLE FOR ANY INACCURATE UTILITY INFORMATION INDICATED, IMPLIED, OR NOT INDICATED ON THESE PLANS.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND MAINTAIN IN SERVICE ALL EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION UNLESS OTHERWISE INDICATED IN THE DRAWINGS. ANY PIPING, WHICH CAN BE REMOVED DURING CONSTRUCTION WITHOUT UNDUE INTERRUPTION OF SERVICE MAY BE REMOVED AND REPLACED BY THE CONTRACTOR, AT HIS EXPENSE WITH THE PERMISSION OF THE OWNER.
- BEFORE WORKING WITH OR AROUND EXISTING UTILITIES, THE APPLICABLE UTILITY COMPANY SHALL BE CONTACTED BY THE CONTRACTOR.
- WHEN CONNECTIONS ARE TO BE MADE TO EXISTING PIPING AND STRUCTURES OR WHERE CONSTRUCTION IS IN THE VICINITY OF EXISTING PIPING THE LOCATION AND ELEVATION OF THE EXISTING PIPING SHALL BE FIELD VERIFIED AND NOTIFICATION GIVEN TO THE OWNER IF THE EXISTING PIPING IS FOUND TO BE DIFFERENT THAN THAT SHOWN ON THE DRAWINGS.
- A MINIMUM OF 18 INCHES OF VERTICAL CLEARANCE AND 10' OF HORIZONTAL SEPARATION SHALL BE PROVIDED BETWEEN NEW WATER AND SANITARY SEWER LINES.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR OR CONTRACTORS TO OBTAIN ALL FEDERAL, STATE, COUNTY, CITY OR LOCAL PERMITS FOR ANY AND ALL WORK REQUIRED UNLESS OTHERWISE NOTED. THE CONTRACTOR OR CONTRACTORS ARE RESPONSIBLE TO PAY FOR ALL REQUIRED PERMITS BY ANY OR ALL AGENCIES MENTIONED ABOVE UNLESS OTHERWISE NOTED IN THE CONTRACT OR SPECIFICATIONS. ALL ASSOCIATED BONDING REQUIREMENTS AND COSTS ARE INCIDENTAL TO THE CONTRACT.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS IN THE FIELD PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL FIELD DIMENSIONS AND ELEVATIONS DURING THE ENTIRE CONSTRUCTION SCHEDULE. IF ANY DISCREPANCIES ARE FOUND IN THESE ENGINEERING PLANS FROM ACTUAL FIELD DIMENSIONS, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
- ALL CONSTRUCTION METHODS AND MATERIALS MUST CONFORM TO CURRENT STANDARDS AND SPECIFICATIONS OF THE FEDERAL, STATE, COUNTY, CITY OR LOCAL REQUIREMENTS, WHICHEVER HAS JURISDICTION.
- CONTRACTOR IS RESPONSIBLE FOR ELECTRIC, TELEPHONE, AND CABLE CONDUITS AND TRENCHING. COORDINATE WITH THE LOCAL UTILITY PROVIDERS AND MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR SIZES AND QUANTITIES.
- WATER AND FIRE SERVICE SIZES AND CONNECTION LOCATIONS SHALL BE COORDINATED WITH THE MECHANICAL, ELECTRICAL AND PLUMBING PLANS.
- SANITARY LATERALS MUST MAINTAIN 10- FEET OF SEPARATION AND WYE CONNECTIONS LOCATED ON THE SAME SIDE OF THE MAIN MUST MAINTAIN A 10- FOOT SEPARATION. WYE CONNECTIONS ON OPPOSITE SIDES OF THE MAIN MUST MAINTAIN 4- FEET OF SEPARATION. SANITARY LATERALS AND GAS SERVICE LINES MUST MAINTAIN AT MINIMUM 3- FEET OF SEPARATION. ALL OTHER UTILITIES MUST MAINTAIN 10- FEET OF SEPARATION WITH SANITARY LATERALS.
- ALL FIRE HYDRANTS SHALL HAVE 5- INCH STORZ FITTINGS.

LEGEND

	PROPOSED SANITARY SEWER
	PROPOSED SANITARY CLEANOUT
	PROPOSED WATER LINE
	PROPOSED ELECTRIC
	PROPOSED GAS LINE
	PROPOSED FDC
	PROPOSED WATER VALVE
	PROPOSED LIGHT POLE
	UTILITY CONFLICT
	PROPOSED STRUCTURE LABEL
	PROPOSED INDEX CONTOUR
	PROPOSED INTERMEDIATE CONTOUR
	PROPOSED RIDGE LINE
	PROPOSED STORM PIPE
	PROPOSED 10" HDPE
	PROPOSED UNDERDRAIN
	PROPOSED ROOF DRAIN
	PROPOSED NYLOPLAST DRAIN
	PROPOSED INLET/CATCH BASIN
	STORM OVERFLOW ROUTE
	100-YEAR PONDING DEPTH

- REFERENCE**
- EXISTING BOUNDARY AND TOPOGRAPHIC CONDITIONS PREPARED BY PARTNER ENGINEERING AND SCIENCE INC. AND PROVIDED MURPHY REAL ESTATE SERVICES, FILE NAME: "224034 WAUKEE VACANT.DWG."
 - PROPOSED BUILDING FOOTPRINT PROVIDED BY ALLEN PEPA, FILE NAME: "22-014 HIGHER GROUND WAUKEE - FLR PLAN - 7-27-22.DWG"
 - SEE GEOTECHNICAL REPORT PREPARED BY TERRACON GEOREPORT DATED SEPTEMBER 7, 2022.



REVISION RECORD	
NO.	DATE
1	27.02.2022
2	18.07.2022
3	7.08.2022
DESCRIPTION	
REVISED PER CITY OF WAUKEE COMMENTS	
REVISED PER CITY OF WAUKEE COMMENTS	
REVISED PER CITY OF WAUKEE COMMENTS	

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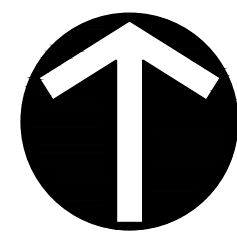
HIGHER GROUND EDUCATION WAUKEE SITE
605 E HICKMAN ROAD
WAUKEE, IOWA 50263

DRAINAGE AND UTILITY PLAN

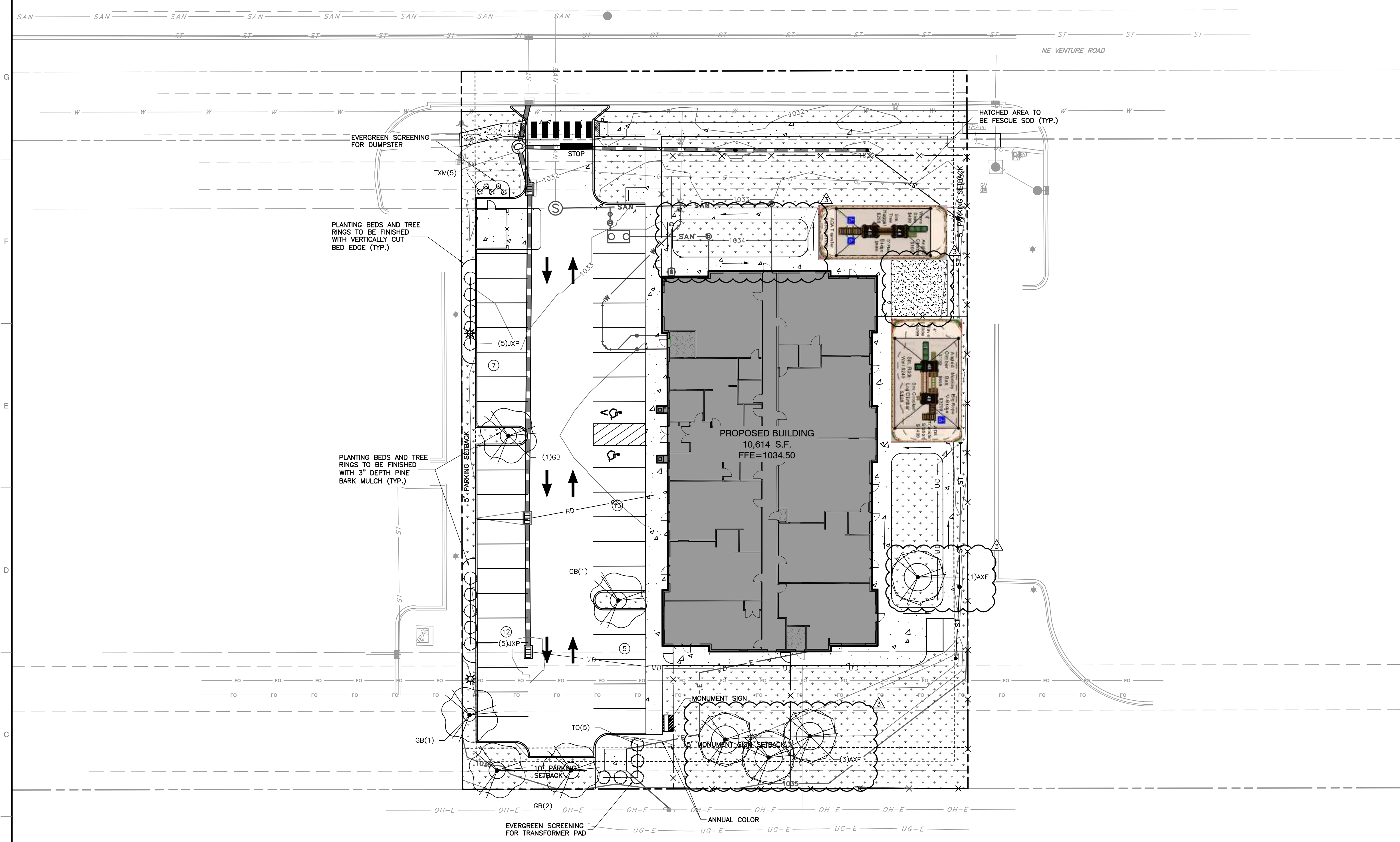
DATE: AUGUST 18, 2022
DRAWN BY: ZAC/ARG
CHECKED BY: JGC
PROJECT NO: 323-450
APPROVED BY: *PTB

DRAWING NO.: **C500**

PATRICK T. BENNETT
PE-17707
*HAND SIGNATURE ON FILE



NORTH



CITY OF WAUKEE LANDSCAPE NOTES:

- CITY OF WAUKEE OPEN SPACE REQUIREMENT FOR C-1B 20%
 - OPEN SPACE REQUIRED : 48,354 SF TOTAL SITE AREA X .20 = 9,671 SF
- OPEN SPACE PROVIDED : +/- 17,527 SF (INCLUDING PLAYGROUND AREAS) (36%)
- TREES REQUIRED = 1 PER 1,000 SF OF REQUIRED OPEN SPACE
 - 9,670.32 SF / 1,000 SF = 9.67 TREES REQUIRED
- TREES PROVIDED : 14 (50% TO BE OVERSTORY SHADE TREES, 25% TO BE EVERGREEN TREES)
 - OVERSTORY SHADE TREES PROVIDED : 9
 - EVERGREEN TREES PROVIDED : 5
- SHRUBS REQUIRED = 1 PER 1,000 SF OF REQUIRED OPEN SPACE
 - 9,670.32 SF / 1,000 SF = 9.67 SHRUBS REQUIRED
- SHRUBS PROVIDED : 15 (INCLUDES DUMPSTER SCREENING)
- DECIDUOUS OVERSTORY TREES SHALL BE A MINIMUM OF 8 FEET IN HEIGHT.
- EVERGREEN OVERSTORY TREES SHALL BE A MINIMUM OF 6 FEET IN HEIGHT.
- DECIDUOUS ORNAMENTAL TREES SHALL BE A MINIMUM OF 6 FEET IN HEIGHT.
- ALL DISTURBED AREAS SHALL BE FINISHED WITH SOD, INCLUDING RIGHT-OF-WAY.
- ANY SUBSTITUTIONS TO THE LANDSCAPE PLAN SHALL RECEIVE WRITTEN APPROVAL FROM THE COMMUNITY DEVELOPMENT DEPARTMENT.

NOTES

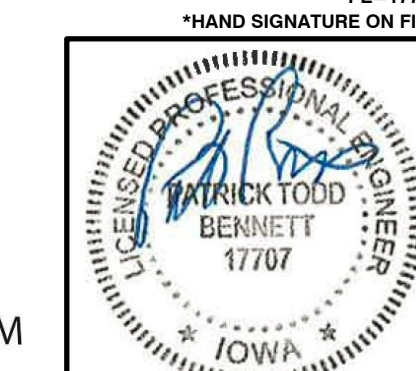
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.

