

WILLIAMS POINTE COMMERCIAL PLAT 2 PRELIMINARY PLAT

WAUKEE, IA



1360 NW 121ST. Street
Clive, Iowa 50325
515-964-1229
fax 515-964-2370

NOTICE:
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

COPYRIGHT:
Copyright and property rights in these documents are expressly reserved by McClure Engineering Company. No reproductions, changes, or copies in any manner shall be made without obtaining prior written consent from McClure Engineering Company.

OWNER/APPLICANT

DSDH.WAUKEE, LLC
9251 WILLOW LANE
FREMONT, WI 54940
920.428.9028
DAVE@HERBECKDEVELOPMENT.COM
ATTN: DAVE HERBECK

ZONING

C-1 COMMUNITY AND HIGHWAY SERVICE COMMERCIAL DISTRICT

FRONT BUILDING SETBACK - 30 FEET
REAR BUILDING SETBACK - 30 FEET
SIDE BUILDING SETBACK - NO MINIMUM, EXCEPT WHEN ADJACENT TO ANY R DISTRICT, THE MINIMUM SIDE YARD SETBACK SHALL BE 30 FEET.
MAXIMUM HEIGHT - NO MINIMUM EXCEPT WHEN ADJACENT TO AN R-1, R-2 OR R-4 DISTRICT, THE MAXIMUM SHALL BE 2 STORIES OR 40 FEET 1 STORY OR 14 FEET FOR ACCESSORY BUILDING

ENGINEER/SURVEYOR

MCCLURE ENGINEERING
1360 NW 121ST STREET
CLIVE, IOWA 50325
(515) 964-1229
TSMITH@MECREULTS.COM
ATTN: TRENT SMITH

UTILITIES

GAS - WAUKEE PUBLIC WORKS DEPARTMENT
ELECTRIC - MID-AMERICAN ENERGY CO.
WATER - CITY OF WAUKEE PUBLIC WORKS DEPARTMENT
SEWER - CITY OF WAUKEE PUBLIC WORKS DEPARTMENT

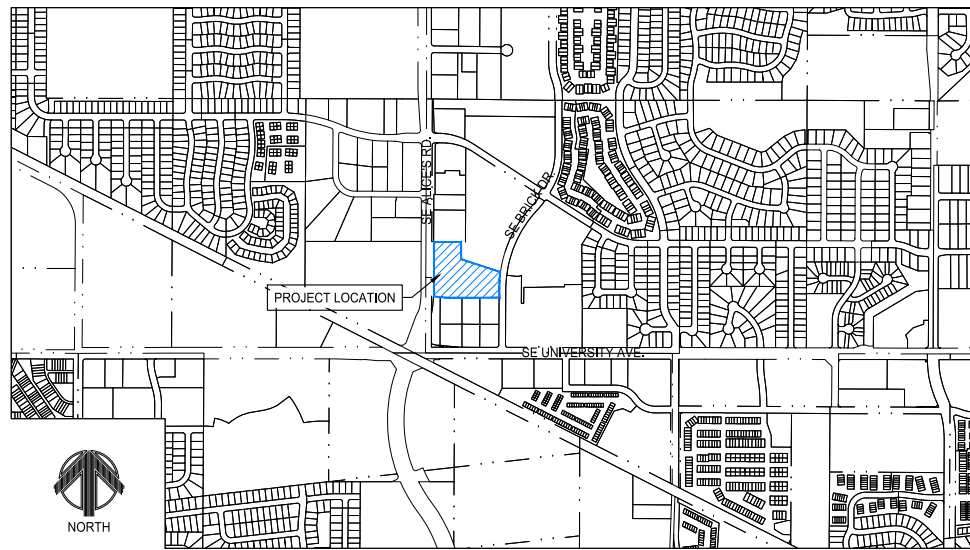
LEGAL DESCRIPTION

OUTLOT X IN WILLIAMS POINTE COMMERCIAL PLAT 1, AN OFFICIAL PLAT, WAUKEE, DALLAS COUNTY, IOWA. SUBJECT TO EASEMENTS, RESTRICTIONS AND COVENANTS OF RECORD, CONTAINING 6.85 ACRES.

