

STIVERS FORD PRO CENTER SITE PLAN/PRELIMINARY PLAT

SHEET INDEX:

- C0.1 COVER SHEET
- C1.1 EX. CONTIONS & DEMO PLAN
- C2.1 LAYOUT PLAN
- C3.1 GRADING PLAN
- C4.1 UTILITY PLAN
- C5.1 LANDSCAPE PLAN
- C6.1 DETAILS SHEET
- C6.2 DETAILS SHEET
- C7.1 SWPPP

PROPERTY DESCRIPTION:

QUIT CLAIM DEED BOOK: 2015 PAGE: 20587
 LOTS 2, 3, 4, 5, 6 AND 7, IN WILLIAMS POINTE PLAT 14, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WAUKEE, DALLAS COUNTY, IOWA.
 SAID TRACT OF LAND SUBJECT TO ALL EASEMENTS AND ENCUMBRANCES OF RECORD.

SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

TOTAL AREA:

330,521 SQUARE FEET - 7.58 ACRES

SAID TRACT OF LAND CONTAINS 7.58 ACRES (330,521 SF) MORE OR LESS.

ADDRESS:

1350 SE STONE RIDGE DR
 WAUKEE, IOWA 50263

OWNER:

STIVERS IOWA REAL ESTATE LLC
 1450 EAST HICKMAN ROAD
 WAUKEE, IOWA 50263
 CONTACT: SCOTT POULTE
 PH: 515-987-3697

PREPARED FOR:

STIVERS IOWA REAL ESTATE LLC
 1450 EAST HICKMAN ROAD
 WAUKEE, IOWA 50263

PROJECT MANAGER:

MATTHEW KELLER
 NEUMANN BROTHERS
 1435 OHIO STREET
 DES MOINES, IOWA 50314

ENGINEER:

BISHOP ENGINEERING
 CONTACT: SETH SUNDERMANN
 3501 10TH STREET
 URBANDALE, IOWA 50322
 PH: (515) 276-0467

ZONING:

INFORMATION OBTAINED FROM THE CITY OF WAUKEE ZONING MAP
 ZONED: C-1 (COMMUNITY AND HIGHWAY SERVICE COMMERCIAL DISTRICT) AND PD (PLANNED DEVELOPMENT DISTRICT) - BOOK 2013 PAGE 10218 (ORD 2726).
 FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF WAUKEE AT (515) 978-9533

SETBACKS:

FRONT YARD 30 FEET (MIN.)
 REAR YARD 30 FEET (MIN.)
 SIDE YARD NONE
 MAX HEIGHT NONE

OCCUPANCY GROUP & DIVISION:

RENTAL / RETAIL

PARKING REQUIREMENTS:

AUTOMOTIVE SERVICE REQUIRED:
 3 SPACES / 1 SERVICE BAY X 12 BAYS = 36 STALLS
 1 SPACE / 1 SERVICE VEHICLE X 2 SERVICE VEHICLES = 2 STALLS
 2.5 SPACES / 1000 SF NON SERVICE AREA X 4080 SF = 11 STALLS

PARKING REQUIRED = 49 STALLS
 EX-BUILDING PARKING REQUIRED = 31 STALLS (PER PREVIOUS SITE PLAN)
 TOTAL PARKING REQUIRED = 80 STALLS
 TYPICAL PARKING STALLS PROVIDED = 124 STALLS
 OVER-SIZED TRUCK PARKING STALLS PROVIDED = 14 STALLS

OPEN SPACE/IMPERVIOUS REQUIREMENTS:

SITE AREA = 220,399 S.F. (5.06 AC)
 REQUIRED OPEN SPACE = 44,080 S.F. (20%)
 EXISTING OPEN SPACE = 181,743 S.F. (62.5%)
 EXISTING IMPERVIOUS = 38,656 S.F. (17.5%)

PROPOSED OPEN SPACE = 104,932 S.F. (47.6%)
 PROPOSED IMPERVIOUS = 115,467 S.F. (52.4%)
 NET INCREASE IMPERVIOUS AREA = 76,811 S.F. (1.76 ACRES)

100-YEAR FLOOD ELEVATION:

NOT IN 100-YEAR FLOOD PLAN

SITE CONTROL AND BENCHMARKS:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS DATUM = NAD 83, IOWA SOUTH
 BENCHMARK DATUM = NAVD83, GEOID 18

POINT #100, 3/4" IRON PIPE W/ YELLOW PLASTIC CAP
 NORTHING = 587,608.16
 EASTING = 1,545,183.16
 ELEVATION = 1032.79
 DESCRIPTION: WEST OF S.W. CORNER, LOT 7

POINT #9011, 3/4" IRON PIPE W/ RED PLASTIC CAP
 NORTHING = 588,181.34
 EASTING = 1,545,646.71
 ELEVATION = 1019.82
 DESCRIPTION: NORTH OF N.E. CORNER, LOT 3

GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE 2023 CITY OF WAUKEE STANDARD SPECIFICATIONS AND 2023 SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF WAUKEE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF WAUKEE.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
- ALL SIGNAGE SHALL REQUIRE A SEPARATE PERMIT FROM THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT.
- ANY PROPOSED CHANGES TO THIS PLAN SET SHALL BE APPROVED IN WRITING BY THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES MADE DURING CONSTRUCTION THAT HAVE NOT BEEN GRANTED APPROVAL IN WRITING BY THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AS SOON AS CONSTRUCTION OF THE BUILDING COMMENCES. THE FIRE APPARATUS ACCESS ROAD SHALL COMPLY WITH THE REQUIREMENTS OF THE IPC SECTION 503.2 AND SHALL EXTEND TO WITHIN 100 FEET OF ALL PORTIONS OF THE FACILITY AND ALL PORTIONS OF THE EXTERIOR WALLS OF THE FIRST STORY OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING OR FACILITY.

PAVING NOTES:

- THE PAVING GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SODDED AND WATERED UNTIL ESTABLISHED IN ACCORDANCE WITH CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
- SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUBGRADE PRIOR TO ANY PAVEMENT BEING PLACED.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.
- ALL DISTURBED AREAS THAT ARE NOT PAVED SHOULD BE SODDED.

UTILITY NOTES:

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING (DAVID BENZ AT 515-276-0467) TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION PONDS HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.
- MANDREL AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVISION OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
- WATERMANS SHALL BE C-900. SIZE OF WATERMAIN AS SHOWN ON PLANS.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
- PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF WAUKEE.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF WAUKEE WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.
- ALL HYDRANTS TO HAVE 5" STORZ FITTINGS.
- CONTRACTOR TO COORDINATE TIE-INS TO EXISTING UTILITIES WITH THE CITY OF WAUKEE PUBLIC WORKS DEPARTMENT.
- ALL UTILITIES TO BE TESTED TO CITY STANDARDS. CITY TO WITNESS ALL TESTING.

UTILITY CONFLICT NOTES:

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION.

WETLAND NOTES:

- BISHOP ENGINEERING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

SURVEY NOTES:

- SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING ON 10-18-2022.

SECURITY NOTES:

- CONTRACTOR RESPONSIBLE FOR SECURITY OF THE SITE.
- TEMPORARY FENCES OR ANY OTHER SECURITY MEASURES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- NO SECURITY MEASURES WILL BE ELIGIBLE FOR A CHANGE ORDER AND MUST BE INCLUDED IN THE BASE BID.

PAVEMENT SAWCUT NOTES:

- CONTRACTOR TO PROVIDE SAWCUT JOINTING PLAN TO SETH SUNDERMAN, BISHOP ENGINEERING (515-276-0467 OR SSUNDERMAN@BISHOPENGR.COM) PRIOR TO ANY CONCRETE PAVEMENT INSTALLATION.
- PAVEMENT MAY BE REQUIRED TO BE REMOVED AND REPLACED IF PLACED WITHOUT AN APPROVED PLAN.
- LONGITUDINAL JOINTS IN DRIVE LANES & THE OUTER MOST JOINT OF ALL PARKING AREAS SHALL BE SUDAS TYPE 'L' OR 'L-2' JOINTS AND HAVE STEEL. INTERIOR PARKING LOT JOINTS, OTHER THAN THE OUTER MOST JOINT, DO NOT NEED STEEL AND SHALL BE SUDAS TYPE 'B' JOINTS.
- TYPICAL LONGITUDINAL JOINTS SHALL BE PLACED IN THE CENTER OF ALL DRIVE AISLES AND AT THE END OF ALL PARKING STALLS.
- ALL TRANSVERSE JOINTS SHALL BE SUDAS TYPE 'C' OR TYPE 'DW' JOINTS WITH STEEL IN THE CASE OF A DAY'S WORK JOINT.

PAVEMENT PLACEMENT NOTES:

- SEE PROJECT SPECIFICATION SECTION 32.13.13 FOR LASER SCREED REQUIREMENTS.

STORM & SANITARY TELEVISION NOTES:

- CONTRACTOR IS REQUIRED TO TELEVIEW ALL SANITARY AND STORM SEWER SYSTEM PRIOR TO PAVING OPERATIONS.
- CONTRACTOR SHALL SEND VIDEO INSPECTION TO THE ENGINEER FOR APPROVAL PRIOR TO PAVING.
- CONTRACTOR SHALL PROVIDE COPIES OF THE REPORTS AND VIDEOS TO THE CITY OF WAUKEE ENGINEERING DEPARTMENT FOR APPROVAL PRIOR TO PAVING.

REQUIRED AS-BUILTS:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF AS-BUILT TOPO OF ALL DETENTION PONDS & DETENTION POND STORM SEWER, PUBLIC STORM SEWER, RAMPS, LANDINGS, CROSSWALKS AND PUBLIC IMPROVEMENTS. CONTRACTOR SHALL CONTACT BISHOP ENGINEERING (SETH SUNDERMAN AT 515-276-0467) TO PERFORM SAID AS-BUILT SURVEYS. IF ANYTHING HAS BEEN CONSTRUCTED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.

"CONTRACTOR SHALL CONTACT BISHOP ENGINEERING FOR POND AS-BUILTS AFTER TOPSOIL RESPREAD AND BEFORE SEEDING HAS TAKEN PLACE"

AFTER DETENTION BASINS HAVE BEEN AS-BUILT AND APPROVED, BISHOP ENGINEERING SHALL PROVIDE A SIGNED CERTIFICATION STATEMENT TO THE CITY OF WAUKEE INDICATING THAT FACILITIES WERE CONSTRUCTED AS DESIGNED.

SPECIFICATIONS NOTES:

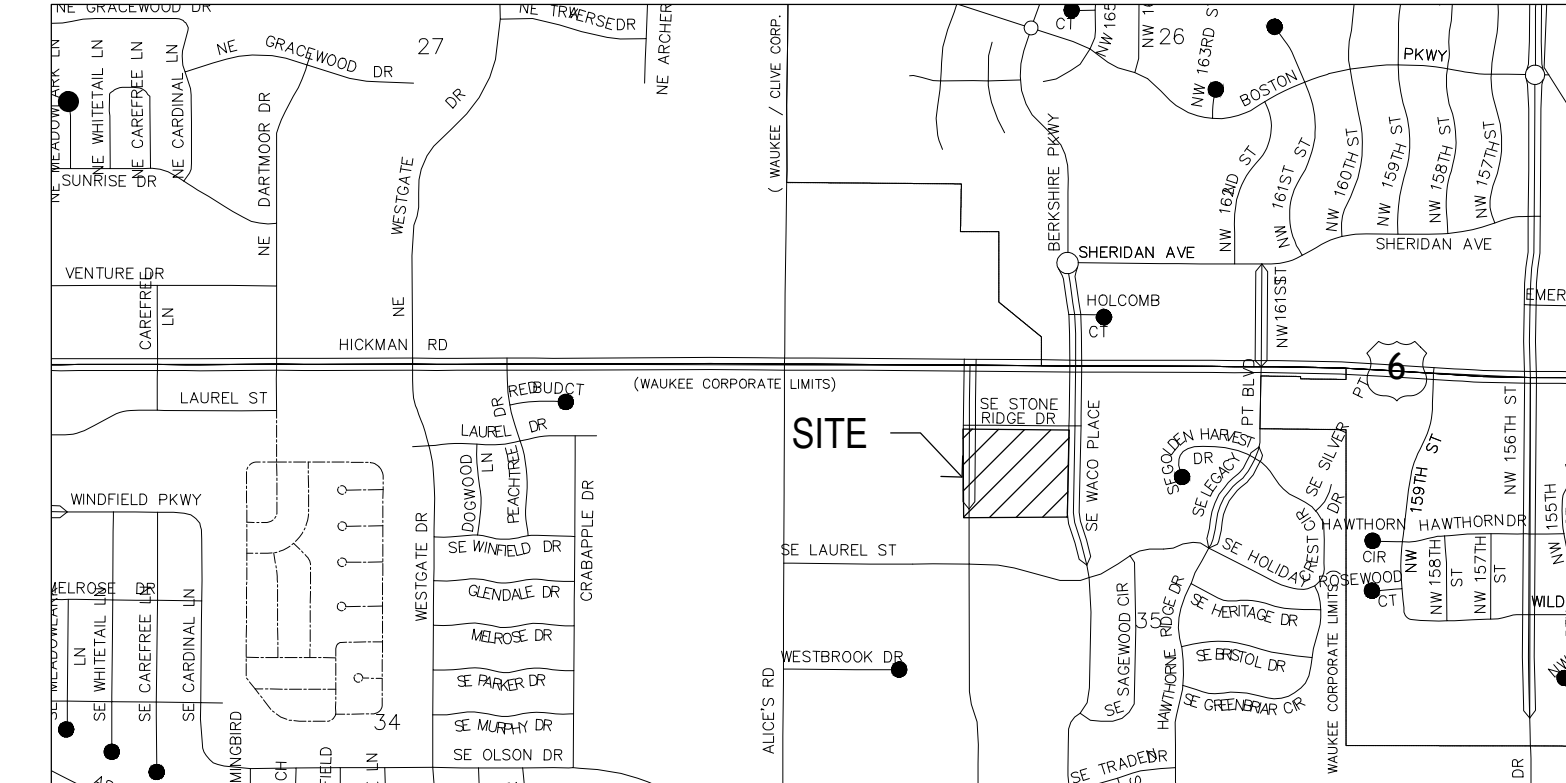
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STIVERS FORD PRO CENTER PROJECT SPECIFICATIONS, CITY OF WAUKEE SPECIFICATIONS AND SUDAS SPECIFICATIONS.
- FOR ANY DISCREPANCIES BETWEEN THE STIVERS FORD LINCOLN PROJECT SPECIFICATIONS AND THE CITY OF WAUKEE REQUIREMENTS AND SPECIFICATIONS, PLUMBING CODE, AND URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENT (2023 EDITION SUDAS), THE 2023 CITY OF WAUKEE STANDARD SPECIFICATIONS SHALL GOVERN.
- FOR ALL SPECIFICATION DISCREPANCIES, PROJECT ENGINEER SHALL BE CONTACTED PRIOR TO PROCEEDING WITH CONSTRUCTION. IF ENGINEER IS NOT CONTACTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PROBLEMS THAT RESULT FROM SAID DISCREPANCIES.
- FOR ALL SPECIFICATION DISCREPANCIES, CONTRACTOR MUST OBTAIN WRITTEN APPROVAL FROM THE CITY OF WAUKEE ENGINEERING DEPARTMENT FOR ANY CHANGES TO PROPOSED SITE INFRASTRUCTURE OR GRADES PRIOR TO PROCEEDING WITH ANY CHANGES.

STAKING NOTES:

- CONTRACTOR IS REQUIRED TO HAVE ALL STAKING DONE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR AND IN COORDINATION WITH THE PROJECT ENGINEER.
- CONTRACTOR IS REQUIRED TO HAVE ALL STAKING DONE DIRECTLY UNDER THE GENERAL CONTRACTOR BY A SINGLE COMPANY.
- STAKING DOES NOT RELIEVE CONTRACTOR OF ULTIMATE RESPONSIBILITY TO CONSTRUCT THE PROJECT PER PLAN.

EARTHWORK BALANCE NOTES:

- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY. CONTRACTOR RESPONSIBLE FOR MAKING THE SITE EARTHWORK BALANCE.
- THIS INCLUDES BUT IS NOT LIMITED TO TOPSOIL, POOR SOILS AND STRUCTURAL FILL NECESSARY TO MEET PROJECT PLANS AND SPECIFICATIONS.



VICINITY MAP
NOT TO SCALE

ISSUE #	ISSUE DATE	DESCRIPTION
04/06/2023	1ST CITY SUBMITTAL	
06/16/2023	2ND CITY SUBMITTAL	
	3RD CITY SUBMITTAL	

GENERAL CONTRACTOR ARCHITECT
 NEUMANN BROTHERS, INC. - DESIGNBUILT SOLUTIONS
 1435 OHIO STREET, DES MOINES, IOWA 50314
 Phone: (515) 243-0268 Fax: (515) 243-0106



1350 SE Stone Ridge Drive, Waukee, Iowa 50263

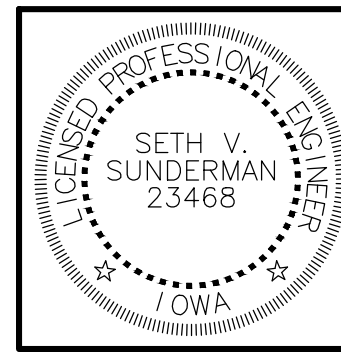
**STIVERS
FORD PRO CENTER**

ABBREVIATIONS:

- AC ACRES
- ASPH ASPHALT
- BK BOOK
- CONC CONCRETE
- D DEEDED DISTANCE
- EX EXISTING
- ENCL ENCLOSURE
- FF FINISHED FLOOR
- FL FLOW LINE
- FRAC FRACTIONAL
- M MEASURED DISTANCE
- MH MANHOLE
- OPC ORANGE PLASTIC CAP
- P PLATTED DISTANCE
- PG PAGE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRA PREVIOUSLY RECORDED AS
- PUE PUBLIC UTILITY EASEMENT
- ROW RIGHT OF WAY
- RPC RED PLASTIC CAP
- SF SQUARE FEET
- SAN SANITARY
- TYP TYPICAL
- YPC YELLOW PLASTIC CAP
- N NORTH
- S SOUTH
- E EAST
- W WEST
- SAN — SANITARY SEWER
- ST — STORM SEWER
- W — WATER LINE
- G — GAS LINE
- UE — UNDERGROUND ELECTRIC
- OE — OVERHEAD ELECTRIC
- TELE — TELEPHONE LINE
- FIO — FIBER OPTIC
- CATV — CABLE TV
- Ⓜ STORM MANHOLE
- Ⓤ CURB INTAKE
- Ⓢ SURFACE INTAKE
- Ⓦ FLARED END SECTION
- Ⓢ SANITARY MANHOLE
- Ⓢ CLEANOUT
- Ⓢ FIRE HYDRANT
- Ⓢ SPRINKLER
- Ⓢ IRRIGATION CONTROL VALVE
- Ⓢ WATER MANHOLE
- Ⓢ WELL
- Ⓢ WATER VALVE
- Ⓢ WATER SHUT OFF
- Ⓢ YARD HYDRANT
- Ⓢ ELECTRIC MANHOLE
- Ⓢ ELECTRIC METER
- Ⓢ ELECTRIC RISER
- Ⓢ ELECTRIC VAULT
- Ⓢ POWER POLE
- Ⓢ TRANSFORMER POLE
- Ⓢ LIGHT POLE
- Ⓢ ELECTRIC JUNCTION BOX
- Ⓢ ELECTRIC PANEL
- Ⓢ TRANSFORMER
- Ⓢ GROUND LIGHT
- Ⓢ GUY WIRE
- Ⓢ ELECTRIC HANDHOLE
- Ⓢ GAS METER
- Ⓢ GAS VALVE
- Ⓢ AIR CONDITIONING UNIT
- Ⓢ TELEPHONE RISER
- Ⓢ TELEPHONE VAULT
- Ⓢ TELEPHONE MANHOLE
- Ⓢ TRAFFIC SIGNAL MANHOLE
- Ⓢ FIBER OPTIC RISER
- Ⓢ FIBER OPTIC FAULT
- Ⓢ CABLE TV RISER
- Ⓢ SIGN
- ⑦ DENOTES NUMBER OF PARKING STALLS
- PROPERTY CORNER - FOUND AS NOTED
- PROPERTY CORNER- PLACED 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID #14775
- ⊙ SECTION CORNER - FOUND AS NOTED