GENERAL LANDSCAPE NOTES

- ALL LANDSCAPE BEDS AND TREE RINGS TO BE 3" PINE BARK MULCH.
- DISTURBED AREAS NOT RECEIVING MULCH TO BE FESCUE SOD. SEE C701.
- CONTRACTOR TO PROVIDE FESCUE SOD.
- CONTRACTOR TO PROVIDE PINE BARK MULCH.
- CONTRACTOR TO PROVIDE SOD FOR ALL DISTURBED AREAS, INCLUDING RIGHT-OF-WAY.
- CONTRACTOR TO PROVIDE TEMPORARY IRRIGATION UNTIL JOB ACCEPTED BY LANDSCAPE ARCHITECT.
- IT IS RECOMMENDED BY LANDSCAPE ARCHITECT TO ESTABLISH PERMANENT IRRIGATION FOR PLANT MATERIAL.
- SEE SHEET C701 FOR LANDSCAPE NOTES AND DETAILS.

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	QTY	DETAIL	REMARKS
	AXF	Acer x freemanii 'Autumn Blaze'	Autumn Blaze Freeman Maple	B&B	4" Cal.	10'-12' HT.	4		10'-12' HT., PLAYGROUND CANOPY TREE, FULL SHAPE, SINGLE LEADER
	GB	Ginkgo biloba 'Autumn Gold' TM	Autumn Gold Maidenhair Tree	B&B	2" Cal.	8' - 10' HT.	5		8' HT. MIN., DECIDUOUS OVERSTORY TREE, FULL SHAPE, SINGLE LEADER, MALE SPECIES
	TO	Thuja occidentalis 'Smaragd'	Emerald Green Arborvitae	B&B		6' HT.	5		EVERGREEN TREE, FULL SHAPE
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	CONT	HT.	SPACING	QTY	DETAIL	REMARKS
	JXP	Juniperus x pfitzeriana 'Kallay's Compact'	Kallay's Compact Pfitzer Juniper	Cont.	24"-30" HT.	AS SHOWN	10		EVERGREEN SHRUB, FULL SHAPE
	TXM	Taxus x media 'Hicksii'	Hicks Anglo-Japanese Yew	Cont.	36"	AS SHOWN	5		EVERGREEN SHRUB, FULL SHAPE



NO	DATE	DESCRIPTION
1	27.OCT.2022	REVISION PER CITY OF WAUKEE COMMENTS
2	18.NOV.2022	REVISION PER CITY OF WAUKEE COMMENTS
3	7.FEB.2023	REVISION PER CITY OF WAUKEE COMMENTS

Civil & Environmental Consultants, Inc.
 1230 East Diehl Road, Suite 200 - Naperville, IL 60563
 630-963-6026 - 877-963-6026
 www.cecinc.com

**HIGHER GROUND EDUCATION
 WAUKEE SITE
 605 E HICKMAN ROAD
 WAUKEE, IOWA 50263**

DATE:	AUGUST 18, 2022	DRAWN BY:	ZAC/ARG
DWG SCALE:	1" = 20'	CHECKED BY:	JGC
PROJECT NO.:	323-450	APPROVED BY:	*PTB

LANDSCAPE PLAN
C700

A:\1300-001\1301-4501-0400\DWG\1301\1301450-010-C700.dwg(1/20/2022 8:58 AM) - P: 12/8/2022 8:58 AM

WAVE BIKE RACKS

Upscale stylish look. Easy to secure your bike.

- 10-gauge galvanized steel or attractive powder coating.
- 2 3/8" diameter bar.
- Mounting hardware included.

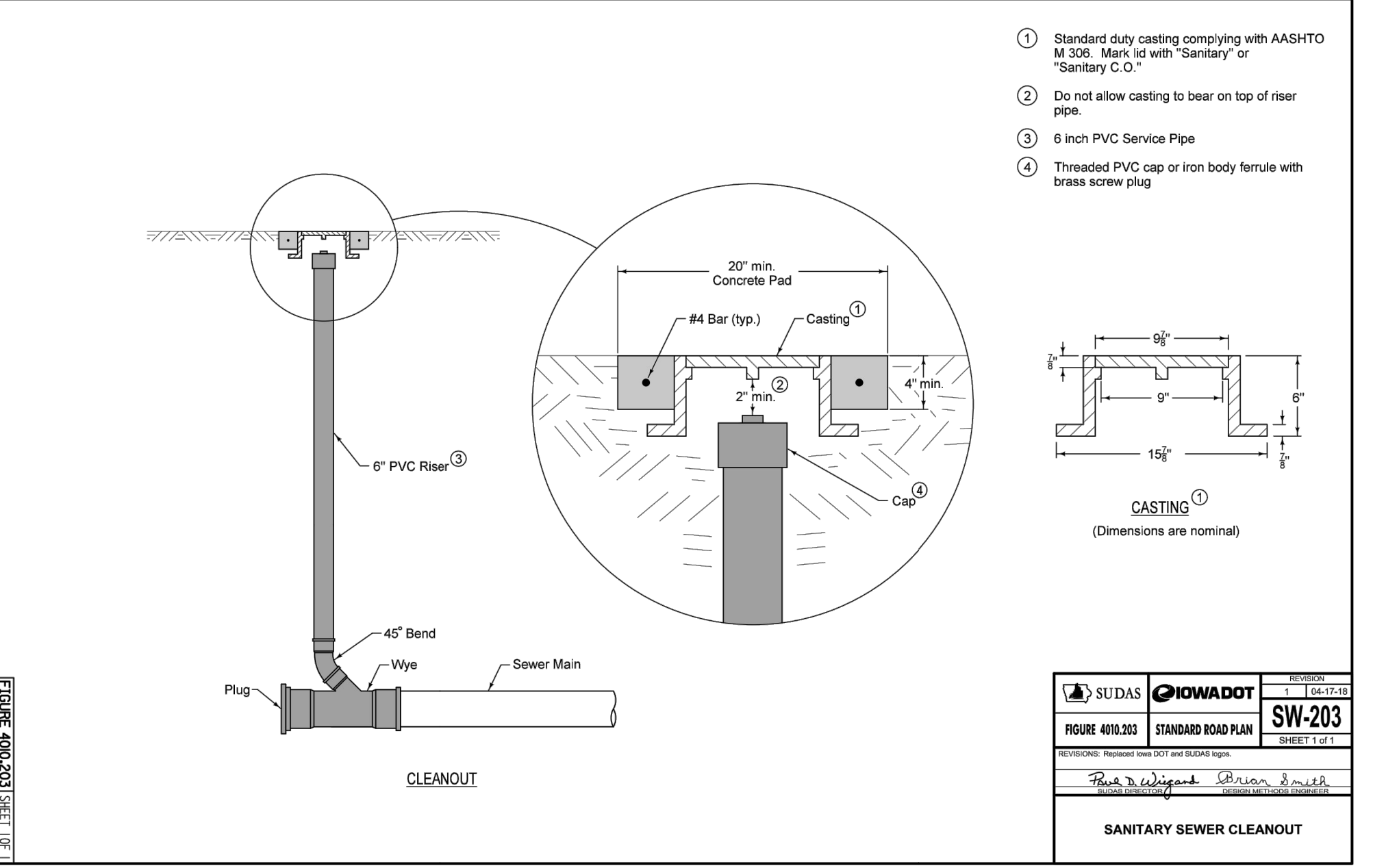
MODEL NO.	DESCRIPTION	SIZE L x W x H	BIKE CAP.	WT. (LBS)	PRICE EACH	3+	ADD TO CART
H-2542*	1-Loop	22 x 2 1/2 x 34"	3	27	\$190	\$180	Specify Color
H-2543	3-Loop	42 x 2 1/2 x 39"	6	56	340	340	Specify Color
H-2544	5-Loop	68 x 2 1/2 x 39"	7	80	450	430	Specify Color

* Galvanized and Black only

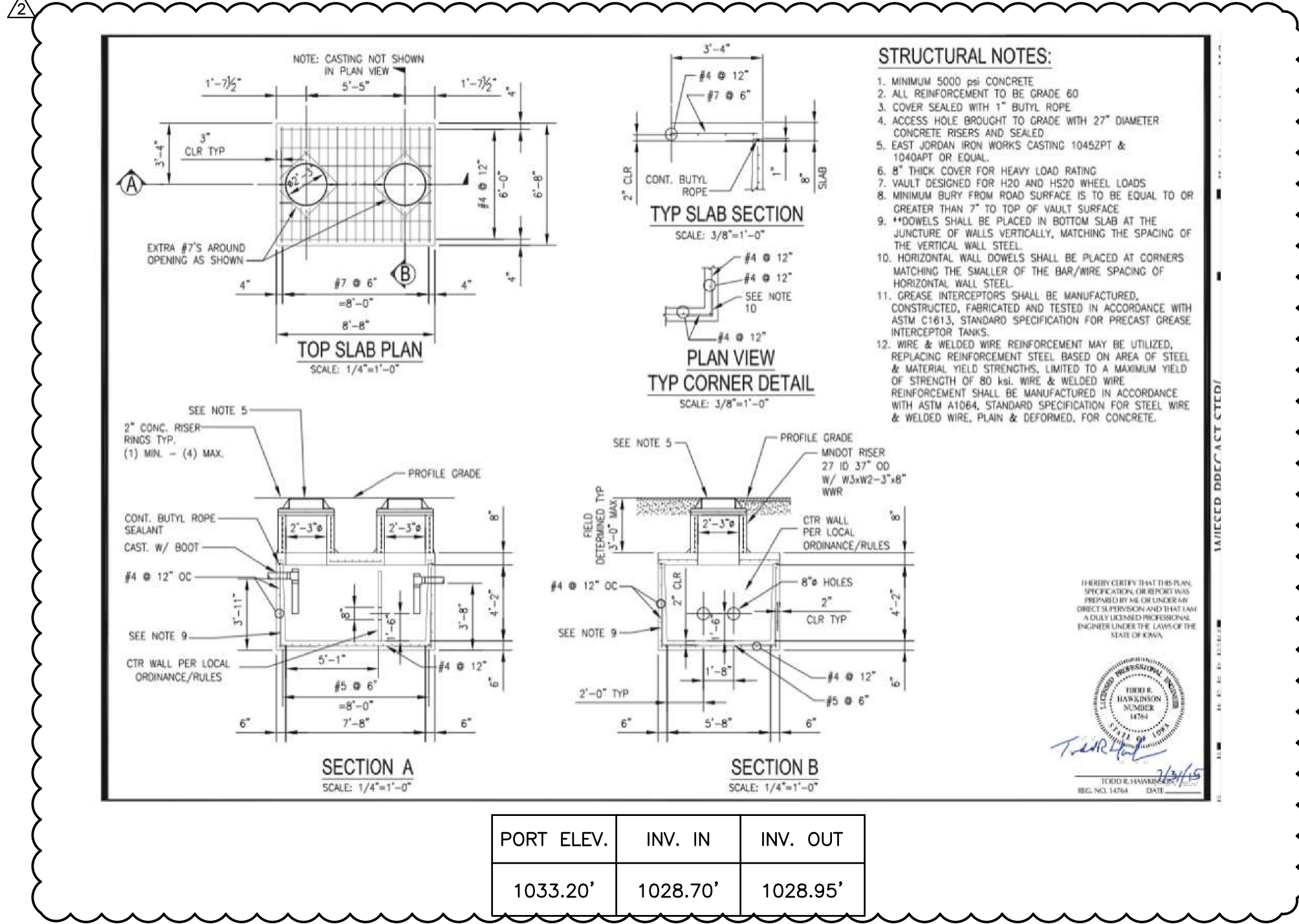
MODEL NO.	DESCRIPTION	FITS	PRICE EACH	ADD TO CART
H-2545	Replacement Mounting Hardware	H-2542, H-2543 or H-2544	\$19	1 ADD

NOTE:
1. CONTRACTOR TO INSTALL MODEL NO. H-2543 BLACK 3-LOOP BIKE RACK. SEE SHEET C200 FOR LOCATION.

