

# KEETOWN LOOP - STARBUCKS

THE QUARTER AT WAUKEE, LLC C/O HARRY COIN  
2864 GRAND PRAIRIE PARKWAY  
WAUKEE, IOWA

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### LANDSCAPE REQUIREMENTS

#### OFF STREET PARKING:

PARKING LOT ISLANDS 3 OVERSTORY TREE/ISLAND REQUIRED  
3 OVERSTORY TREE/ISLAND PROVIDED

#### RIGHT OF WAY BUFFER

117 LF OF FRONTAGE  
117 X 2 OVERSTORY TREES / 50 LF = 4.68 OVERSTORY TREES REQUIRED  
5 OVERSTORY TREES PROVIDED  
117 LF X 8 SHRUBS / 50 LF = 18.7 SHRUBS REQUIRED  
19 SHRUBS PROVIDED

#### OPEN SPACE REQUIREMENTS:

AREA REQUIREMENT:  
SITE AREA: 21,199 SF (0.49 ACRES)  
20% REQUIRED OPEN SPACE (4,240 SF)  
43.5% PROVIDED OPEN SPACE (9,228.66 SF)

25% 2,277.36 SF IMPERVIOUS OPEN SPACE  
75% 6,951.30 SF PERVIOUS OPEN SPACE

#### PLANTING REQUIREMENTS (WITHIN CONTRACT LIMITS):

1.5 OVERSTORY TREE, .5 UNDERSTORY TREE AND TWO SHRUBS PER 1,000 SF OF REQUIRED OPEN SPACE.

\*OPEN SPACE PLANTINGS ARE PROVIDED ON THE R1 SITE TO THE NORTH TO REDUCE THE PLANTINGS ON THE STARBUCKS SITE. THE INTENT IS TO MAXIMIZE VISIBILITY TO THE MARQUEE SIGN. SEE "KEETOWN LOOP - R1" SITE PLAN SUBMITTAL COVER SHEET.\*

SHRUBS PROVIDED: 0  
TREES PROVIDED: 0

OVERSTORY TREES: 4,240 SF X 1.5/1,000 SF = 6.36 OVERSTORY TREES REQUIRED  
0 OVERSTORY TREES PROVIDED  
\*6 ADDITIONAL OVERSTORY TREES PROVIDED ON R1 SITE\*

UNDERSTORY TREES: 4,240 SF X .5/1,000 SF = 2.12 UNDERSTORY TREES REQUIRED  
0 UNDERSTORY TREES PROVIDED  
\*6 ADDITIONAL UNDERSTORY TREES PROVIDED ON R1 SITE\*

SHRUBS: 4,240 SF X 2/1,000 SF = 8.48 SHRUBS REQUIRED  
0 SHRUBS PROVIDED  
\*9 ADDITIONAL SHRUBS PROVIDED ON R1 SITE\*

### PARKING REQUIREMENTS

10 STALLS / 1,000 SF OF COFFEE SHOP & 3 QUEUING SPACES PER DRIVE THRU LANE  
2,020 SF @ 10 STALL / 1,000 SF = 20.2 STALLS  
420 SF OUTDOOR PATIO SEATING @ 15 STALL / 1,000 SF = 6.3 STALLS  
1 DRIVE THRU LANE WITH 14 QUEUING SPACES PROVIDED

TOTAL PARKING STALLS REQUIRED: 27  
TOTAL PARKING STALLS PROVIDED: 13 (11 + 2 ADA SPACES)

\*A SHARED PARKING SYSTEM IS PROPOSED. THE STARBUCKS WILL HAVE HIGH TRAFFIC IN MORNING AND LESS IN THE EVENING. THE R1 BUILDING WILL HAVE LESS TRAFFIC IN MORNING AND MORE IN THE EVENING.\*

ACCESSIBLE STALLS REQUIRED: 2 (1 VAN)  
ACCESSIBLE STALLS PROVIDED: 2 (1 IS VAN ACCESSIBLE)

#### BICYCLE PARKING REQUIREMENTS:

3% OF TOTAL PARKING STALLS  
13 x .03 = 0.39 BICYCLE SPACES REQUIRED  
TOTAL BICYCLE PARKING PROVIDED: 4 SPACES

### PARKING REQUIREMENTS - OVERALL DEVELOPMENT

REQUIRED PARKING STALLS: 1569 STALLS  
20 STALLS / 1,000 SF OF EVENT CENTER  
AND 1 STALL/3 FIXED SEATS  
36,000 @ 20 STALL / 1,000 SF = 720 STALLS  
842 SEATS @ 1 STALL / 3 FIXED SEATS = 281 STALLS  
TOTAL REQUIRED FOR VENUE = 1001 STALLS

4 STALLS / 1,000 SF OF RETAIL  
80,295 SF @ 4 STALLS / 1,000 = 321 STALLS  
1 STALL / 1 GUEST ROOM OF HOTEL  
126 ROOMS 1 STALL/1 ROOM = 126 STALLS  
5 STALLS / 1,000 SF OF EATING/DRINKING AREA  
2,800 SF @ 5 STALL/1,000 SF = 13 STALLS  
15 STALLS / 1,000 SF OF RESTAURANT SPACE  
6,700 SF @ 15 STALL / 1,000 SF = 101 STALLS  
420 SF OUTDOOR PATIO SEATING @ 15 STALL / 1,000 SF = 6.3 STALLS

WEST LOT PARKING STALLS PROVIDED: 614 (601 + 13 ADA SPACES)  
NORTH LOT PARKING STALLS PROVIDED: 154 SPACES

TOTAL PARKING STALLS PROVIDED: 1554 (1503 +51 ADA SPACES)

ACCESSIBLE STALLS REQUIRED: 24  
ACCESSIBLE STALLS PROVIDED: 51 (22 ARE VAN ACCESSIBLE)

\*FUTURE BUILDING TYPES ARE SHOWN TO THE BEST OF OUR KNOWLEDGE AT THIS POINT. HOWEVER, THE PUD IS CURRENTLY IN THE PROCESS OF BEING AMENDED TO ADJUST THE PARKING REQUIREMENTS FOR ALL OF KEETOWN.\*

### SITE SUMMARY

SITE AREA: 21,199 SF (0.49 ACRES)  
LIMITS OF CONSTRUCTION AREA: 20,702 SF (0.475 ACRES)

IMPERVIOUS SURFACE AREA: 14,247.70 SF (0.32 ACRES)  
TOTAL BUILDING SURFACE AREA = 2,195 SF  
TOTAL PAVEMENT SURFACE AREA = 2,277.36 SF  
TOTAL PARKING SPACE SURFACE AREA = 2,628.30 SF  
TOTAL ROAD SURFACE AREA = 7,147.04 SF  
PERVIOUS SURFACE AREA: 6,951.30 SF (0.16 ACRES)

#### OWNER/APPLICANT

THE QUARTER AT WAUKEE, LLC C/O HARRY COIN  
4011 AVENUE OF THE CITIES, SUITE 101 B  
MOLINE, IL 61265  
309-781-0595

#### APPLICANT/REPAIRER OF SUBMITTAL

MATT CARLILE  
525 17TH STREET  
DES MOINES, IA 50309  
515-288-4875  
E-MAIL: M.CARLILE@THINKCONFLUENCE.COM  
CONTACT: MATT CARLILE

#### LEGAL DESCRIPTION

KEETOWN LOOP PLAT 3, LOT 2  
SITE AREA: 21,200 SF (0.49 ACRES)

#### ZONING AND LAND USE

ZONING: K-RR / PD-I AND BOOK 2021 PAGE 27621  
EXISTING LAND USE: VACANT  
OPEN SPACE REQUIREMENTS: 20%

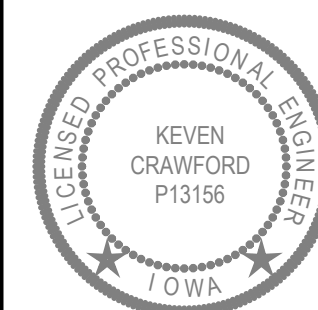
#### PROPOSED USES

STARBUCKS  
BUILDING FOOTPRINT: 2,180 SF  
COFFEE SHOP USE: 2,180 SF

#### BUILDING SUMMARY

BUILDING FOOTPRINT: 2,180 SF  
BUILDING HEIGHT: 20'-0"  
BUILDING STORIES: 1 STORY

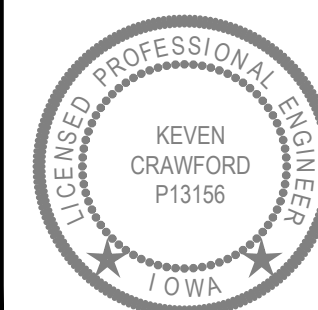
LAND SURVEYOR  
COOPER CRAWFORD & ASSOC.  
475 S 50th Street  
WEST DES MOINES, IA 50265  
PH: (515) 224-1344  
KEVEN CRAWFORD



I HEREBY CERTIFY THAT THE PORTION OF THIS DOCUMENT DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY PERSONAL SUPERVISION, AND THAT I AM A DULY REGISTERED LANDSCAPE ARCHITECT UNDER THE STATE OF IOWA.

KEVEN CRAWFORD REGISTRATION #P13156 DATE  
MY REGISTRATION DATE IS: DECEMBER 31, 2024  
SHEETS COVERED BY THIS SEAL:

CIVIL ENGINEER  
COOPER CRAWFORD & ASSOC.  
475 S 50th Street  
WEST DES MOINES, IA 50265  
PH: (515) 224-1344  
KEVEN CRAWFORD



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KEVEN CRAWFORD REGISTRATION #P13156 DATE  
MY REGISTRATION DATE IS: DECEMBER 31, 2024  
SHEETS COVERED BY THIS SEAL: L302

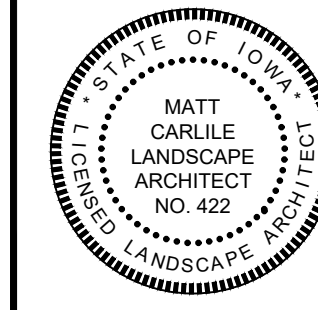
LIGHTING AND ELECTRICAL  
BLUESTONE ENGINEERING  
5518 NW 88th Street  
Johnston, IA 50131  
PH: (515) 727-0700  
MATTHEW JAHNKE



I HEREBY CERTIFY THAT THE PORTION OF THIS DOCUMENT DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY PERSONAL SUPERVISION, AND THAT I AM A DULY REGISTERED LANDSCAPE ARCHITECT UNDER THE STATE OF IOWA.

MATTHEW JAHNKE REGISTRATION #P23173 DATE  
MY REGISTRATION DATE IS: DECEMBER 31, 2024  
SHEETS COVERED BY THIS SEAL: E100, E201

LANDSCAPE ARCHITECT  
CONFLUENCE  
525 17TH STREET  
DES MOINES, IA 50309  
PH: (515) 288-4875  
www.thinkconfluence.com  
MATT CARLILE

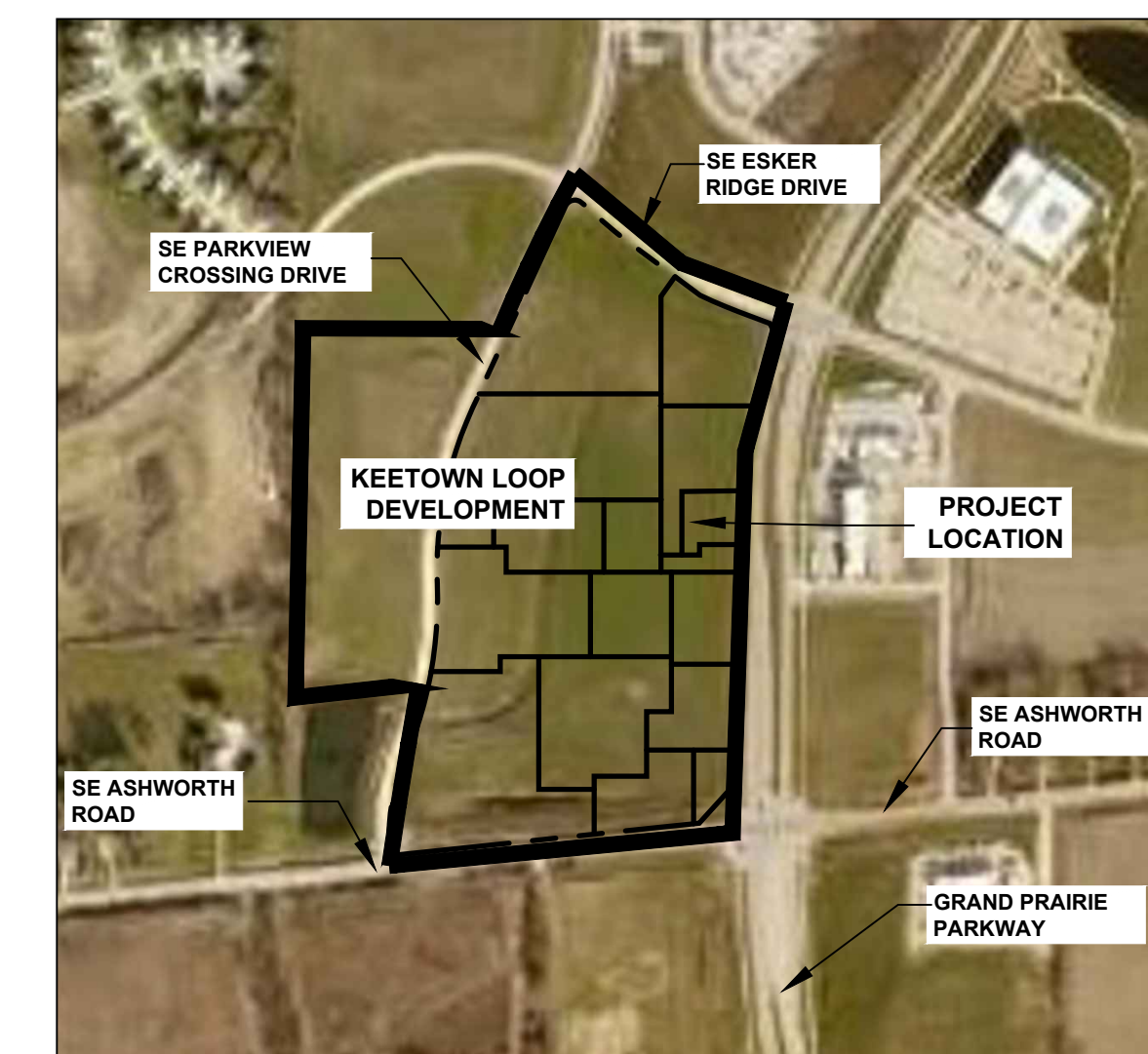


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MATT CARLILE REGISTRATION #422 DATE  
MY REGISTRATION DATE IS: JUNE 30, 2024  
SHEETS COVERED BY THIS SEAL: L000 - L301, L303 - L507

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## VICINITY MAP



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NOT FOR  
CONSTRUCTION

811  
Know what's below.  
Call before you dig.

COVER SHEET  
CONFLUENCE PROJECT # 21072-10

L000

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**GENERAL NOTES**

- A. COOPER CRAWFORD AND ASSOCIATES, 475 S 50TH ST #800, WEST DES MOINES, IA 50265 (515-224-1344) PREPARED THE SURVEY FOR THIS PROJECT. IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE SURVEY AND FIELD CONDITIONS.
- B. THE CONTRACTOR SHALL NOTIFY THE 811 ONE CALL CENTER TO REQUEST THE LOCATION OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA 48 HOURS PRIOR TO ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PRIVATE UTILITIES NOT COVERED BY 811 ONE CALL. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- C. CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING CONDITIONS, IMPROVEMENTS, VEGETATION AND UTILITIES TO REMAIN. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- D. THE CONTRACTOR SHALL CONSTRUCT ALL ITEMS WITHIN THIS CONTRACT IN ACCORDANCE WITH ALL STATE AND LOCAL CODES, REGULATIONS AND ENGINEERING STANDARDS. CONTRACTOR TO COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAY OR STREETS WITH THE APPROPRIATE JURISDICTIONS.
- E. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- F. THE CONTRACTOR SHALL FURNISH AND PLACE ALL NECESSARY SIGNS AND BARRICADES DURING THE CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- G. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL REQUIRED PERMITS BEFORE PERFORMING ANY WORK.
- H. ALL WORK INVOLVING CONNECTION OF PUBLIC IMPROVEMENTS, AND ALL WORK ASSOCIATED WITH PUBLIC IMPROVEMENTS SHALL COMPLY WITH THE 2023 EDITION OF THE WAUKEE STANDARD SPECIFICATIONS AND 2023 SUDAS INCLUDING ALL APPLICABLE PERMITS.
- I. ALL PROPOSED EASEMENTS WILL BE PRIVATE AND "BLANKET" EASEMENTS, SO THEY ARE NOT PLOTTABLE.
- J. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES. IF PAVING IS NOT INSTALLED PRIOR TO BUILDING CONSTRUCTION COMMENCING AFTER FOOTINGS ARE INSTALLED, AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING TO EXTEND WITHIN 100 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS SHALL BE PROVIDED TO COMPLY WITH THE REQUIREMENTS OF SECTION 503.2 OF THE IFC.
- K. ANY PLAN CHANGES SHALL BE APPROVED BY THE COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO EXECUTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHANGES MADE THAT WERE NOT APPROVED BY THE CITY.
- L. ALL SIGNAGE SHALL BE APPROVED WITH A SEPARATE PERMIT FROM THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT.

**DEMOLITION GENERAL NOTES**

- A. PRIOR TO ANY EXCAVATION AT THE SITE, CONTRACTOR SHALL CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANIES REPRESENTATIVES TO DETERMINE POSSIBLE UTILITY LOCATIONS AND DEPTHS. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE RESULTING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT. REPORT ANY DAMAGE TO EXISTING UTILITIES PRIOR TO REPAIR. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITY.
- B. FIELD VERIFY EXISTING GRADES AND LOCATIONS OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE STRUCTURES PRIOR TO DEMOLITION OR CONSTRUCTION AND IMMEDIATELY INFORM THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE CONTRACTOR SHALL REPORT TO THE OWNER ANY DAMAGE TO OWNER'S PROPERTY PRIOR TO REPAIR.
- C. PROTECT ALL ITEMS WITHIN CONTRACT LIMITS NOT INDICATED TO BE REMOVED. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- D. CONTACT THE LANDSCAPE ARCHITECT PRIOR TO REMOVING ANY PLANT MATERIAL NOT INDICATED TO BE PROTECTED OR REMOVED.
- E. CONTRACTOR TO PROVIDE ADEQUATE BARRICADES AND TRAFFIC CONTROL. COMPLY WITH REQUIREMENTS OF LOCAL JURISDICTION.
- F. CONTRACTOR SHALL SAW CUT ALL ASPHALT OR CONCRETE TO BE REMOVED TO THE NEAREST CONTROL JOINT WHERE PRACTICAL.