SIGNED: SETH V. SUNDERMAN, P.E. 23468 DATE:

LICENSE RENEWAL DATE: DEC. 31, 2023
 PAGES OR SHEETS COVERED BY THIS SET: C0.1, C1.1, C2.1, C3.1, C4.1, C6.1, C6.2 & C7.1



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COVER SHEET

C0.1



UTILITY MAPS PROVIDED BY:

- ELECTRIC (MIDAMERICAN / (515) 252-6972)
- STORM AND SANITARY (CITY OF WAUKEE / (515) 978-7920)
- WATER & GAS (CITY OF WAUKEE / (515) 978-7920)
- FIBER OPTIC (AURICON / (515) 330-0445)
- FIBER OPTIC (CENTURYLINK / (918) 547-0147)
- FIBER OPTIC (UNITE PRIVATE NETWORKS / (816) 425-3556)
- TELEPHONE (MEDIACOM / (515) 246-6668)

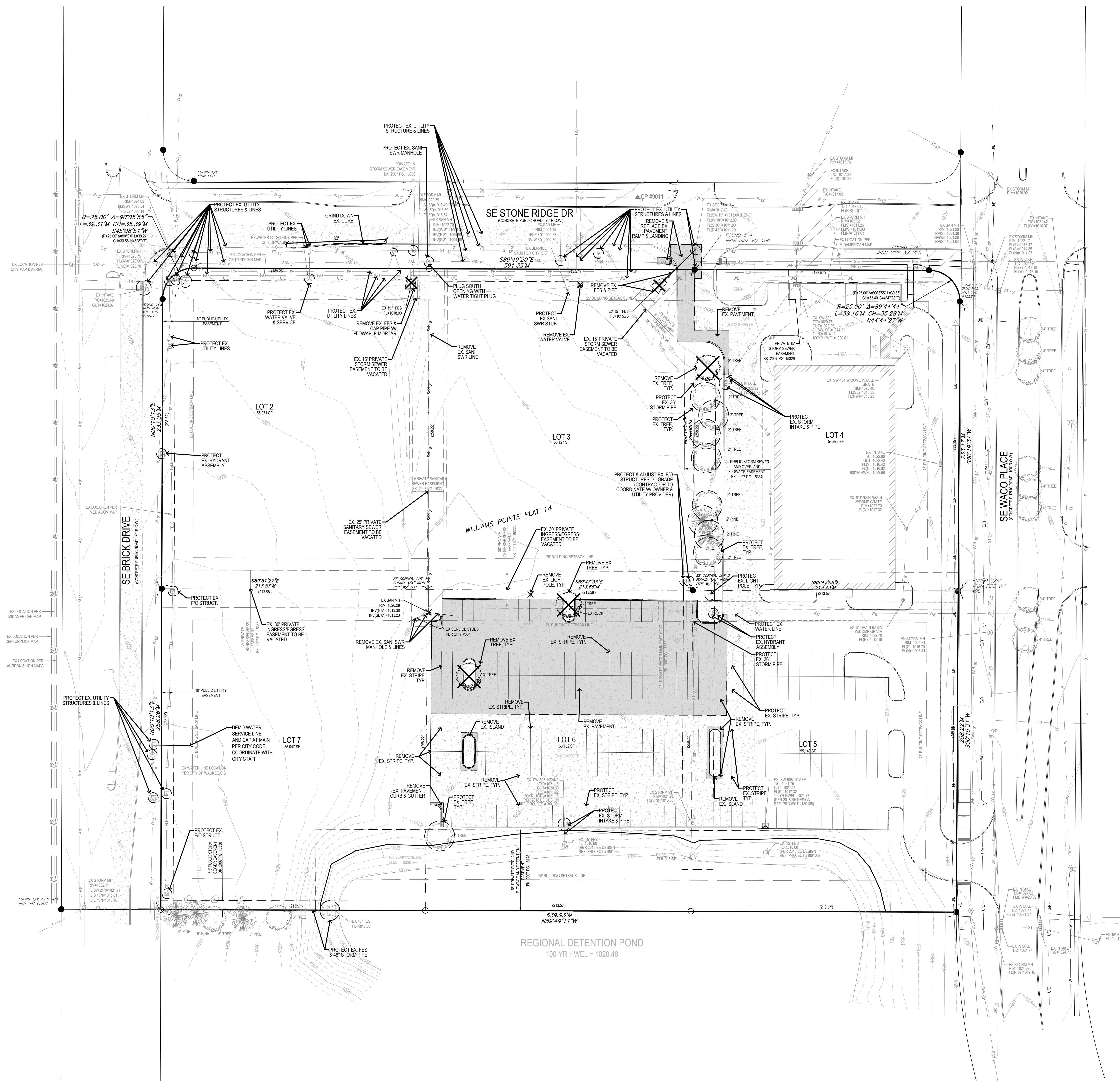
UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT, A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

- DEMO NOTES:**
1. SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
 2. PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE GRIP LINE.
 3. PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.
 4. CONTRACTOR TO LOCATE AND VERIFY ALL EXISTING UTILITY LOCATIONS AND DEPTH ON SITE PRIOR TO CONSTRUCTION AND CONTACT ENGINEER/OWNER IF DIFFERENT FROM PLANS OR IN CONFLICT WITH CONSTRUCTION ACTIVITIES.
 5. CONTRACTOR TO COORDINATE PERMITTING, SIGNAGE AND LANE CLOSURE WITH CITY AS REQUIRED FOR WORK WITHIN RIGHT OF WAY PRIOR TO START OF CONSTRUCTION.
 6. CONTRACTOR TO PROTECT ALL UTILITIES, PAVEMENTS AND STRUCTURES THAT ARE NOT SCHEDULED FOR REMOVAL. CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY DAMAGED UTILITIES, PAVEMENTS, AND STRUCTURES NOT SCHEDULED FOR REMOVAL PER CITY/OWNER SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.
 7. CONTRACTOR TO REMOVE EXISTING TEMPORARY GRANULAR SURFACE AND UNSUITABLE MATERIALS WITHIN REMOVAL LIMITS SHOWN AND HAUL OFF TO AN APPROVED LOCATION.
 8. CONTRACTOR TO COORDINATE WITH OWNER FOR SALVAGING & STORING MATERIALS AT A LOCATION DESIGNATED BY THE OWNER.
 9. CONTRACTOR TO COORDINATE WITH UTILITY OWNERS AND MEP FOR ANY REQUIRED RELOCATION OR ADJUSTMENT OF EXISTING FIBER, ELECTRIC AND GAS LINES AS NEEDED TO AVOID CONFLICT WITH CONSTRUCTION ACTIVITIES AND IMPROVEMENTS.
 10. THIS PROJECT INCLUDES SAWCUTTING OR CONCRETE GRINDING SO PROTECTION OF STORM SEWERS AND DRAINAGE WAYS WILL NEED TO BE PROVIDED FROM SLURRY FROM THE CONCRETE OPERATIONS TO DISCHARGE OFFSITE. SEE SWPPP SHEET AND NARRATIVE FOR ADDITIONAL DETAILS.

DEMO LEGEND:

- DENOTES REMOVAL
- DENOTES PROTECTION
- PAVEMENT REMOVAL LIMITS



ISSUE #	ISSUE DATE	DESCRIPTION
0111/2023	1ST CITY SUBMITTAL	
04/06/2023	2ND CITY SUBMITTAL	
06/16/2023	3RD CITY SUBMITTAL	

GENERAL CONTRACTOR ARCHITECT
 NEUMANN BROTHERS, INC. - DESIGNBUILD SOLUTIONS
 1425 Grand Ave., Suite 100
 Phone: (515) 243.0258 Fax: (515) 243.0105

ISSUE #	ISSUE DATE	DESCRIPTION
0111/2023	1ST CITY SUBMITTAL	
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STIVERS
FORD PRO CENTER
 1350 SE Stone Ridge Drive, Waukee, Iowa 50263

EX. CONDITIONS & DEMO PLAN

C1.1

- GENERAL NOTES:**
- CONTRACTOR TO PROVIDE GRADATION TESTING FOR EVERY 200 TONS OF GRANULAR MATERIAL DELIVERED TO THE SITE. GRADATION TESTING IS TO BE CONDUCTED AND REVIEWED BY GEOTECHNICAL FIRM PRIOR TO GRANULAR MATERIAL BEING INSTALLED.
 - GEOTECHNICAL REPORT FOR SITE WAS NOT PROVIDED BY OWNER.
 - THE DESIGN AND SPECIFICATIONS IN THE APPROVED CONSTRUCTION DOCUMENTS ARE BASED ON TYPICAL CONDITIONS AND ARE NOT BASED ON RECOMMENDATIONS FROM SITE SPECIFIC GEOTECHNICAL REPORT.
 - THE RECOMMENDED DESIGN AND SPECIFICATIONS HAVE BEEN APPROVED BY THE OWNER.
 - ANY RECOMMENDATIONS MADE BY THE OWNERS SELECTED GEOTECHNICAL FIRM SHALL GOVERN.
 - IF GRANULAR MATERIAL ARE INSTALLED THAT DO NOT MEET THE OWNERS SELECTED GEOTECHNICAL FIRM SPECIFICATIONS, THE CONTRACTOR, SHALL AT THEIR OWN EXPENSE, REMOVE AND REPLACE THE DEFICIENT GRANULAR MATERIAL PER SPECIFICATION.
 - ALL SIGNAGE SHALL RECEIVE SEPARATE APPROVALS WITH A SIGNED PERMIT APPLICATION FROM THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT.
 - ALL BIOTENTION CELLS ARE TO BE CONSTRUCTED ONLY AFTER ALL OTHER CONSTRUCTION ITEMS ARE COMPLETE. SEDIMENT PROTECTION WILL BE REQUIRED IF IMMEDIATE UPSTREAM PROTECTION IS NOT ABLE TO BE COMPLETED.

- PAVEMENT & ASPHALT PLACEMENT NOTES:**
- CONTRACTOR TO CONNECT TO EXISTING PCC PAVEMENTS WITH IOWA SUDAS TYPICAL BT JOINT.
 - CONTRACTOR TO REPLACE PCC PAVEMENTS FOR STORM SEWER INSTALLATION PER SUDAS.
 - CONTRACTOR TO REPLACE PAVEMENTS WITH A MINIMUM THICKNESS THAT IS 1" GREATER THAN THE EXISTING PAVEMENT THICKNESS.

- BUILDING & STRUCTURAL NOTES:**
- SEE FINAL ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS.
 - CONTRACTOR TO REFER TO ARCHITECTURAL PLANS FOR DETAILED BUILDING CONSTRUCTION INFORMATION.
 - CONTRACTOR TO REFER TO STRUCTURAL PLANS FOR DETAILED BUILDING FOUNDATION AND STOOP LOCATIONS AND DETAILED CONSTRUCTION INFORMATION.

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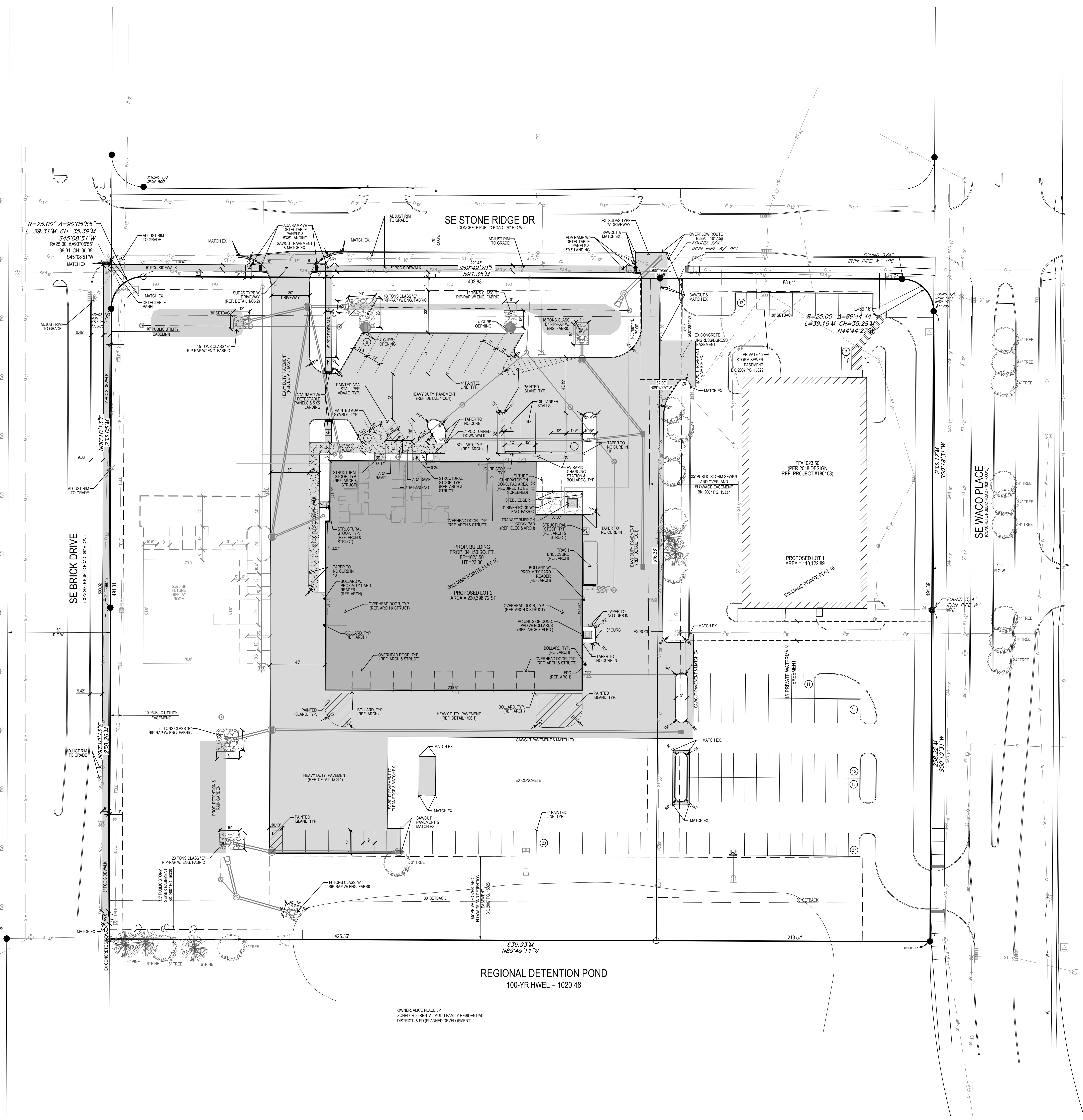
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ISSUE #	ISSUE DATE	DESCRIPTION
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GENERAL CONTRACTOR ARCHITECT
NEUMANN BROTHERS, INC. - DESIGNBUILD SOLUTIONS
1426 Grand Ave., Waukegan, IL 60087
Phone: (815) 243.0250 Fax: (815) 243.0185

OWNER: ALICE PLACE LP
ZONED: R3 (RESIDENTIAL MULTI-FAMILY RESIDENTIAL DISTRICT) & PD (PLANNED DEVELOPMENT)

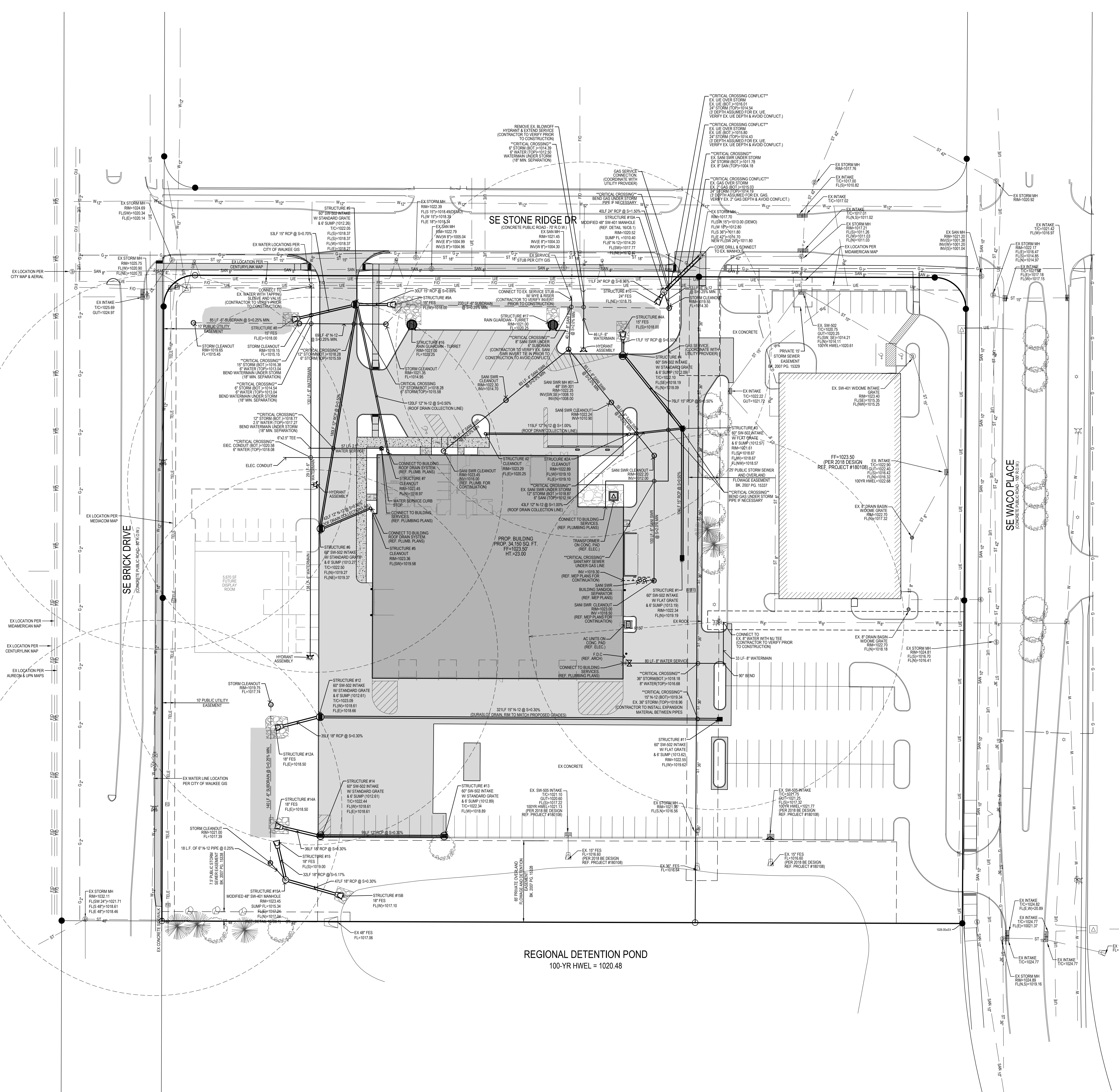
STIVERS FORD PRO CENTER

1350 SE Stone Ridge Drive, Waukees, Iowa 50263

LAYOUT PLAN
C2.1

- UTILITY NOTES:**
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
 2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER UNLESS NOTED OTHERWISE.
 3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
 4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
 5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
 6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
 7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
 8. ALL NYLON PLAST BASINS SHALL HAVE CASTINGS SECURELY FASTENED TO THE BASIN BODY, AND ALL GRATES SHALL BE BOLTED DOWN TO THE CASTINGS.
 9. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAIN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
 10. ALL SW-505 & SW-501 STRUCTURES TO USE SW-603 TYPE R CASTINGS.
 11. ALL ROOF DRAINS TO TIE INTO PROPOSED STORM WATER NETWORK AND WILL NOT DAYLIGHT.