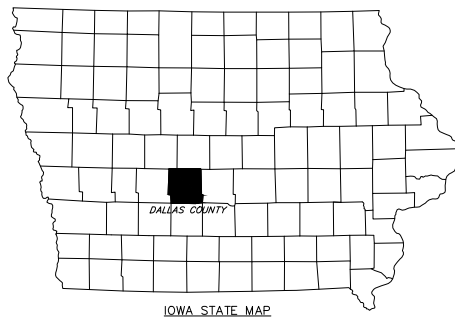
NOTES

ALL PROPOSED UTILITIES AND PAVING TO BE INSTALLED SHALL BE PRIVATE INFRASTRUCTURE

Sheet List Table		
Sheet Number	Sheet Title	Sheet Description
01	PP-01	COVER SHEET
02	PP-02	EXISTING CONDITIONS
03	PP-03	GENERAL LAYOUT
04	PP-04	GRADING & EROSION CONTROL PLAN



VICINITY MAP

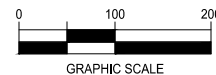


IOWA STATE MAP

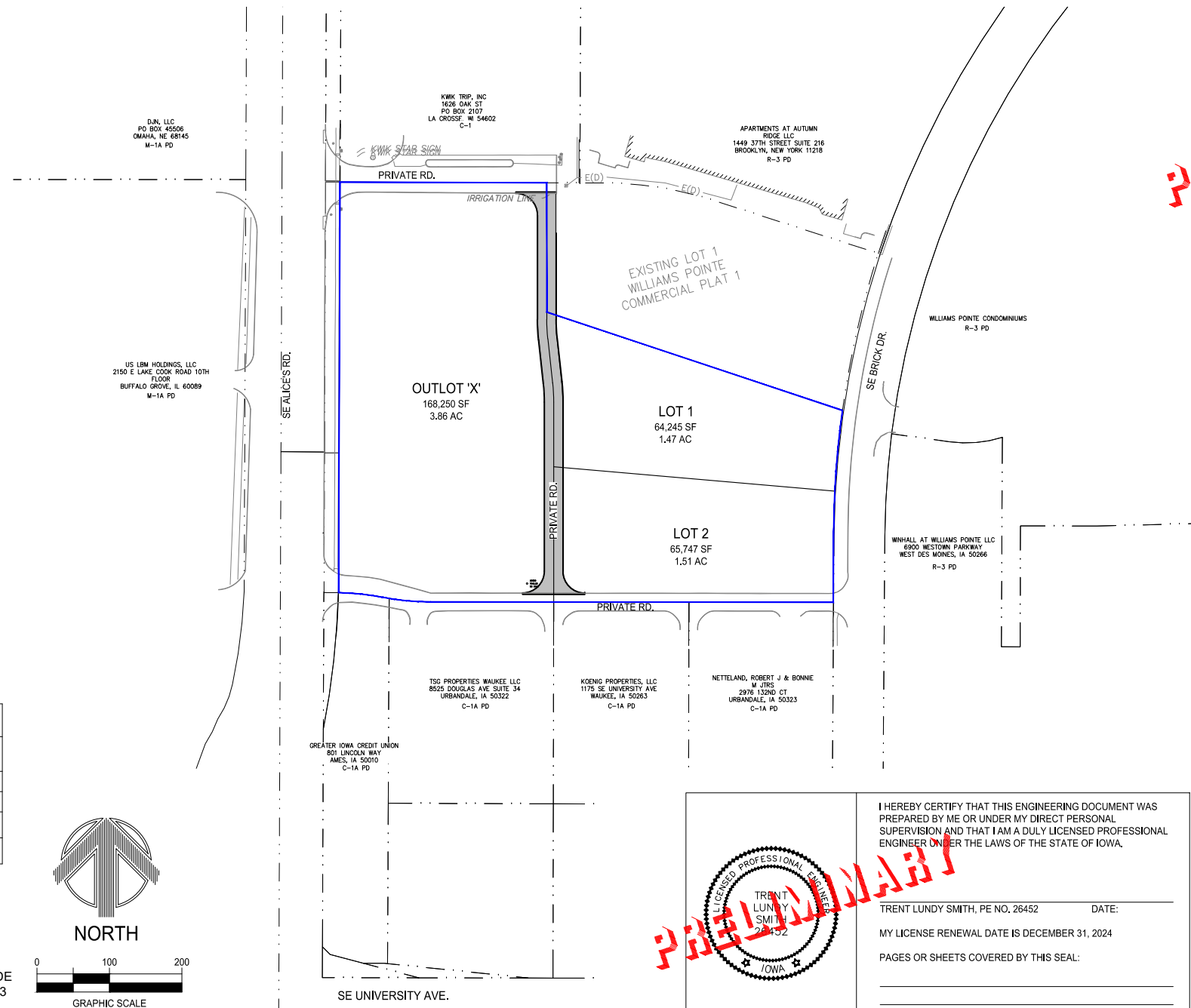
SUBMITTAL AND REVISION TABLE		
SUBMITTAL	DATE	DESCRIPTION
1	2/7/2023	CITY SUBMITTAL #1
2	2/21/2023	CITY SUBMITTAL #2
3	4/4/2023	CITY SUBMITTAL #3
4	5/3/2023	CITY SUBMITTAL #4