**SITE LAYOUT NOTES**

- A. ALL CURB AND GUTTER DIMENSIONS ARE TO BACK OF CURB. ALL SIDEWALK DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
- B. VERIFY COORDINATES PRIOR TO CONSTRUCTION
- C. WHEN CONTROL POINTS ARE PROVIDED THE CONTRACTOR SHALL VERIFY CONTROL POINTS PRIOR TO CONSTRUCTION.
- D. ALL RAMPS AND CURB RAMPS SHALL COMPLY WITH FEDERAL AND LOCAL ACCESSIBILITY STANDARDS.
- E. CONTRACTOR TO SUPPLY AND INSTALL ALL NECESSARY SLEEVES UNDER PAVING AND WALKS. COORDINATE LOCATIONS WITH GENERAL CONTRACTOR.
- F. SITE PLAN SHOWS DIAGRAMMATIC LAYOUT OF CONTROL JOINTS. UNLESS NOTED OTHERWISE EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM OF 35' O.C. AND ADJACENT TO FIXED VERTICAL STRUCTURES SUCH AS WALLS, CURBS, STEPS AND BUILDINGS.
- G. PROPOSED SIGNAGE TO MEET LOCAL SIGN CODES. CONTRACTOR SHALL SECURE SIGN PERMITS WHERE REQUIRED

**GRADING NOTES**

- A. ALL SPOT ELEVATIONS ARE AT THE TOP OF FINISHED SURFACES. SPOT ELEVATIONS SHOWN IN PARKING ARE AT THE BOTTOM OF CURB. ADD 6" TO COMPUTE TOP OF CURB ELEVATION.
- B. CONTRACTOR TO VERIFY ALL SPOT ELEVATIONS FOR POSITIVE DRAINAGE BEFORE INSTALLATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSITIVE SURFACE DRAINAGE IN ALL AREAS, UNLESS OTHERWISE NOTED. ALL NEWLY GRADED GROUND SURFACES SHALL BE FINISHED TO UNIFORM GRADES AND SLOPED IN SUCH A MANNER TO BE FREE OF DEPRESSIONS THAT CAUSE AREAS OF STANDING WATER. THE CONTRACTOR SHALL REPORT ANY CONFLICTS WITH THIS REQUIREMENT TO THE LANDSCAPE ARCHITECT FOR RESOLUTION PRIOR TO FINAL GRADING OPERATIONS.
- C. WALK CROSS SLOPE MAY NOT EXCEED 2%. RUNNING SLOPE MAY NOT EXCEED 5%. RUNNING SLOPE FOR RAMPS MAY NOT EXCEED 1:12 WITH LANDINGS THAT DO NOT EXCEED 2% IN ANY DIRECTION.
- D. WHERE PROPOSED GRADES MEET EXISTING, BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN THE NEW WORK AND EXISTING WORK. PONDING AT JOINTS WILL NOT BE ACCEPTED.
- E. CONTACT LANDSCAPE ARCHITECT PRIOR TO BACKFILLING AGAINST EXISTING BUILDINGS. PROVIDE WATERPROOFING WHEN BACKFILLING AGAINST EXISTING BUILDINGS.
- F. FINAL BERM SHAPE TO APPROVED BY LANDSCAPE ARCHITECT.
- G. SEE SPECIFICATIONS FOR MINIMUM DEPTH OF TOPSOIL FOR ALL LAWN AREAS AND PLANTING BEDS.
- H. DEBRIS SHALL BE REMOVED AND PAVEMENT WITHIN THE RIGHT-OF-WAY SWEEP AT THE END OF EACH WORKING DAY AND PRIOR TO A RAIN EVENT.
- I. CONTRACTOR TO FIELD ADJUST ALL EXISTING SITE UTILITIES TO NEW FINISHED GRADES. EXISTING UTILITIES INCLUDE, BUT ARE NOT LIMITED TO, FIRE HYDRANTS, MANHOLE RIMS, INLETS, WATER VALVES, AND LIGHT BASES.
- J. SILT FENCE AND INLET PROTECTION SHALL BE MAINTAINED UNTIL ESTABLISHMENT OF PERMANENT GROUND COVER.
- K. WORK TO BE COMPLETED WITH THE ORIGINAL KEETOWN LOOP PERMITS INCLUDING GENERAL PERMIT No.2 AND COSESCO PERMITS.
- L. AN AMENDED SWPPP WILL BE REQUIRED PRIOR TO WORK BEGINNING.

**UTILITY GENERAL NOTES**

- A. DEWATERING (IF REQUIRED) IS CONSIDERED AN INCIDENTAL EXPENSE. NO ADDITIONAL PAYMENT WILL BE MADE FOR DEWATERING.
- B. COORDINATE INSPECTIONS FOR CONNECTIONS TO PUBLIC WATER, SANITARY, AND STORM SEWER WITH THE APPROPRIATE JURISDICTIONS.
- C. INSTALL TEMPORARY INLET PROTECTION AROUND ALL PERMANENT STORM SEWER INLETS IN COMPLIANCE WITH LOCAL SWPPP REQUIREMENTS.
- D. CONTRACTOR TO FIELD ADJUST ALL EXISTING SITE UTILITIES TO NEW FINISH GRADES. EXISTING UTILITIES INCLUDE, BUT ARE NOT LIMITED TO, FIRE HYDRANTS, MANHOLE RIMS, INLETS, WATER VALVES AND LIGHT BASES.
- E. FOR PATCHING USE PAVEMENT MIX PER CITY OF WAUKEE, IA STANDARD SPECIFICATIONS
- F. SAWCUTTING/GRINDING SLURRY SHALL BE CONTAINED AND DISPOSED PER SUDAS.

**PLANTING GENERAL NOTES**

- A. PLANT QUANTITIES IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY AND ARE NOT GUARANTEED. QUANTITIES ON PLAN WILL PREVAIL IF DISCREPANCIES OCCUR.
- B. THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND ANNUALS WITHIN 21 DAYS FOLLOWING THE AWARD OF CONTRACT. TIMELY PROCUREMENT OF ALL PLANT MATERIAL IS ESSENTIAL TO THE SUCCESSFUL COMPLETION AND ACCEPTANCE OF THE PROJECT.
- C. SUBSTITUTIONS SHALL ONLY BE ALLOWED WHEN THE CONTRACTOR HAS EXHAUSTED ALL SOURCES FOR THE SPECIFIED MATERIAL, AND HAS PROVEN THAT THE SPECIFIED MATERIAL IS NOT AVAILABLE. THE CONTRACTOR MUST PROVIDE NAME AND VARIETY OF SUBSTITUTION TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO TAGGING OR PLANTING. SUBSTITUTIONS SHALL BE NEAREST EQUIVALENT SIZE OF VARIETY OF PLANT HAVING SAME ESSENTIAL CHARACTERISTICS.
- D. ALL PLANT MATERIAL SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES, WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT LIST. KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60-1), MOST RECENT EDITION.
- E. STAKE OR PLACE ALL PLANTS IN FIELD AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLANTING.
- F. PLANT FIVE TREES FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO PLANTING THE REMAINING TREES ON SITE. DEMONSTRATION SHOULD ILLUSTRATE A COMPREHENSIVE UNDERSTANDING OF INFORMATION INCLUDED IN PLANTING DETAILS AND SPECIFICATIONS.
- G. PROVIDE A MINIMUM OF 48 HOURS NOTICE FOR APPROVAL OF PLANT LAYOUT AND SAMPLE TREE PLANTINGS.
- H. THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- I. SOD ALL AREAS WITHIN CONTRACT LIMITS, NOT COVERED BY PAVING, BUILDINGS, OR PLANTING BEDS, UNLESS OTHERWISE NOTED.
- J. CONTRACTOR SHALL PLACE SHREDDED BARK MULCH AROUND ALL TREES AND IN ALL PLANTING BEDS TO A DEPTH OF 3".
- K. SEE SPECIFICATIONS FOR PLANT MAINTENANCE AND WARRANTY REQUIREMENTS.

**ABBREVIATIONS**

ALW	ALLOWANCE	LP	LOW POINT
APPROX	APPROXIMATE	MAX	MAXIMUM
ARCH	ARCHITECT	ME	MEET EXISTING
AVE	AVERAGE	MFG	MANUFACTURER
B&B	BALLED AND BURLAPPED	MH	MANHOLE
BC	BACK OF CURB	MIN	MINIMUM
BLOG	BUILDING	N	NORTH
BR	BOTTOM OF RAMP	NIC	NOT IN CONTRACT
BS	BOTTOM OF STAIR	NO	NUMBER
BW	BOTH WAYS	NOM	NOMINAL
CAL	CALIPER	NTS	NOT TO SCALE
CF	CUBIC FEET	OC	ON CENTER
CIP	CAST IN PLACE	OD	OUTSIDE DIAMETER
CL	CENTER LINE	PC	POINT OF CURVE
CLR	CLEAR	PE	POLYETHYLENE
CO	CLEANOUT	PI	POINT OF INTERSECTION
CONT	CONTINUOUS	PL	PROPERTY LINE
CY	CUBIC YARD	PT	POINT
DEMO	DEMOLISH	PVC	POLY VINYL CHLORIDE
DIA	DIAMETER	QTY	QUANTITY
DIM	DIMENSION	R	RADIUS
DTL	DETAIL	REF	REFERENCE
DWG	DRAWING	REINF	REINFORCE
E	EAST	R-EJ	REINFORCED EXPANSION JT
EA	EACH	REQD	REQUIRED
EJ	EXPANSION JOINT	REV	REVISION
EL	ELEVATION	ROW	RIGHT-OF-WAY
ENG	ENGINEER	S	SOUTH
EQU	EQUAL	SAN	SANITARY
EST	ESTIMATE	SF	SQUARE FEET
EW	EACH WAY	SHT	SHEET
EXIST	EXISTING	SIM	SIMILAR
EXP	EXPANSION	SIM	SIMILAR
FES	FLARED END SECTION	SPECS	SPECIFICATIONS
FFE	FINISHED FLOOR ELEVATION	ST	STORM SEWER
FG	FINISH GRADE	SY	SQUARE YARD
FL	FLOW LINE	STA	STATION
FOC	FACE OF CURB	STD	STANDARD
FL	FLOWLINE	SYM	SYMMETRICAL
FT	FEET	SQ	SQUARE
FTG	FOOTING	T&B	TOP AND BOTTOM
FS	FINISHED SURFACE	TBD	TO BE DETERMINED
GA	GAUGE	TC	TOP OF CURB
GEN	GENERAL	TH	THICK
HORIZ	HORIZONTAL	TOPO	TOPOGRAPHY
HP	HIGH POINT	TR	TOP OF RAMP
ID	INSIDE DIAMETER	TS	TOP OF STAIR
IE	INVERT ELEVATION	TYP	TYPICAL
IN	INCHES	UNO	UNLESS NOTED OTHERWISE
INCL	INCLUDED	VAR	VARIES
JT	JOINT	VOL	VOLUME
LF	LINEAR FEET	W	WITH
		W/O	WITHOUT
		WT	WEIGHT
		WWM	WELDED WIRE MESH
		YD	YARD

**LINE SYMBOL LEGEND**

	PROPERTY LINE
	EASEMENT
	SETBACK
	EXISTING INDEX CONTOUR
	EXISTING CONTOUR
	PROPOSED INDEX CONTOUR
	PROPOSED CONTOUR
	COMMUNICATIONS
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIBER OPTIC
	SANITARY SEWER
	STORM SEWER
	UNDERDRAIN
	TELEPHONE
	WATER
	SILT FENCE
	FENCE

**ISSUE SCHEDULE**

ISSUE	DATE	DESCRIPTION
1	02/16/2023	STARBUCKS INITIAL LAYOUT
2	05/15/2023	20% CD SET
3	09/20/2023	INITIAL SITE PLAN SUBMITTAL
4	07/18/2023	2ND SITE PLAN SUBMITTAL
5	02/13/2023	100% PERMIT DRAWINGS
6	08/07/2023	3RD SITE PLAN SUBMITTAL

ISSUED FOR  
 100% PERMIT  
 DRAWINGS  
 NOT FOR  
 CONSTRUCTION


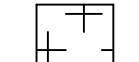
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**GENERAL NOTES**

**GENERAL NOTES**

- A. REFERENCE ALL NOTES ON SHEET L001 AND SPECIFICATION MANUAL.
- B. PRESERVE AND PROTECT ALL EXISTING PAVEMENT OUTSIDE CONTRACT LIMIT LINE.

**PAVEMENT LEGEND (SITE):**

-  GRADING EXTENTS
-  EXISTING PUBLIC SIDEWALK PCC

**KEYNOTES**

- ① PROTECT & PRESERVE EXISTING PCC WALK SLAB
- ② CONTRACTOR TO STRIP TOPSOIL TO PROVIDE A MINIMUM DEPTH OF 8" AT FINAL GRADE.
- ③ REMOVE AND LEGALLY DISPOSE OF EXISTING PCC CURB AND GUTTER.
- ④ PRESERVE & PROTECT EXISTING UTILITIES

**KEETOWN LOOP STARBUCKS**  
 THE QUARTER AT WAUKEE, IOWA

**ISSUE SCHEDULE**

ISSUE	DATE	DESCRIPTION
1	02/16/2023	STARBUCKS INITIAL LAYOUT
2	05/15/2023	20% CD SET
3	06/20/2023	INITIAL SITE PLAN SUBMITTAL
4	07/18/2023	2ND SITE PLAN SUBMITTAL
5	07/21/2023	100% PERMIT DRAWINGS
6	08/07/2023	3RD SITE PLAN SUBMITTAL

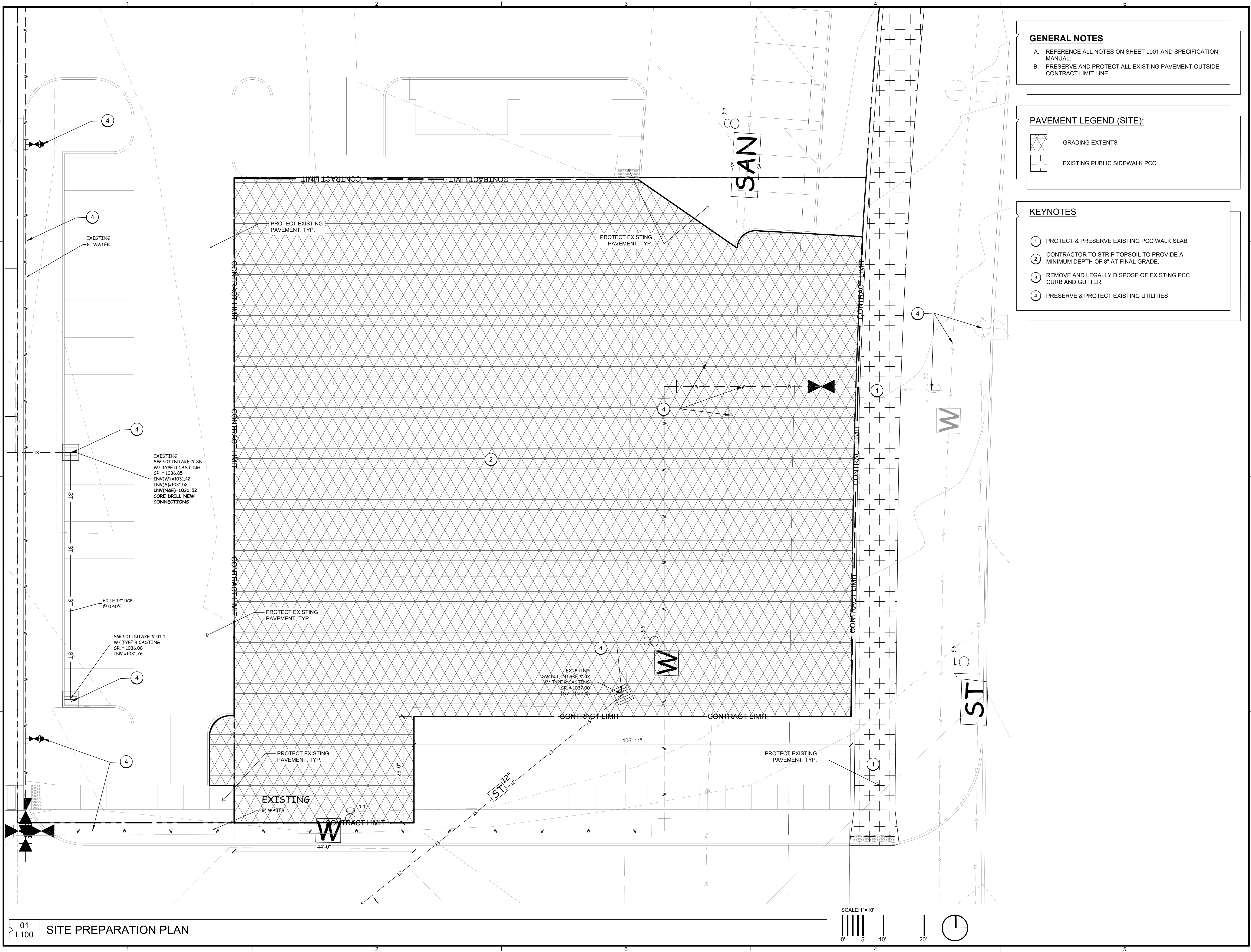
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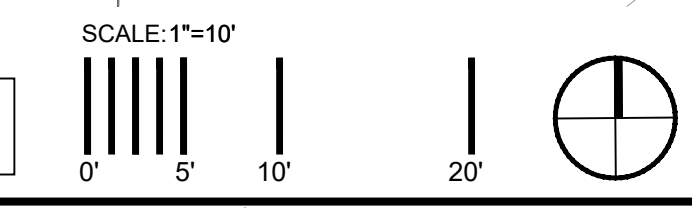
**SITE PREPARATION PLAN**

CONFLUENCE PROJECT # 21072-10

**L100**



01 SITE PREPARATION PLAN



**KEETOWN LOOP STARBUCKS**  
 THE QUARTER AT WAUKEE, LLC  
 WAUKEE, IOWA

**GENERAL NOTES**

- A. REFERENCE ALL NOTES ON SHEET L001 AND SPECIFICATION MANUAL.
- B. THE CITY OF WAUKEE IS NOT RESPONSIBLE FOR PAVEMENT REPLACEMENT COSTS SHOULD THE CITY NEED TO REMOVE PAVEMENT FOR SANITARY SEWER REPAIRS.
- C. GENERAL CONTRACTOR IS RESPONSIBLE FOR FOUNDATIONS AND FOOTINGS OF ALL MENU BOARD AND DRIVE THRU ELEMENTS. REFER TO STRUCTURAL SHEETS FOR ALL FOUNDATION AND FOOTING DETAILS.
- D. SIGNAGE VENDOR TO SUPPLY TEMPLATES AND INSTALL MENU BOARDS ONLY.
- E. OUTDOOR FURNITURE NOT TO BE INSTALLED BY GENERAL CONTRACTOR.