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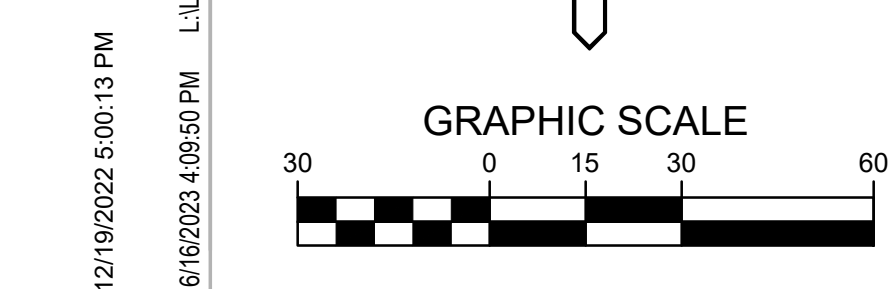


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GENERAL CONTRACTOR ARCHITECT
NEUMANN BROTHERS, INC. - DESIGNBUILT SOLUTIONS
1425 Grand Ave., Waukesha, WI 53186
Phone: (262) 533-2200 Fax: (262) 533-2410

STIVERS
FORD PRO CENTER
1350 SE Stone Ridge Drive, Waukesha, Iowa 50263

UTILITY PLAN
C4.1



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LANDSCAPE NOTES:

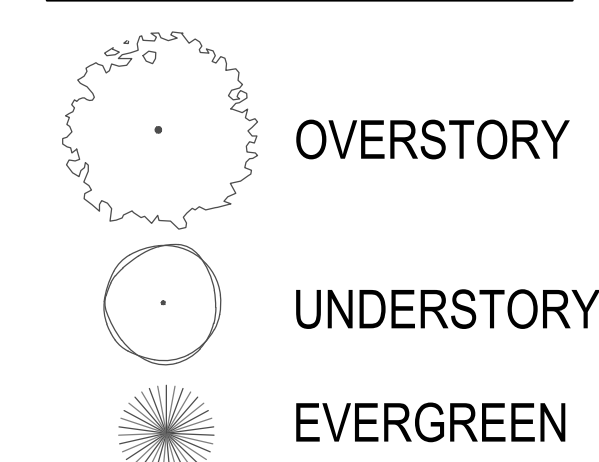
1. ALL SOODING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
2. SOO ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS (INCLUDING RIGHT OF WAY) UNLESS NOTED OTHERWISE.
3. PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
4. ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
5. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
6. IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
7. CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED. DO NOT PLACE MULCH AROUND PLANTS WITHIN ROCK LANDSCAPE BEDS.
8. STAKE AND WRAP ALL DECIDUOUS TREES IMMEDIATELY AFTER PLANTING. STAKE ALL TREES ACCORDING TO THE STAKING DETAILS. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD.
9. THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
10. NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT. ANY SUBSTITUTIONS SHALL REQUIRE APPROVAL FROM THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT.
11. CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
12. ALL EDGING SHALL BE DURAEDEGE 1/8" STEEL EDGING - COLOR BLACK, OR APPROVED EQUAL.
13. ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL INCORPORATE TYPAR 3301 NONWOVEN LANDSCAPE FABRIC (OR SIMILAR) AND 3" THICK LAYER OF WASHED RIVER ROCK (1.5" NOMINAL SIZE).
14. ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER ROCK IS INSTALLED.

SITE LANDSCAPE REQUIREMENTS

TOTAL SQUARE FOOTAGE OF TOTAL SITE AREA	220,399 SF
REQUIRED OPEN SPACE(20%)	44,080 SF
GENERAL OPEN SPACE REQUIREMENT	
TOTAL REQUIRED TREES (1 PER 1000 SF OF REQUIRED OPEN SPACE	44
85% MUST BE OVER STORY TREES	22 MINIMUM
TOTAL REQUIRED SHRUBS (1 PER 1000 SF OF REQUIRED OPEN SPACE)	44
TOTAL PLANTINGS PROPOSED	
OVERSTORY	24
UNDERSTORY	5
EVERGREEN	13
TOTAL	38
PARKING PERIMETER (SE STONE RIDGE DRIVE)	
TOTAL LENGTH OF LOT	108 LNFT
TOTAL REQUIRED TREES (1 PER 40 LNFT)	3

NOTE: ONE EXISTING OVERSTORY TREE (GINKGO) IS BEING REMOVED AT THE NORTH END OF THE DIVIDING ISLAND BETWEEN THE TWO SITES. THIS TREE IS BEING REPLACED AT THE SOUTH END OF THE ISLAND. NO OTHER EXISTING TREES FROM THE PREVIOUSLY APPROVED SITE PLAN ARE BEING REMOVED.

EXISTING PLAN LEGEND

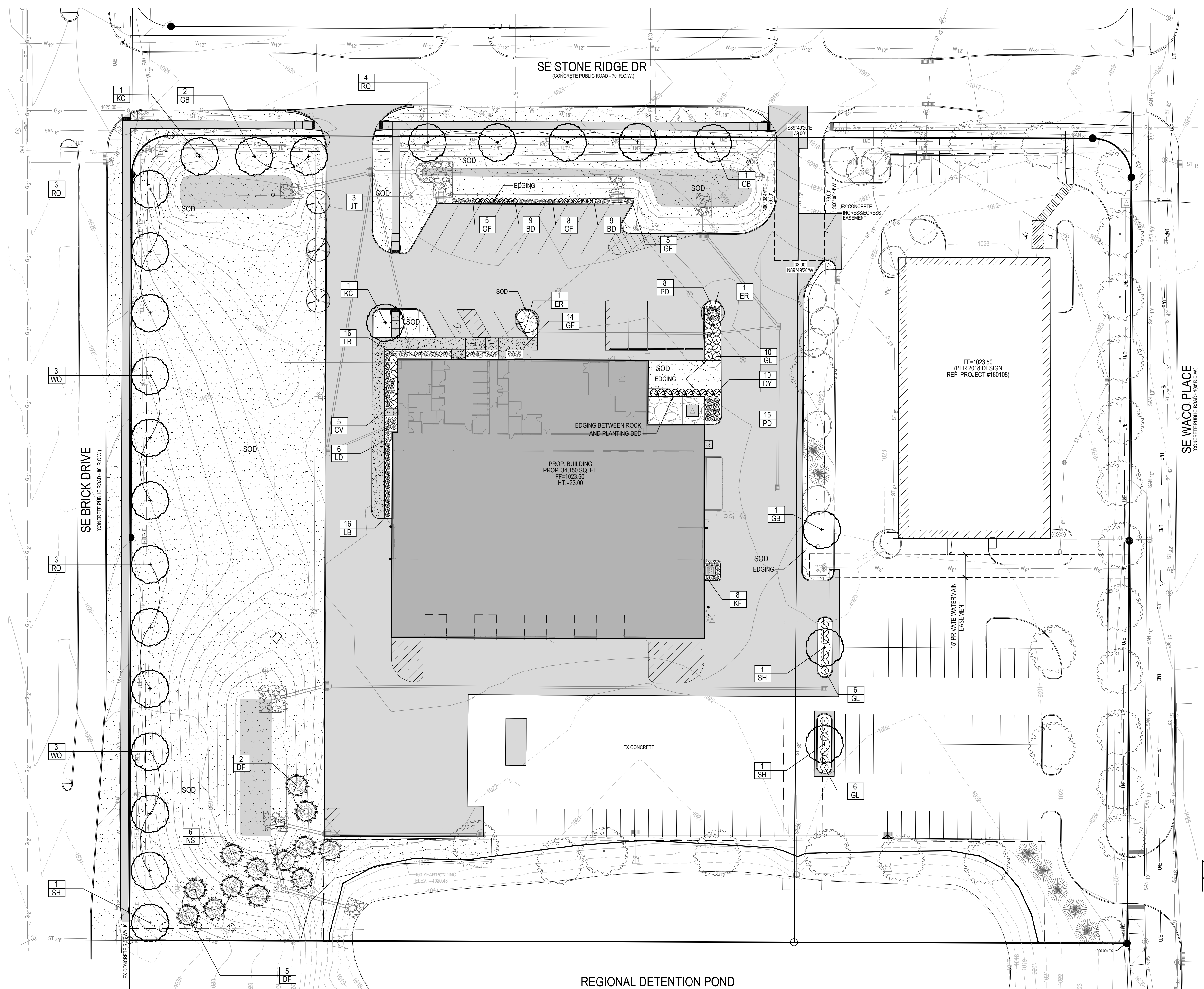


PLANTING SCHEDULE

CODE	QUAN	COMMON NAME	LATIN NAME	OVERSTORY TREES	SIZE	ROOT	NOTES
GB	4	GINKGO	GINKGO BIL OBA		2' CAL	B&B	MATCHED SPECIMENS
KC	2	KENTUCKY COFFEETREE	GYMNOCLADUS DIOICUS		2' CAL	B&B	MATCHED SPECIMENS
SH	3	SKYLINE HORNEDLOCUST	GLEDITSIA TRICANTHOS INERMIS 'SKYLINE'		2' CAL	B&B	MATCHED SPECIMENS
RO	10	RED OAK	QUERCUS RUBRA		2' CAL	B&B	MATCHED SPECIMENS
WO	6	WHITE OAK	QUERCUS ALBA		2' CAL	B&B	MATCHED SPECIMENS
EVERGREEN TREES							
DF	9	DOUGLAS FIR	PSEUDOTSUGA MENZIESII		6'	B&B	FULL FORM TO GROUND
NS	4	NORWAY SPRUCE	PICEA ABIES		6'	B&B	FULL FORM TO GROUND
UNDERSTORY TREES							
JT	3	JAPANESE TREE LILAC	SYRINGA RETICULARA		1.5' CAL	B&B	MATCHED SPECIMENS
ER	2	EASTERN REDBUD	CERCIS CANADENSIS		1.5' CAL	B&B	MATCHED SPECIMENS
SHRUBS							
DY	10	DWARF YEW	TAXUS MEDIA DENSIFORMIS		#5	CONT	FULL FORM - MATCHED
BD	18	BROWN DWARF FORSYTHIA	FORSYTHIA X BROWN DWARF		#5	CONT	FULL FORM - MATCHED
CV	5	COMPACT YBURNUM	YBURNUM TILICURIA COMPACTA		#5	CONT	FULL FORM - MATCHED
GF	32	GOLD FLAME SPREA	SPRAEA BURNALDA 'GOLDFLAME'		#5	CONT	FULL FORM - MATCHED
LD	6	LITTLE DEVIL NINEBARK	PHYSCARPUS OPULOFOLIUS 'LITTLE DEVIL'		#3	CONT	FULL FORM - MATCHED
GL	22	GROW LOW SUMAC	RHUS AROMATICA 'GROW LOW'		#5	CONT	FULL FORM - MATCHED
ORNAMENTAL GRASSES							
PD	23	PRARIE DROPSIED	SPOROBOLUS HETEROLEPSIS		#1	CONT	FULLY ROOTED IN CONTAINER
LB	42	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARIUM		#1	CONT	FULLY ROOTED IN CONTAINER
KF	6	KARL FOERSTER FEATHER REED GRASS	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER'		#1	CONT	FULLY ROOTED IN CONTAINER

NOTE: AT TIME OF PLANTING OVERSTORY TREES MUST BE A MINIMUM OF 8' HEIGHT, ORNAMENTAL AND EVERGREEN TREES MUST BE A MINIMUM OF 6' HEIGHT.

SOD: PROVIDE AND INSTALL SOD FROM LOCAL SUPPLIERS. AREAS TO BE SOODED MUST BE FREE OF ALL CONSTRUCTION DEBRIS AND ANY DIRT CLUMPS OVER 1" IN DIAMETER. THOROUGHLY WATER SOD UPON INSTALLATION. CONTRACTOR TO MAINTAIN WATERING UNTIL SOD IS ESTABLISHED (ROOTS KNITTED INTO SUBSURFACE)



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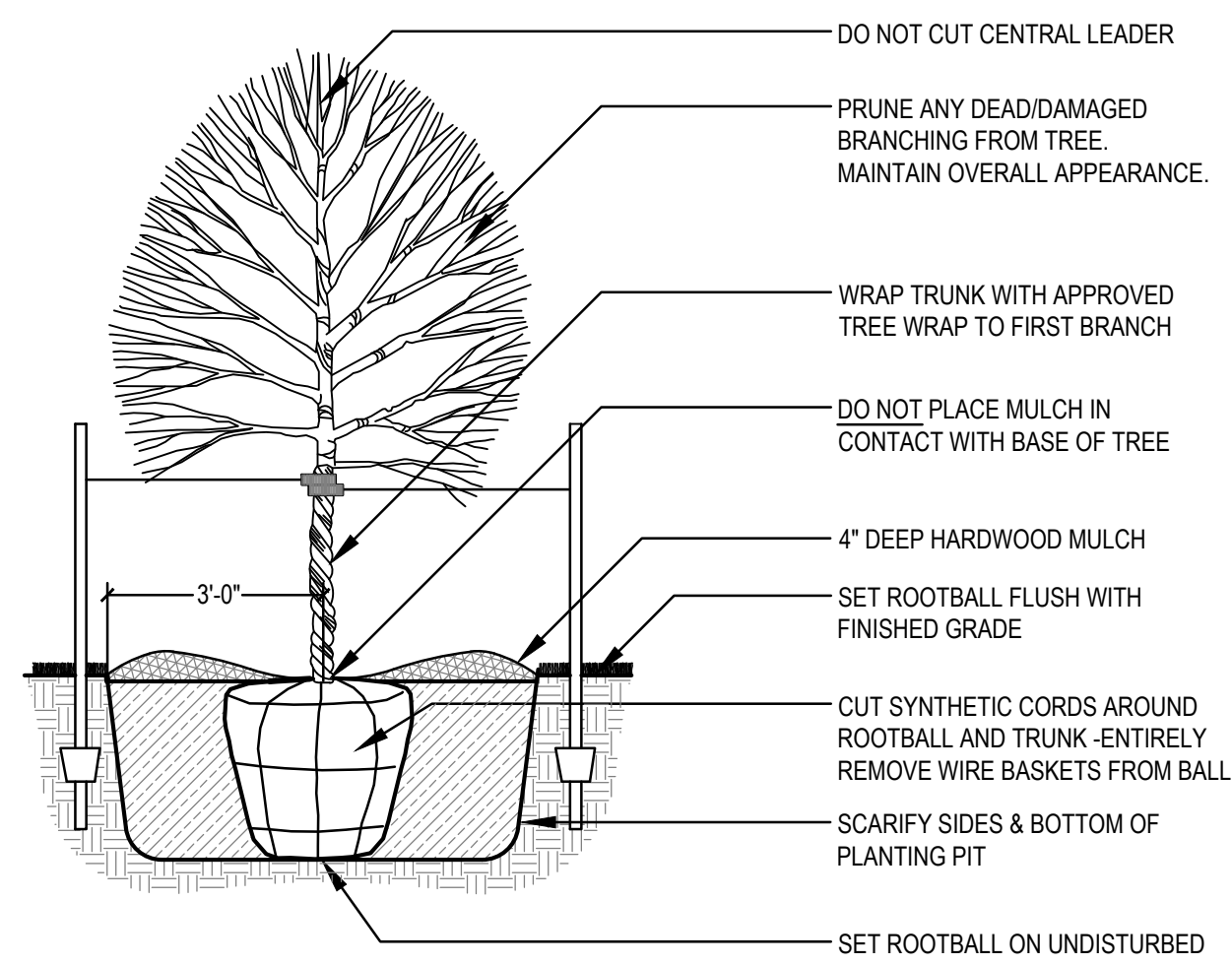
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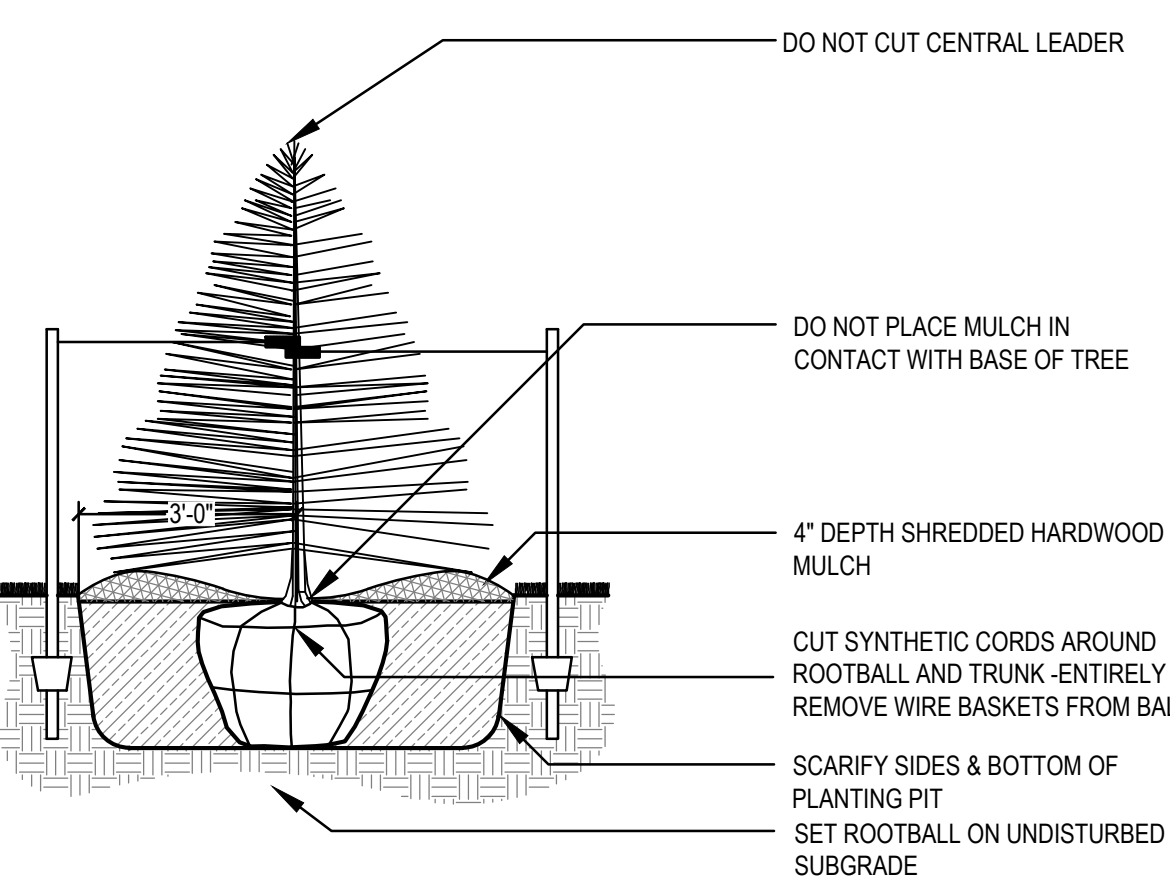
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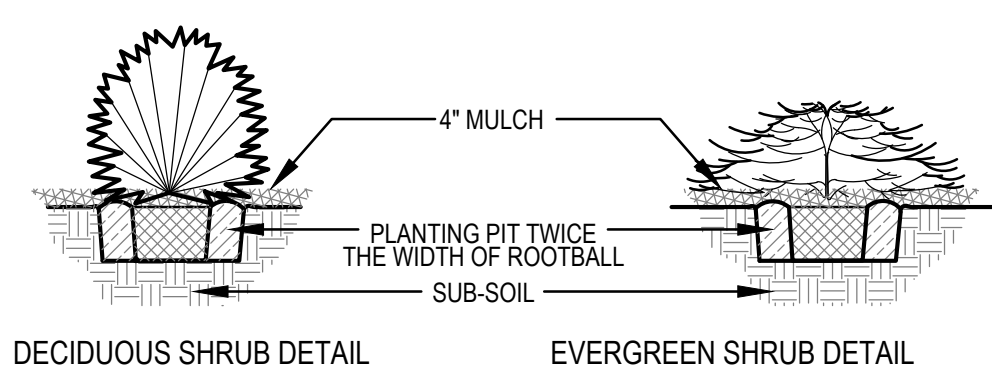
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DECIDUOUS TREE PLANTING (TYP.)
SCALE: NOT TO SCALE