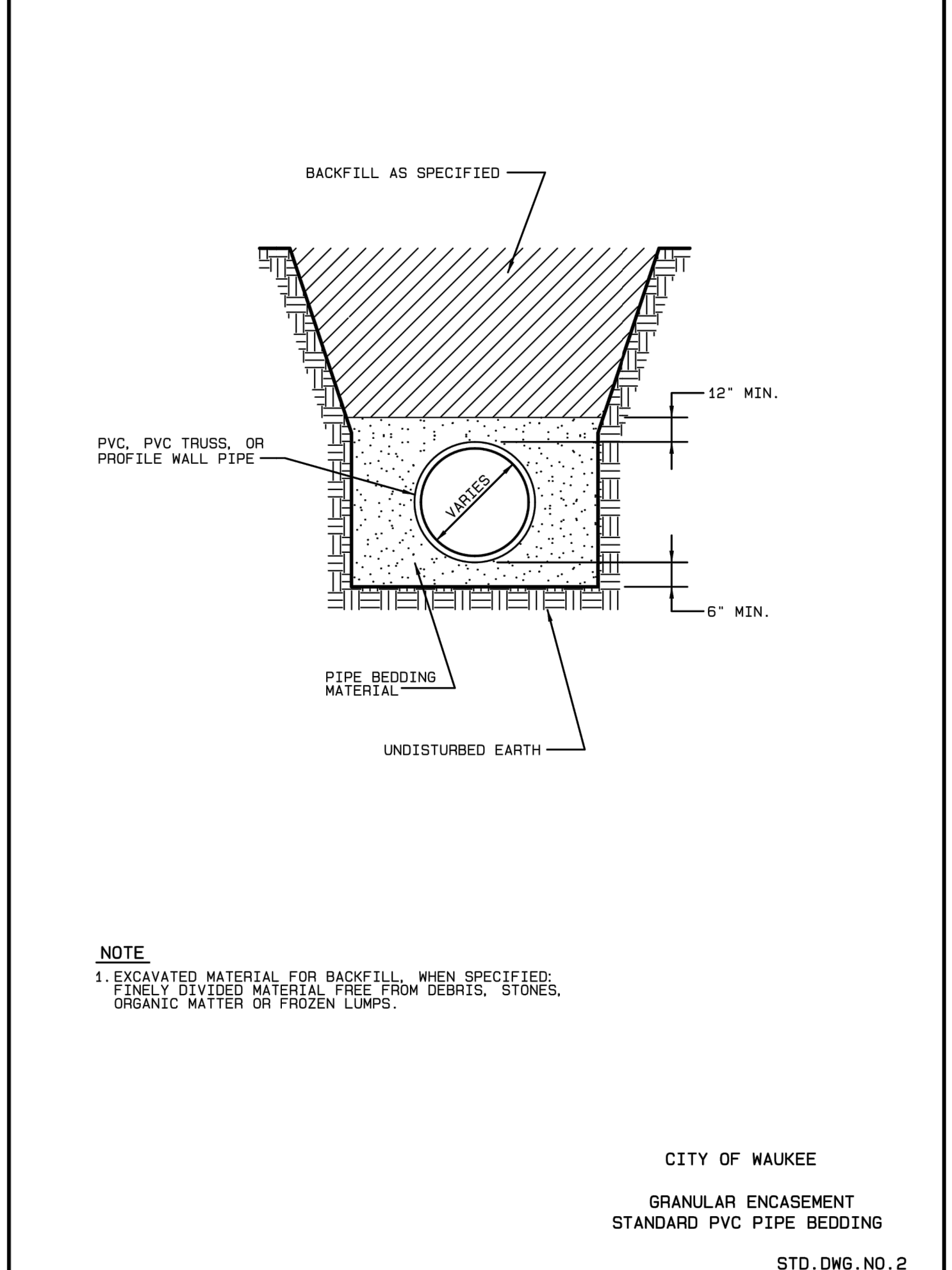
DETAIL 809
BIKE RACK DETAIL
NOT TO SCALE



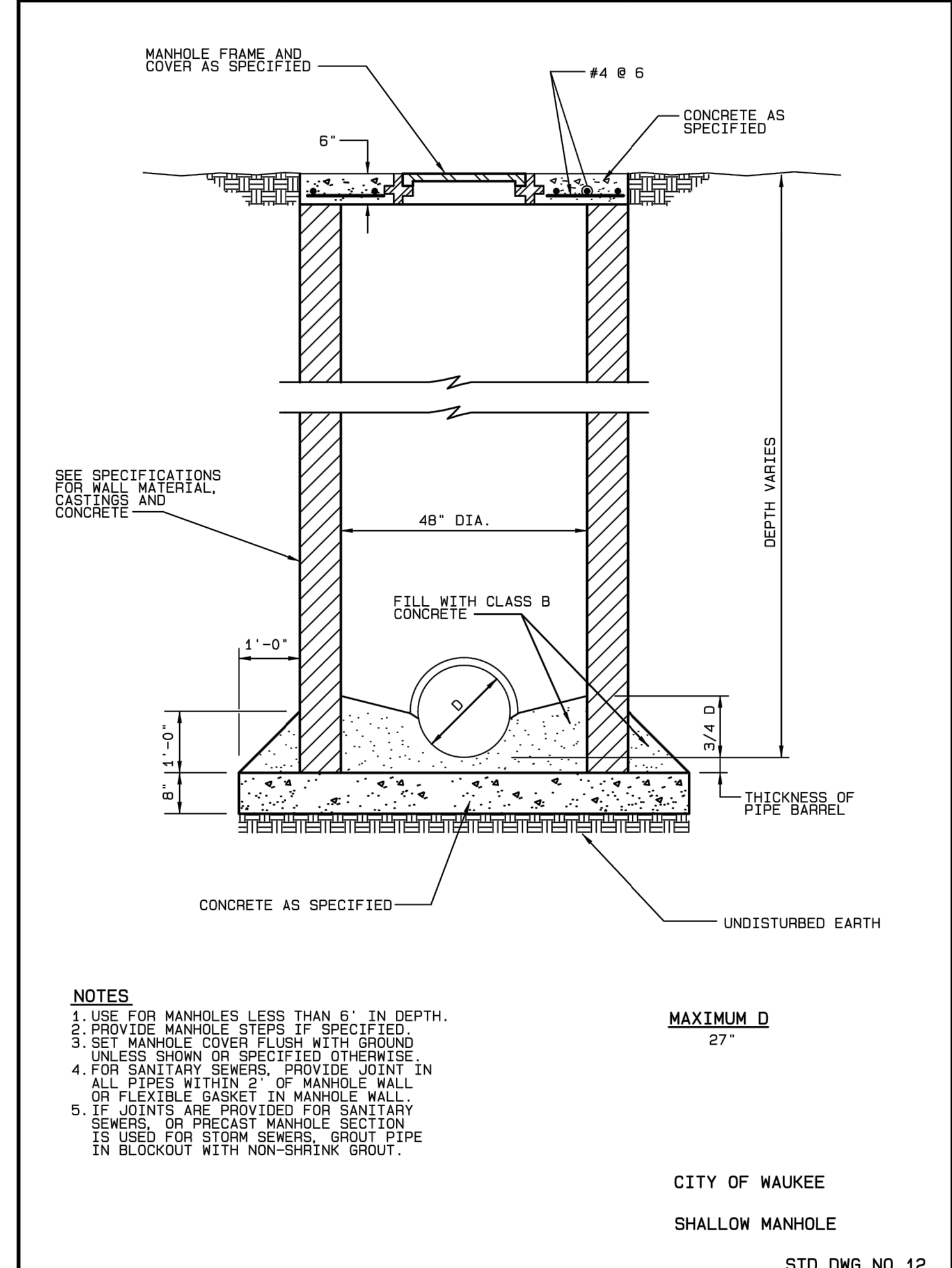
DETAIL 810
SANTARY SEWER CLEANOUT
NOT TO SCALE
DETAIL PROVIDED BY IOWADOT



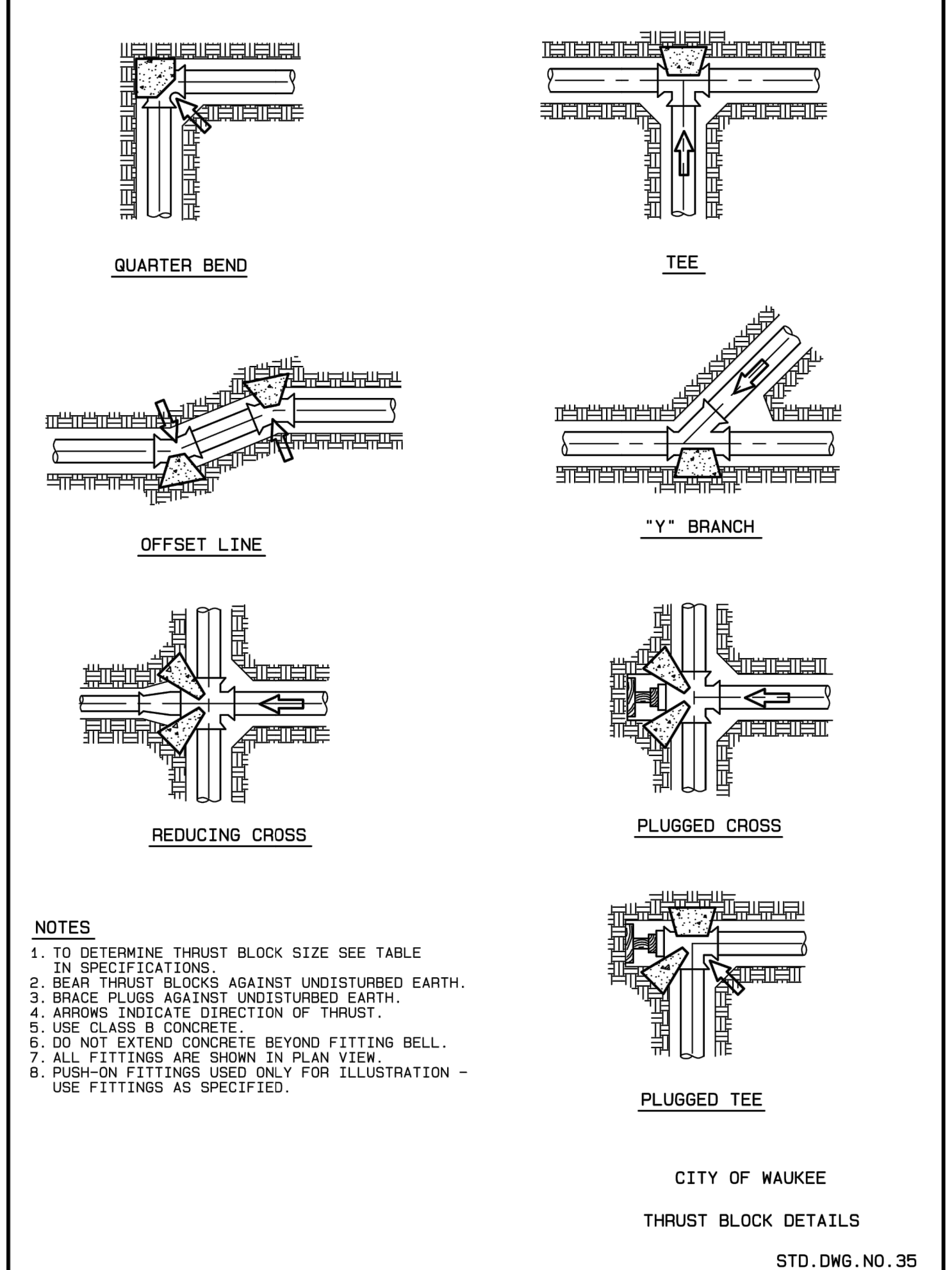
DETAIL 811
GREASE INTERCEPTOR DETAIL
(OR APPROVED EQUIVALENT)
NOT TO SCALE
DETAIL PROVIDED BY WIESER PRECAST STEPS



DETAIL 812
GRANULAR ENCASEMENT
STANDARD PVC PIPE BEDDING DETAIL
NOT TO SCALE
DETAIL PROVIDED BY CITY OF WAUKEE



DETAIL 813
SHALLOW MANHOLE DETAIL
NOT TO SCALE
DETAIL PROVIDED BY CITY OF WAUKEE



DETAIL 814
THRUST BLOCK DETAIL
NOT TO SCALE
DETAIL PROVIDED BY CITY OF WAUKEE

REVISION RECORD

NO.	DATE	DESCRIPTION
1	10/20/2022	ISSUED PER CITY OF WAUKEE COMMENTS

Civil & Environmental Consultants, Inc.
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HIGHER GROUND EDUCATION
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WAUKEE, IOWA 50263