**KEYNOTES**

- 1 PCC PAVEMENT TYPE 1 (WALK - 5" DEPTH), SEE DETAIL 01/L500
- 2 PCC PAVEMENT TYPE 2 (PARKING/TRAIL - 6" DEPTH), SEE DETAIL 02/L500
- 3 PCC PAVEMENT TYPE 3 (DRIVES, DUMPSTER PAD - 7" DEPTH), SEE DETAIL 03/L500
- 4 BOLLARD, NON-ILLUMINATED, SEE DETAIL 01/L502
- 5 LANDSCAPE AREAS, SEE PLANTING SHEETS
- 6 DT 5-PANEL MENU BOARD, SEE DETAILS 06-09/L503 & 01/L504
- 7 TRIO BIKE RACK, SEE DETAIL 04/L500
- 8 TRANSFORMER, SEE ELECTRICAL PLANS
- 9 ADA STALL SIGNAGE, SEE DETAIL 16/L500
- 10 STANDARD PCC CURB AND GUTTER, SEE DETAIL 06/L500
- 11 DT DIRECTIONAL EXIT/THANK YOU SIGN, SEE DETAILS 02-04/L502
- 12 WAYFINDING PAVEMENT ARROWS
- 13 RETURN CURB AT ADA RAMP, SEE DETAIL 05/L501
- 14 PARALLEL ACCESS RAMP, SEE DETAIL 03/L501
- 15 INTEGRAL CURB, SEE DETAIL 05/L500
- 16 PERPENDICULAR ACCESS RAMP, SEE DETAIL 09/L501
- 17 CONCRETE KNEE WALL, SEE DETAIL 09/L502
- 18 DTE MONUMENT SIGN, ILLUMINATED, SEE DETAIL 01/L503
- 19 DTE CLEARANCE BAR, SEE DETAILS 05-08/L502
- 20 DIGITAL ORDER SCREEN WITH CANOPY, SEE DETAILS 01-09/L504
- 21 DT PRE-MENU, SEE DETAILS 02-05/L503
- 22 IRRIGATION CONTROL VAULT LOCATION
- 23 DT DIRECTIONAL ARROW SIGN, SEE DETAILS 02-04/L502
- 24 REINFORCED EXPANSION JOINT, SEE DETAIL 13/L500

**LEGEND:**

- PCC PAVEMENT (TYPE 1), SEE DETAIL 01/L500
- PCC PAVEMENT (TYPE 2), SEE DETAIL 02/L500
- PCC PAVEMENT (TYPE 3), SEE DETAIL 03/L500
- UPLIGHT, SEE DETAILS 01/L507 & 02/L507
- BOLLARD LIGHT, SEE DETAIL 03/L507

ROAD COORDINATE POINT DATA		
#	EASTING	NORTHING
D01	1543178.34	576267.23
D02	1543285.96	576267.23
D03	1543295.12	576260.86
D04	1543292.66	576178.23
D05	1543260.68	576148.59
D06	1543178.34	576148.59
D07	1543178.34	576190.04
D08	1543278.84	576190.04

BUILDING COORDINATE POINT DATA		
#	EASTING	NORTHING
AD1	1543198.77	576255.58
AD2	1543198.77	576225.68
AD3	1543272.66	576225.68
AD4	1543272.66	576255.58

LIGHTING COORDINATE POINT DATA		
#	EASTING	NORTHING
L01	1543218.26	576119.16
L02	1543218.26	576119.16
L03	1543233.00	576157.83
L04	1543305.12	576240.44

ISSUE SCHEDULE		
ISSUE	DATE	DESCRIPTION
1	02/16/2023	STARBUCKS INITIAL LAYOUT
2	05/15/2023	50% CD SET
3	09/20/2023	INITIAL SITE PLAN SUBMITTAL
4	07/18/2023	2ND SITE PLAN SUBMITTAL
5	07/12/2023	100% PERMIT DRAWINGS
6	08/07/2023	3RD SITE PLAN SUBMITTAL

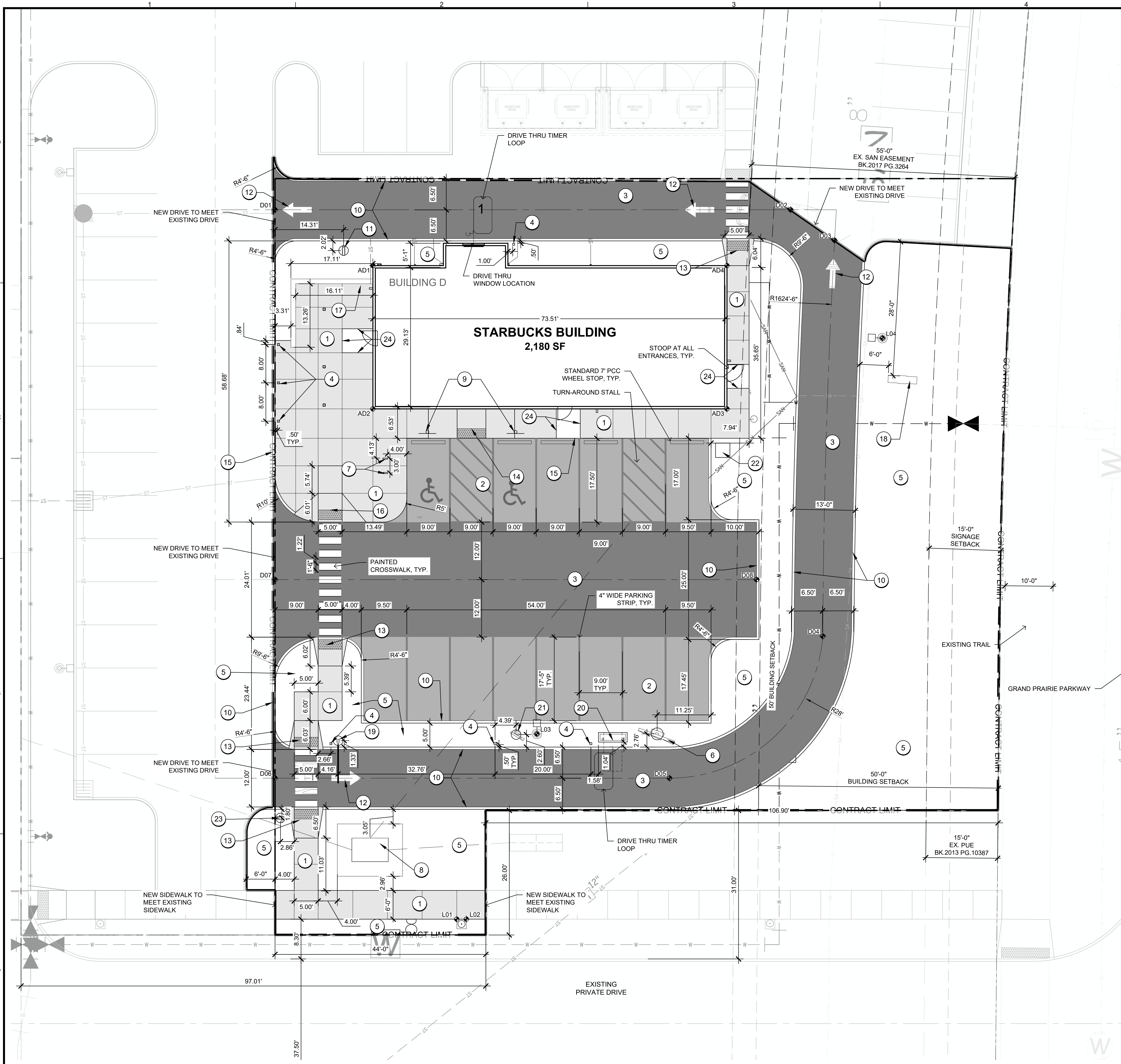
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LAYOUT, DETAILED SITE,  
 DIMENSIONAL CONTROL, AND  
 PAVING PLAN

CONFLUENCE PROJECT # 21072-10

**L200**



01 L200 LAYOUT, DETAILED SITE, DIMENSIONAL CONTROL, AND PAVING PLAN

SCALE: 1"=10'



**GENERAL NOTES**

1. REFERENCE ALL NOTES ON SHEET L001 AND SPECIFICATION MANUAL.
2. ALL GRADING IS TO BE COMPLETED WITHIN SITE PROPERTY LINE.

**ABBREVIATIONS**

TC: TOP OF CURB  
 BC: BOTTOM OF CURB  
 TR: TOP OF RAMP  
 BR: BOTTOM OF RAMP  
 FFE: FINISHED FLOOR ELEVATION  
 LP: LOW POINT  
 HP: HIGH POINT  
 M.E.: MEET EXISTING  
 FS: FINISHED SURFACE  
 FG: FINISHED GRADE  
 TF: TOP OF FOOTING

**KEETOWN LOOP STARBUCKS**  
 THE QUARTER AT WAUKEE, IOWA

**ISSUE SCHEDULE**

ISSUE	DATE	DESCRIPTION
1	02/16/2023	STARBUCKS INITIAL LAYOUT
2	05/15/2023	30% CD SET
3	09/20/2023	INITIAL SITE PLAN SUBMITTAL
4	07/18/2023	2ND SITE PLAN SUBMITTAL
5	07/21/2023	100% PERMIT DRAWINGS
6	08/07/2023	3RD SITE PLAN SUBMITTAL

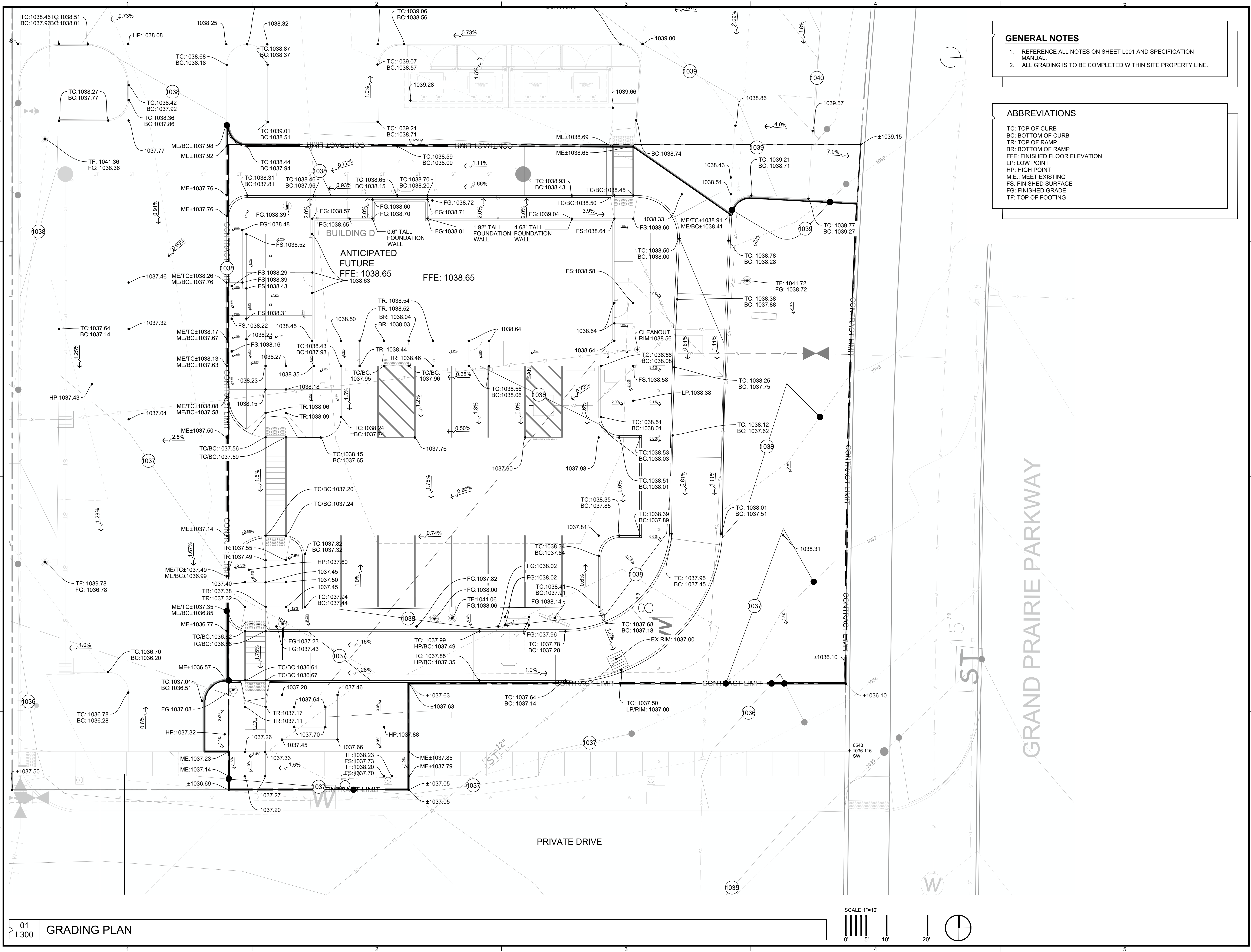
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**GRADING PLAN**

CONFLUENCE PROJECT # 21072-10

**L300**





**GENERAL NOTES**  
 REVERSE STORM WATER MANAGEMENT PLAN KEETOWN LOOP FOR SWMP OF THIS SITE.  
 REFERENCE ALL NOTES ON SHEET L001 AND SPECIFICATION MANUAL.

**ABBREVIATIONS**  
 TC: TOP OF CURB  
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**KEETOWN LOOP STARBUCKS**  
 THE QUARTER AT WAUKEE, LLC  
 WAUKEE, IOWA

**ISSUE SCHEDULE**

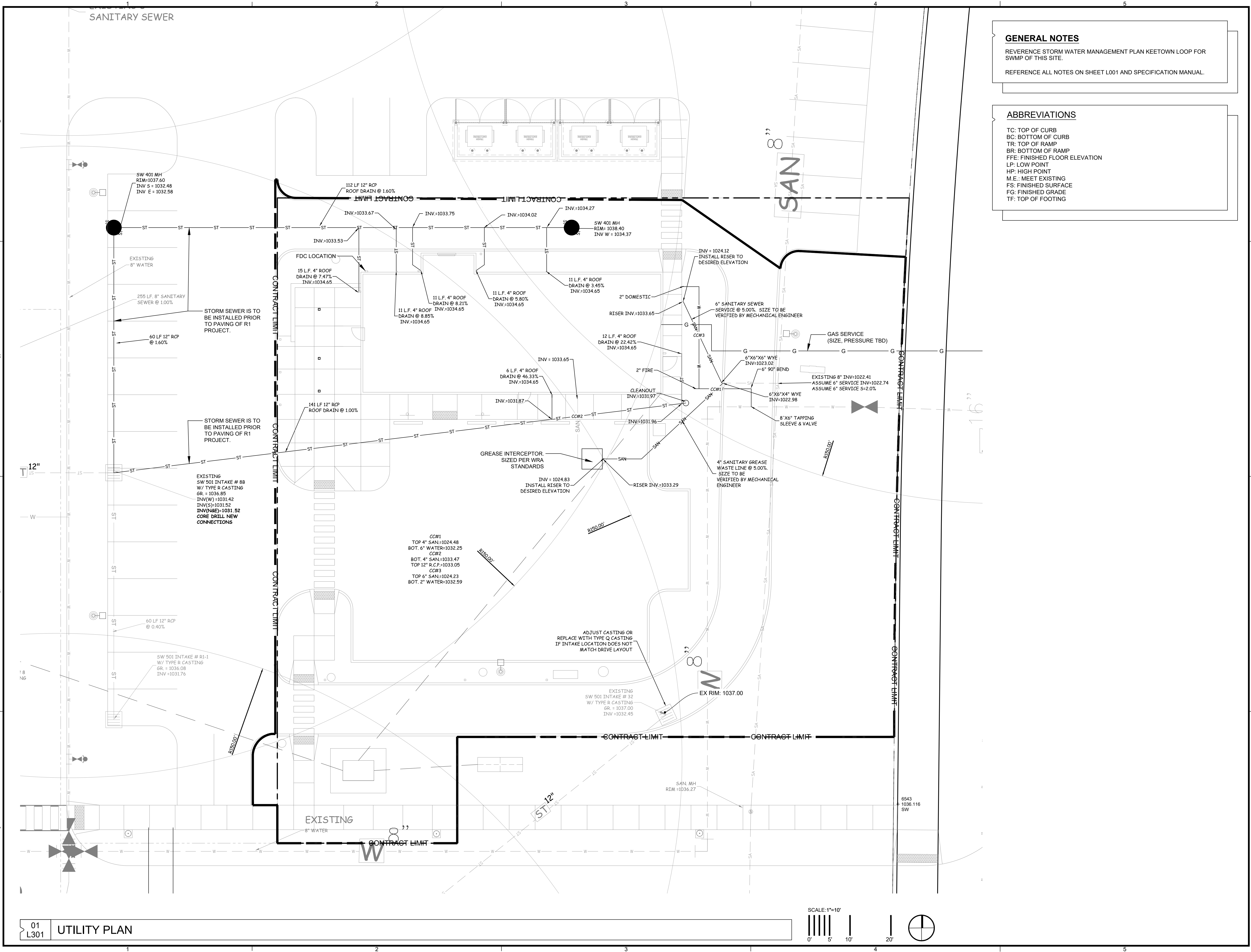
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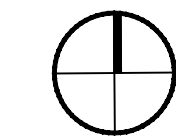
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UTILITY PLAN  
 CONFLUENCE PROJECT # 21072-10

L302



01 L301 UTILITY PLAN




**ABBREVIATIONS**

TC: TOP OF CURB  
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 BR: BOTTOM OF RAMP  
 FFE: FINISHED FLOOR ELEVATION  
 LP: LOW POINT  
 HP: HIGH POINT  
 M.E.: MEET EXISTING  
 F.S.: FINISHED SURFACE  
 TS: TOP OF STAIRS  
 BS: BOTTOM OF STAIRS  
 TOF: TOP OF FOUNDATION  
 RIM: RIM ELEVATION