EVERGREEN TREE PLANTING (B&B)
SCALE: NOT TO SCALE



SHRUB PLANTING (TYP.)
SCALE: NOT TO SCALE

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NEUMANN BROTHERS, INC. - DESIGNBUILD SOLUTIONS
1425 Grand Ave. | Waukegan, IL 60087-1515
Phone: (815) 263-0258 | Fax: (815) 263-0106

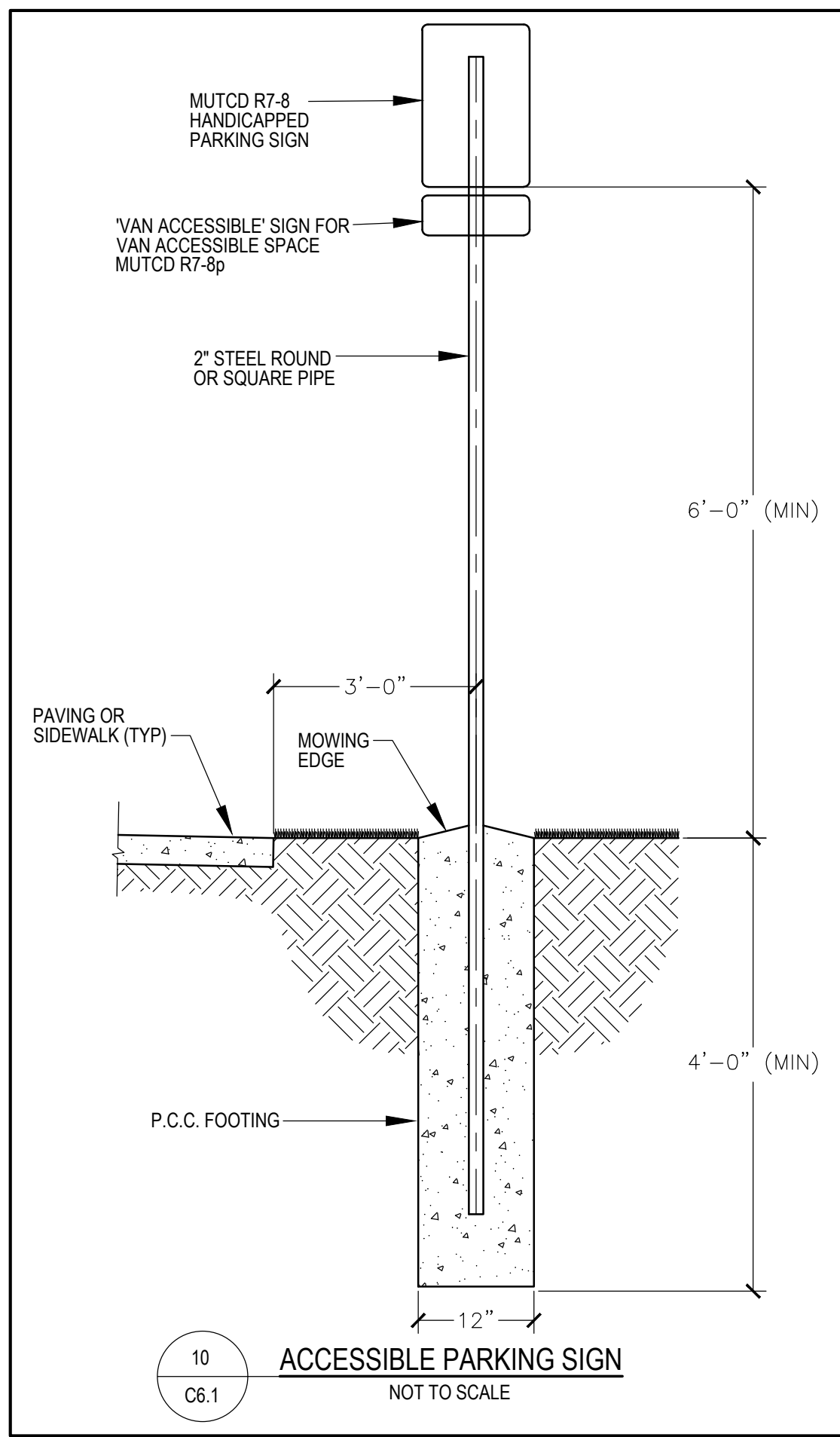
neumann
Solutions since 1971

DESIGNBUILD
SOLUTIONS

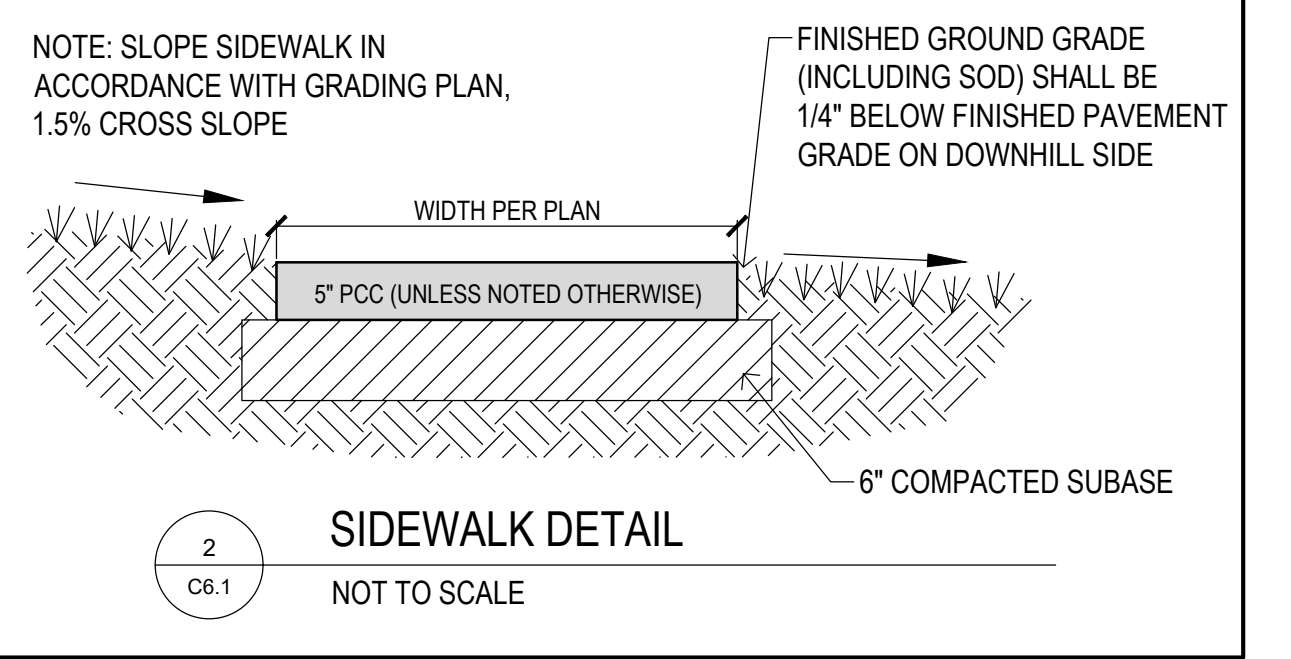
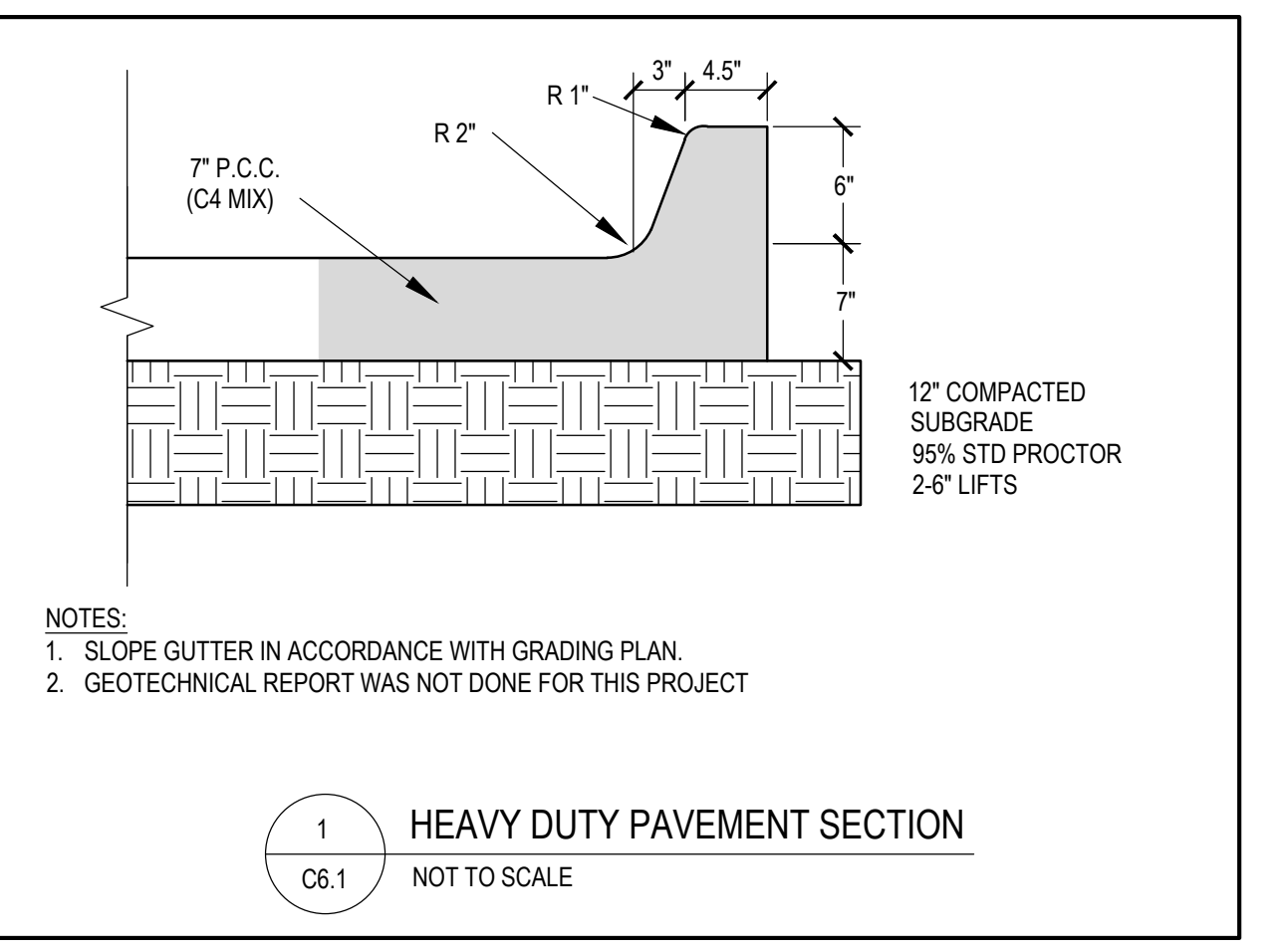
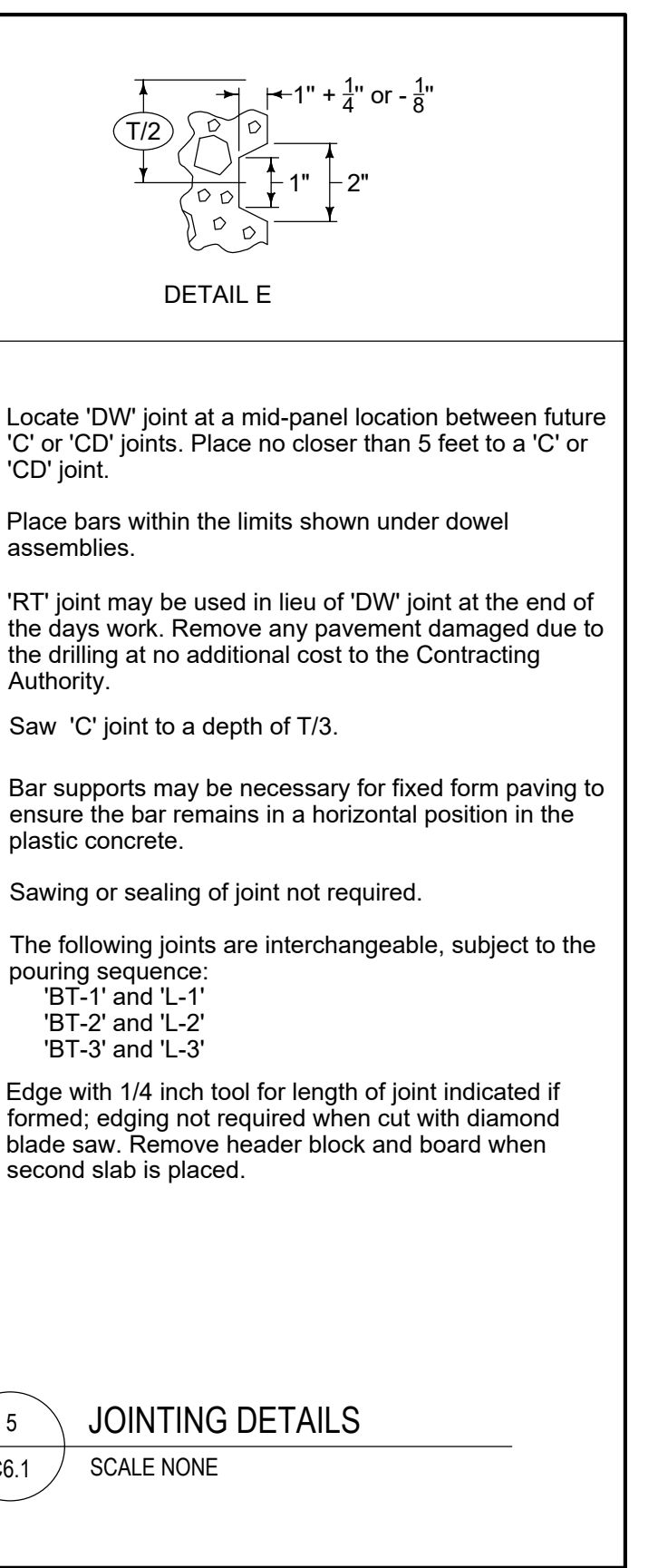
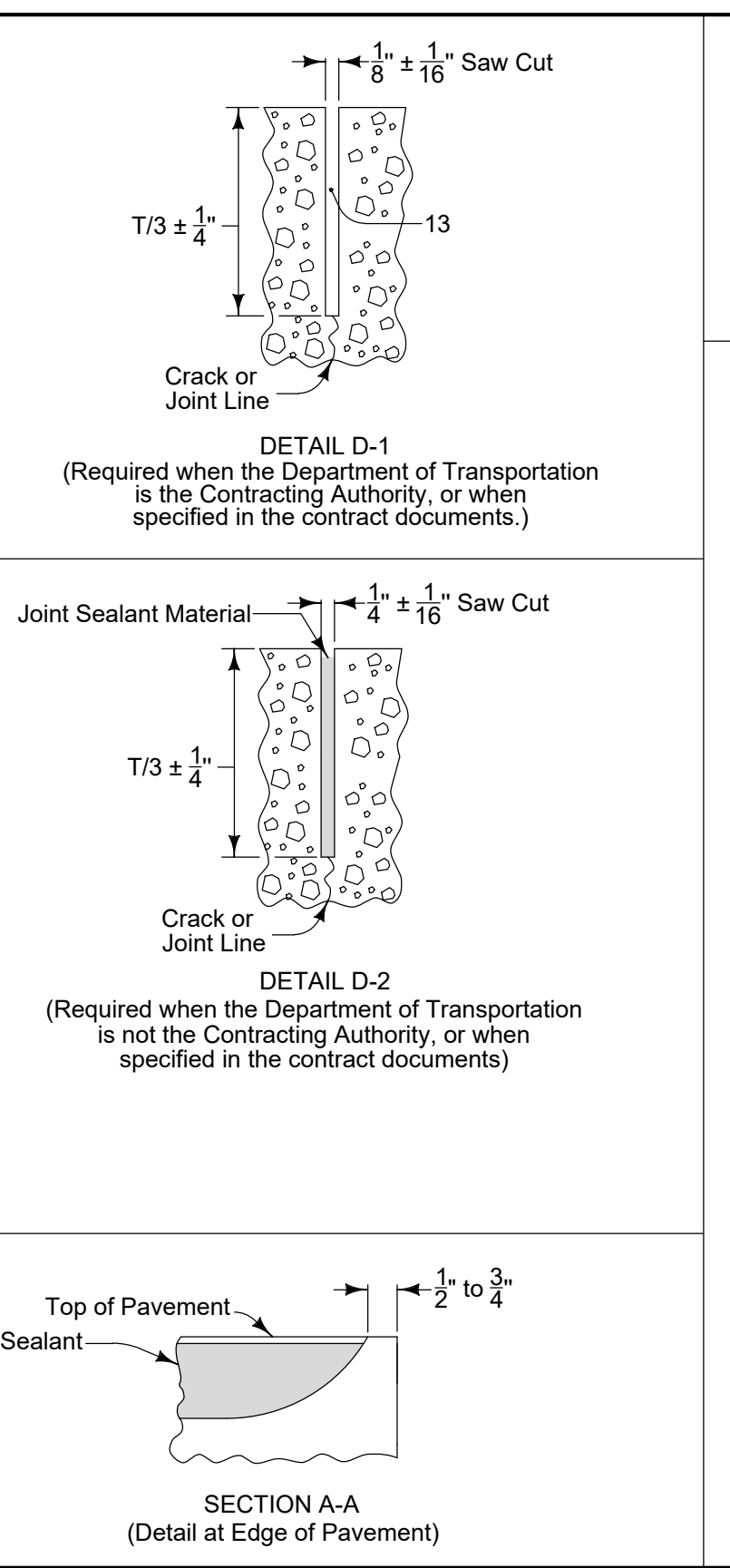
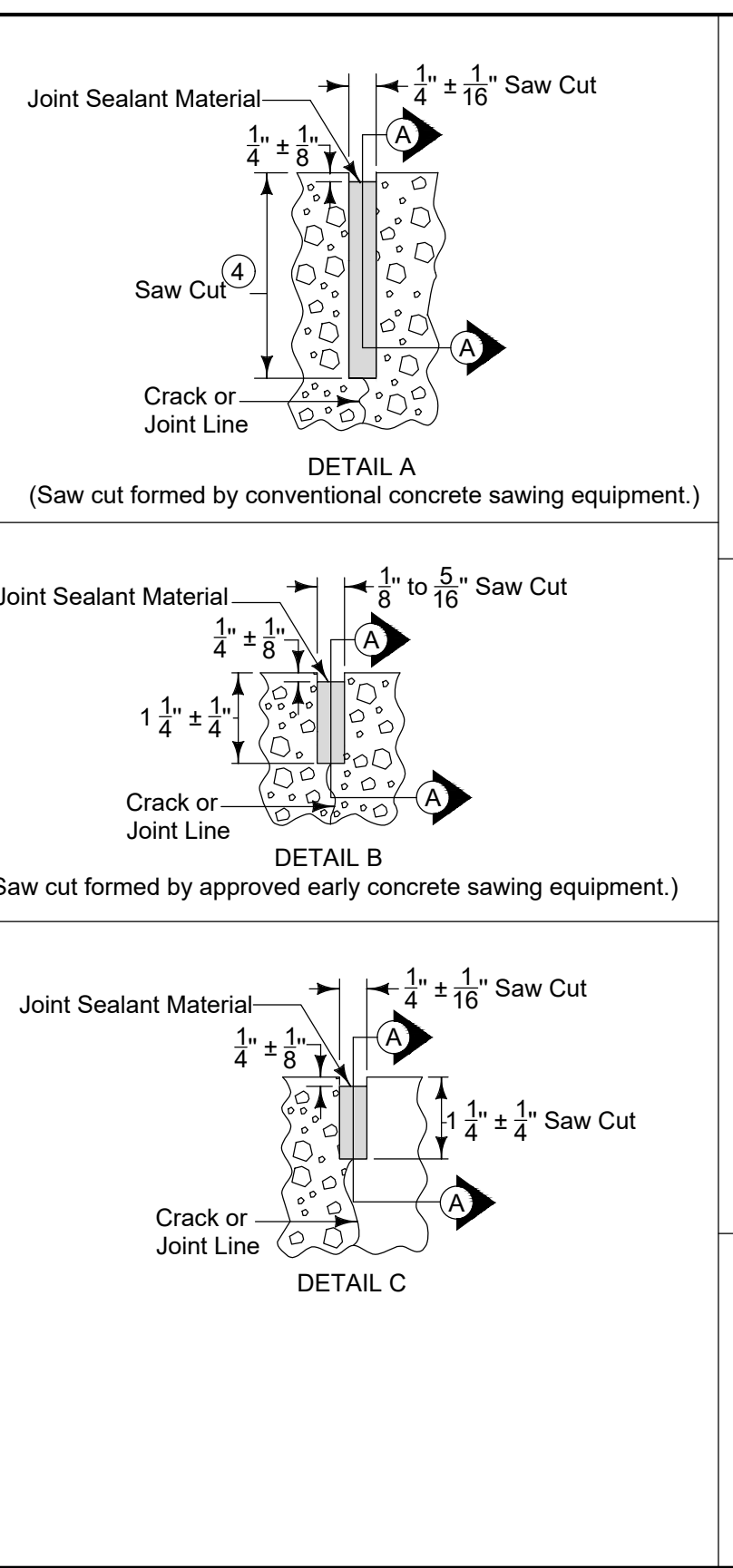
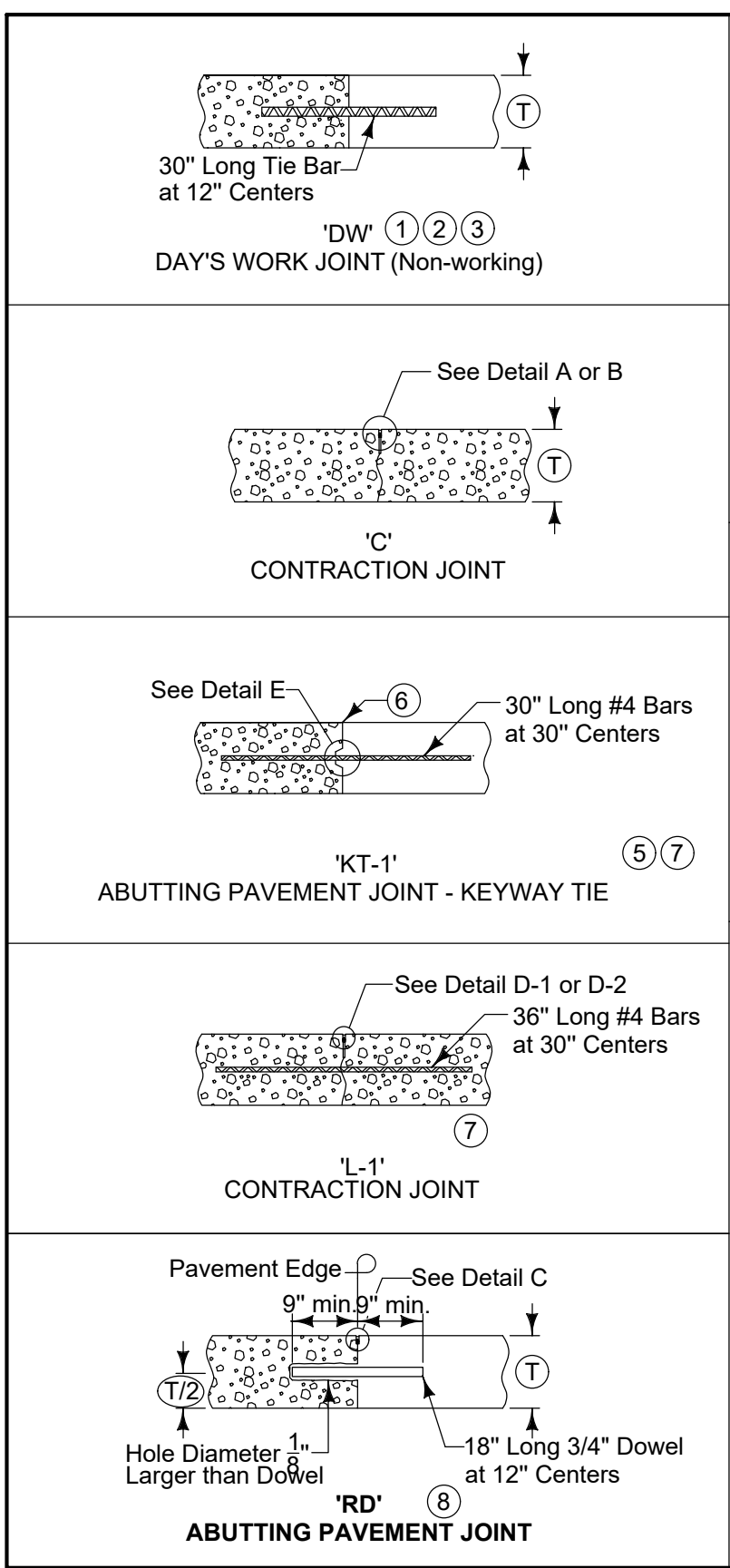
STIVERS
FORD PRO CENTER
1350 SE Stone Ridge Drive, Waukegan, Iowa 50263