SITE DETAILS

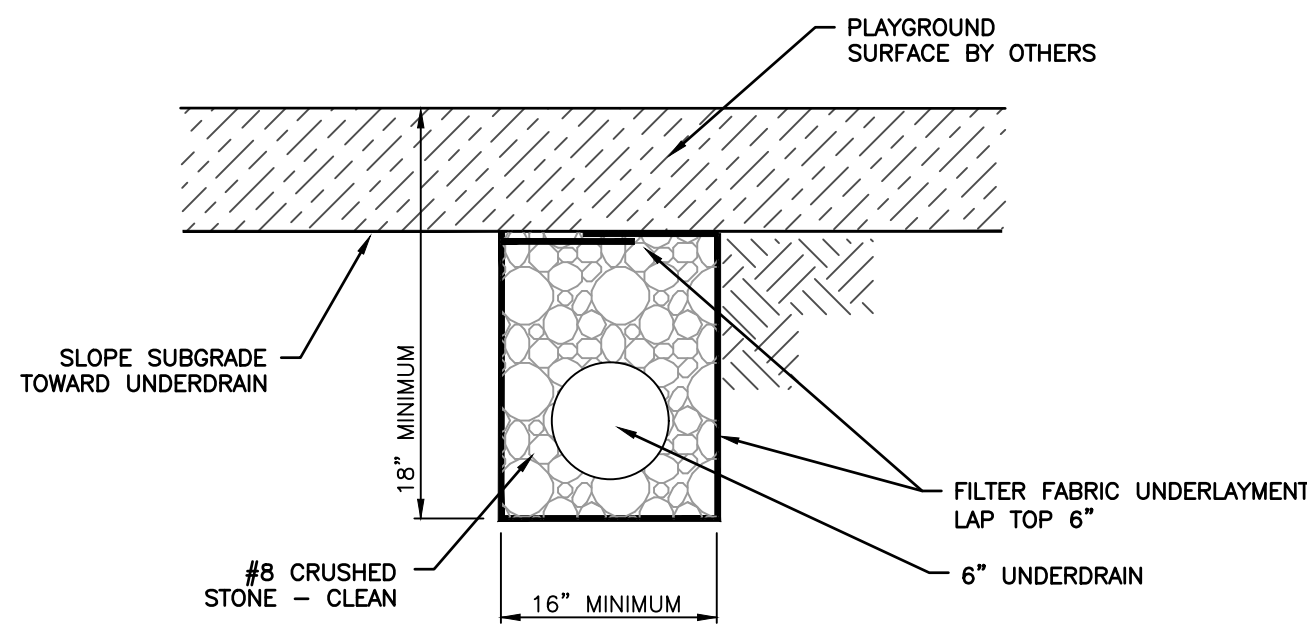
DATE: AUGUST 16, 2022 | DRAWN BY: ZAC/ARG | JGC
DWG SCALE: NOT TO SCALE | CHECKED BY: JGC | 323-450
PROJECT NO.:
APPROVED BY: *PTE

PATRICK T. BENNETT
PE-17707
*HAND SIGNATURE ON FILE

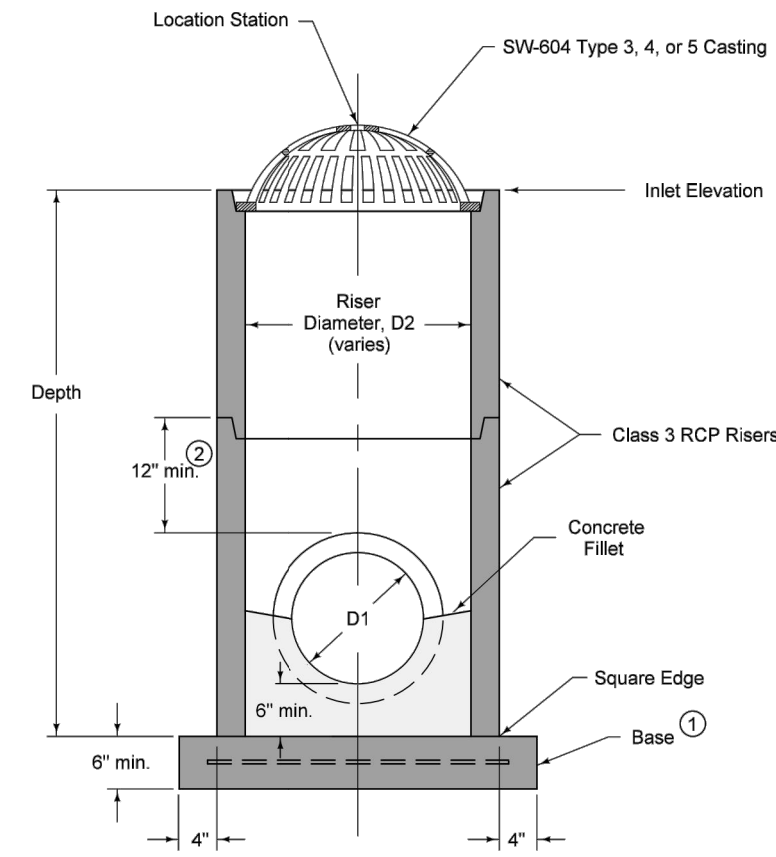
PROFESSIONAL ENGINEER
PATRICK TODD BENNETT
17707
IOWA

DRAWING NO.: **C801**

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DETAIL 815
UNDERDRAIN DETAIL
NOT TO SCALE

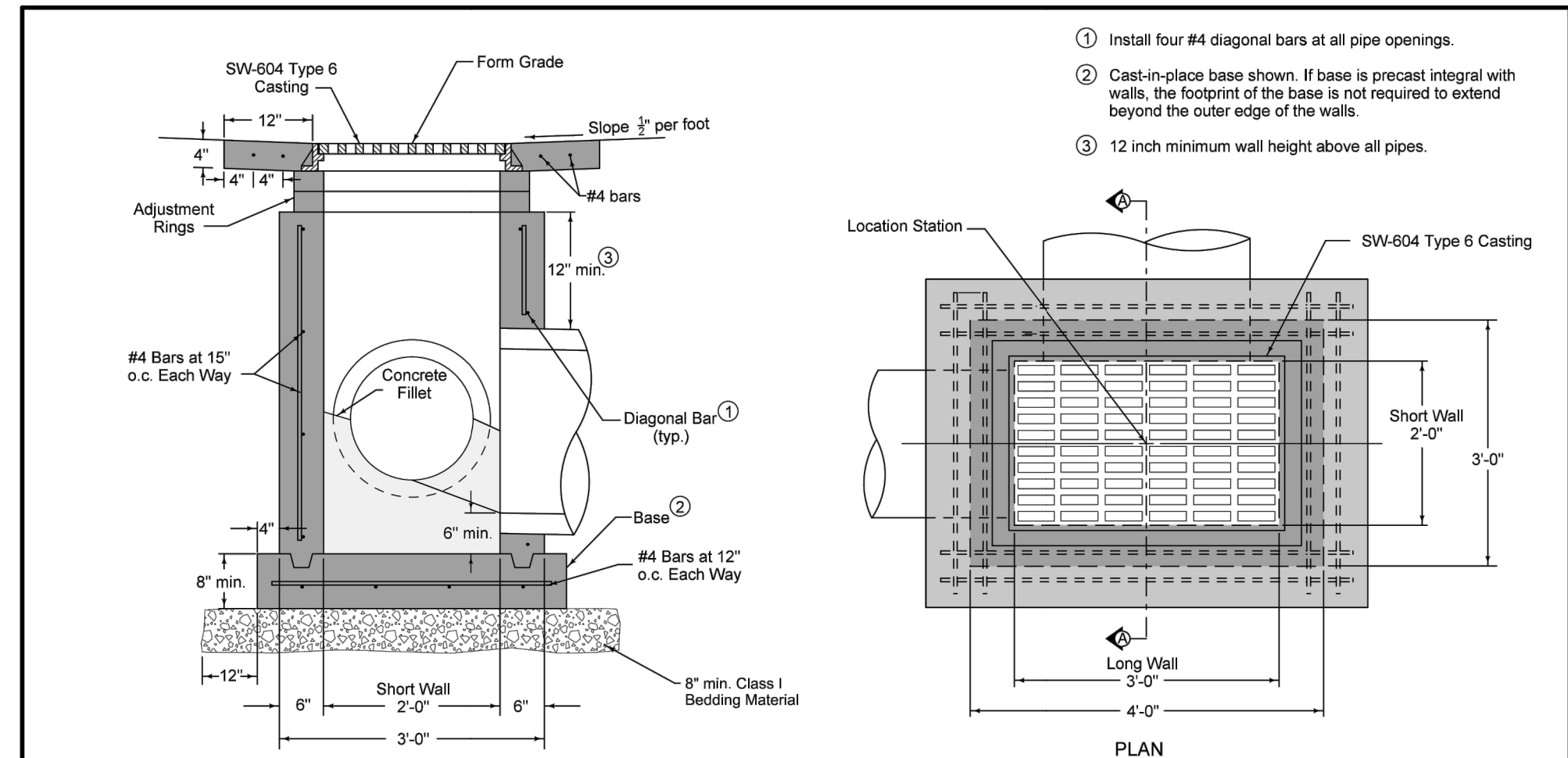


TYPICAL SECTION
CASE 1

- 1 Precast (shown) or cast-in-place base
- 2 Cast-in-place: 8 inch thick concrete with #6 welded wire mesh on 4 inch centers (WWF 4" x 4"). Center mesh vertically within base.
- 3 Cast-in-place: 8 inch thick non-reinforced concrete.
- 4 12 inch minimum riser height above all pipes.

INTAKE SIZE - CASE 1	
Outlet Pipe Diameter, D1	Minimum Riser Diameter, D2
12"	18"
15"	24"
18"	24"
21"	30"
24"	30"
27"	36"

SUDAS IOWADOT
FIGURE 604.512 STANDARD ROAD PLAN SHEET 1 OF 2
SW-512
REVISION: Amend Check Existing Material
DATE: 04-23-20



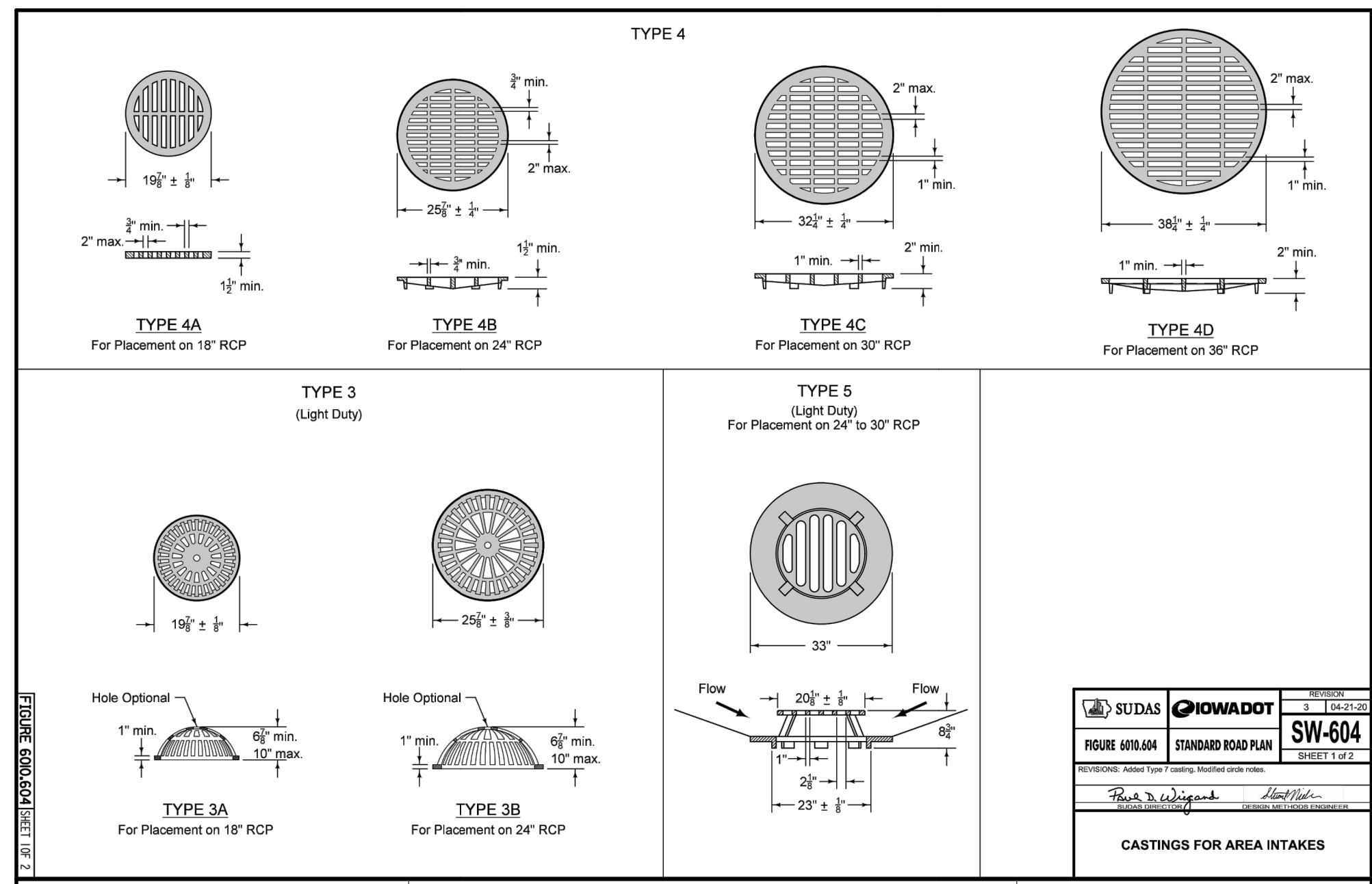
SECTION A-A

MAXIMUM PIPE DIAMETERS		
Pipe Location	Precast Structure	Cast-in-place Structure
Short Wall	15"	18"
Long Wall	24"	30"