**GENERAL NOTES**

A. REFERENCE ALL NOTES ON SHEET L001 AND SPECIFICATION MANUAL.

**SYMBOL LEGEND**

 OVERFLOW ROUTE

**KEETOWN LOOP STARBUCKS**  
 THE QUARTER AT WAUKEE, IOWA  
 WAUKEE, IOWA

**ISSUE SCHEDULE**

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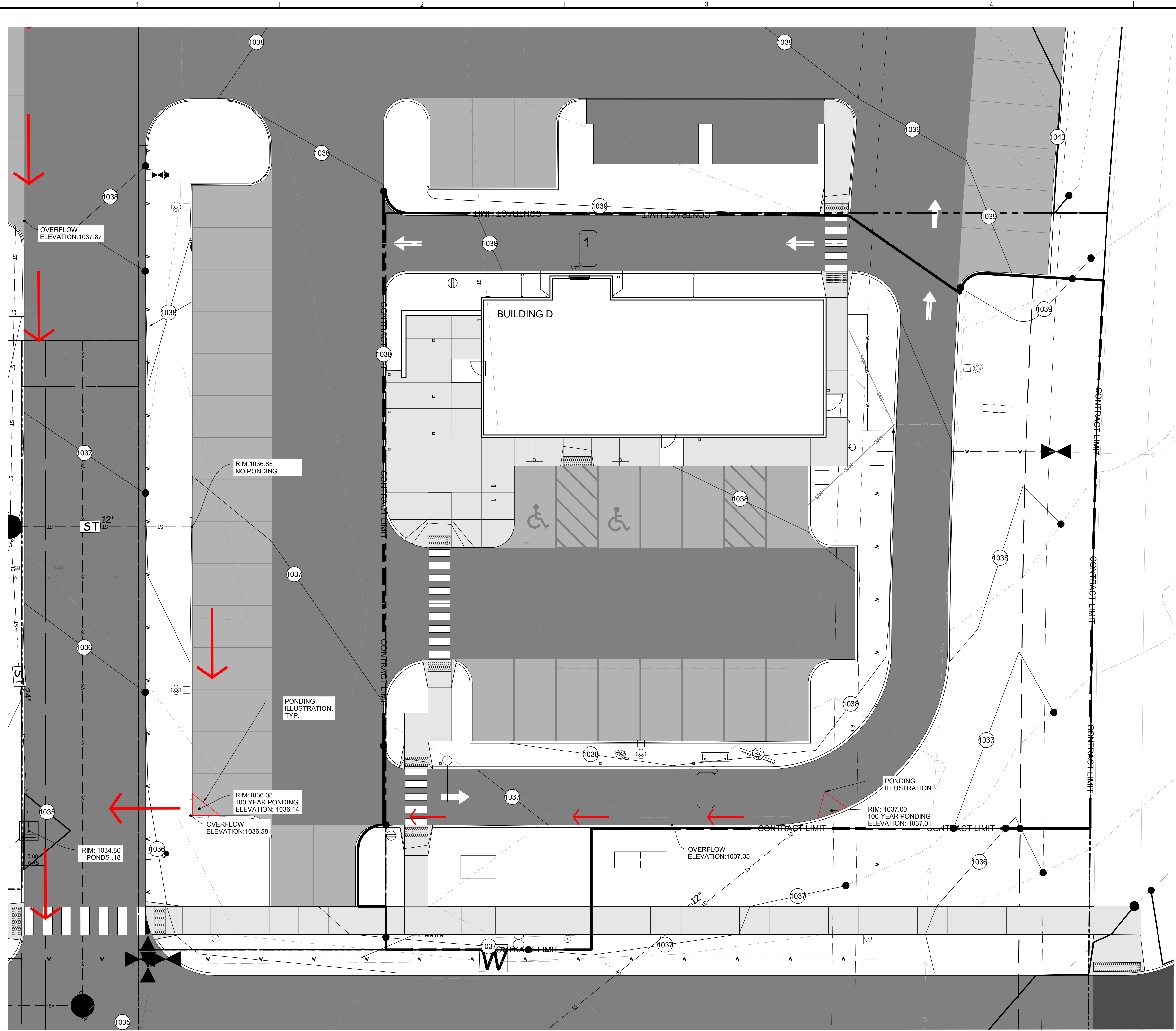
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**PONDING  
 ELEVATIONS**

CONFLUENCE PROJECT # 21072-10

**L303**



01  
 L303 PONDING ELEVATIONS



**EROSION AND POLLUTION CONTROL NOTES**

1. REFERENCE STORM WATER MANAGEMENT PLAN KEETOWN LOOP FOR SWMP OF THIS SITE.
2. THE SUBCONTRACTOR RESPONSIBLE FOR EROSION AND POLLUTION CONTROL SHALL CARRY OUT THE MEASURES DETAILED ON THIS SITE PLAN.
3. CONTROLS MUST BE IN GOOD OPERATING CONDITION UNTIL THE CONSTRUCTION ACTIVITY IS COMPLETE AND FINAL STABILIZATION HAS BEEN REACHED.
4. THE SUBCONTRACTOR SHALL INSPECT THE SITE AT MINIMUM ONCE EVERY 7 DAYS. ALL DISTURBED AREAS OF THE SITE, AREAS OF MATERIAL STORAGE, LOCATIONS WHERE VEHICLES ENTER/EXIT THE SITE, ALL OF THE EROSION AND SEDIMENT CONTROLS THAT ARE IDENTIFIED AS PART OF THIS PLAN AND ACCESSIBLE DISCHARGE LOCATIONS MUST BE INSPECTED.
5. THE SUBCONTRACTOR IS TO TAKE NECESSARY ACTIONS TO CORRECT DEFICIENCIES FOUND DURING INSPECTIONS AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN 7 DAYS AFTER THE INSPECTION IN WHICH THE DEFICIENCY WAS FOUND.
6. THE SUBCONTRACTOR SHALL KEEP LOG AND PREPARE WEEKLY REPORTS DETAILING THE INSPECTIONS AND MEASURES TAKEN TO CORRECT ANY AND ALL DEFICIENCIES FOUND IN THE EROSION AND POLLUTION CONTROL MEASURES. THE REPORTS SHALL CONFORM TO THE STANDARDS SET BY THE IOWA DEPARTMENT OF NATURAL RESOURCES. COPIES OF THESE REPORTS SHALL BE FORWARDED TO THE DEVELOPER AND TO COOPER CRAWFORD & ASSOCIATES, L.L.C.
7. AFTER INITIAL GRADING PRIOR TO UTILITY CONSTRUCTION - ALL DISTURBED AREAS OUTSIDE OF THE PROPOSED R.O.W.'S ARE TO HAVE TEMPORARY SEEDING AND MULCHING (TYPE 4 SEED MIXTURE PER SUDAS TABLE 9010.09). CONTRACTOR AND SUBS ARE TO TRY TO MINIMIZE DISTURBANCE TO THESE SEEDED AREAS THROUGH THE USE OF SPECIFIC ACCESS ROUTES WITHIN THE SITE.
8. DURING CONSTRUCTION, IF IT BECOMES EVIDENT THAT A DISTURBED AREA WILL NOT BE DISTURBED FOR 14 DAYS, IT SHALL BE STABILIZED IMMEDIATELY.
9. SOILING TO BE DONE IMMEDIATELY AFTER FINAL GRADING.
10. ANY FAILED AREAS OF SEEDING/MULCHING SHALL BE REAPPLIED.
11. ANY SOIL OR SPILL WASHED, TRACKED OR DROPPED ONTO ADJOINING RIGHT-OF-WAYS AND PROPERTY WILL BE CLEANED UP BY THE END OF THE WORKING DAY AND PRIOR TO A RAIN EVENT.
12. FILTER SOCKS ARE TO BE INSPECTED ONCE A WEEK AND AFTER EACH RAINSTORM. LOOK FOR UNDERCUTTING AND FAILURES IN FABRIC. REPLACE/REPAIR AS NECESSARY.
13. ADDITIONAL FILTER SOCKS (TO THAT SHOWN ON THIS PLAN) MAY BE REQUIRED IN AREAS WHERE EROSION IS EVIDENT.
14. FILTER SOCKS ARE TO BE CLEANED UP WHEN THEY HAVE LOST 50% OF THEIR CAPACITY.
15. ALL INTAKES SHALL HAVE FILTER SOCKS PRIOR TO PAVING AND INLET DROP PROTECTION AFTER PAVING. THESE INLET DROP PROTECTION TO REMAIN IN PLACE UNTIL THE SITE HAS A PERMANENT PERENNIAL GROUND COVER. INLET DROP PROTECTION TO BE INSTALLED IN THE EXISTING INTAKES IN SE PARKVIEW CROSSING DRIVE SOUTH OF THE CONSTRUCTION ENTRANCES.
16. ALL INTAKES SHALL BE COVERED DURING CONSTRUCTION TO PREVENT SEDIMENTATION DEPOSITS WITHIN THE STORM SEWER.
17. IN THE EVENT THAT SEEDING/MULCHING DOES NOT OCCUR PRIOR TO WINTER, ALL DISTURBED AREAS WILL BE MULCHED.
18. NO BORROW/SPILL SITES ARE ANTICIPATED.
19. EROSION CONTROL CONTACT IS THE WAUKEE STORM WATER DEPARTMENT AT 515-978-7920.
20. EROSION CONTROLS TO BE IN ACCORDANCE WITH SUDAS SECTION 9040. SILT FENCE OR FILTER SOCKS, SEDIMENT BASIN, STABILIZED CONSTRUCTION ENTRANCE, EROSION CONTROL MULCH, INLET PROTECTION ARE EXAMPLES OF THE TYPE OF CONTROLS THAT WILL BE UTILIZED DURING CONSTRUCTION. OTHERS MAY BE INCORPORATED BY THE SWPPP INSPECTOR/CONTRACTOR AS SITE CONDITIONS WARRANT.

**LEGEND AND QUANTITIES**

--- SILT FENCE = 445 LF

**GENERAL NOTES**

1. SITE IS CURRENTLY ROUGH GRADED SO NO STOCKPILE IS ANTICIPATED. IF A STOCKPILE IS CREATED, DOWNSLOPE SILT FENCE WILL BE INSTALLED AND THE LOCATION WILL BE ADDED TO THE PLAN BY THE SWPPP INSPECTOR.
2. STORM WATER WILL DRAIN TO EXISTING STORM SEWER SYSTEM, TO A STORM WATER DETENTION FACILITY AND ULTIMATELY TO SUGAR CREEK.

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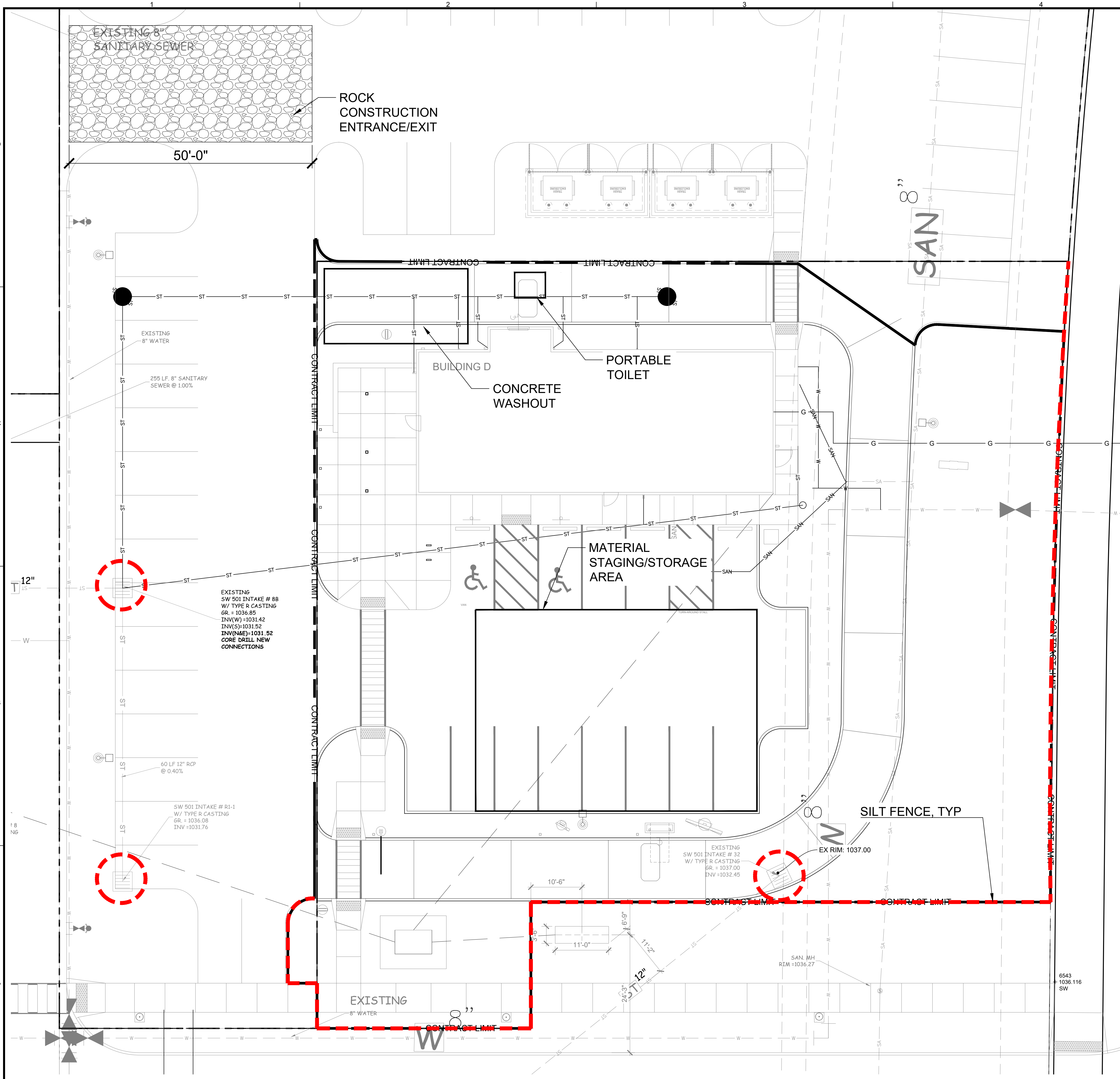
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**EROSION AND SEDIMENT CONTROL PLAN**

CONFLUENCE PROJECT # 21072-10

**L304**



01 EROSION AND SEDIMENT CONTROL PLAN  
 L303



ISSUE SCHEDULE		
ISSUE	DATE	DESCRIPTION
1	02/16/2023	STARBUCKS INITIAL LAYOUT
2	05/15/2023	50% CD SET
3	09/20/2023	INITIAL SITE PLAN SUBMITTAL
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**PLANTING AND  
 LANDSCAPE PLAN**

CONFLUENCE PROJECT # 21072-10

**L400**

PLANT SCHEDULE							
KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING & REMARKS	MATURE HT.
<b>OVERSTORY TREES</b>							
BP	5	Betula platyphylla 'Fargo' DAKOTA PINNACLE	DAKOTA PINNACLE BIRCH	2'0" CAL.	B&B	AS SHOWN ON PLAN	30-40 FT
CO	1	Celtis occidentalis	HACKBERRY	2'0" CAL.	B&B	AS SHOWN ON PLAN	40-60 FT
GT	3	Gleditsia triacanthos var. inermis 'Skycole'	SKYLINE HONEY LOCUST	2'0" CAL.	B&B	AS SHOWN ON PLAN	35-45 FT
<b>DECIDUOUS SHRUBS</b>							
HA	8	Hydrangea arborescens 'Aetwo'	INCREDIBALL HYDRANGEA	#3	CONT.	AS SHOWN ON PLAN	4-5 FT
SF	11	Spiraea japonica 'Firelight'	FIRELIGHT SPIREA	#3	CONT.	AS SHOWN ON PLAN	2-3 FT
SJ	21	Spiraea japonica 'Neon Flash'	NEON FLASH SPIREA	#3	CONT.	AS SHOWN ON PLAN	2-3 FT
<b>EVERGREEN SHRUBS</b>							
JC	2	Juniperus chinensis 'Blue Vase'	BLUE VASE JUNIPER	#3	CONT.	AS SHOWN ON PLAN	4-5 FT
JP	10	Juniperus x pfitzeriana 'Sea Green'	SEA GREEN JUNIPER	#3	CONT.	AS SHOWN ON PLAN	4-6 FT
<b>PERENNIALS &amp; GRASSES</b>							
CA	38	Calamagrostis x acutiflora 'Karl Foerster'	KARL FOERSTER FEATHER REED GRASS	#1	CONT.	AS SHOWN ON PLAN	3-5 FT
HE	14	Hemerocallis 'Apricot Sparkles'	APRICOT SPARKLES DAYLILY	#1	CONT.	1'-6" TRIANGULAR SPACING	1-2 FT
RS	17	Rovovskia atriplicifolia	RUSSIAN SAGE	#1	CONT.	AS SHOWN ON PLAN	3-4 FT
RF	22	Rudbeckia fulgida 'Goldstrum'	BLACK-EYED SUSAN	#1	CONT.	2'-6" TRIANGULAR SPACING	2-3 FT
LB	52	Schizachyrium scoparium 'Blue Paradise'	BLUE PARADISE LITTLE BLUESTEM	#1	CONT.	2'-0" TRIANGULAR SPACING	3-4 FT
SH	15	Sporobolus heterolepis	PRAIRIE DROPSEED	#1	CONT.	AS SHOWN ON PLAN	2-3 FT

**GENERAL NOTES**

A. REFERENCE ALL NOTES ON SHEET L001 AND SPECIFICATION MANUAL.

B. OVERSTORY DECIDUOUS TREES SHALL BE A MINIMUM OF 8-FEET IN HEIGHT; EVERGREEN AND ORNAMENTAL TREES SHALL BE A MINIMUM OF 6-FEET IN HEIGHT.

**SYMBOL LEGEND**

- OVERSTORY STREET TREE
- PARKING LOT ISLAND OVERSTORY TREE
- OVERSTORY TREE
- SHRUB
- PERENNIALS
- GRASSES

**HATCH LEGEND**

- SOD (4,100 SF)
- MULCH (2,580 SF)

**LANDSCAPE REQUIREMENTS**

**OFF STREET PARKING:**

PARKING LOT ISLANDS      3 OVERSTORY TREE/ISLAND REQUIRED  
 3 OVERSTORY TREE/ISLAND PROVIDED

**RIGHT OF WAY BUFFER**

117 LF OF FRONTAGE      4.68 OVERSTORY TREES REQUIRED  
 117 X 2 OVERSTORY TREES / 50 LF =      5 OVERSTORY TREES PROVIDED

117 LF X 8 SHRUBS / 50 LF =      18.7 SHRUBS REQUIRED  
 19 SHRUBS PROVIDED

**OPEN SPACE REQUIREMENTS:**

**AREA REQUIREMENT:**  
 SITE AREA: 21,199 SF (0.49 ACRES)

20% REQUIRED OPEN SPACE (4,240 SF)  
 43.5% PROVIDED OPEN SPACE (9,228.66 SF)