LANDSCAPE PLAN
C5.1

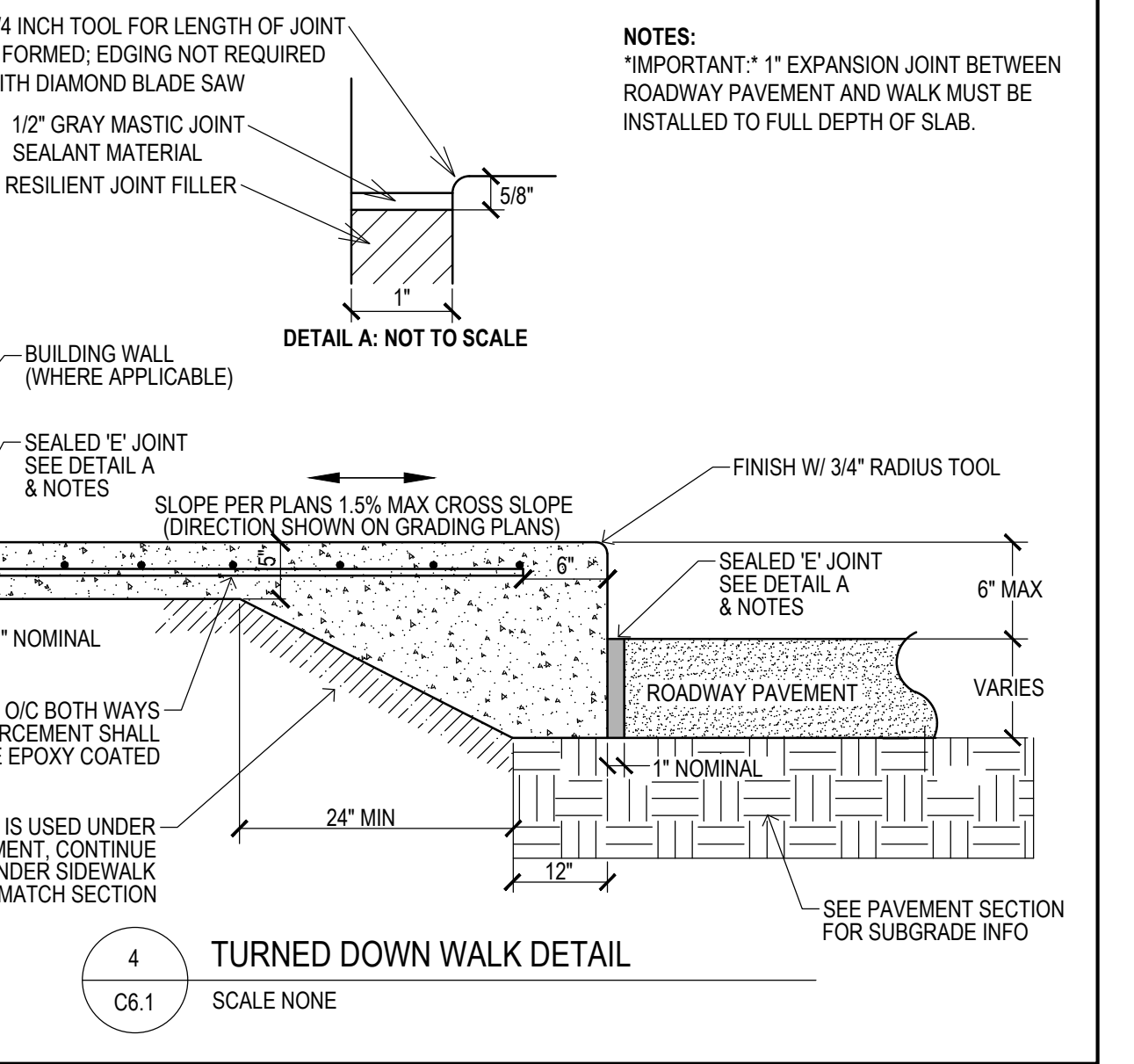
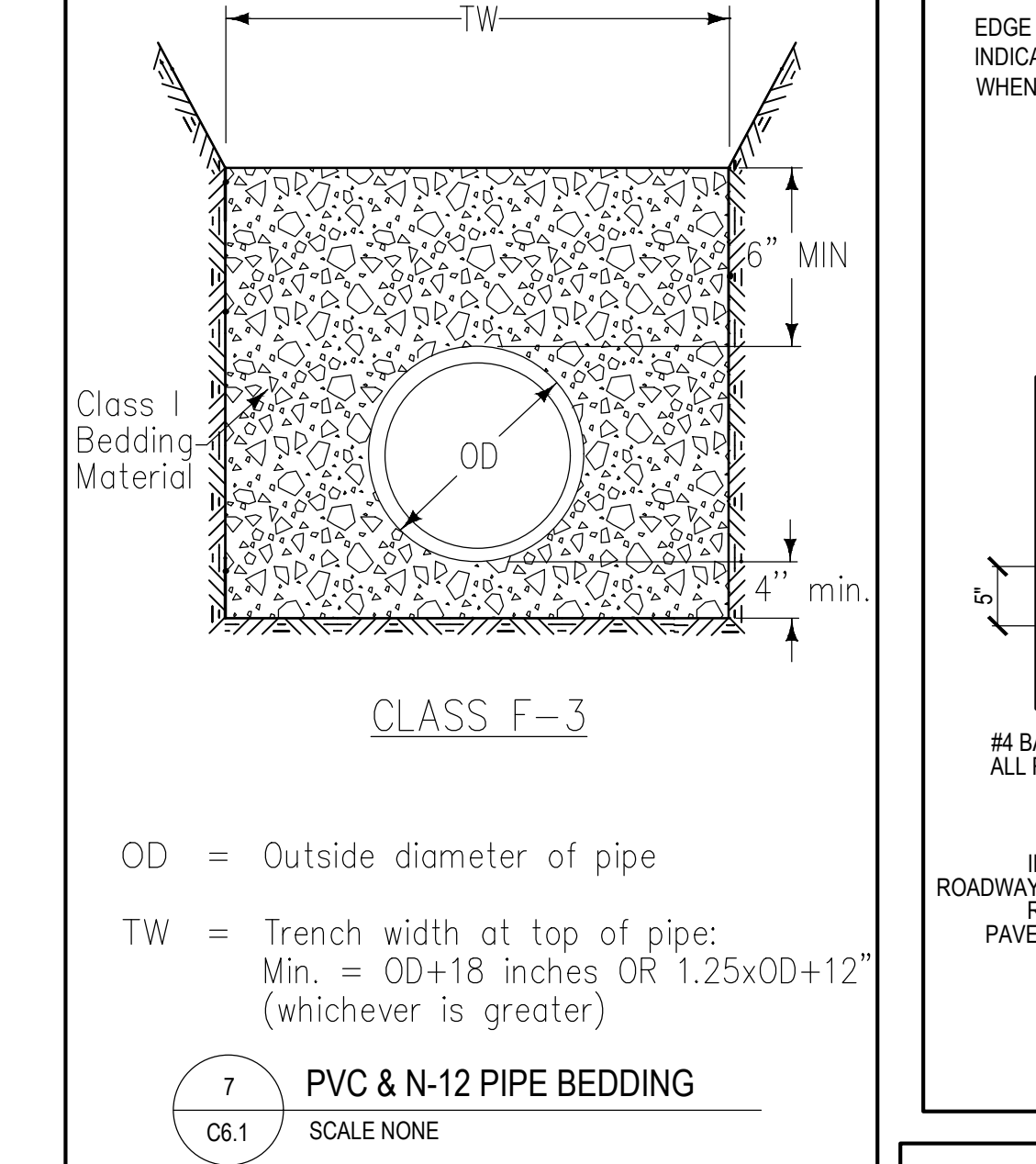
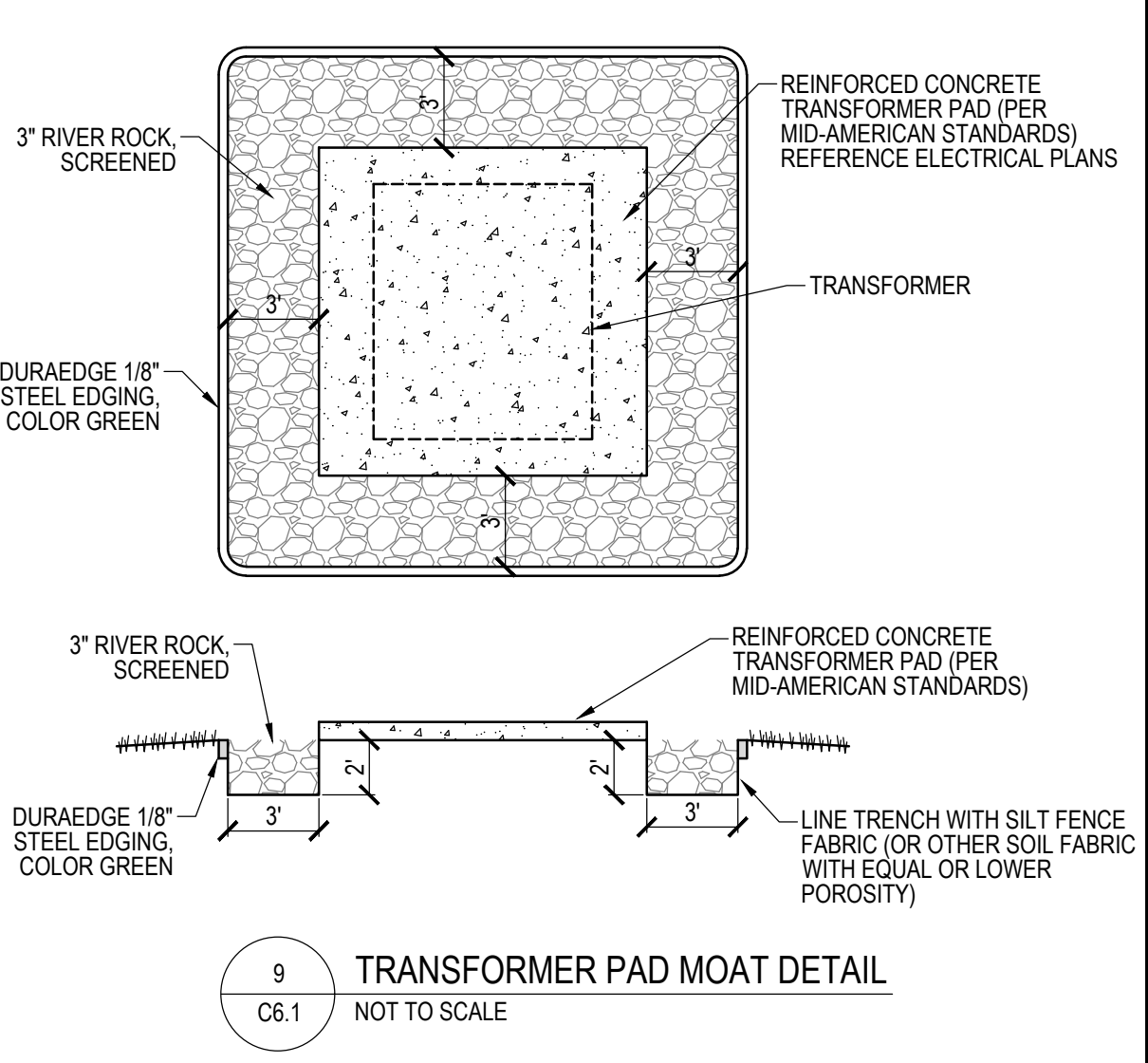
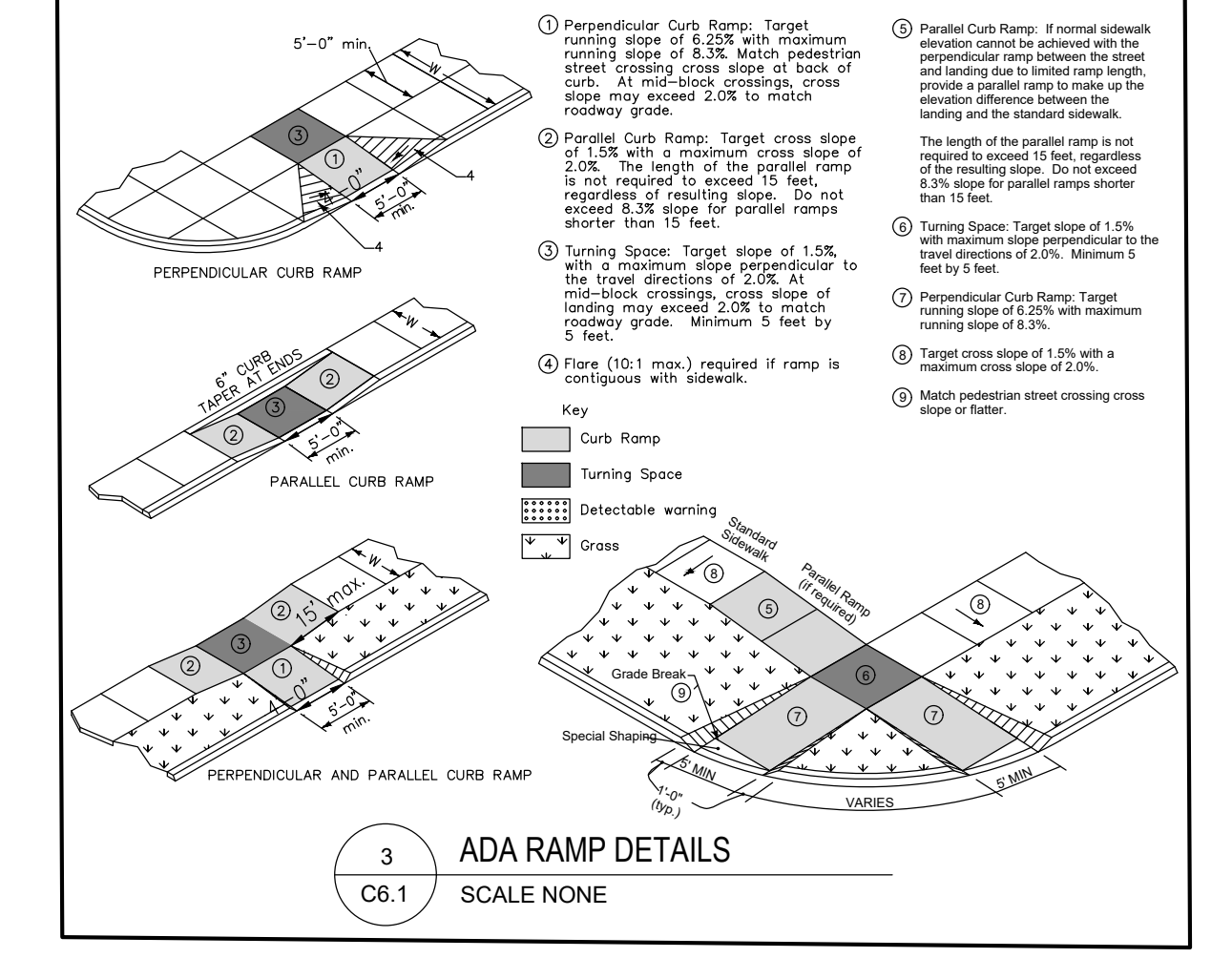
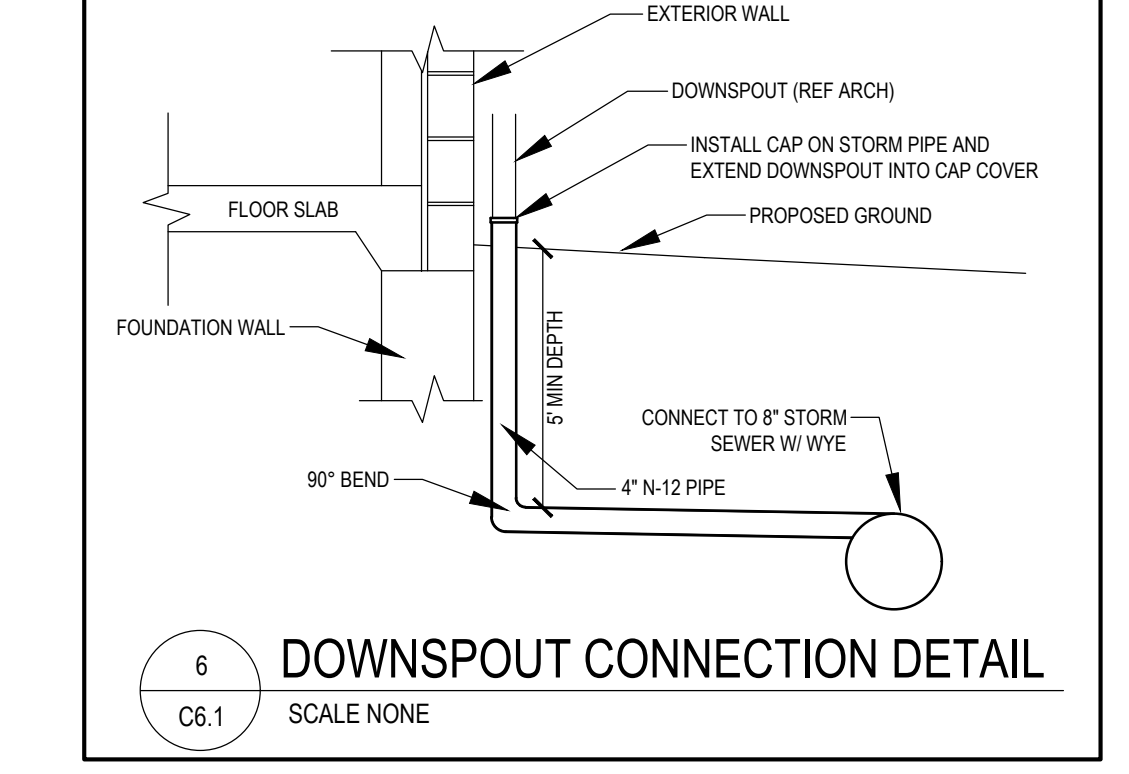
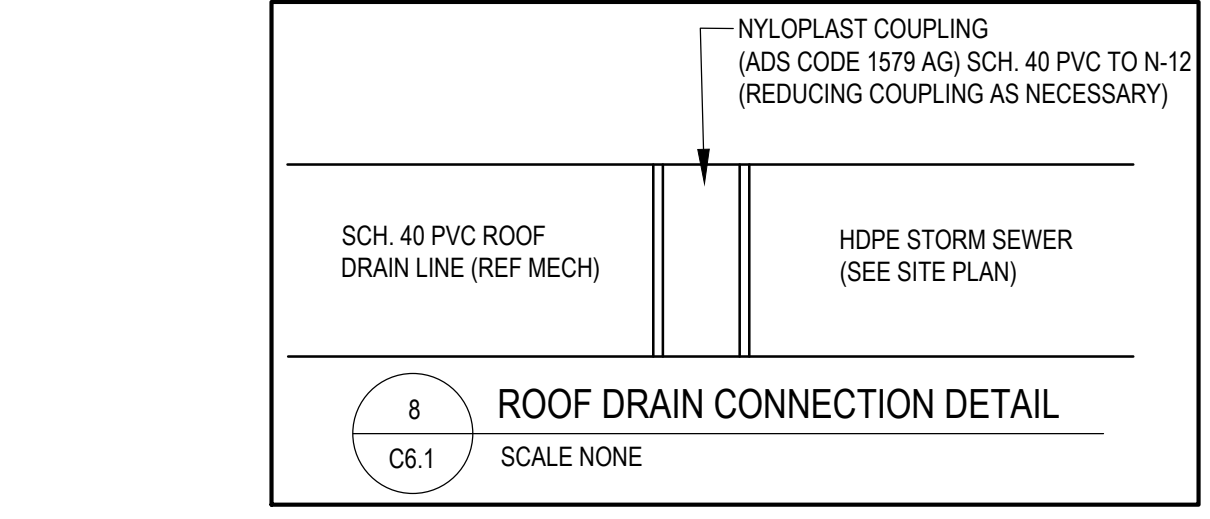
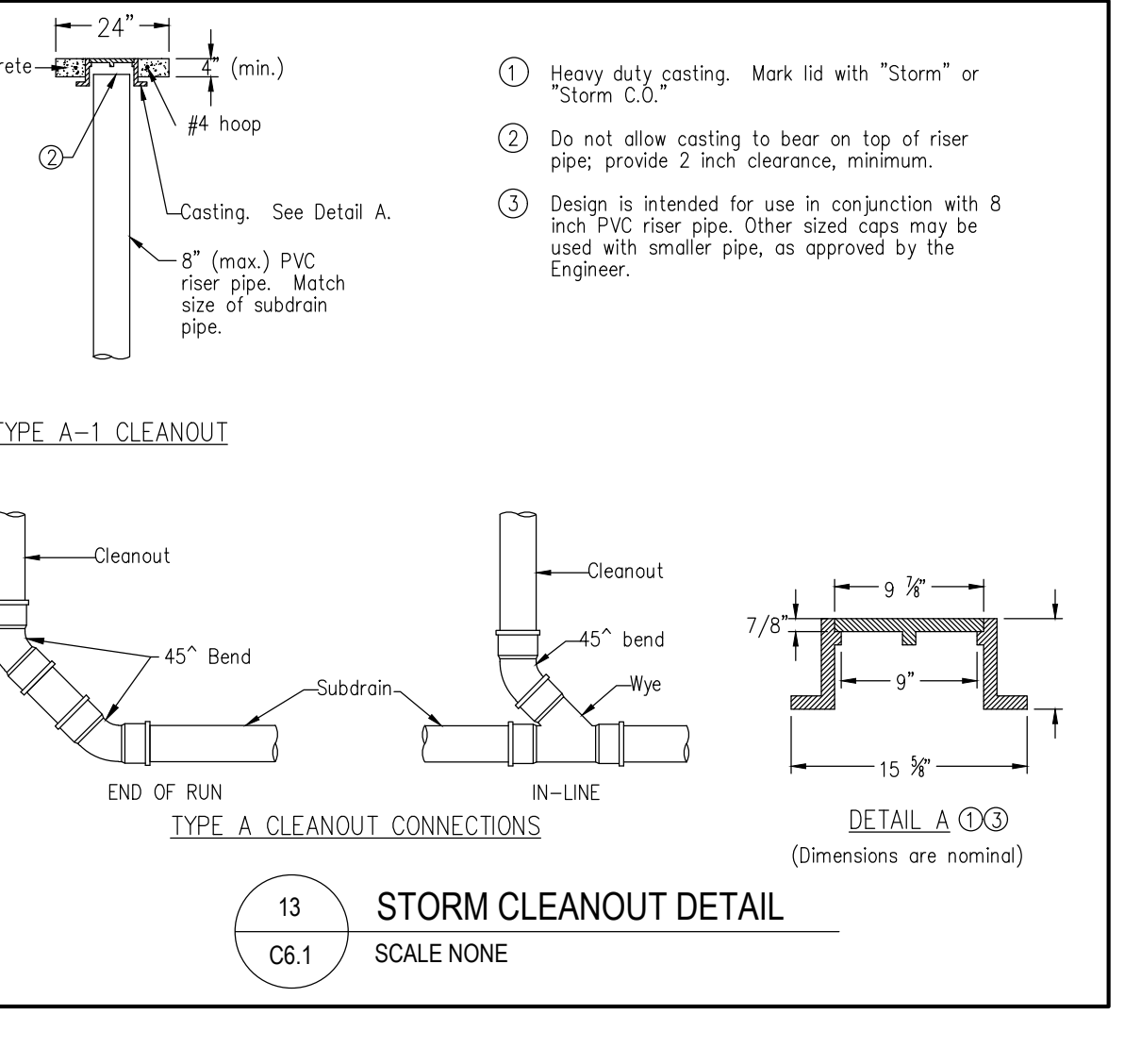
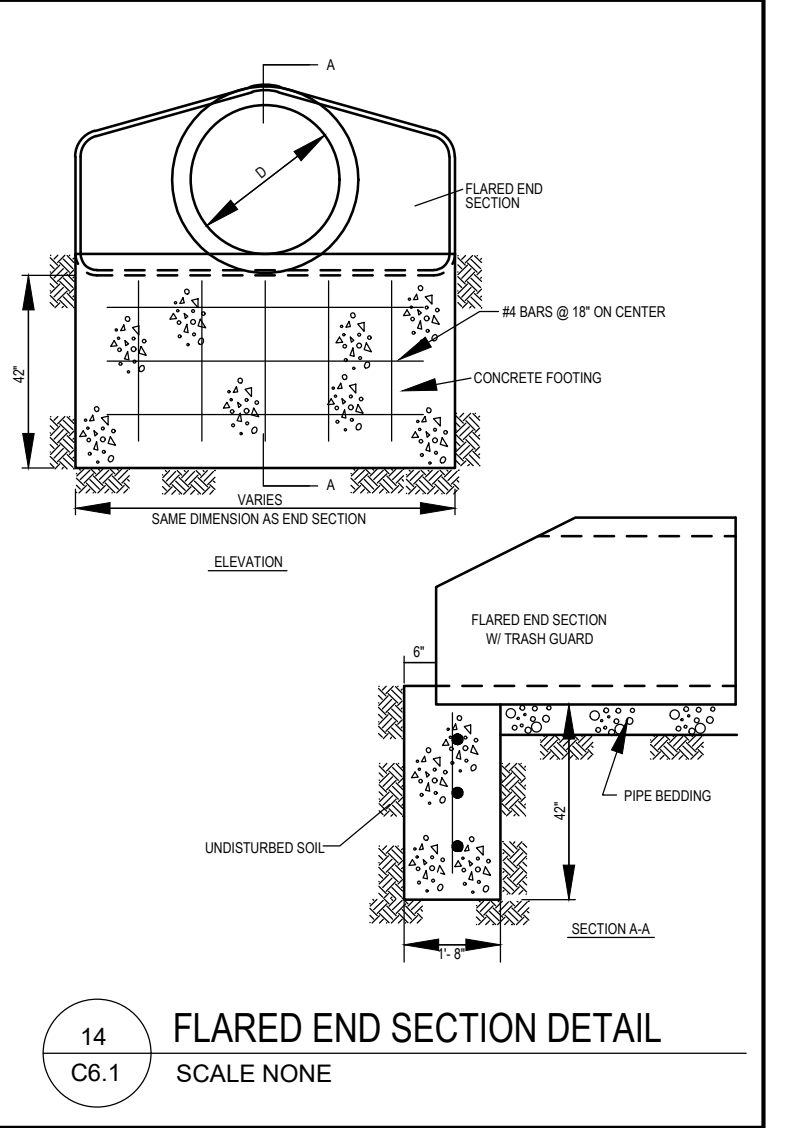
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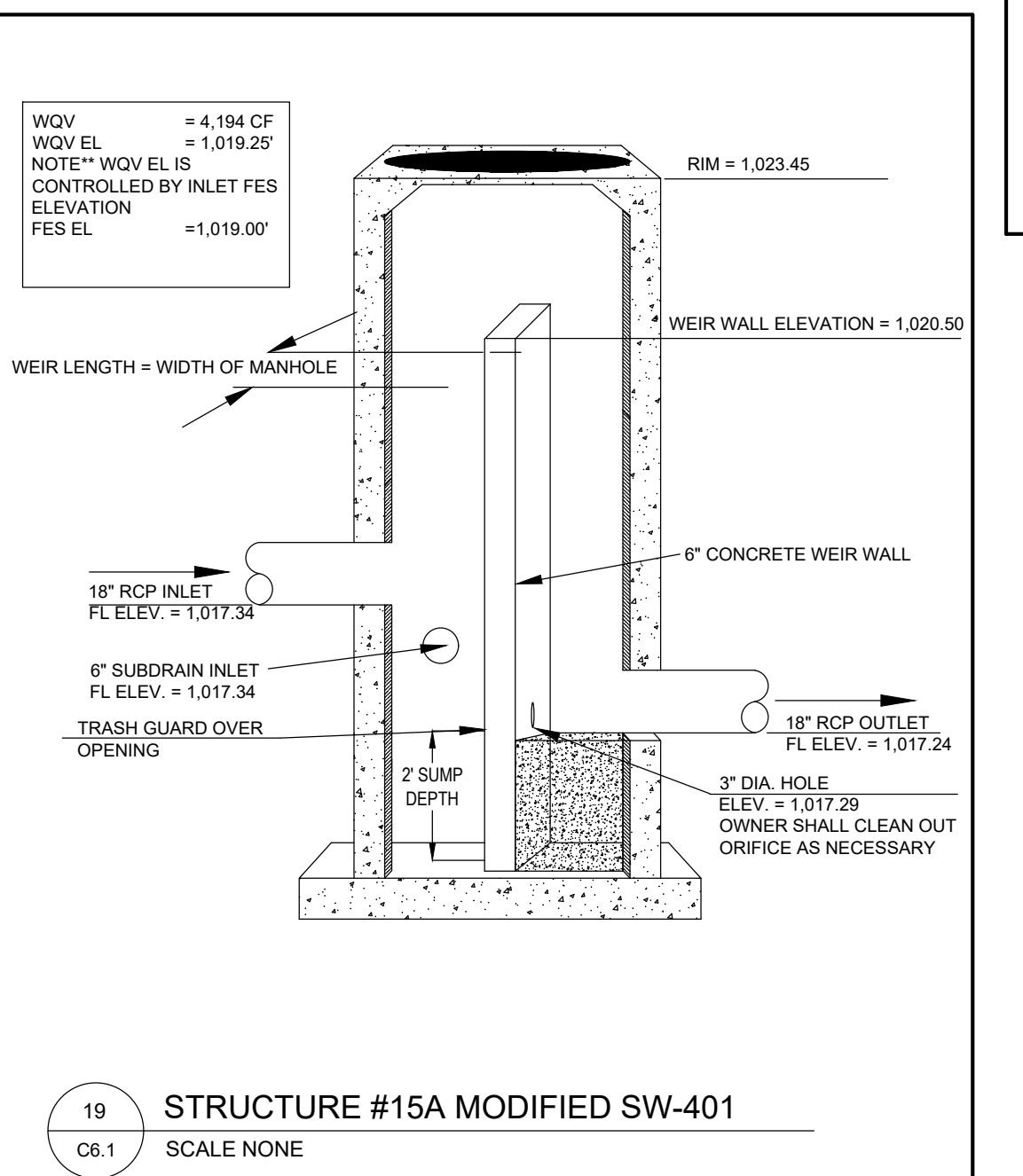