NORTH



GRAPHIC SCALE



PRELIMINARY

COVER SHEET

WILLIAMS POINTE
COMMERCIAL PLAT 2
PRELIMINARY PLAT
WAUKEE, IOWA
20218038-000
FEBRUARY, 7, 2023

REVISIONS

ENGINEER: T SMITH
DRAWN BY: J ALVAREZ

CHECKED BY: FIELD BOOK NO.

DRAWING NO. SHEET NO.
PP-01 01 / 04

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

TRENT LUNDY SMITH, PE NO. 26452 DATE: _____
26452

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024

PAGES OR SHEETS COVERED BY THIS SEAL: _____

PRELIMINARY

NOTICE:
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

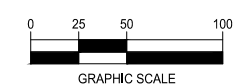
COPYRIGHT:
Copyright and property rights in these documents are expressly reserved by McClure Engineering Company. No reproductions, changes, or copies in any manner shall be made without obtaining prior written consent from McClure Engineering Company.

PRELIMINARY

EXISTING CONDITIONS



NORTH



WILLIAMS POINTE COMMERCIAL PLAT 2 PRELIMINARY PLAT

WAUKEE, IOWA
20218038-000
FEBRUARY, 7, 2023

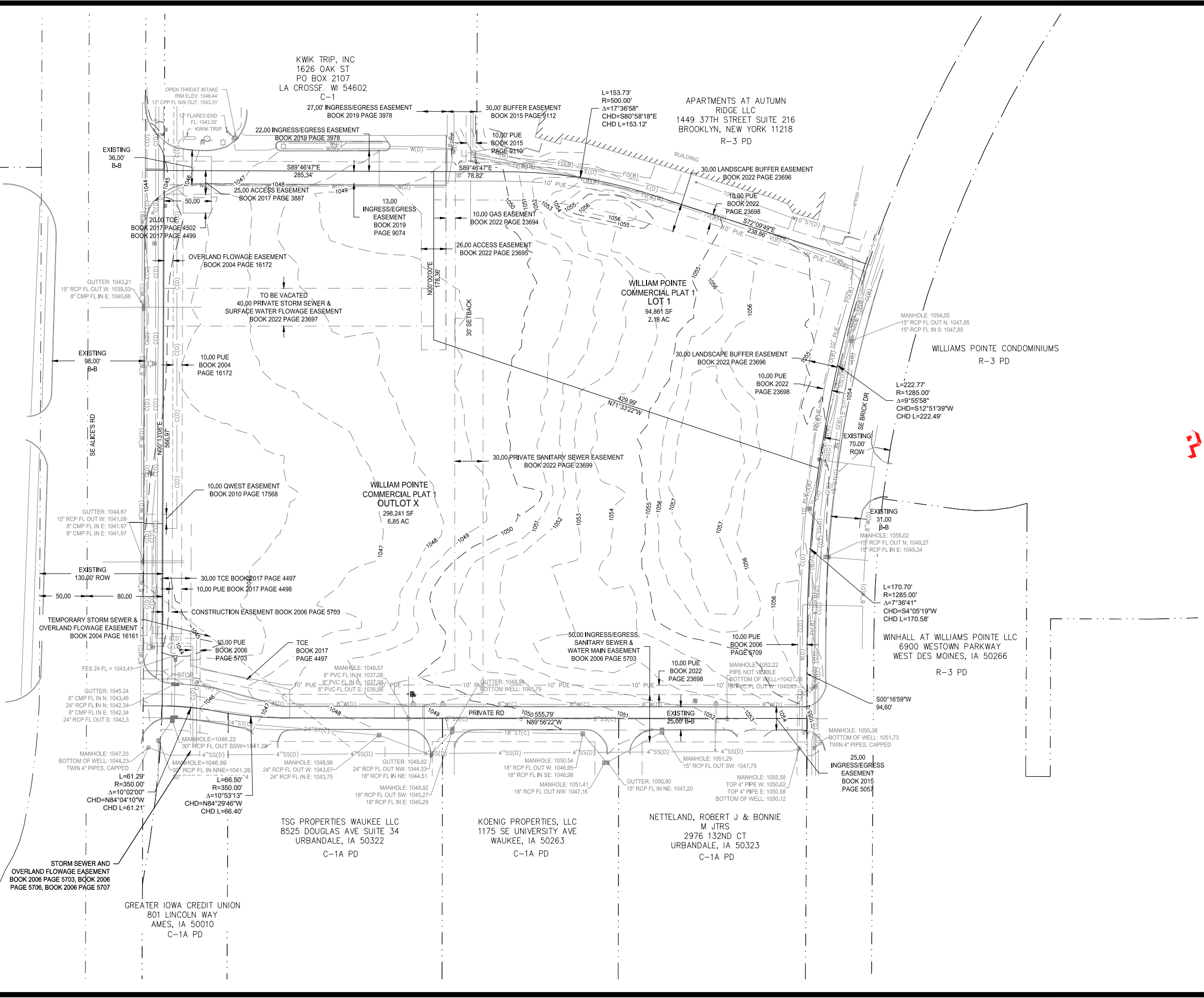
REVISIONS

ENGINEER: T SMITH
DRAWN BY: J ALVAREZ
CHECKED BY: FIELD BOOK NO.

DRAWING NO. PP-02 SHEET NO. 02 / 04

DJN, LLC
PO BOX 45506
OMAHA, NE 68145
M-1A PD

US LBM HOLDINGS, LLC
2150 E LAKE COOK ROAD 10TH FLOOR
BUFFALO GROVE, IL 60089
M-1A PD



N:\Projects\WAK 20218038\Digital\Plans\Preliminary\Plat\Williams Pointe Prelat.dwg 5/2/2023 2:18 PM