25% 2,277.36 SF IMPERVIOUS OPEN SPACE  
 75% 6,951.30 SF PERVIOUS OPEN SPACE

**PLANTING REQUIREMENTS (WITHIN CONTRACT LIMITS):**

1.5 OVERSTORY TREE, .5 UNDERSTORY TREE AND TWO SHRUBS PER 1,000 SF OF REQUIRED OPEN SPACE.

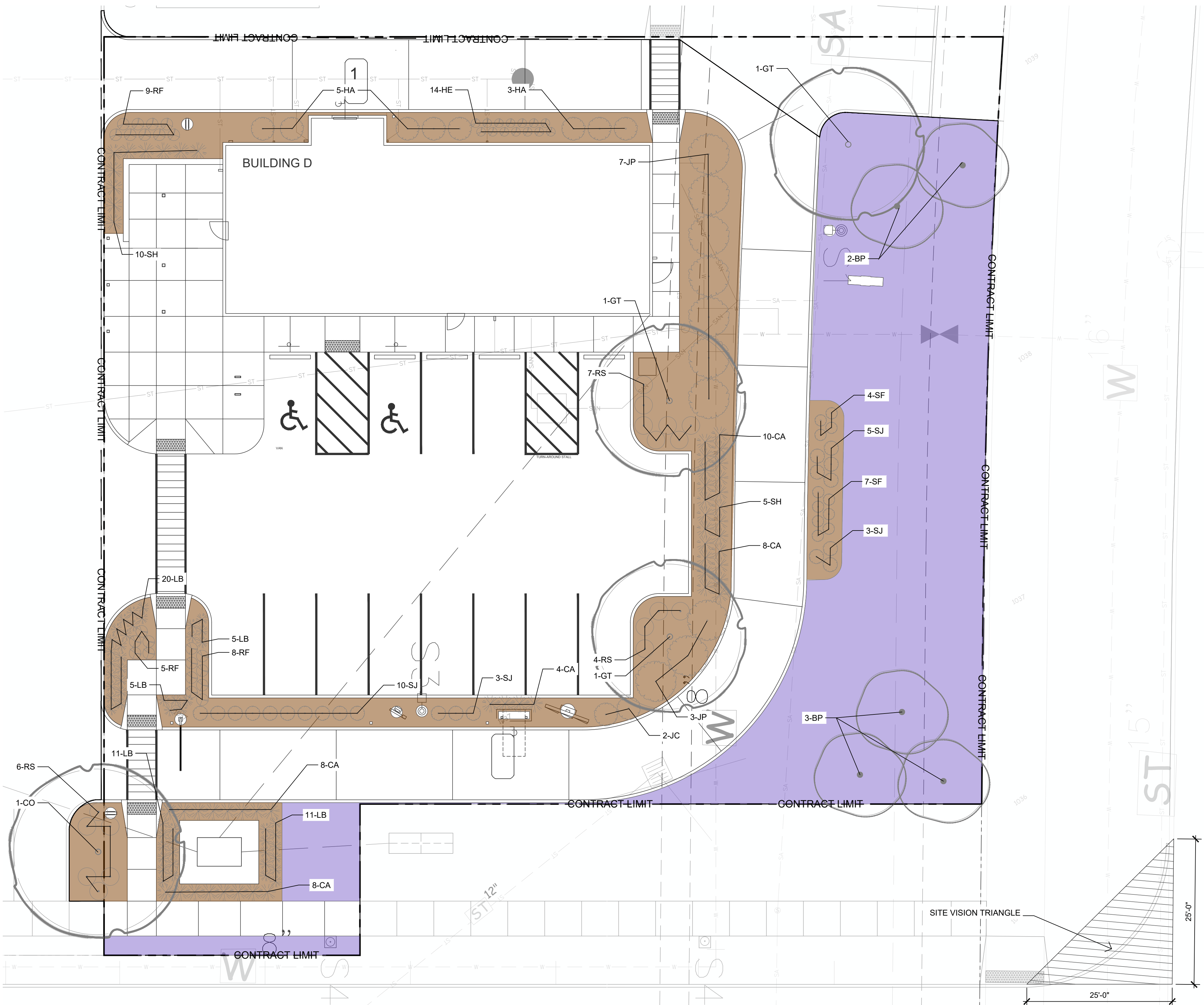
*"OPEN SPACE PLANTINGS ARE PROVIDED ON THE R1 SITE TO THE NORTH TO REDUCE THE PLANTINGS ON THE STARBUCKS SITE. THE INTENT IS TO MAXIMIZE VISIBILITY TO THE MARQUEE SIGN. SEE 'KEETOWN LOOP - R1' SITE PLAN SUBMITTAL COVER SHEET."*

SHRUBS PROVIDED: 0  
 TREES PROVIDED: 0

OVERSTORY TREES: 4,240 SF X 1.5/1,000 SF =      **6.36 OVERSTORY TREES REQUIRED**  
 0 OVERSTORY TREES PROVIDED  
*"6 ADDITIONAL OVERSTORY TREES PROVIDED ON R1 SITE"*

UNDERSTORY TREES: 4,240 SF X .5/1,000 SF =      **2.12 UNDERSTORY TREES REQUIRED**  
 0 UNDERSTORY TREES PROVIDED  
*"6 ADDITIONAL UNDERSTORY TREES PROVIDED ON R1 SITE"*

SHRUBS: 4,240 SF X 2/1,000 SF =      **8.48 SHRUBS REQUIRED**  
 0 SHRUBS PROVIDED  
*"9 ADDITIONAL SHRUBS PROVIDED ON R1 SITE"*



ISSUE SCHEDULE		
ISSUE	DATE	DESCRIPTION
1	02/16/2023	STARBUCKS INITIAL LAYOUT
2	05/15/2023	20% CD SET
3	05/25/2023	INITIAL SITE PLAN SUBMITTAL
4	07/18/2023	2ND SITE PLAN SUBMITTAL
5	07/21/2023	100% PERMIT DRAWINGS
6	08/07/2023	3RD SITE PLAN SUBMITTAL











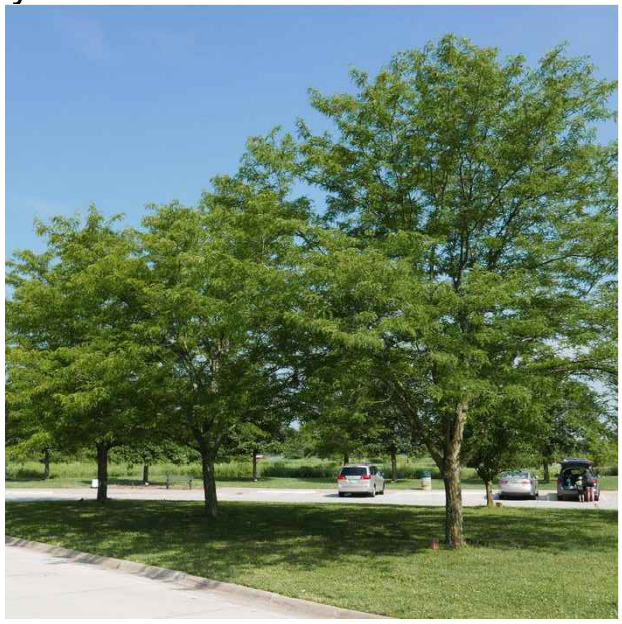



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 CONSTRUCTION

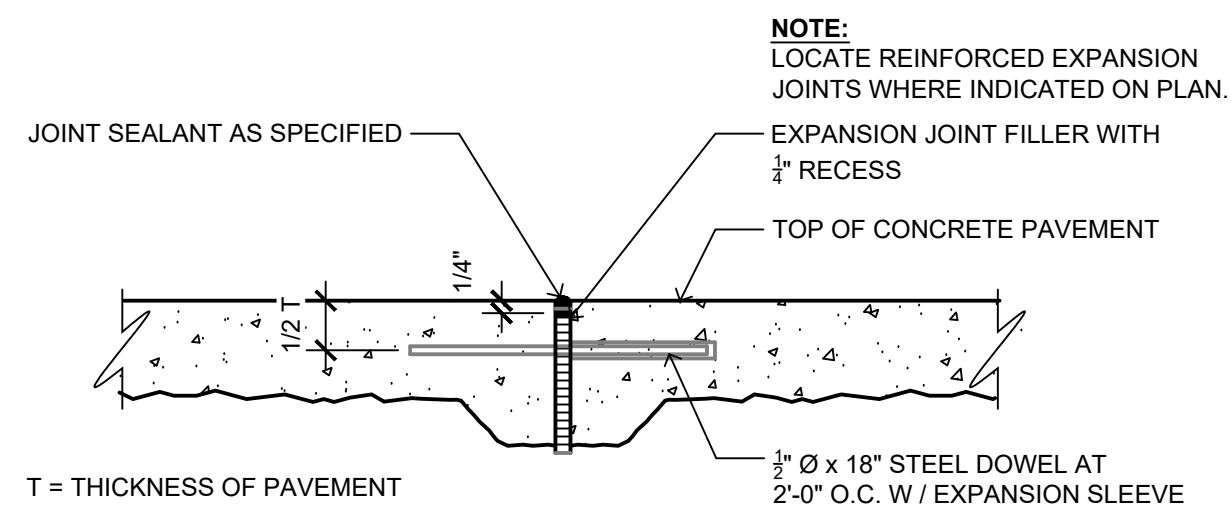
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PLANT IMAGES

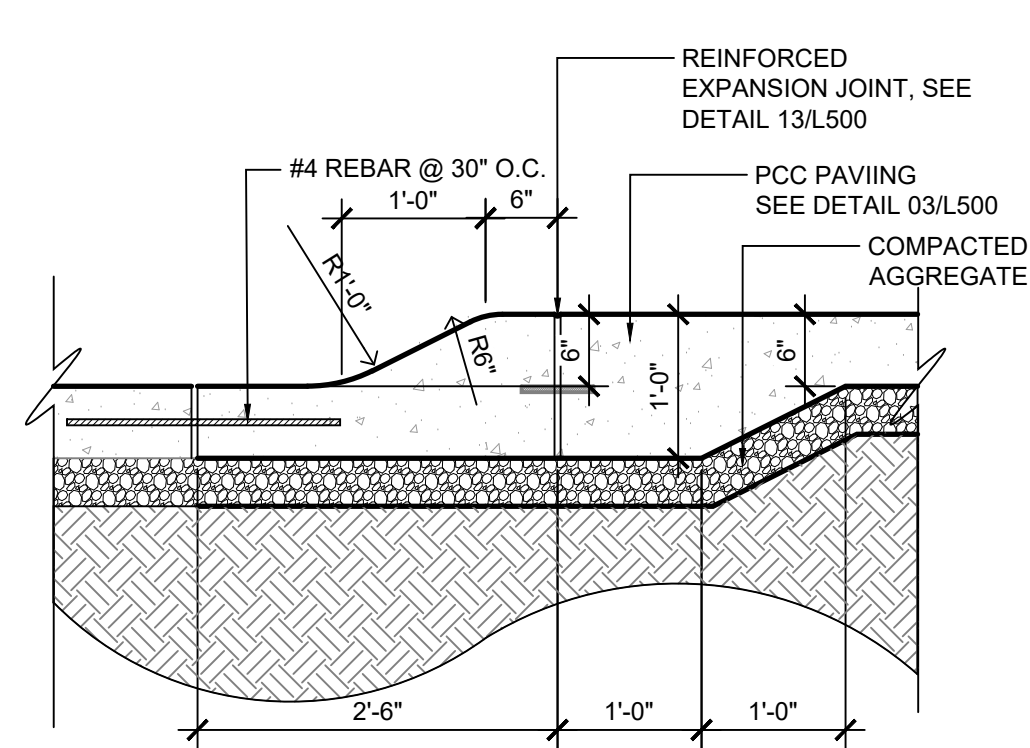
CONFLUENCE PROJECT # 21072-10

L401

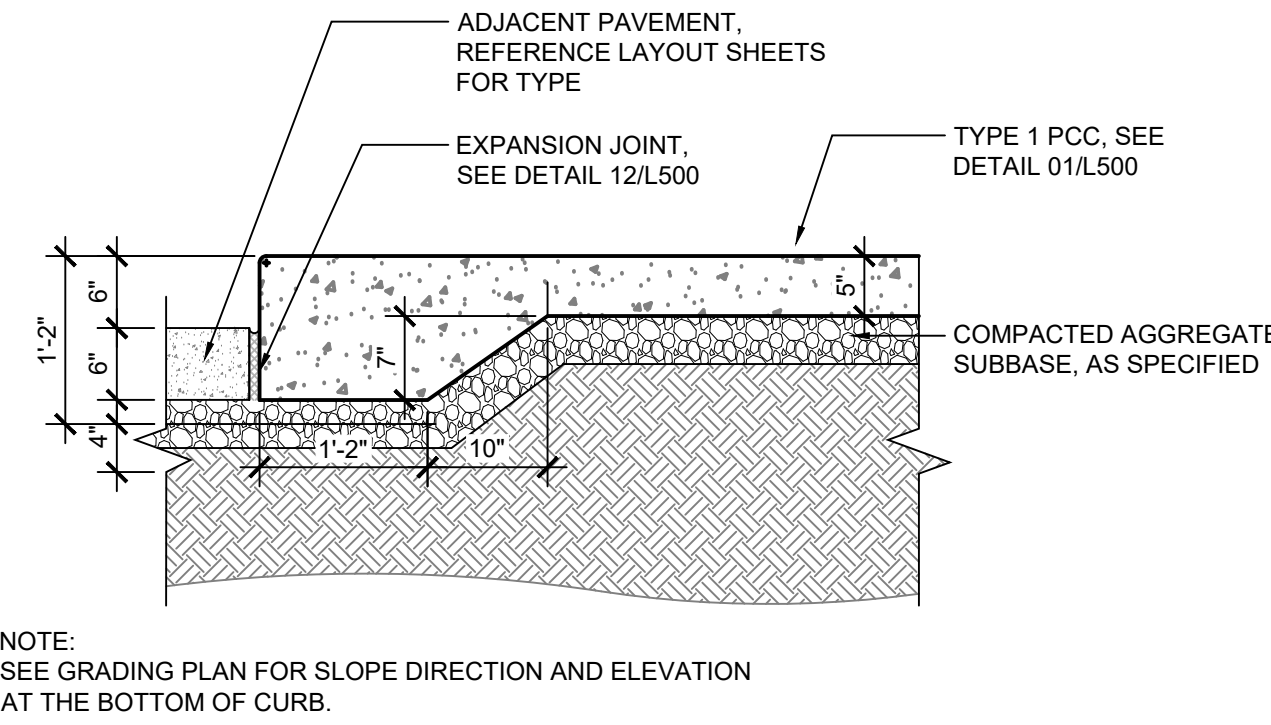
PLANT PHOTOS				
Betula platyphylla 'Fargo' DAKOTA PINNACLE 	Hydrangea arborescens 'Abetwo' 	Juniperus chinensis 'Blue Vase' 	Hemerocallis 'Apricot Sparkles' 	Schizachyrium scoparium 'Blue Paradise' 
Celtis occidentalis 	Spiraea japonica 'Firelight' 	Juniperus x pfitzeriana 'Sea Green' 	Perovskia atriplicifolia 	Sporobolus heterolepis 
Gleditsia triacanthos var. inermis 'Skycole' 	Spiraea japonica 'Neon Flash' 	Calamagrostis x acutiflora 'Karl Foerster' 	Rudbeckia fulgida 'Goldstrum' 	



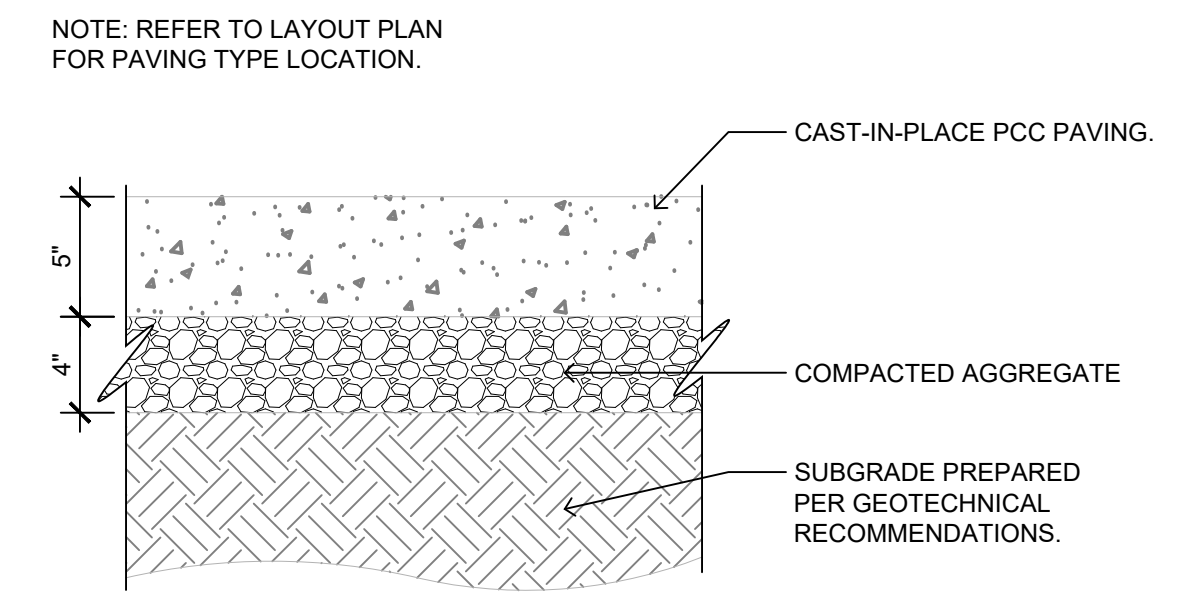
13 SECTION: REINFORCED EXPANSION JOINT  
 L500



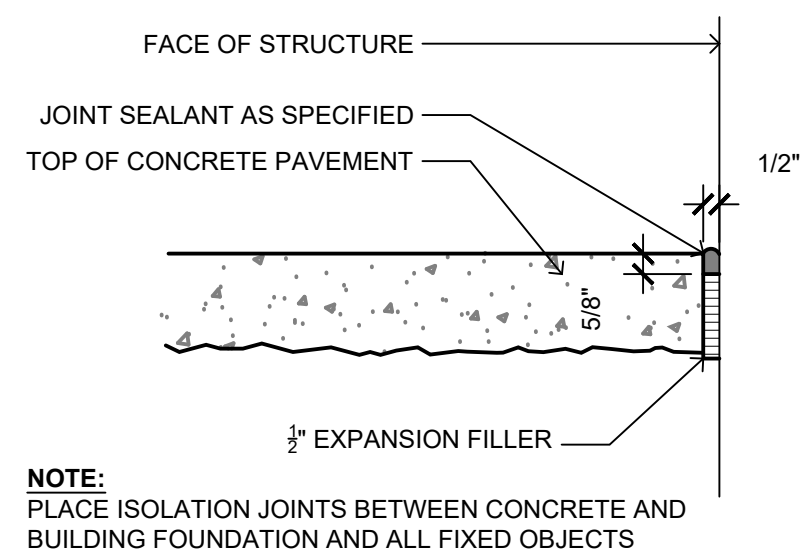
09 SECTION: ROLL CURB AT PCC  
 L500



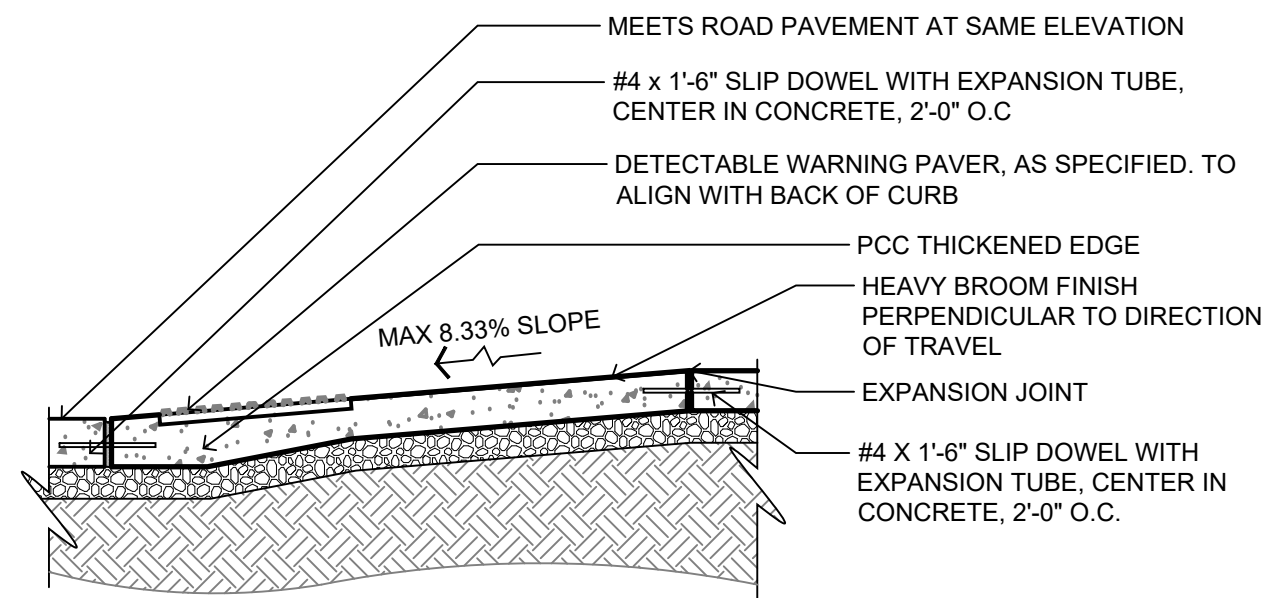
05 SECTION: INTEGRAL CURB & GUTTER  
 L500