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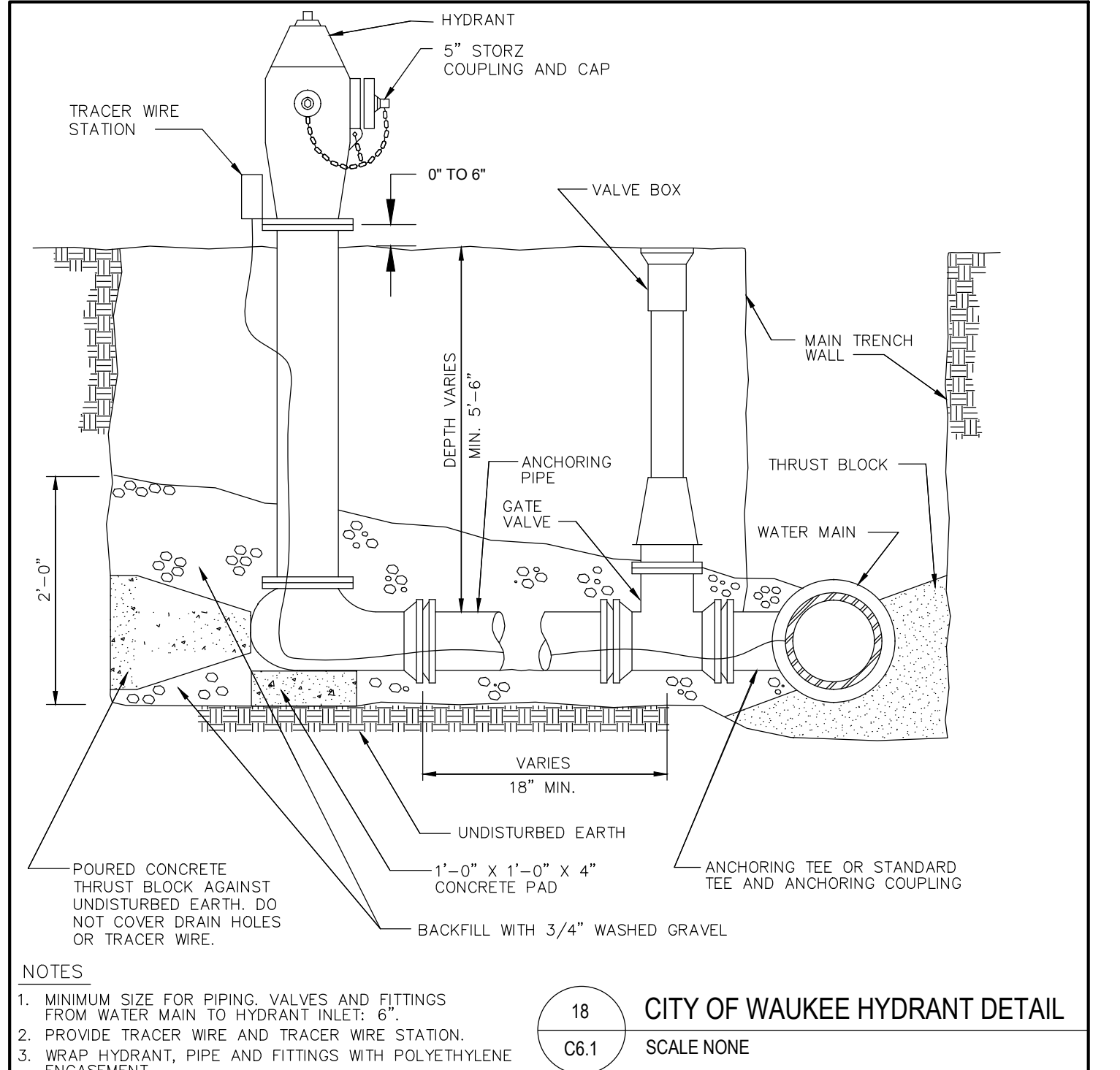
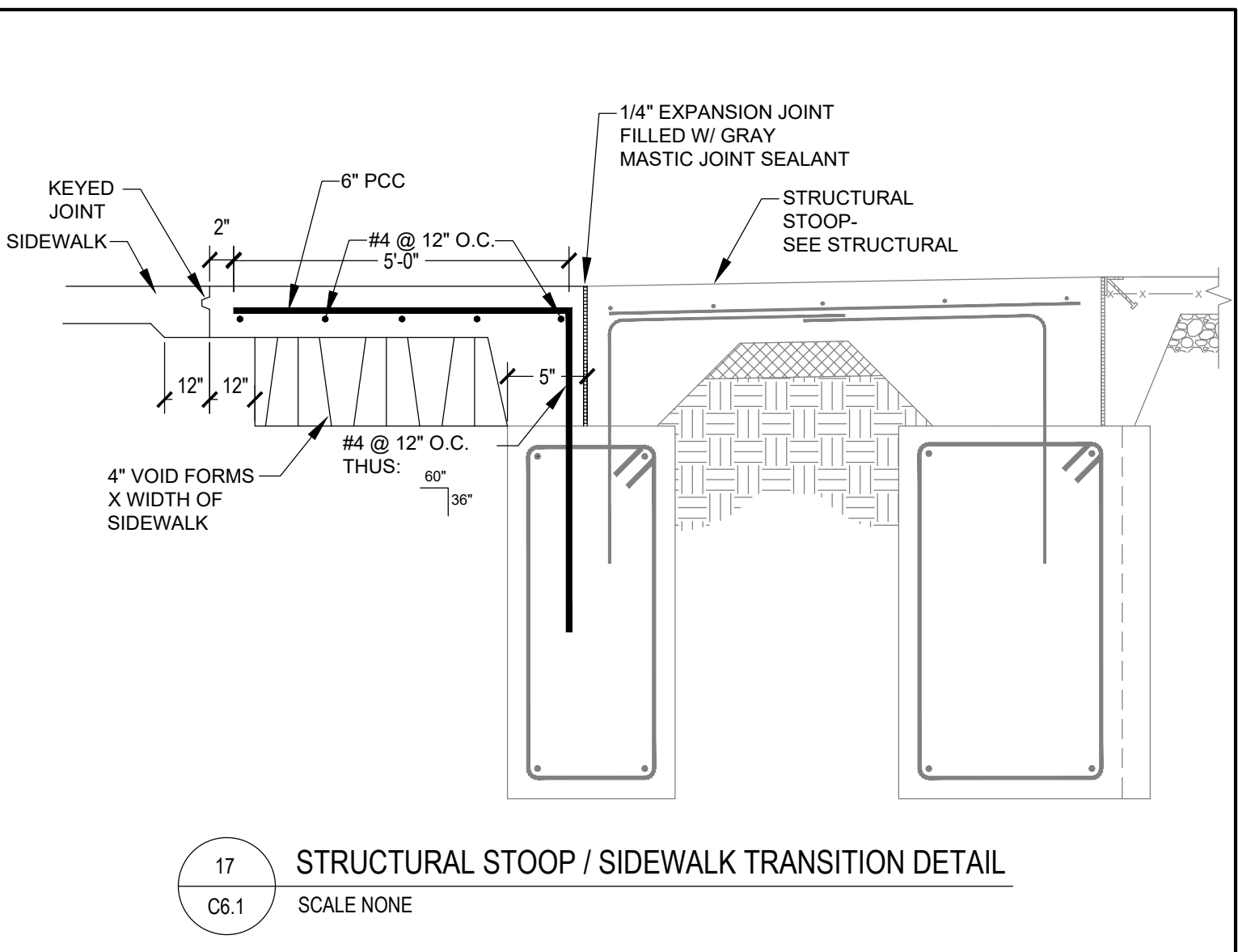
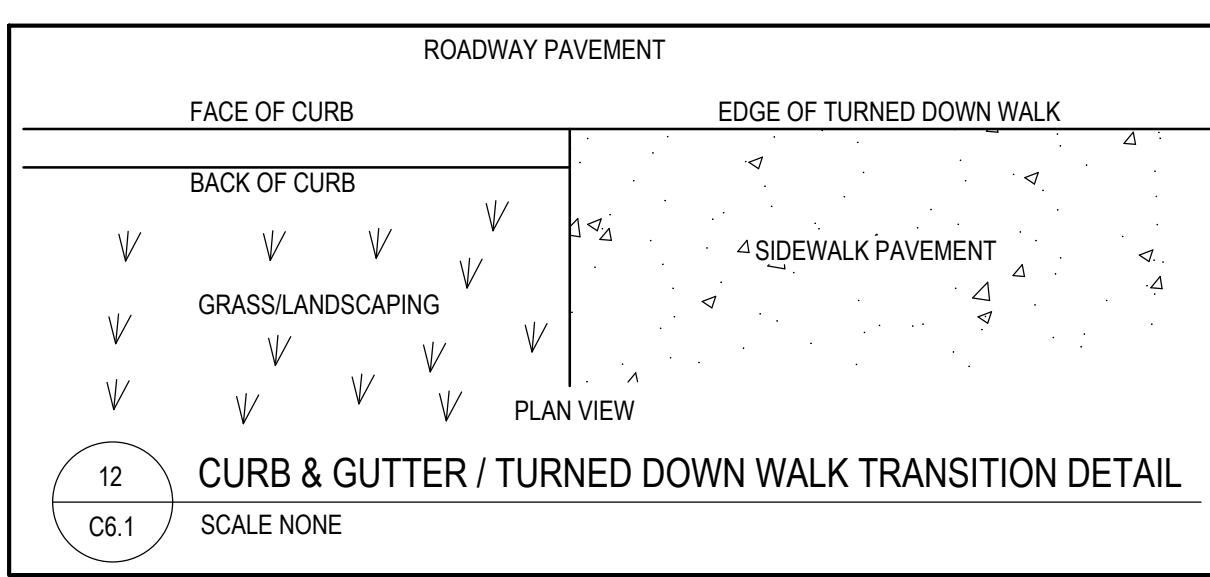
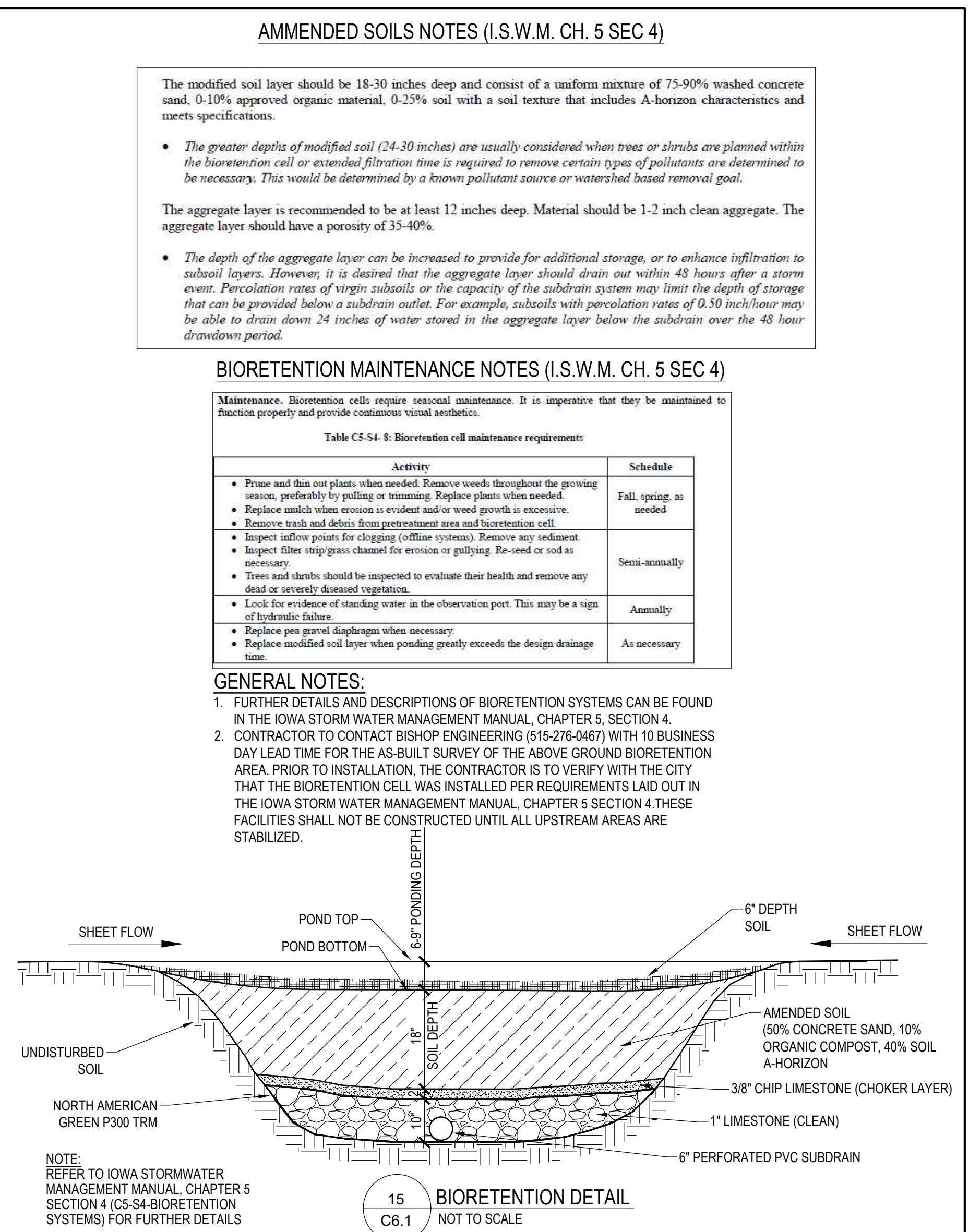
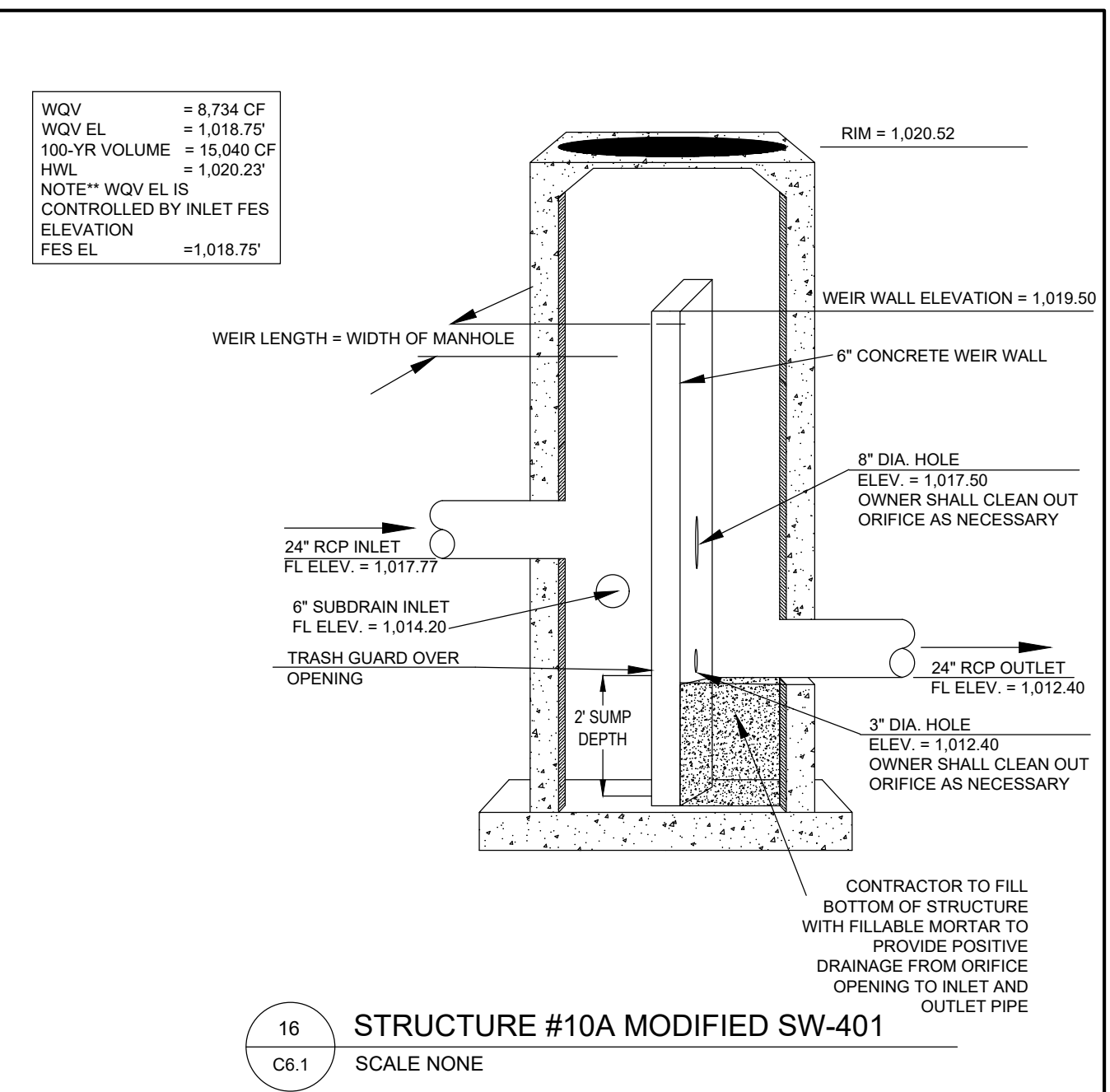
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FIELD BULLETINS ASSOCIATED WITH THIS SHEET:

ISSUE #

DATE

DESCRIPTION

GENERAL CONTRACTOR ARCHITECT

NEUMANN BROTHERS, INC. - DESIGNBUILT SOLUTIONS

1425 Grand Ave. Waukegan, IL 60087

Phone: (815) 243-0250 Fax: (815) 243-0100

neumann SOLUTIONS SINCE 1971

DESIGNBUILT SOLUTIONS

STIVERS

FORD PRO CENTER

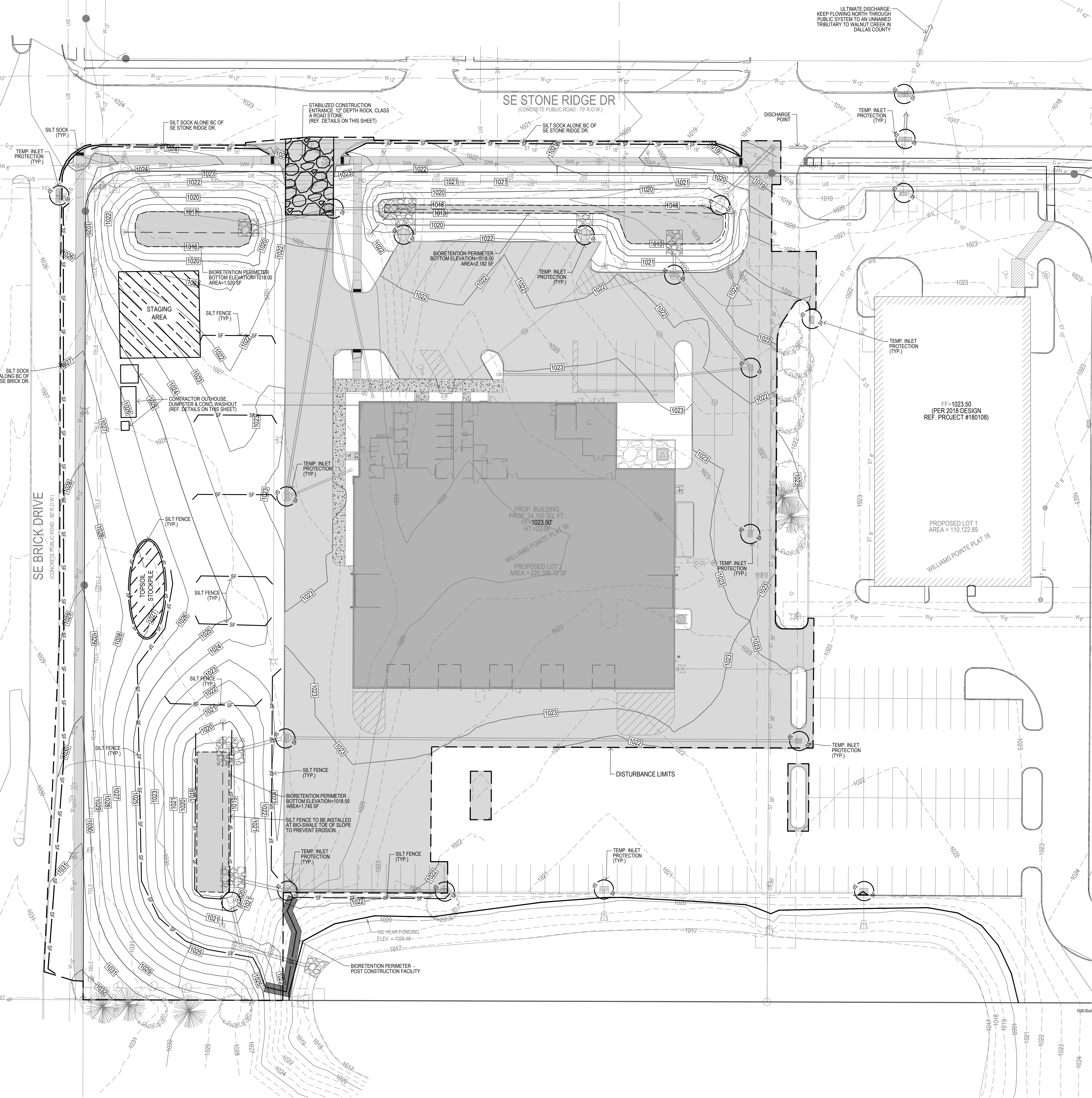
1350 SE Stone Ridge Drive, Waukegan, Iowa 50263

DETAILS SHEET

C6.1

STORM WATER POLLUTION PREVENTION PLAN

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C
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F



PROPERTY DESCRIPTION:
 QUIT CLAIM DEED BOOK 2015 PAGE 28587
 LOTS 2, 3, 4, 5, 6 AND 7, IN WILLIAMS POINTE PLAT 14, AN
 OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF
 THE CITY OF WAUKEE, DALLAS COUNTY, IOWA.
 SAID TRACT OF LAND SUBJECT TO ALL EASEMENTS AND
 ENCUMBRANCES OF RECORD.

**SUBJECT TO AND TOGETHER WITH ANY AND ALL
 EASEMENTS AND RESTRICTIONS OF RECORD.**

AREA:
 330,521 SQUARE FEET - 7.58 ACRES
 SAID TRACT OF LAND CONTAINS 7.58 ACRES (330,521 SF)
 MORE OR LESS.