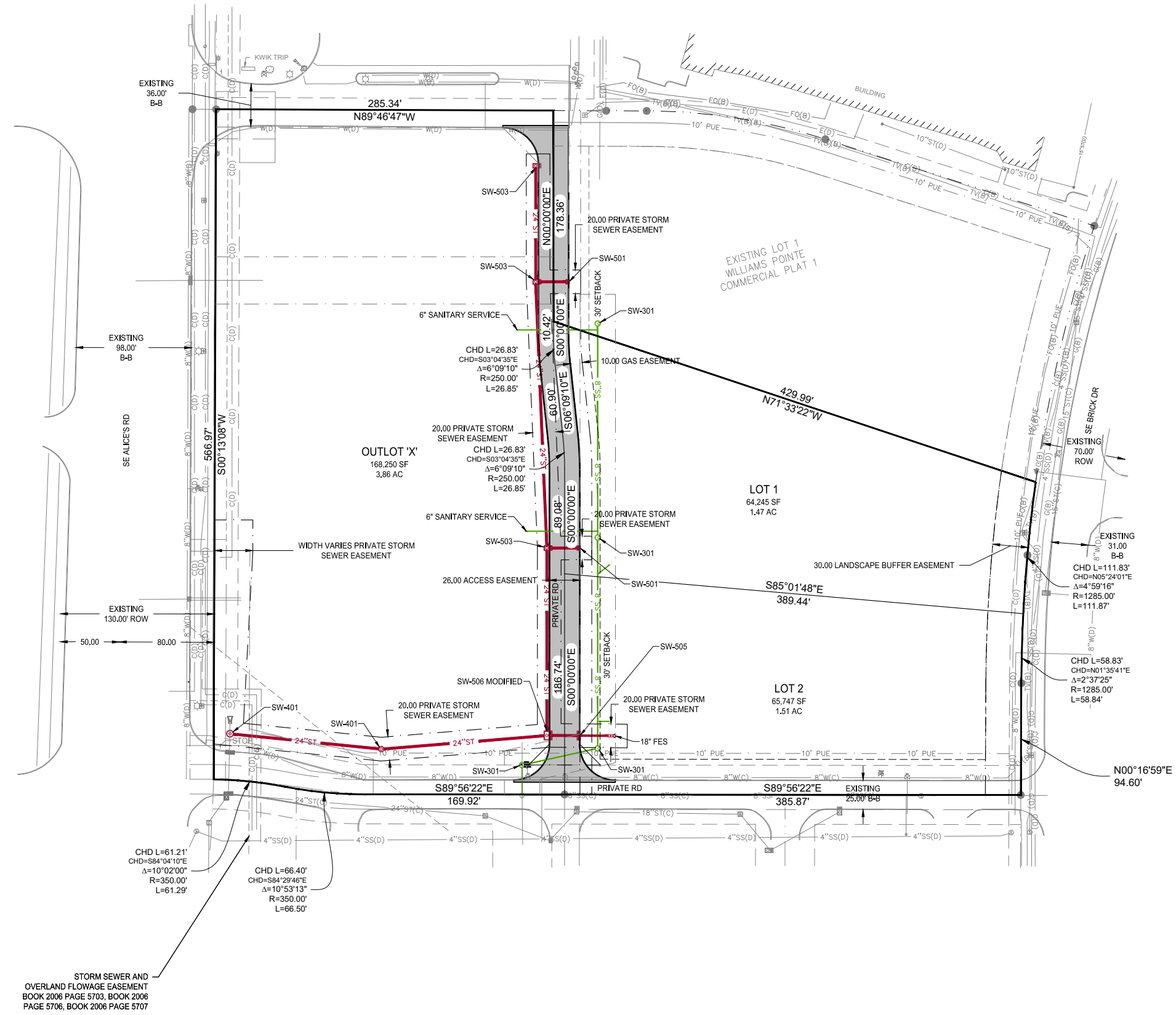
NOTE: PROPOSED PIPE AND STORMWATER FLOWAGE EASEMENT MAY BE ABANDONED TO ACCOMMODATE FUTURE DEVELOPMENT IN THIS SUBDIVISION. COST OF ABANDONMENT SHALL BE INCURRED BY FUTURE TENANT AND RELOCATED STORM SEWER SHALL BE PROVIDED TO CONVEY LOT 1'S ALLOWABLE DISCHARGE



1360 NW 121ST. Street
Clive, Iowa 50325
515-964-1229
fax 515-964-2370

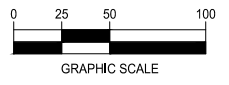
NOTICE:
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

COPYRIGHT:
Copyright and property rights in these documents are expressly reserved by McClure Engineering Company. No reproductions, changes, or copies in any manner shall be made without obtaining prior written consent from McClure Engineering Company.