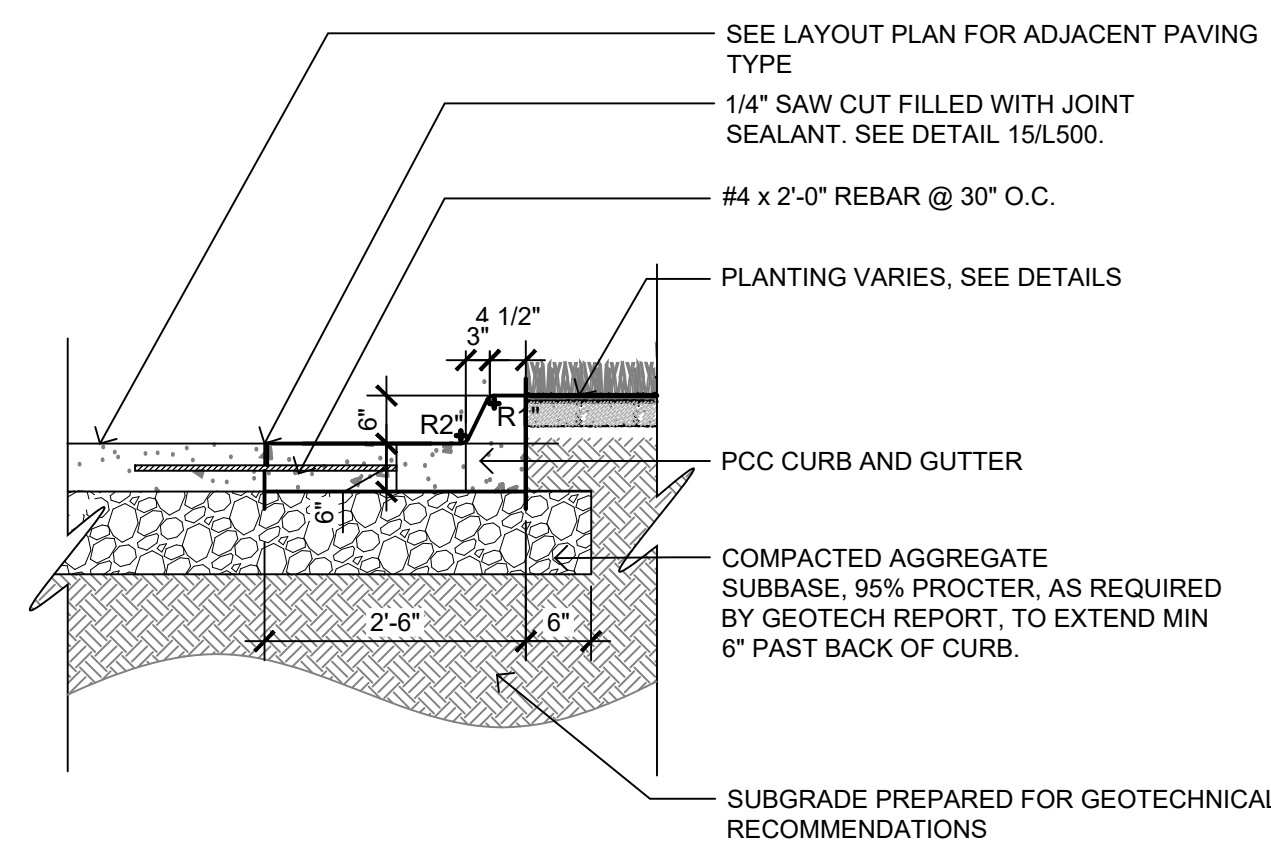
01 SECTION: TYPE 1 PCC (WALK) - TYP.  
 L500 1-1/2" = 1'-0"



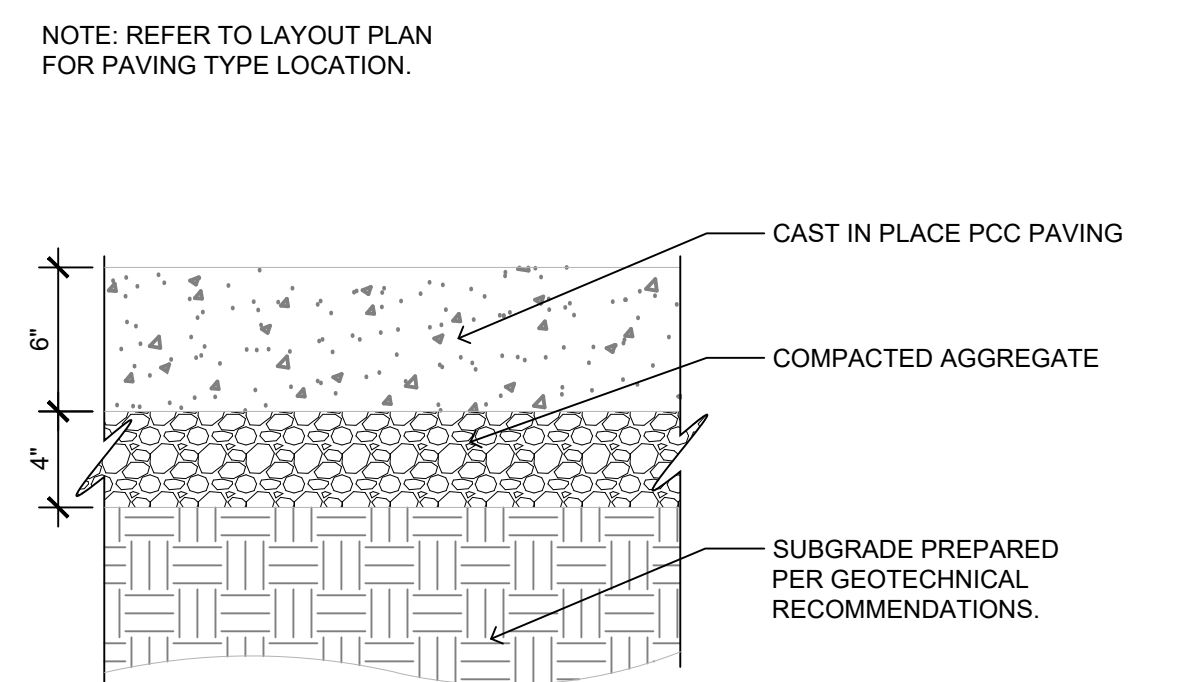
14 SECTION: ISOLATION JOINT - TYP.  
 L500



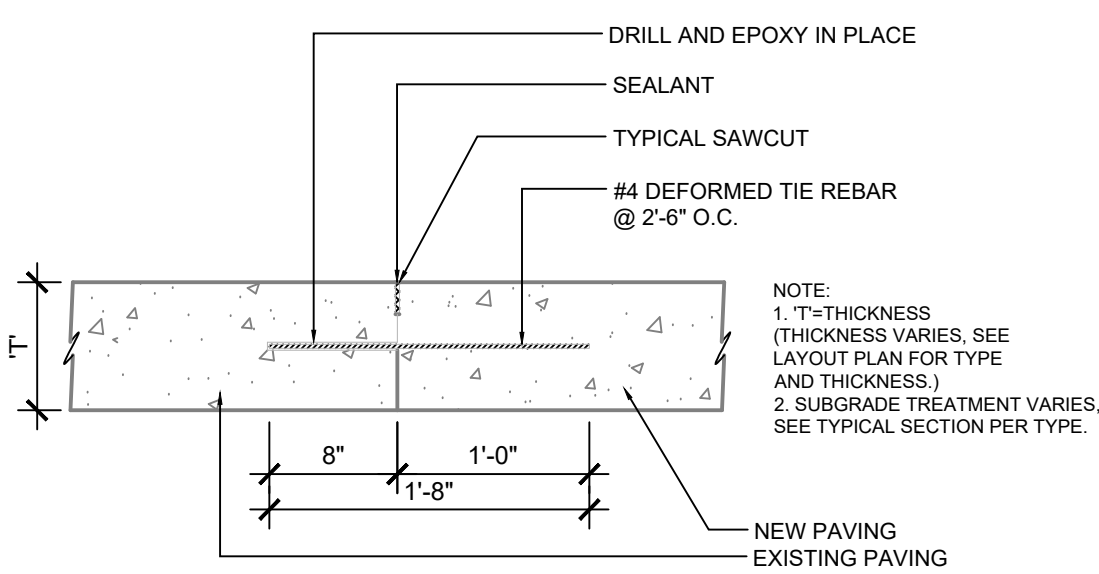
10 SECTION: PERPENDICULAR ACCESS RAMP  
 L500



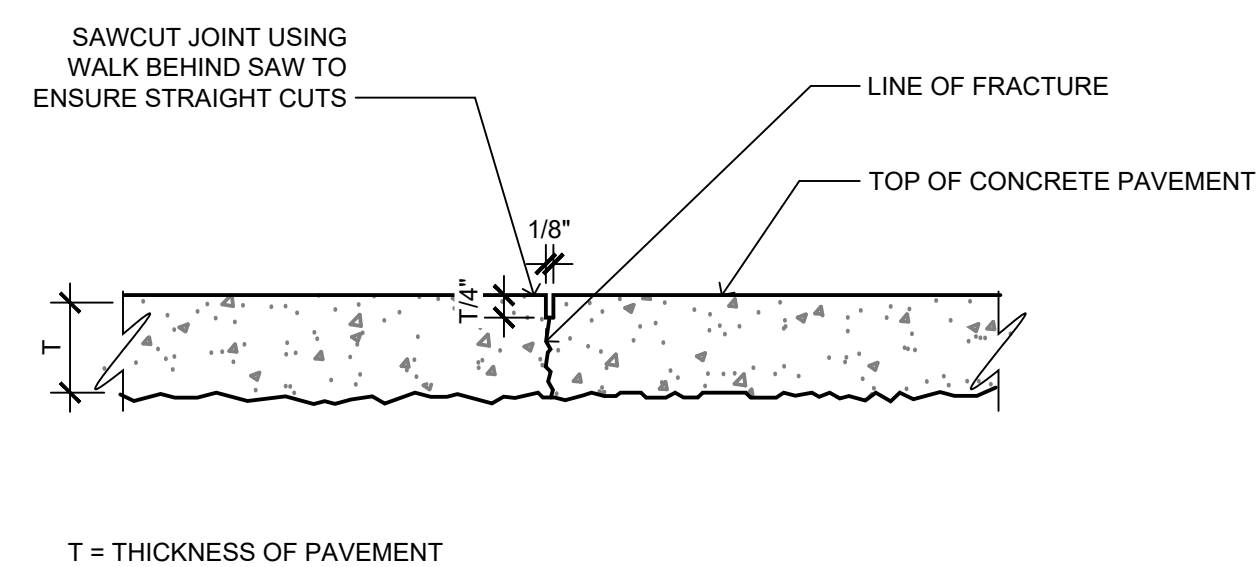
06 SECTION: STANDARD PCC CURB AT SOD  
 L500



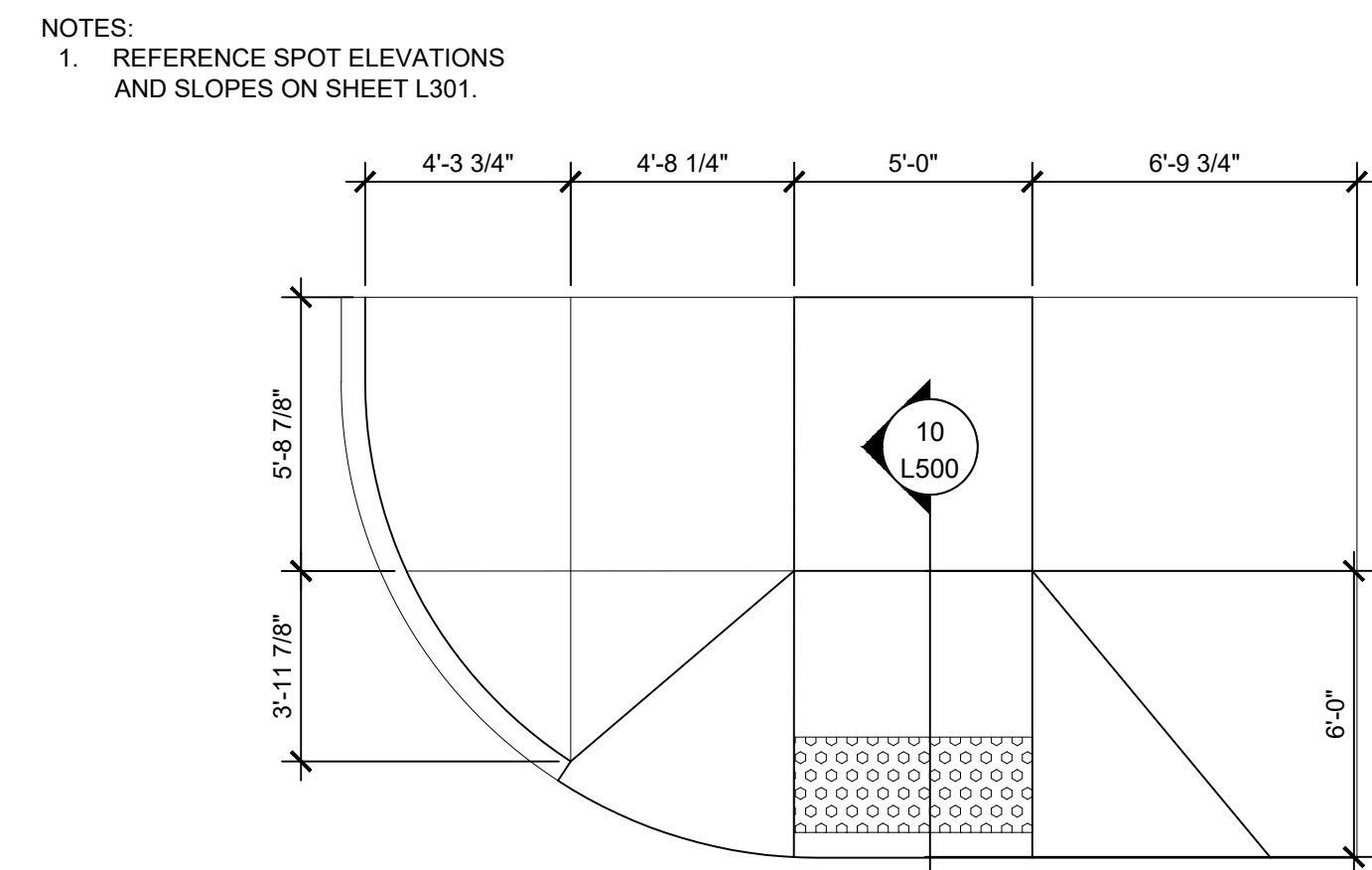
02 SECTION: TYPE 2 PCC (PARKING) - TYP.  
 L500 1-1/2" = 1'-0"



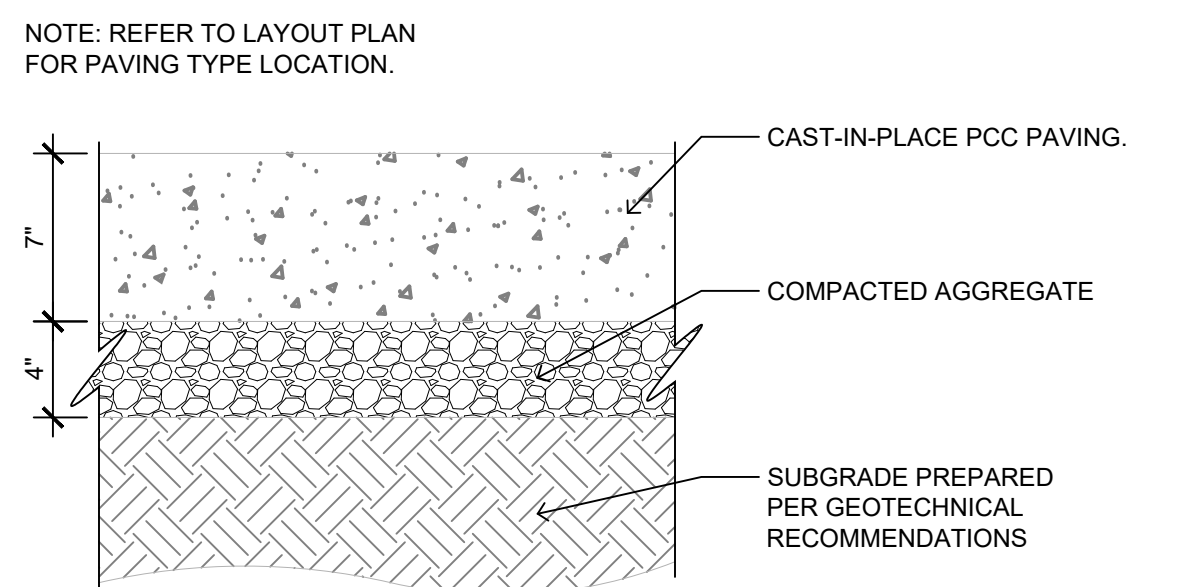
15 SECTION: COLD JOINT - TYP.  
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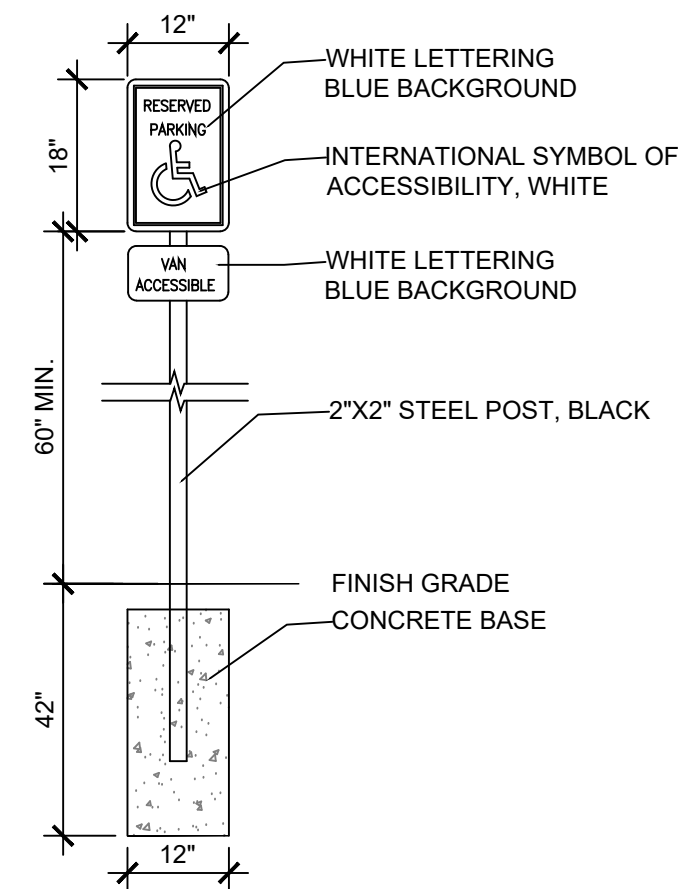
11 SECTION: SAW CUT JOINT - TYP.  
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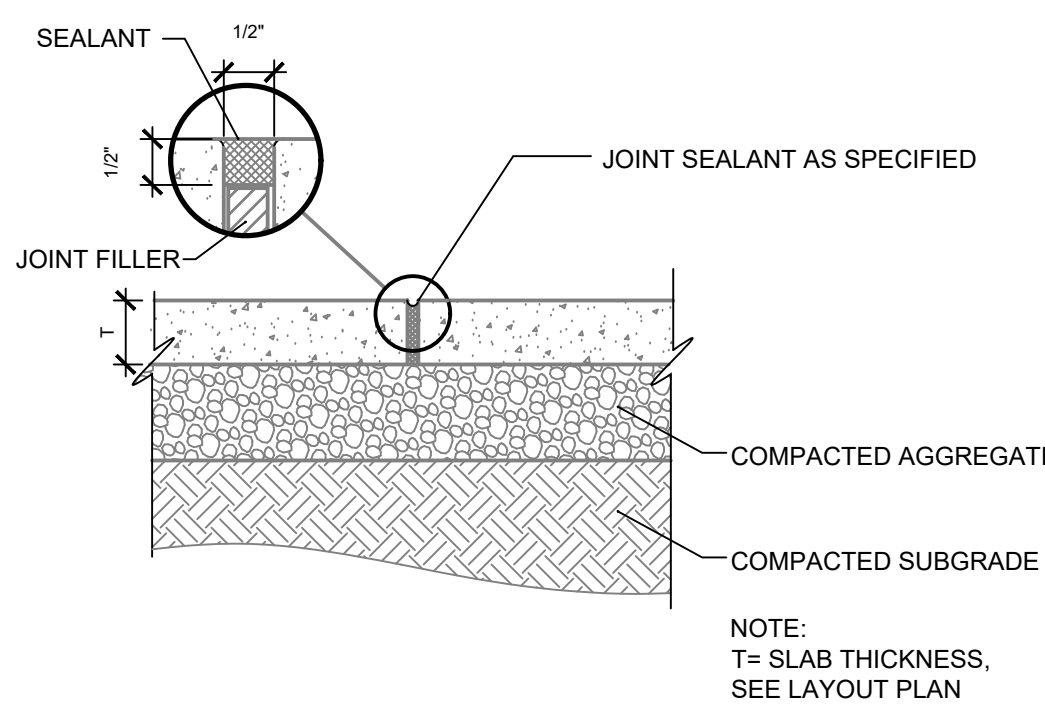
07 PLAN: PERPENDICULAR ACCESS RAMP  
 L500