SUDAS IOWADOT
FIGURE 604.511 STANDARD ROAD PLAN SHEET 1 OF 1
SW-511
REVISION: Amend Check Existing Material
DATE: 04-23-20

DETAIL 817
CIRCULAR AREA INTAKE DETAIL
NOT TO SCALE
DETAIL PROVIDED BY IOWADOT

DETAIL 818
RECTANGULAR AREA INTAKE DETAIL
NOT TO SCALE
DETAIL PROVIDED BY IOWADOT

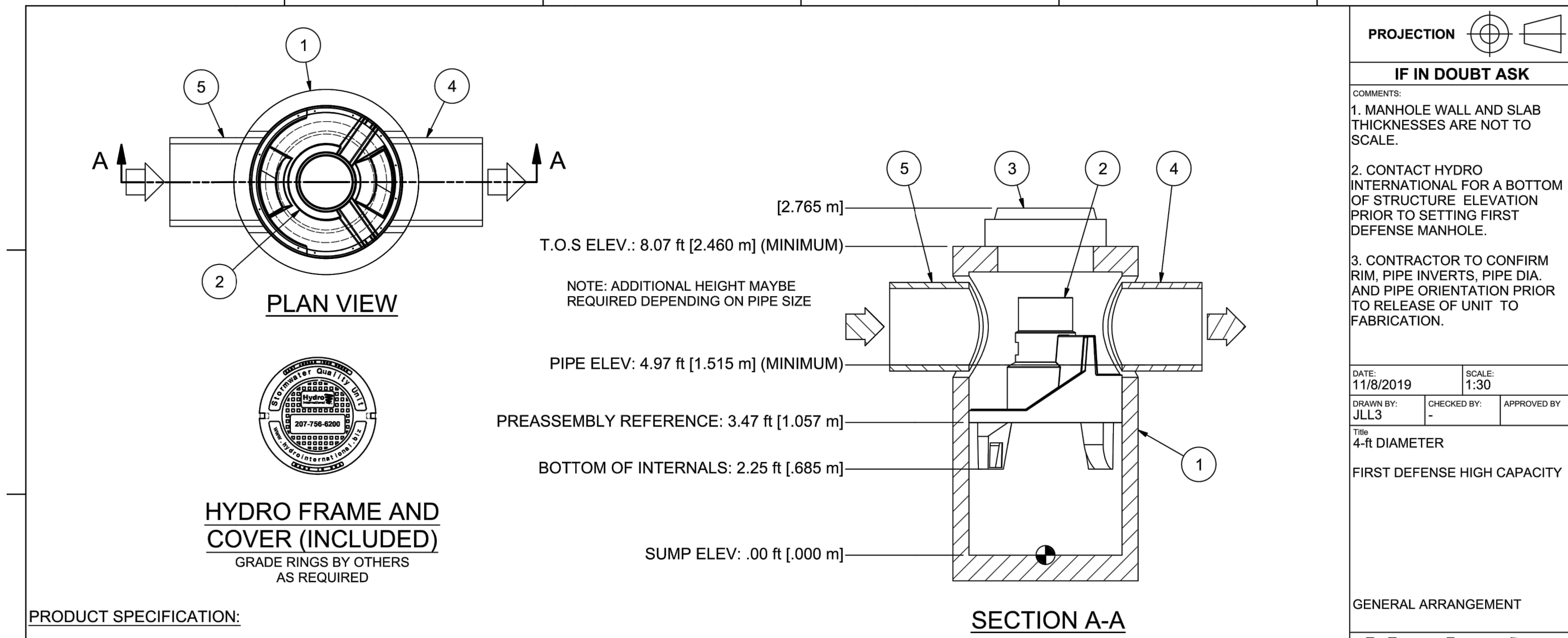


SUDAS IOWADOT
FIGURE 604.048 STANDARD ROAD PLAN SHEET 1 OF 2
SW-604
REVISION: Amend Check Existing Material
DATE: 04-23-20

- 1 Frame provided in three segments (two ends and one center). Bolt segments together as specified by the casting manufacturer.
- 2 Provide bicycle safe, vane style grates with a minimum open area of 4 square feet. At low points, grates with vanes facing both directions will be allowed.
- 3 If required by casting manufacturer, provide support beam under all frame joints. Modify structure walls as required to provide pocket for beam.
- 4 Cast grate without locking lugs so it may be used in an inverted position.

SUDAS IOWADOT
FIGURE 604.048 STANDARD ROAD PLAN SHEET 1 OF 2
SW-604
REVISION: Amend Check Existing Material
DATE: 04-23-20

DETAIL 816
CASTING FOR AREA INTAKES DETAIL
NOT TO SCALE
DETAIL PROVIDED BY IOWADOT



- PRODUCT SPECIFICATION:**
1. PEAK HYDRAULIC FLOW: 18.0 cfs (510 l/s)
 2. MIN SEDIMENT STORAGE CAPACITY: 0.7 cu. yd. (0.5 cu. m.)
 3. OIL STORAGE CAPACITY: 191 gal. (723 liters)
 4. MAXIMUM INLET/OUTLET PIPE DIAMETERS: 24 in. (600 mm)
 5. THE TREATMENT SYSTEM SHALL USE AN INDUCED VORTEX TO SEPARATE POLLUTANTS FROM STORMWATER RUNOFF.
 6. FOR MORE PRODUCT INFORMATION INCLUDING REGULATORY ACCEPTANCES, PLEASE VISIT <https://hydro-int.com/en/products/first-defense>

- GENERAL NOTES:**
1. General Arrangement drawings only. Contact Hydro International for site specific drawings.
 2. The diameter of the inlet and outlet pipes may be no more than 24".
 3. Multiple inlet pipes possible (refer to project plan).
 4. Inlet/outlet pipe angle can vary to align with drainage network (refer to project plan.s)
 5. Peak flow rate and minimum height limited by available cover and pipe diameter.
 6. Larger sediment storage capacity may be provided with a deeper sump depth.

- MAINTENANCE NOTES:**
1. INSPECT THE UNIT EVERY SIX MONTHS FOR THE FIRST YEAR OF OPERATION. INSPECT ONCE PER YEAR AFTER THE FIRST YEAR OF OPERATION.
 2. REMOVE OIL AND FLOATABLES ONCE PER YEAR AND AFTER A SPILL IN THE DRAINAGE AREA.
 3. REMOVE SEDIMENT ONCE PER YEAR OR AS NEEDED AND AFTER A SPILL IN THE DRAINAGE AREA.
 4. REFER TO THE STORMWATER MANAGEMENT REPORT PREPARED BY CEC FOR MORE INFORMATION.

DETAIL 819
WATER QUALITY UNIT DETAIL
NOT TO SCALE
DETAIL PROVIDED BY ADS

IF IN DOUBT ASK

1. MANHOLE WALL AND SLAB THICKNESSES ARE NOT TO SCALE.
2. CONTACT HYDRO INTERNATIONAL FOR A BOTTOM OF STRUCTURE ELEVATION PRIOR TO SETTING FIRST DEFENSE MANHOLE.
3. CONTRACTOR TO CONFIRM RIM, PIPE INVERTS, PIPE DIA. AND PIPE ORIENTATION PRIOR TO RELEASE OF UNIT TO FABRICATION.

DATE: 11/8/2019 SCALE: 1:30
DRAWN BY: JLL3 CHECKED BY: APPROVED BY:
THE 4-R DIAMETER
FIRST DEFENSE HIGH CAPACITY

Hydro International
HYDRO INTERNATIONAL

DO NOT SCALE DRAWING
STEEL FABRICATION TOLERANCES
DIMENSIONS ARE IN INCHES.

ITEM	QTY	SIZE (in)	SIZE (mm)	DESCRIPTION
1	1	48	1200	I.D. PRECAST MANHOLE
2	1			INTERNAL COMPONENTS (PRE-INSTALLED)
3	1	30	750	FRAME AND COVER (ROUND)
4	1	24 (MAX)	600 (MAX)	OUTLET PIPE (BY OTHERS)
5	1	24 (MAX)	600 (MAX)	INLET PIPE (BY OTHERS)

WEIGHT: N/A MATERIAL:
STOCK NUMBER:
DRAWING NO.: 4FDHC-FDHC GA STD
SHEET SIZE: B SHEET: 1 OF 1

PATRICK T. BENNETT PE-17707
*HAND SIGNATURE ON FILE

HIGHER GROUND EDUCATION
WAUKEE SITE
605 E HICKMAN ROAD
WAUKEE, IOWA 50263

SITE DETAILS

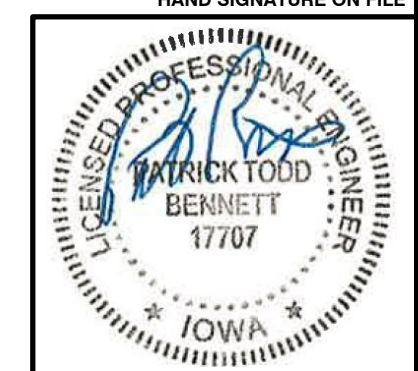
DATE: AUGUST 18, 2022 DRAWN BY: ZAC/ARG
DWG SCALE: NOT TO SCALE CHECKED BY: JGC
PROJECT NO.: 323-450
APPROVED BY: *PTE