PRELIMINARY

GENERAL LAYOUT



WILLIAMS POINTE
COMMERCIAL PLAT 2
PRELIMINARY PLAT
WAUKEE, IOWA
20218038-000
FEBRUARY, 7, 2023

REVISIONS

ENGINEER
T SMITH

DRAWN BY
J ALVAREZ

CHECKED BY

FIELD BOOK NO.

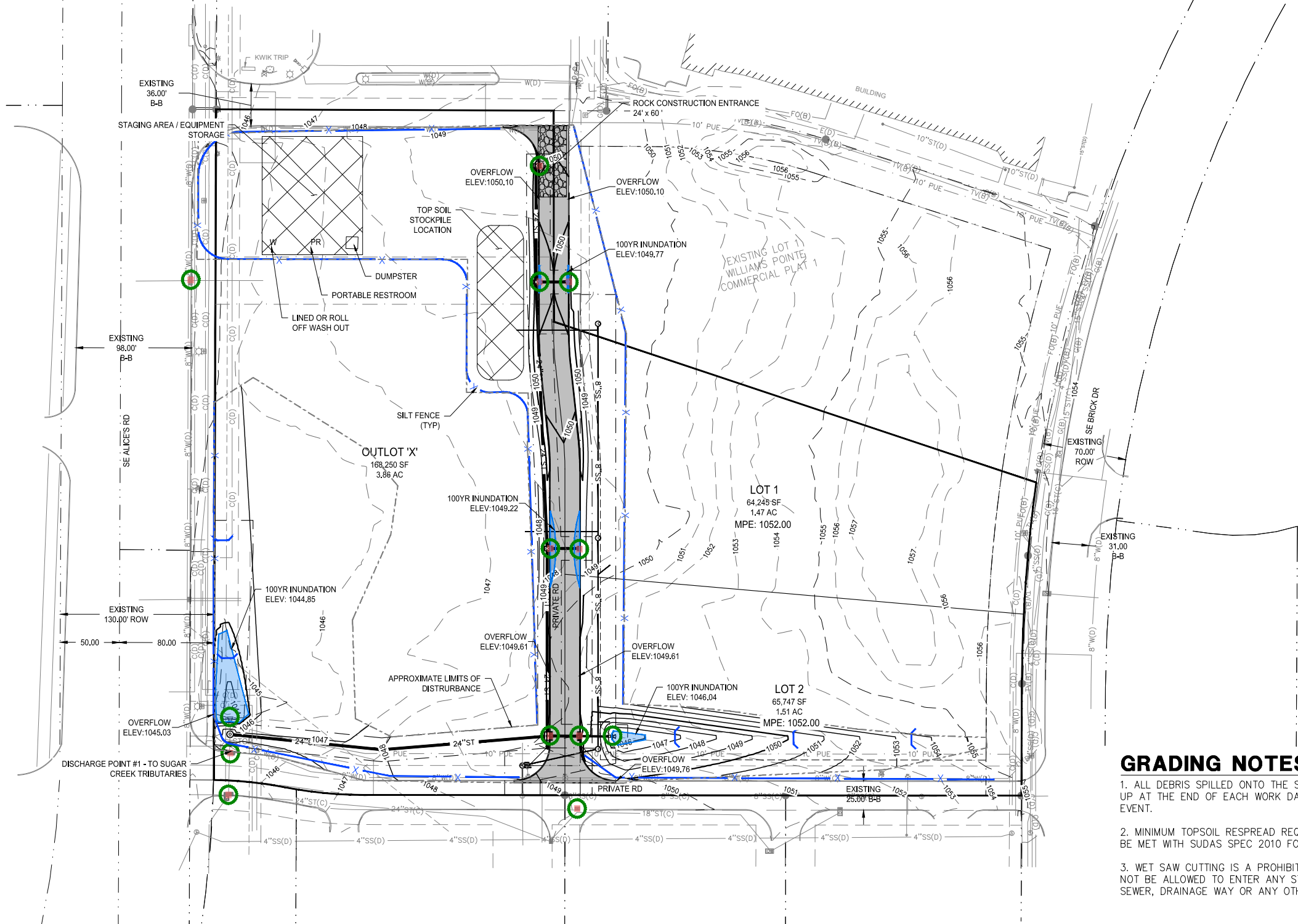
DRAWING NO.
PP-03

SHEET NO.
03 / 04

N:\Projects\WAK 20218038\Digital\Plans\Preliminary\Plan\Williams Pointe Prelat.dwg 5/2/2023 2:18 PM

STORM SEWER AND
OVERLAND FLOWAGE EASEMENT
BOOK 2006 PAGE 5703, BOOK 2006
PAGE 5706, BOOK 2006 PAGE 5707

NOTE:
MPE'S WEST OF PRIVATE DRIVE SHALL BE 1047.00 OR
ADDITIONAL CALCULATIONS SHALL BE PROVIDED.



GRADING NOTES:

1. ALL DEBRIS SPILLED ONTO THE STREET SHALL BE PICKED UP AT THE END OF EACH WORK DAY AND PRIOR TO THE RAIN EVENT.
2. MINIMUM TOPSOIL RESPREAD REQUIREMENT OF GP#2 WILL BE MET WITH SUDAS SPEC 2010 FOR ON-SITE TOPSOIL.
3. WET SAW CUTTING IS A PROHIBITED DISCHARGE THAT WILL NOT BE ALLOWED TO ENTER ANY STORM INTAKES, STORM SEWER, DRAINAGE WAY OR ANY OTHER WATER OF THE STATE.

LEGEND

SYMBOL	ITEM
	SILT FENCE
	BELOW GRADE INTAKE PROTECTION (POST PAVING)
	MULCH LOG
	DISCHARGE LOCATION

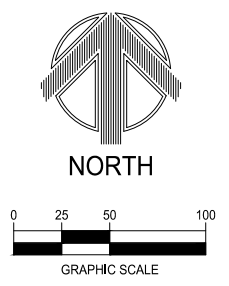
ITEM	QUANTITY	UNIT
SILT FENCE	2470	LINEAR FEET