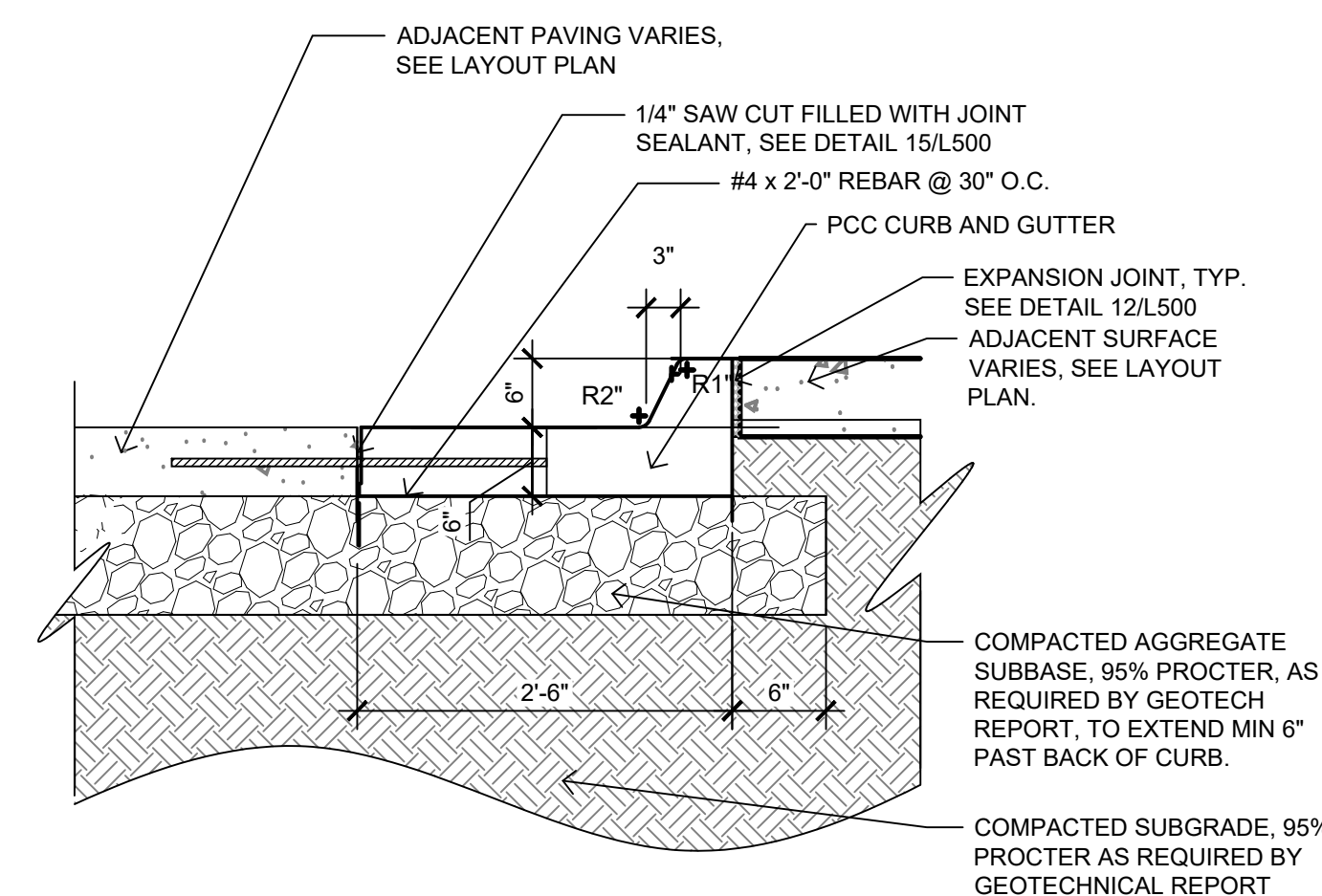
03 SECTION: TYPE 3 PCC (DRIVES) - TYP.  
 L500 1-1/2" = 1'-0"



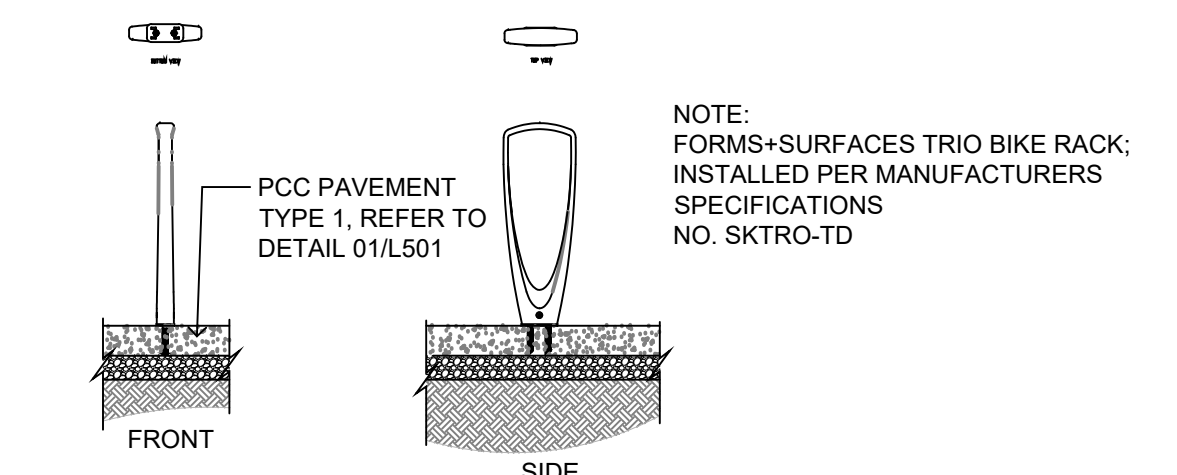
16 SECTION: ADA PARKING SIGNAGE  
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12 SECTION: EXPANSION JOINT - TYP.  
 L500



08 SECTION: STANDARD PCC CURB AT PCC  
 L500



04 SECTION & PLAN: TRIO BIKE RACK  
 L500

ISSUE SCHEDULE		
ISSUE	DATE	DESCRIPTION
1	02/16/2023	STARBUCKS INITIAL LAYOUT
2	05/15/2023	50% CD SET
3	05/20/2023	INITIAL SITE PLAN SUBMITTAL
4	07/18/2023	2ND SITE PLAN SUBMITTAL
5	07/21/2023	100% PERMET DRAWINGS
6	08/01/2023	3RD SITE PLAN SUBMITTAL

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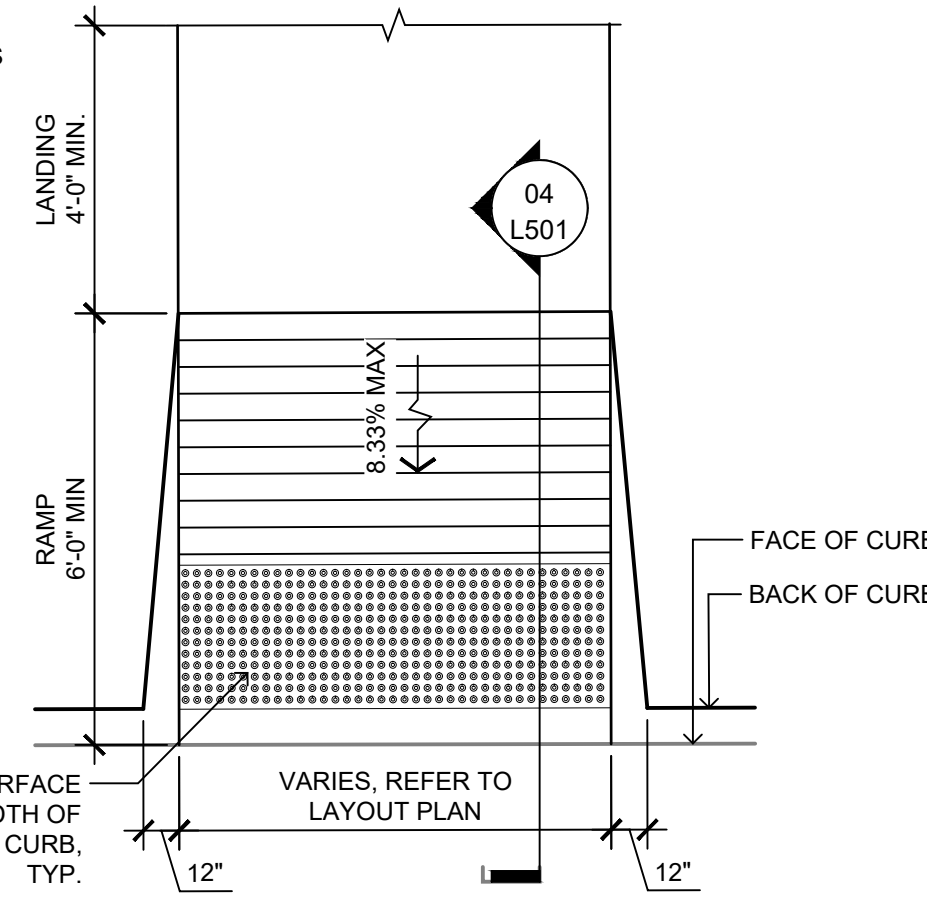
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SITE DETAILS

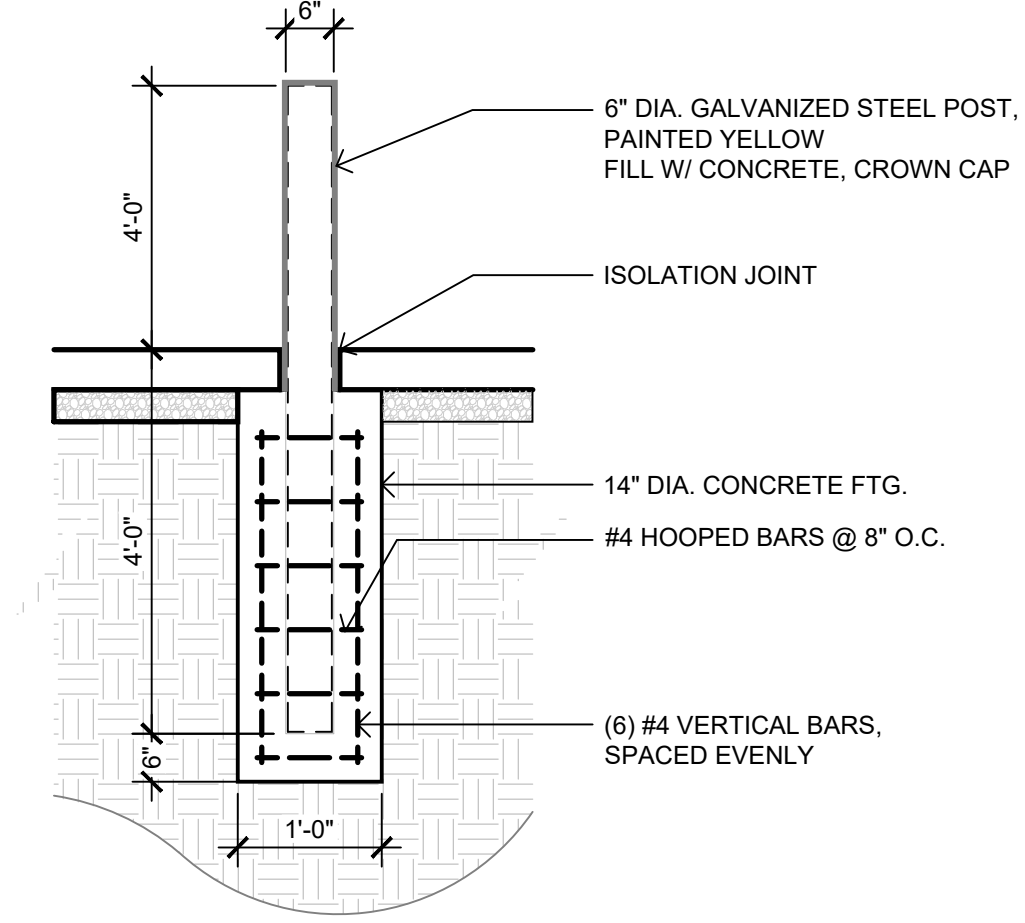
CONFLUENCE PROJECT # 21072-10

L500

NOTES:  
 1. REFERENCE SPOT ELEVATIONS AND SLOPES ON SHEET L301.

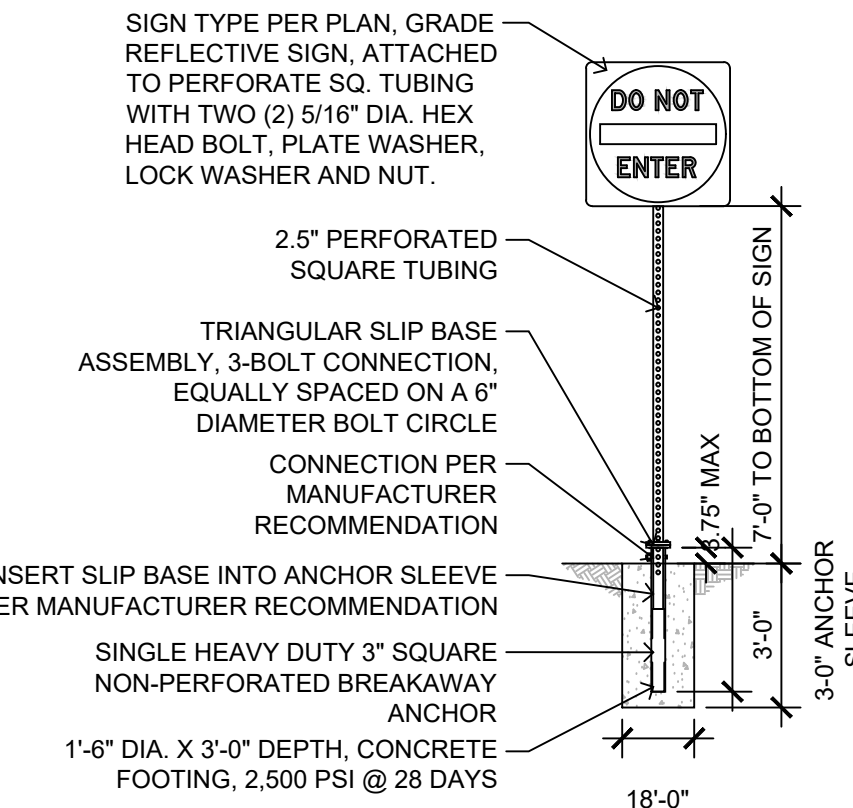


05 L501 PLAN: RETURN CURB ADA RAMP



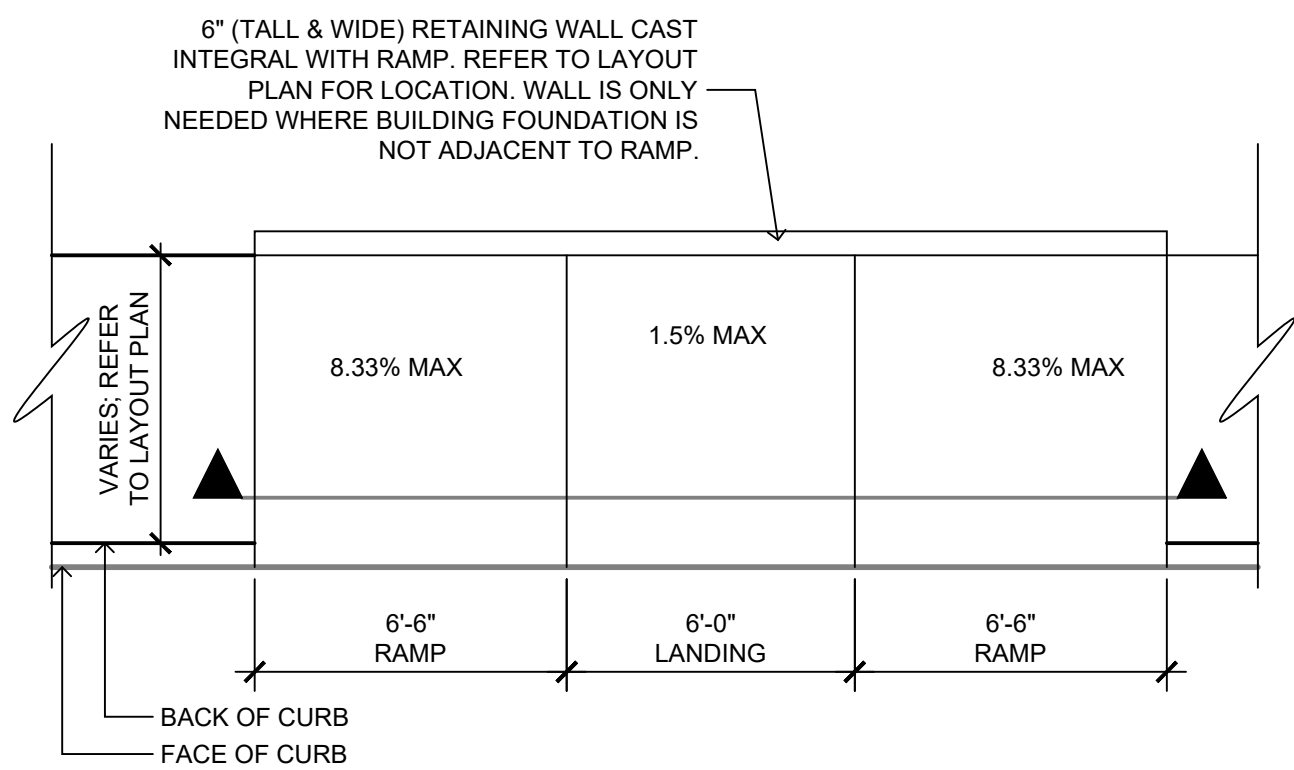
01 L501 SECTION: PROTECTIVE BOLLARD

NOTES:  
 1. SHIM AS REQUIRED PER MANUFACTURER RECOMMENDATION TO TAKE UP TOLERANCE BETWEEN SLIP BASE STUB AND ANCHOR SLEEVE.  
 2. GALVANIZE PIPE AASHTO M111  
 3. PAINT PIPE WITH ONE SHOP COAT AND ONE FIELD COAT OF ZINC RICH BASED PAINT AND ONE FIELD COAT OF ALUMINUM PAINT.  
 4. CONFORM STEEL PIPE TO THE REQUIREMENTS OF ASTM A 53 TYPE E OR S, GRADE B.  
 5. SUBMIT SHOT DRAWINGS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO FABRICATION.