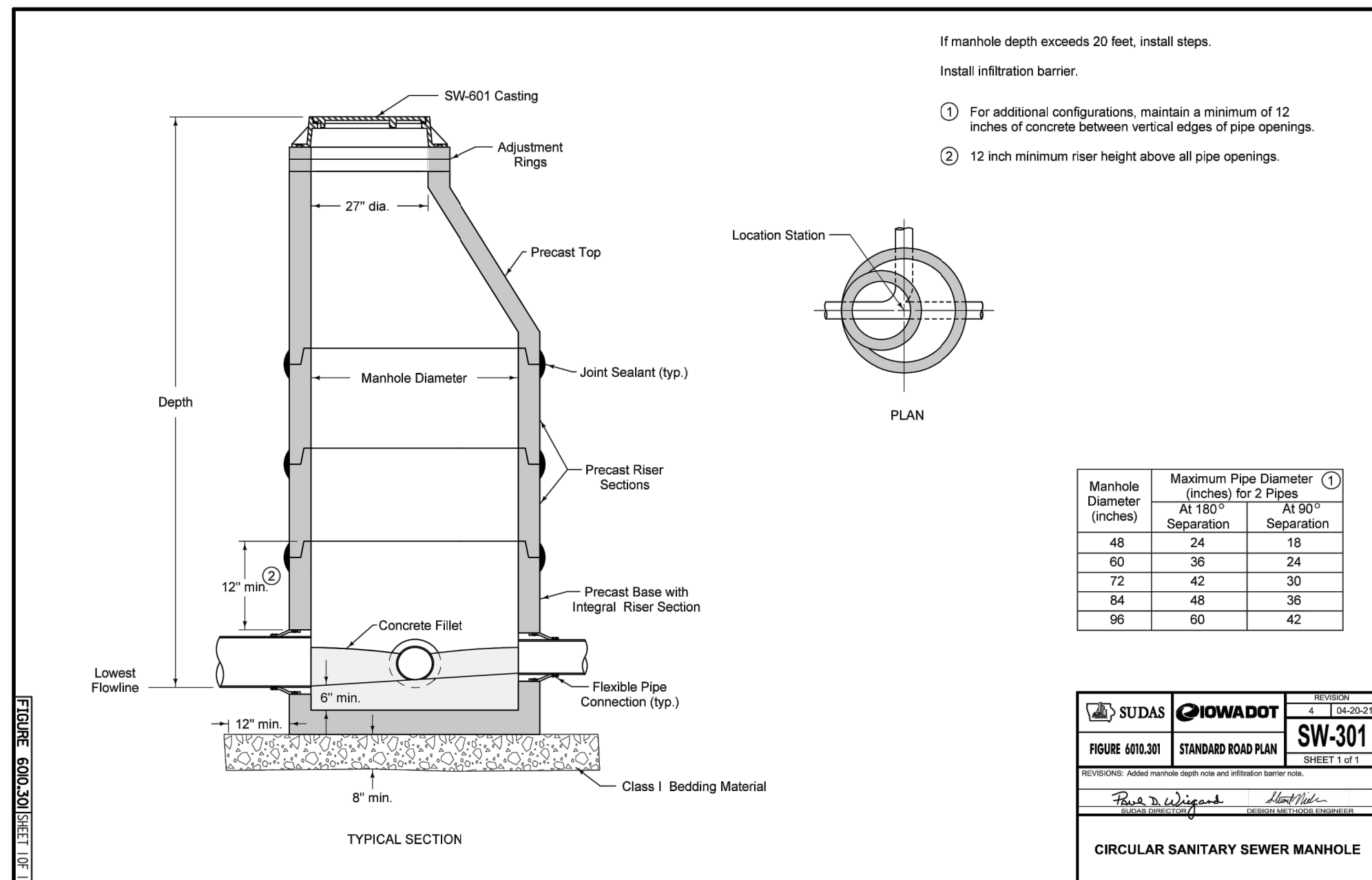
DRAWING NO.: **C802**

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www.cecinc.com

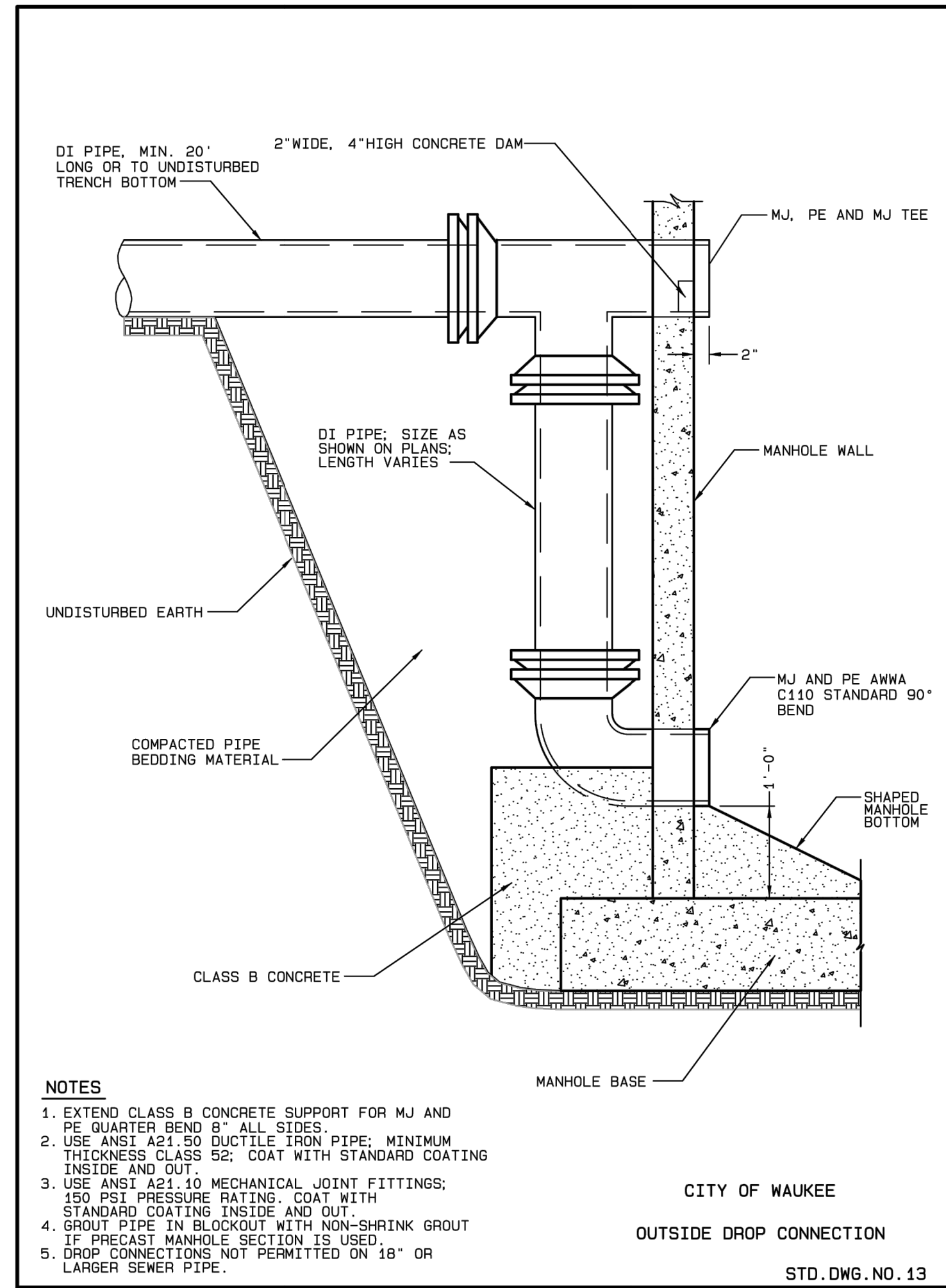
REVISION RECORD

NO.	DATE	DESCRIPTION

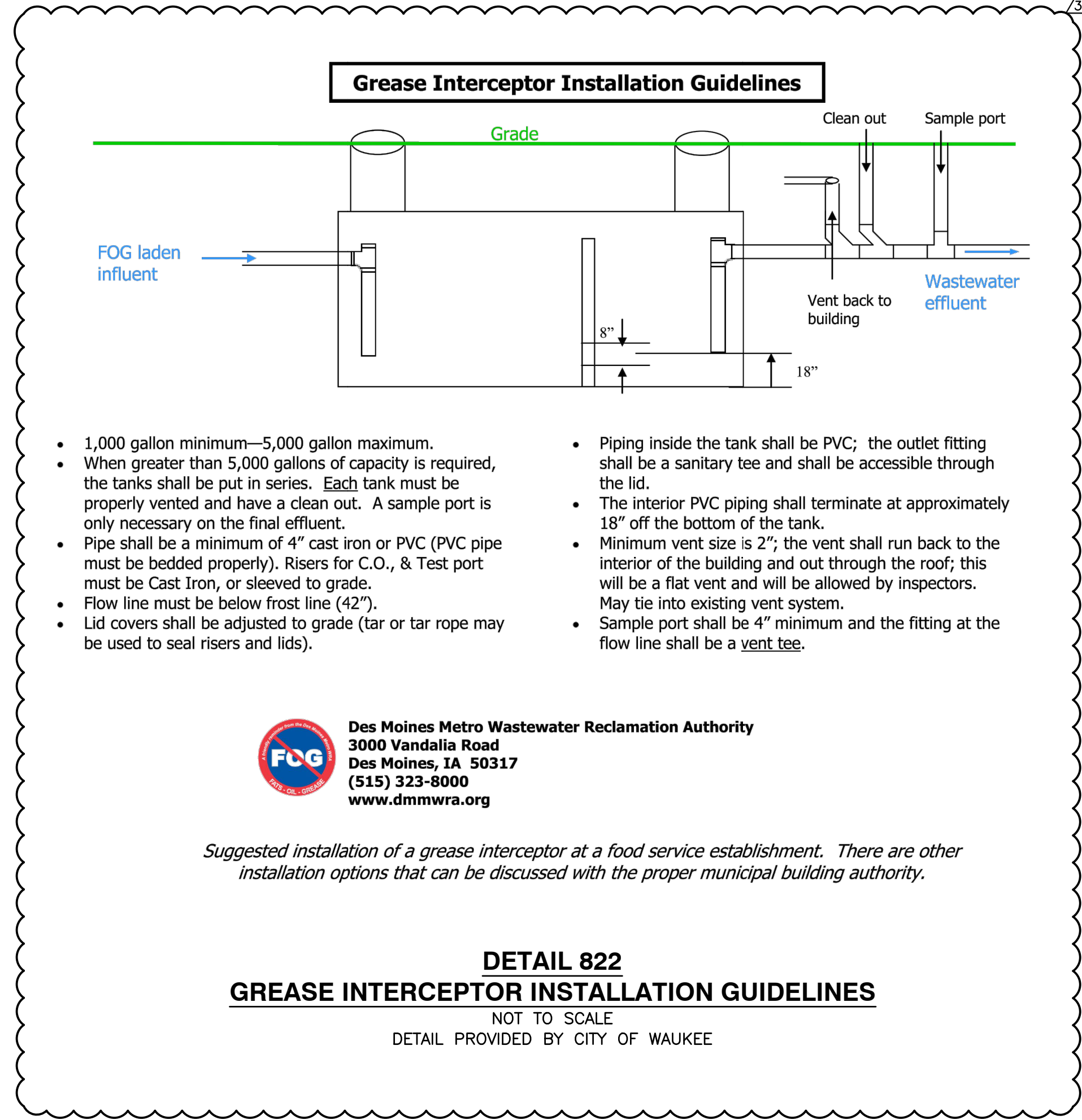




DETAIL 820
CIRCULAR SANITARY SEWER MANHOLE DETAIL
 NOT TO SCALE
 DETAIL PROVIDED BY SUDAS



DETAIL 821
OUTSIDE DROP CONNECTION DETAIL
 NOT TO SCALE
 DETAIL PROVIDED BY CITY OF WAUKEE



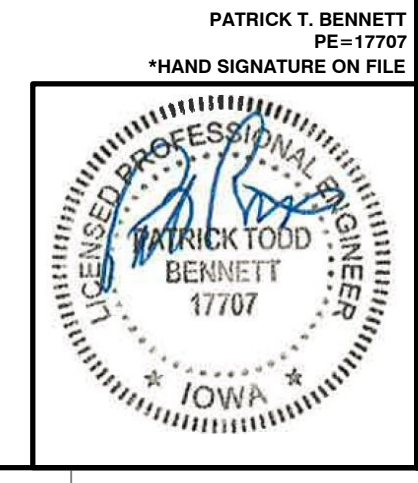
CEC
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HIGHER GROUND EDUCATION
WAUKEE SITE
605 E HICKMAN ROAD
WAUKEE, IOWA 50263

SITE DETAILS

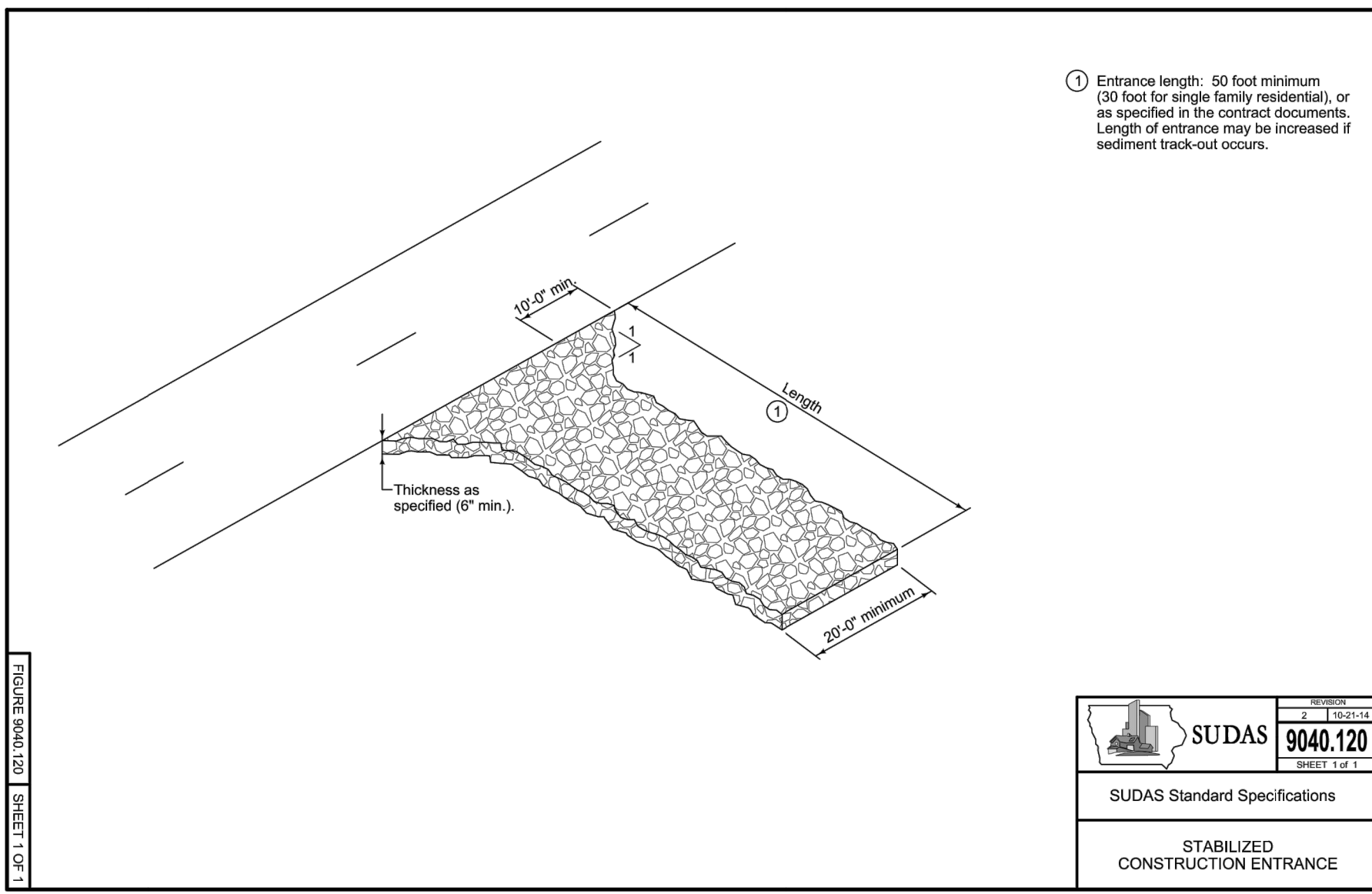
DATE: AUGUST 16, 2022 | DRAWN BY: ZAC/ARG
 DWG SCALE: NOT TO SCALE | CHECKED BY: JGC
 PROJECT NO: 323-450
 APPROVED BY: *PTB