BELOW GRADE INTAKE PROTECTION (POST PAVING)	11	EACH
MULCH LOG	585	LINEAR FEET
ROCK CONSTRUCTION ENTRANCE	1	EACH
STAGING AREA	1	EACH
DUMPSTER	1	EACH
PORTABLE RESTROOM	1	EACH
WASH OUT	1	EACH
DISTURBED AREA	4.0	ACRE

NOTICE:
McClure Engineering Company waives any and all responsibility and liability for problems which arise from failure to follow these Plans, Specifications, and the engineering intent they convey, or for problems which arise from failure to obtain and/or follow the engineers guidance with respect to any errors, omissions, inconsistencies, ambiguities, or conflicts which are alleged.

COPYRIGHT:
Copyright and property rights in these documents are expressly reserved by McClure Engineering Company. No reproductions, changes, or copies in any manner shall be made without obtaining prior written consent from McClure Engineering Company.

PRELIMINARY

GRADING & EROSION CONTROL PLAN



WILLIAMS POINTE COMMERCIAL PLAT 2 PRELIMINARY PLAT
WAUKEE, IOWA
20218038-000
FEBRUARY, 7, 2023

REVISIONS

ENGINEER	DRAWN BY
T SMITH	J ALVAREZ
CHECKED BY	FIELD BOOK NO.

N:\Projects\WAK 20218038\Digital\Plans\Preliminary\Plat\Williams Pointe Preplat.dwg 5/2/2023 2:19 PM