ADDRESS:
 1350 SE STONE RIDGE DR
 WAUKEE, IOWA 50263

OWNER:
 STIVERS IOWA REAL ESTATE LLC
 1450 EAST HICKMAN ROAD
 WAUKEE, IOWA 50263

PREPARED FOR:
 STIVERS IOWA REAL ESTATE LLC
 1450 EAST HICKMAN ROAD
 WAUKEE, IOWA 50263

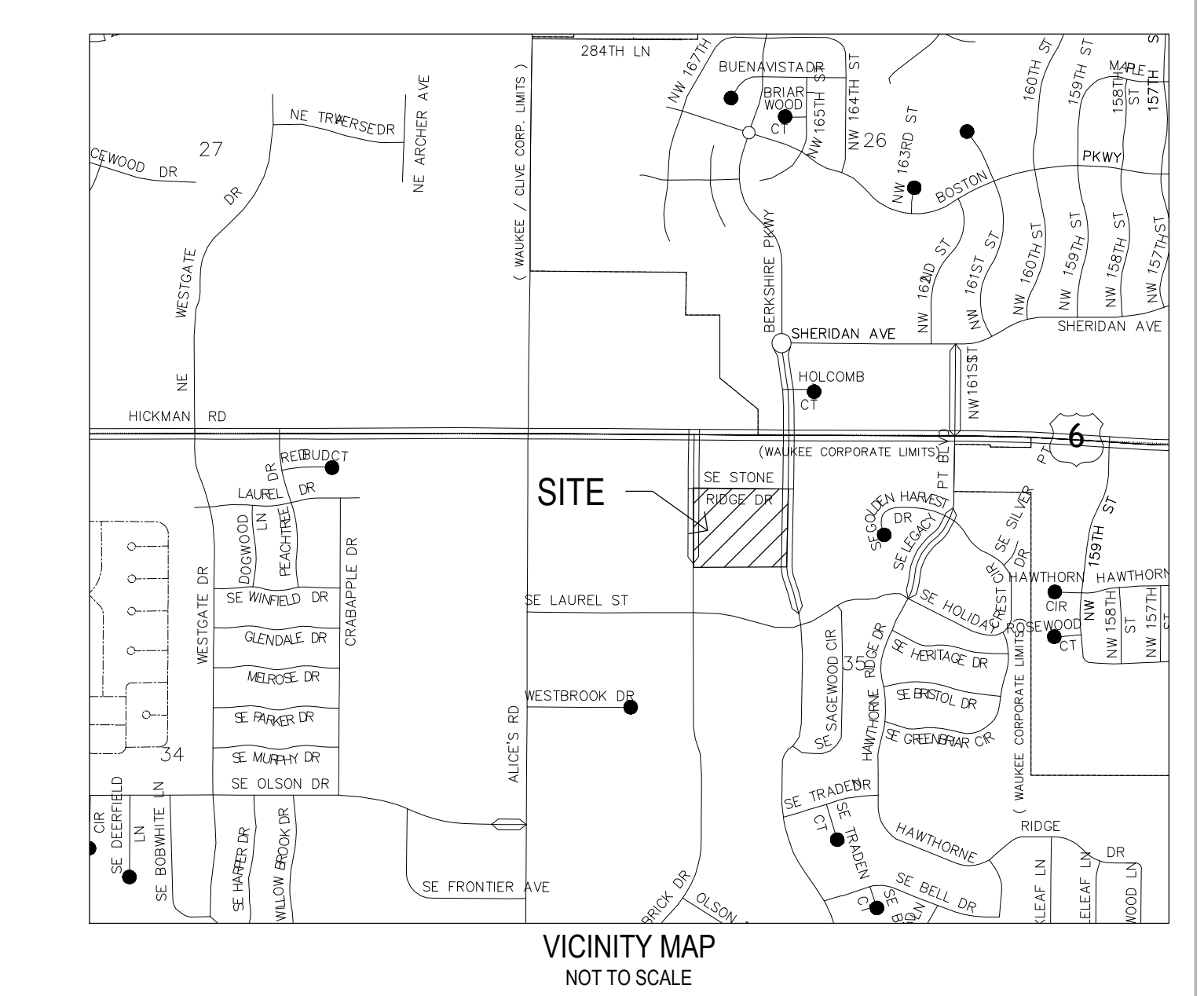
ZONING:
 INFORMATION OBTAINED FROM
 THE CITY OF WAUKEE ZONING MAP
 ZONED: C-1 (COMMUNITY AND HIGHWAY SERVICE
 COMMERCIAL DISTRICT
 AND PD (PLANNED DEVELOPMENT DISTRICT)
 FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF
 WAUKEE AT (515) 978-9533

SITE CONTROL AND BENCHMARKS:
 BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
 DATUM = NAD 83, IOWA SOUTH
 BENCHMARK DATUM = NAVD83, GEOID 18

POINT #100, 3/4" IRON PIPE W/ YELLOW PLASTIC CAP
 NORTHING = 587,608.16
 EASTING = 1,545,163.16
 ELEVATION = 1032.78
 DESCRIPTION: WEST OF S/W CORNER, LOT 7

POINT #9011, 3/4" IRON PIPE W/ RED PLASTIC CAP
 NORTHING = 588,181.34
 EASTING = 1,545,646.71
 ELEVATION = 1019.82
 DESCRIPTION: NORTH OF N.E. CORNER, LOT 3

EROSION CONTROL NOTES:
 1. SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES.
 ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED
 INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
 2. SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND
 ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL
 PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL
 MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
 3. INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
 4. INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
 5. INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
 6. OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
 7. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASH-OUT IN ACCORDANCE WITH SUDAS
 SPEC 11.050 DURING ALL CONCRETE WORK.
 8. CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE
 SHALL BE DISPOSED OF BY ALL FEDERAL, STATE AND LOCAL REGULATIONS.
 9. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT
 NO. 2 ARE MET.
 10. CONTRACTOR SHALL BE RESPONSIBLE FOR REVISIONS AND/OR INSTALLING ADDITIONAL EROSION CONTROL
 MEASURES AS NEEDED TO ACCOMMODATE THE CONSTRUCTION PHASING AND SWPPP INSPECTOR
 REQUIREMENTS. SUCH CHANGES SHALL BE INCIDENTAL TO THE PROJECT. ALL CHANGES SHALL BE DOCUMENTED
 AND RECORDED.
 11. THIS PROJECT INCLUDES SAWCUTTING OR CONCRETE GRINDING SO PROTECTION OF STORM SEWERS AND
 DRAINAGEWAYS WILL NEED TO BE PROVIDED FROM SLURRY FROM THE CONCRETE OPERATIONS TO DISCHARGE
 OFFSITE. SEE SWPPP SHEET AND NARRATIVE FOR ADDITIONAL DETAILS.



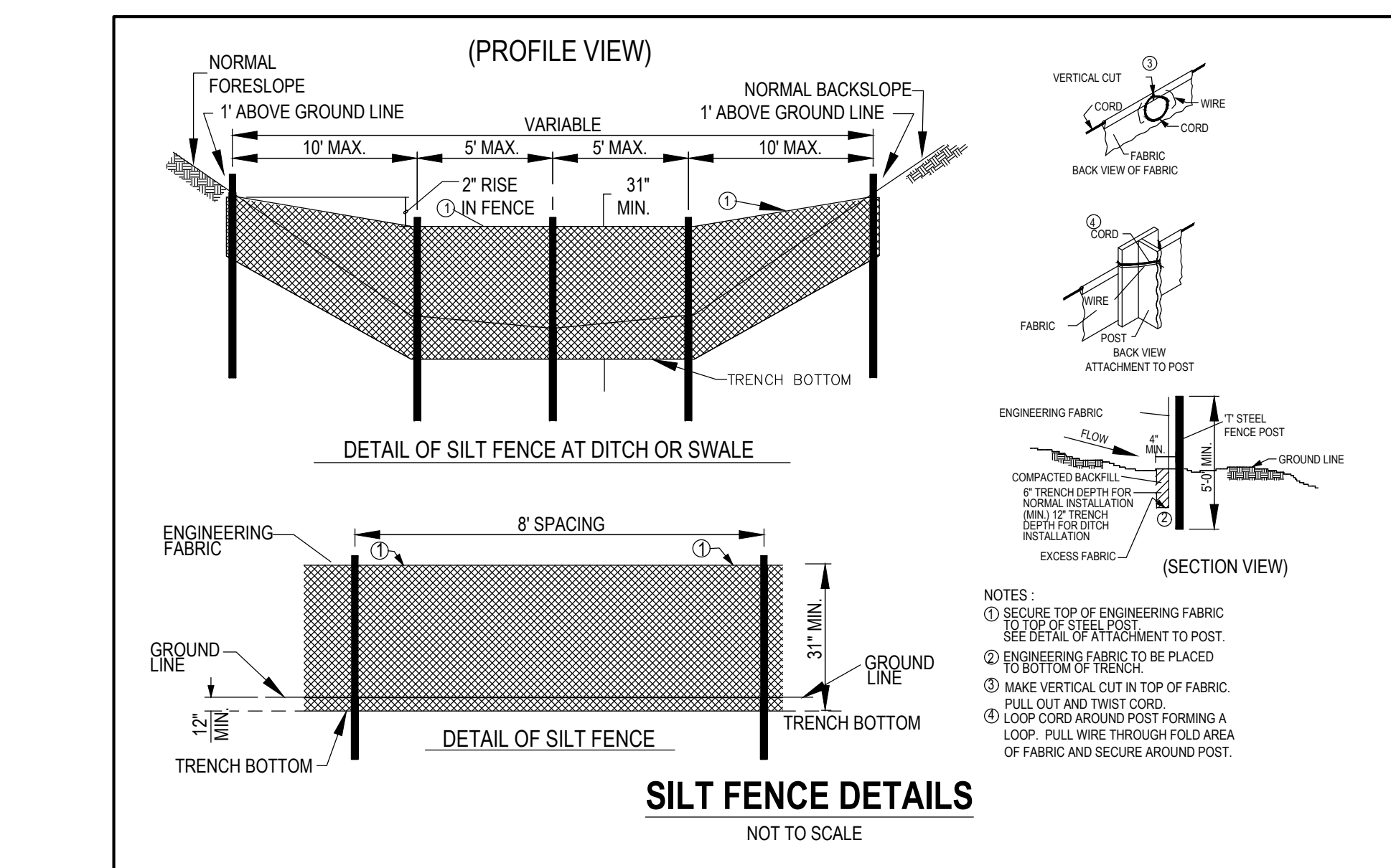
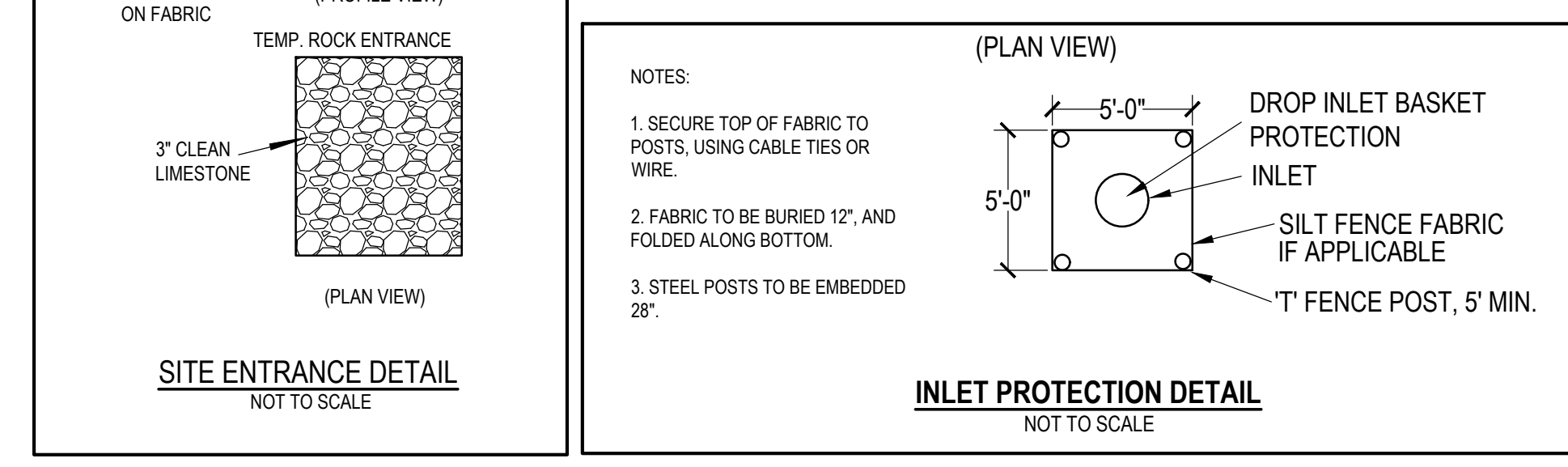
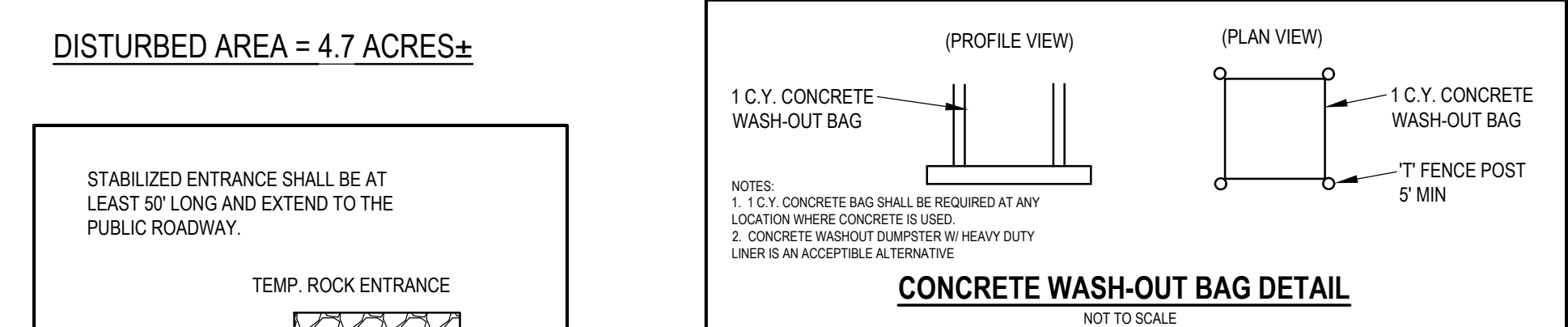
ISSUE #	ISSUE DATE	DESCRIPTION
01/11/2023	1ST CITY SUBMITTAL	
04/06/2023	2ND CITY SUBMITTAL	
06/16/2023	3RD CITY SUBMITTAL	

GENERAL CONTRACTOR ARCHITECT
 NEUMANN BROTHERS, INC. - DESIGNBUILT SOLUTIONS
 1435 Grand Ave., Waukegan, IL 60087
 Phone: (815) 243-0268 Fax: (815) 243-0106

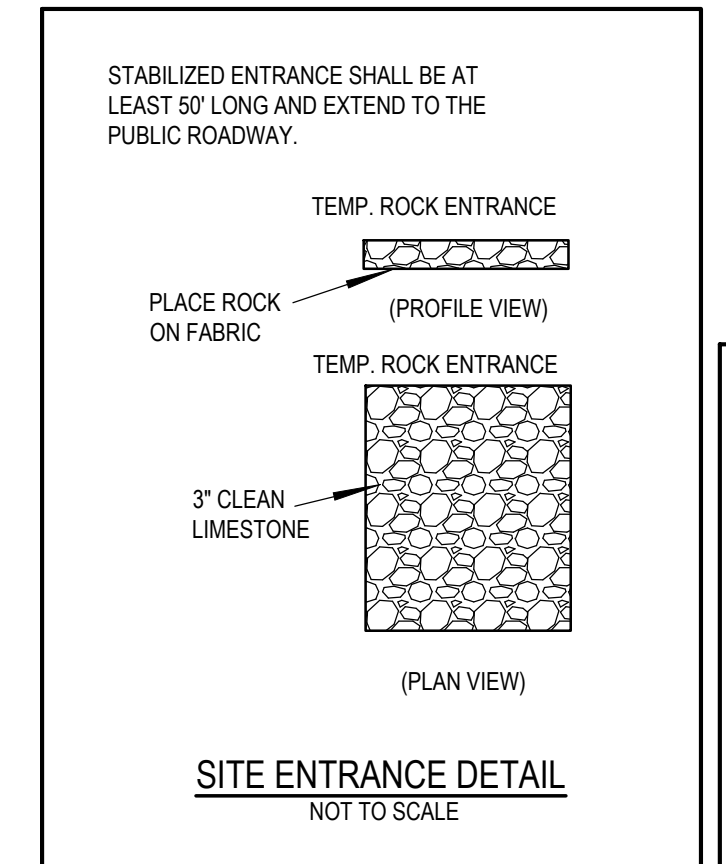
GENERAL NOTES:
 1. ALL BIOTENTION CELLS ARE TO BE CONSTRUCTED
 ONLY AFTER ALL OTHER CONSTRUCTION ITEMS ARE
 COMPLETE. SEDIMENT PROTECTION WILL BE
 REQUIRED IF IMMEDIATE UPSTREAM PROTECTION IS
 NOT ABLE TO BE COMPLETED.

EROSION CONTROL REMOVAL NOTES:
 1. AFTER FINAL STABILIZATION HAS OCCURRED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2,
 CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION
 CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND
 TEMPORARY STANDPIPES.

- LEGEND:**
- - - - - EXISTING CONTOUR
 - - - - - PROPOSED CONTOUR
 - - - - - SILT FENCE
 - - - - - SANITARY SEWER
 - - - - - STORM SEWER
 - - - - - WATER LINE
 - - - - - GAS LINE
 - - - - - UNDERGROUND ELECTRIC
 - - - - - OVERHEAD ELECTRIC
 - - - - - TELEPHONE LINE
 - - - - - FIBER OPTIC
 - - - - - CABLE TV
 - ⊙ STORM MANHOLE
 - ⊙ CURB INTAKE
 - ⊙ SURFACE INTAKE
 - ⊙ FLARED END SECTION
 - ⊙ SANITARY MANHOLE
 - ⊙ CLEANOUT
 - ⊙ FIRE HYDRANT
 - ⊙ SPRINKLER
 - ⊙ IRRIGATION CONTROL VALVE
 - ⊙ WATER MANHOLE
 - ⊙ WELL
 - ⊙ WATER VALVE
 - ⊙ WATER SHUT OFF
 - ⊙ YARD HYDRANT
 - ⊙ ELECTRIC MANHOLE
 - ⊙ ELECTRIC METER
 - ⊙ ELECTRIC RISER
 - ⊙ ELECTRIC VAULT
 - ⊙ POWER POLE
 - ⊙ TRANSFORMER POLE
 - ⊙ LIGHT POLE
 - ⊙ ELECTRIC JUNCTION BOX
 - ⊙ ELECTRIC PANEL
 - ⊙ TRANSFORMER
 - ⊙ GROUND LIGHT
 - ⊙ GUY WIRE
 - ⊙ ELECTRIC HANDHOLE
 - ⊙ GAS METER
 - ⊙ GAS VALVE
 - ⊙ AIR CONDITIONING UNIT
 - ⊙ TELEPHONE RISER
 - ⊙ TELEPHONE VAULT
 - ⊙ TELEPHONE MANHOLE
 - ⊙ TRAFFIC SIGNAL MANHOLE
 - ⊙ FIBER OPTIC MANHOLE
 - ⊙ FIBER OPTIC FAULT
 - ⊙ CABLE TV RISER
 - ⊙ SIGN



DISTURBED AREA = 4.7 ACRES±



GRADING LEGEND:

- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- 150.50 FINISHED GROUND ELEVATION
- 150.50TC TOP OF CURB ELEVATION
- 150.50G GUTTER ELEVATION
- 150.50TW TOP OF WALL ELEVATION
- 150.50BW BOTTOM OF WALL ELEVATION
- 150.50WV EDGE OF WALK ELEVATION
- 150.50TS TOP OF STAIR ELEVATION
- 150.50BS BOTTOM OF STAIR ELEVATION

NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

LEGEND:

- - - - - EXISTING CONTOUR
- - - - - PROPOSED CONTOUR
- - - - - SILT FENCE (TYP)
- ⊙ STABILIZED ENTRANCE AT LEAST 50' LONG 12" DEEP CLASS "A" ROAD STONE ON GEOTEXTILE

QUANTITY ESTIMATE:

22 EA	22 EA
800	2,300 LF
800	91,000 SF
146 TONS	146 TONS
900 LF	900 LF

UTILITY NOTE:
 THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.

1-800-292-8989
 www.iowaonecall.com

STIVERS
FORD PRO CENTER
 1350 SE Stone Ridge Drive, Waukee, Iowa 50263

SWPPP
 C7.1