DRAWING NO.: **C803**



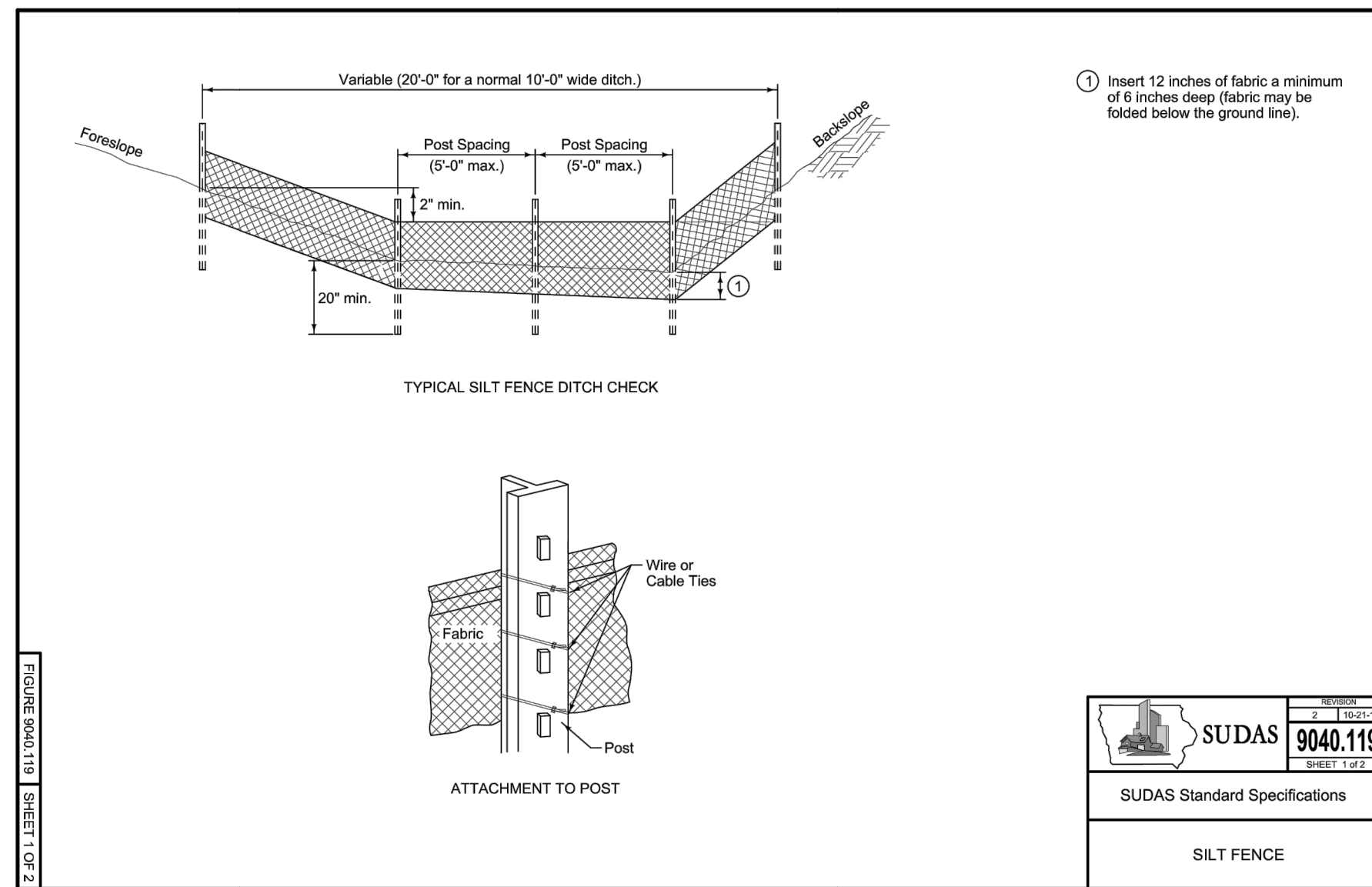
NO.	DATE	DESCRIPTION
1	10/20/2022	REVISION PER CITY OF WAUKEE COMMENTS
2	7/26/2023	REVISION PER CITY OF WAUKEE COMMENTS

A:\1300-001\1301-4501-0400\DWG\0101\1301450-0101-0800.dwg (8/30/22 15:12:17 2022 - mrtreg) - P: 12/6/2022 8:58 AM



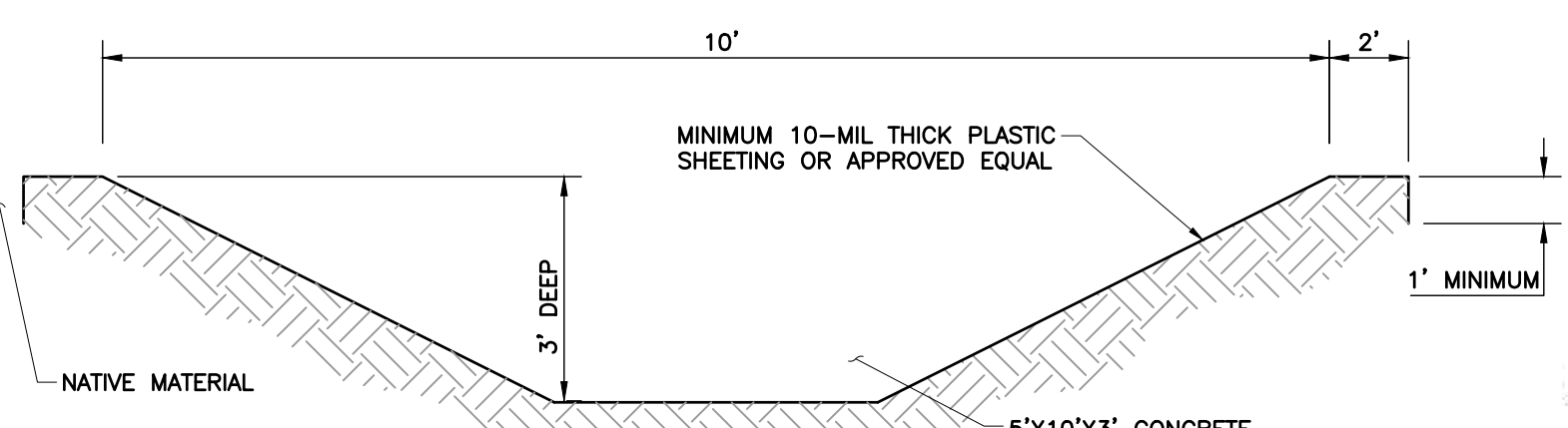
**DETAIL 901
STABILIZED CONSTRUCTION ENTRANCE**
NOT TO SCALE
DETAIL PROVIDED BY IOWADOT

	9040.120
SUDAS Standard Specifications	
STABILIZED CONSTRUCTION ENTRANCE	



**DETAIL 902
SILT FENCE**
NOT TO SCALE
DETAIL PROVIDED BY IOWADOT

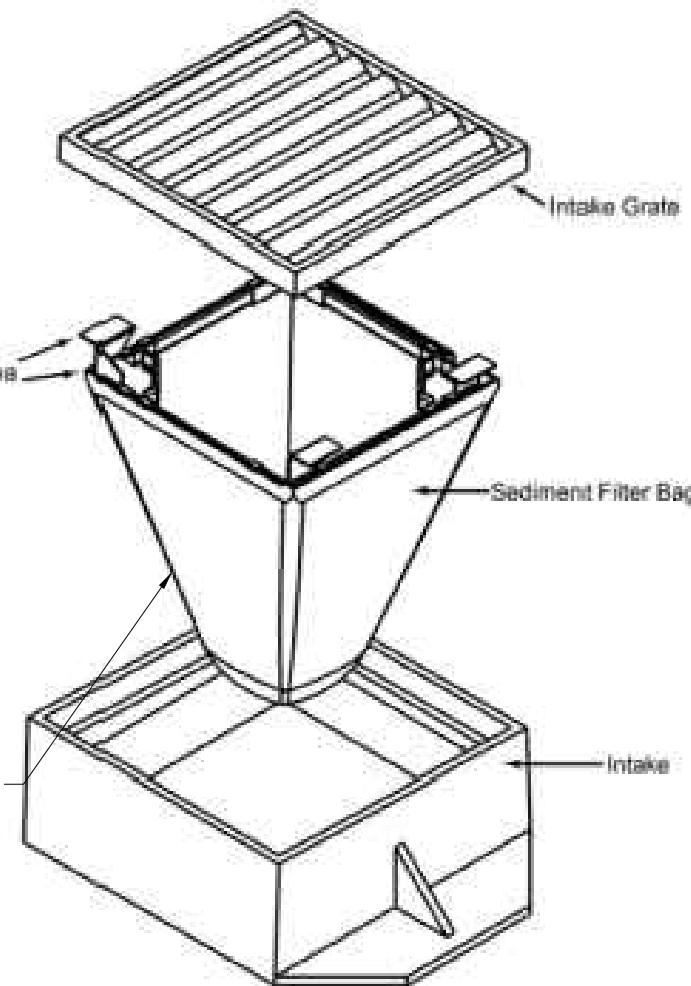
	9040.119
SUDAS Standard Specifications	
SILT FENCE	



- NOTES:**
- CONTRACTOR SHALL INSTALL A SIGN INDICATING THE CONCRETE WASHOUT AREA.
 - CONTRACTOR SHALL MAINTAIN WASHOUT AREA TO REMOVE MATERIALS BEYOND 75% CAPACITY.
 - WASHOUT AREA SHALL NOT BE PLACED WITHIN 50' OF STORM DRAINS, OPEN DITCHES OR BODIES OF WATER.
 - CONTRACTOR SHALL INSPECT WASHOUT AREA AS NECESSARY TO PREVENT LEAKS AND OVER TOPPING.
 - WASHOUT AREA SHALL BE REMOVED AFTER CONSTRUCTION IS COMPLETE.

**DETAIL 903
CONCRETE WASHOUT**
NOT TO SCALE

REPLACEABLE SEDIMENT BAGS WITH GEOTEXTILE FILTER FABRIC



- NOTE:**
- FOR SPECIFICATIONS AND MAINTENANCE GUIDELINES VISIT WWW.INLETFILTERS.COM.

**DETAIL 904
INLET FILTER PROTECTION**
NOT TO SCALE

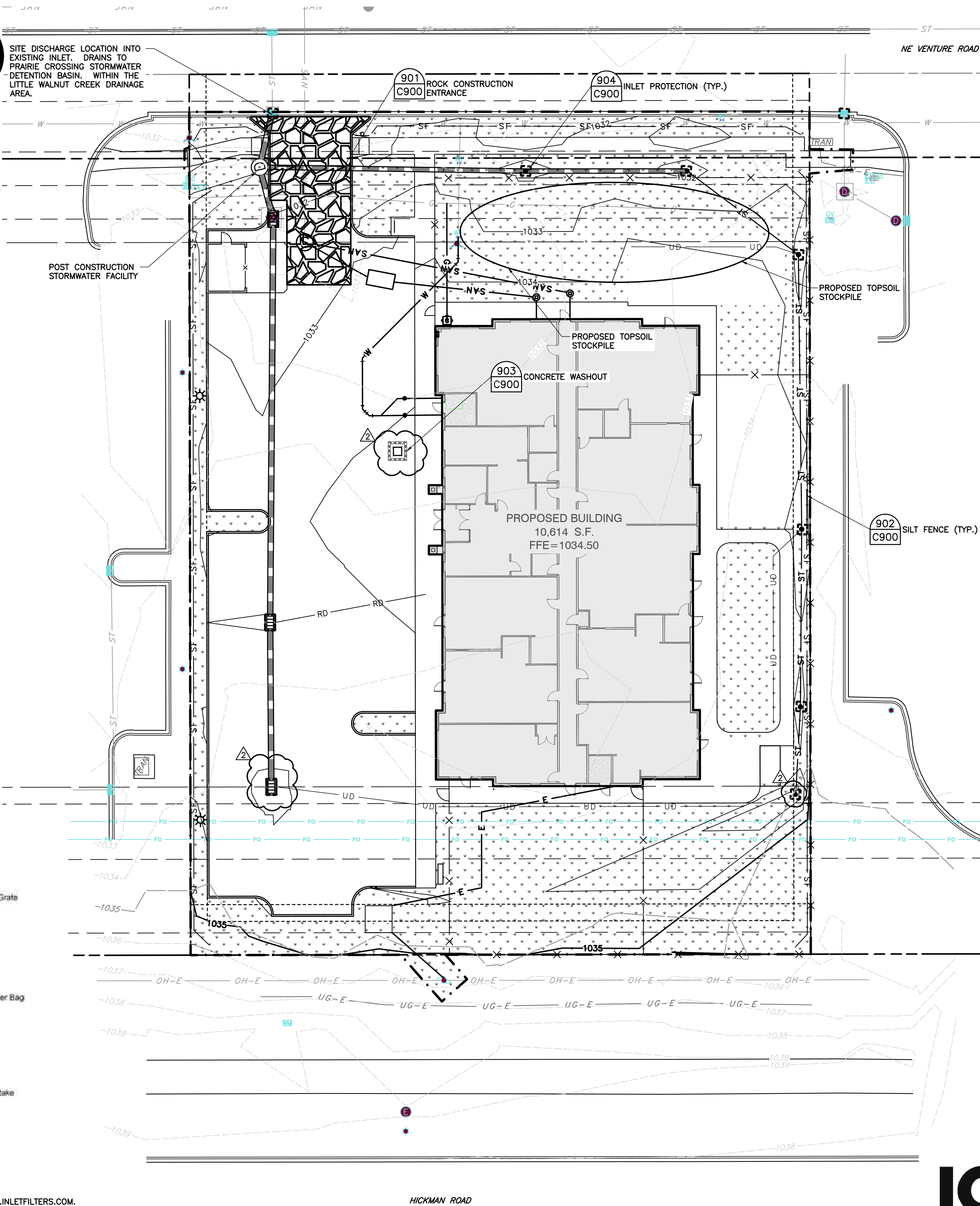
- REFERENCE**
- EXISTING BOUNDARY AND TOPOGRAPHIC CONDITIONS PREPARED BY PARTNER ENGINEERING AND SCIENCE INC. AND PROVIDED MURPHY REAL ESTATE SERVICES, FILE NAME: "224034 WAUKEE VACANT.DWG."
 - PROPOSED BUILDING FOOTPRINT PROVIDED BY ALLEN PEPA, FILE NAME: "22-014 HIGHER GROUND WAUKEE - FLR PLAN - 7-27-22.DWG"
 - SEE GEOTECHNICAL REPORT PREPARED BY TERRACON GEOREPORT DATED SEPTEMBER 7, 2022.

TEMPORARY SEEDING	
COMMON NAME	APPLICATION RATE LB/ACRE
SPRING - MARCH 1 - MAY 20	
ANNUAL RYEGRASS	40
OATS	65
SUMMER - MAY 21 - AUGUST 14	
ANNUAL RYEGRASS	50
OATS	95
FALL - AUGUST 15 - SEPTEMBER 30	
ANNUAL RYEGRASS	40
OATS	65

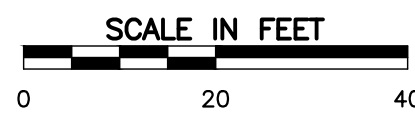
LEGEND			
SYMBOL	DESCRIPTION	UNITS	QUANTITY
	PROPOSED GRAVEL CONSTRUCTION ENTRANCE	EACH	1
	PROPOSED SILT FENCE	LF	625
	PROPOSED INLET PROTECTION	EACH	10
	PROPOSED CONCRETE WASHOUT	EACH	1
	PROPOSED SOD/TEMPORARY SEEDING	SQ. FT.	17,500
	PROPOSED LIMITS OF DISTURBANCE		



SITE DISCHARGE LOCATION INTO EXISTING INLET, DRAINS TO PRAIRIE CROSSING STORMWATER DETENTION BASIN, WITHIN THE LITTLE WALNUT CREEK DRAINAGE AREA.



HICKMAN ROAD



GENERAL EROSION CONTROL NOTES

- CONTRACTOR SHALL INSTALL ALL REQUIRED SILT FENCES, AND INLET PROTECTION FOR EXISTING INLETS PRIOR TO THE START OF ANY EARTH MOVING OR STRIPPING.
- CONTRACTOR SHALL INSTALL A STONE CONSTRUCTION ENTRANCE OR SOME OTHER DEVICE PRIOR TO THE START OF EARTHWORK AS NECESSARY TO PREVENT SOIL FROM BEING TRACKED OR WASHED INTO EXISTING ROADWAYS.
- LAND ALTERATIONS WHICH STRIP THE LAND OF VEGETATION, INCLUDING REGRADING, SHALL BE COMPLETED IN A WAY THAT WILL MINIMIZE EROSION. WHENEVER FEASIBLE, NATURAL VEGETATION SHALL BE RETAINED AND PROTECTED. AS GRADING IS COMPLETED, INSTALL SILT FENCES, AND OTHER RUNOFF CONTROL MEASURES AT APPROPRIATE LOCATIONS TO KEEP SEDIMENT CONTAINED ON SITE.
- ALL DISTURBED AREAS SHALL BE SEEDED AND STRAW MULCHED AS SHOWN ON THE PLANS IMMEDIATELY AFTER COMPLETION OF GROUND ACTIVITY.
- PERMANENT AND FINAL VEGETATION OR STRUCTURAL EROSION CONTROL DEVICES SHALL BE INSTALLED AS SOON AS PRACTICAL UNDER THE CIRCUMSTANCES.
- STABILIZATION OF DISTURBED AREAS MUST BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- ALL STORM SEWER INLET PROTECTION DEVICES SHALL BE PUT IN PLACE AT THE TIME EACH INLET IS CONSTRUCTED.
- THESE GENERAL PROCEDURES MAY NOT COVER ALL SITUATIONS. REFER TO EROSION CONTROL PLANS FOR SPECIFIC NOTES AND ADDITIONAL DETAILS.
- ALL PROPOSED EROSION AND SEDIMENT CONTROL SHALL BE IN CONFORMANCE WITH THE IOWA SUDAS SPECIFICATION SECTION 9040. DISCREPANCIES BETWEEN THE PLANS AND THE MANUAL SHALL NOT ALLEVIATE THE CONTRACTOR FROM ADHERING TO THE REQUIREMENTS AS SET FORTH IN THE MANUAL.
- SAWCUTTING AND GRINDING SLURRY CONTAINMENT SHALL BE DISPOSED AT THE STATE APPROVED FACILITY.
- GENERAL PERMIT #2 AND CONSTRUCTION SITE EROSION & SEDIMENT CONTROL ORDINANCE (COSESCO) PERMITS ARE REQUIRED.
- MINIMUM TOPSOIL RESPREAD REQUIREMENT OF GENERAL PERMIT #2 SHALL BE MET WITH IOWA STATEWIDE URBAN DESIGN AND SPECIFICATIONS (SUDAS) 2010 FOR ON-SITE TOPSOIL.
- THE PERMITEE SHALL SUBMIT A NOTICE OF DISCONTINUATION WITHIN 30 DAYS AFTER FINAL STABILIZATION IS COMPLETE OR CONTROL HAS BEEN PASSED TO ANOTHER OWNER. ALL TEMPORARY EROSION CONTROL MEASURES AND BMP'S SHALL BE REMOVED AS PART OF THE FINAL SITE STABILIZATION.

MAINTENANCE NOTES

- ROCK CONSTRUCTION ENTRANCE: ADDITIONAL STONE SHALL BE ADDED TO THE ROCK CONSTRUCTION ENTRANCE AND/OR ACCESS ROADS AS NEEDED TO MAINTAIN THEIR THICKNESS.
- SILT FENCE: SILT FENCE SHALL BE INSPECTED WEEKLY AND ANY REQUIRED REPAIRS SHALL BE MADE IMMEDIATELY. REPLACE THE FABRIC IF IT BECOMES INEFFECTIVE. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THE LEVEL OF DEPOSITION REACHES APPROXIMATELY ONE-HALF THE HEIGHT OF THE BARRIER. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THE SILT FENCE IS NO LONGER REQUIRED SHALL BE DRESSED TO CONFORM OF THE EXISTING GRADE, PREPARED AND SEED.
- INLET FILTERS: MAINTENANCE: INLET FILTERS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. AS NEEDED, INLET FILTER MATS SHALL BE LIFTED AND RINSED OR REPLACED. WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET OR THE INLET FILTER MAT BECOMES COMPRESSED DUE TO HEAVY TRAFFIC, REPLACEMENT IS REQUIRED.
- STREET CLEANING/SWEEPING: THE SITE ENTRANCE AND EXIT POINTS SHALL BE INSPECTED FOR EVIDENCE OF OFF-SITE TRACKING OF MUD. ALL STREETS SHALL BE SWEEP AT THE END OF EACH WORKING DAY AND PRIOR TO A RAIN EVENT.
- TEMPORARY SEEDING: AREAS WHICH FAIL TO ESTABLISH VEGETATIVE COVER ADEQUATE TO PREVENT RILL EROSION WILL BE RE-SEEDING WHEN THE AREAS ARE IDENTIFIED.
- PERMANENT STABILIZATION: INSTALL SOD IN ACCORDANCE WITH THE FESCUE SODDING NOTES ON C701.
- STABILIZATION OF DISTURBED AREAS MUST BE INITIATED IMMEDIATELY WHENEVER ANY CLEARING, GRADING, EXCAVATING OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY CEASED ON ANY PORTION OF THE SITE OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.

SITE INFORMATION:

IMPERVIOUS SURFACE AREA: 35,974 SQ.FT. (0.83 AC.)
THERE ARE NO PROPOSED DETENTION FACILITIES WITHIN THIS PARCEL. DETENTION FOR THIS SITE IS PART OF THE PRAIRIE CROSSING SITE AND WILL BE MAINTAINED BY OTHERS.
THE CURRENT FEMA FLOOD INSURANCE RATE MAP IS DATED DECEMBER 7, 2018.

PATRICK T. BENNETT
PE-17707
HAND SIGNATURE ON FILE



**IOWA 811
ONE CALL** SM

REVISION RECORD	
NO.	DATE
1	16/07/2022
2	16/07/2022
3	16/07/2022
4	16/07/2022
5	16/07/2022
6	16/07/2022
7	16/07/2022
8	16/07/2022
9	16/07/2022
10	16/07/2022
11	16/07/2022
12	16/07/2022
13	16/07/2022
14	16/07/2022
15	16/07/2022
16	16/07/2022
17	16/07/2022
18	16/07/2022
19	16/07/2022
20	16/07/2022

Civil & Environmental Consultants, Inc.
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630-963-6026 - 877-963-6026
www.cecinc.com

**HIGHER GROUND EDUCATION
WAUKEE SITE**
605 E HICKMAN ROAD
WAUKEE, IOWA 50263

STORMWATER POLLUTION PREVENTION PLAN	
DATE:	PROJECT NO.:
AUGUST 18, 2022	323-450
DRAWN BY: ZAC/ARG	CHECKED BY: JGC
1" = 20'	APPROVED BY: P.TB
DRAWING NO.: C900	