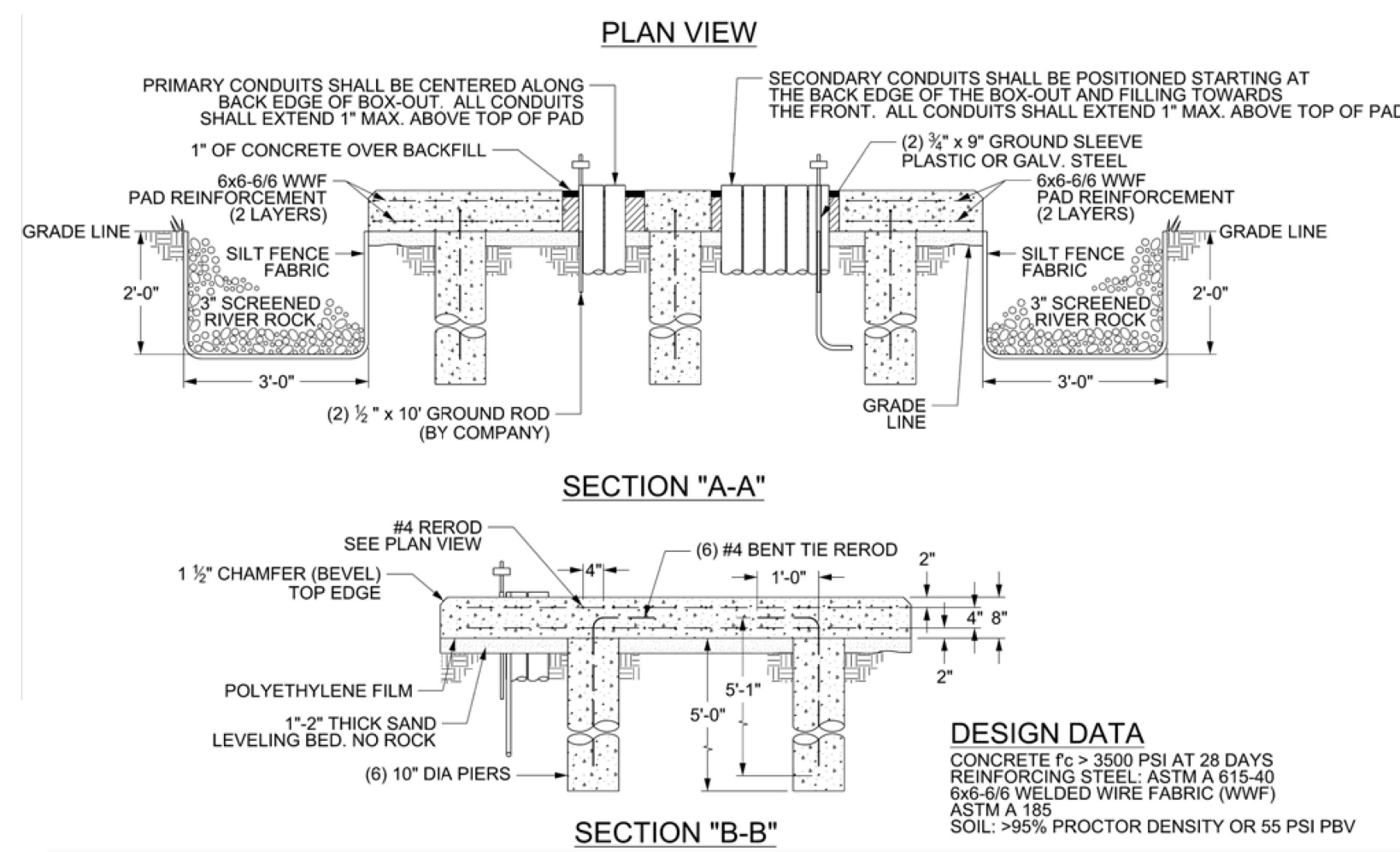


06 L501 SECTION: DO NOT ENTER SIGN

NOTES:  
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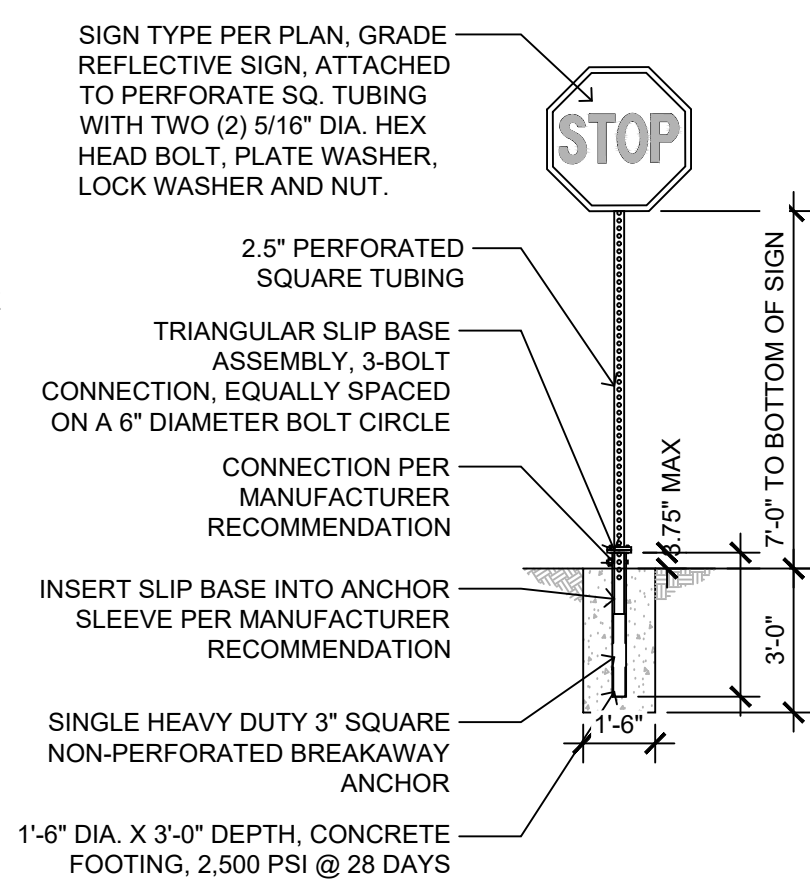


02 L501 PLAN & SECTION: PARALLEL ACCESS RAMP

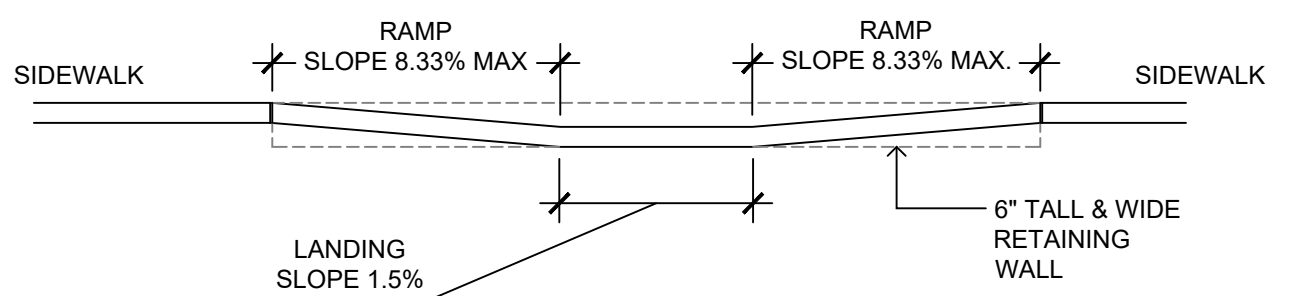


07 L501 SECTION: TRANSFORMER PAD

NOTES:  
 1. SHIM AS REQUIRED PER MANUFACTURER RECOMMENDATION TO TAKE UP TOLERANCE BETWEEN SLIP BASE STUB AND ANCHOR SLEEVE.  
 2. GALVANIZE PIPE AASHTO M111  
 3. PAINT PIPE WITH ONE SHOP COAT AND ONE FIELD COAT OF ZINC RICH BASED PAINT AND ONE FIELD COAT OF ALUMINUM PAINT.  
 4. CONFORM STEEL PIPE TO THE REQUIREMENTS OF ASTM A 53 TYPE E OR S, GRADE B.  
 5. SUBMIT SHOT DRAWINGS TO BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO FABRICATION.



08 L501 SECTION: STOP SIGN



04 L501 SECTION: RETURN CURB ADA RAMP

ISSUE SCHEDULE		
ISSUE	DATE	DESCRIPTION
1	02/16/2023	STARBUCKS INITIAL LAYOUT
2	05/15/2023	50% CD SET
3	09/20/2023	INITIAL SITE PLAN SUBMITTAL
4	07/18/2023	2ND SITE PLAN SUBMITTAL
5	02/12/2023	100% PERMET DRAWINGS
6	08/07/2023	3RD SITE PLAN SUBMITTAL

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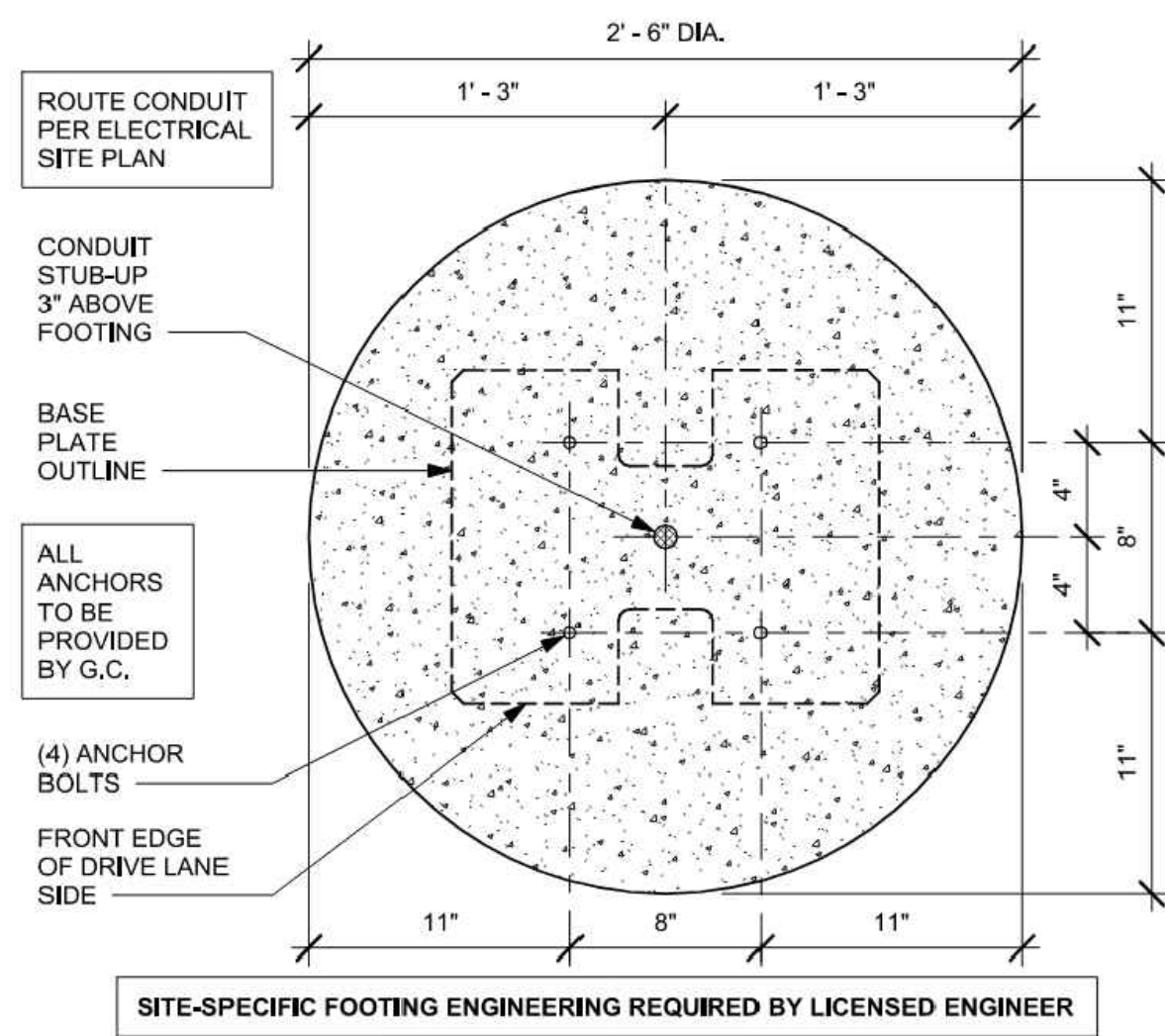
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SITE DETAILS

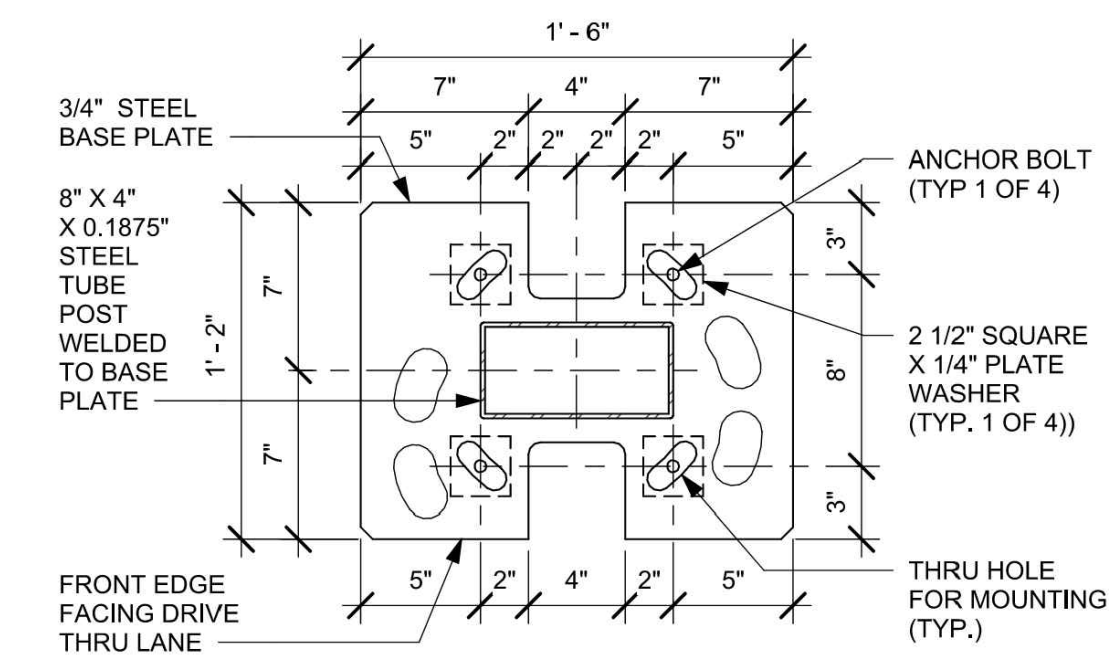
CONFLUENCE PROJECT # 21072-10

L501

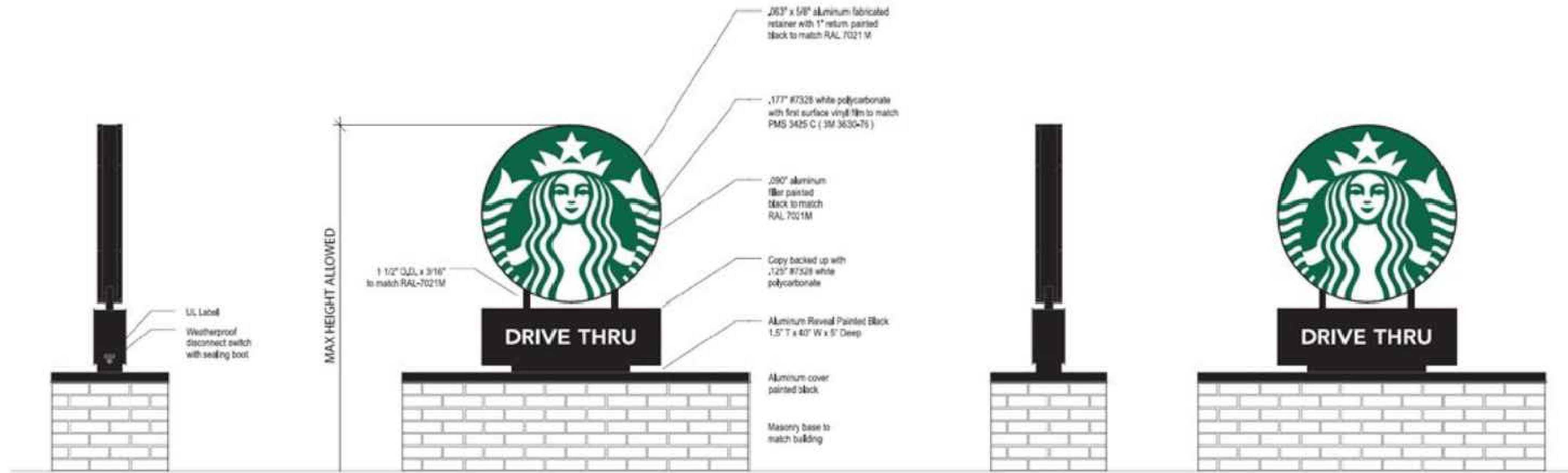




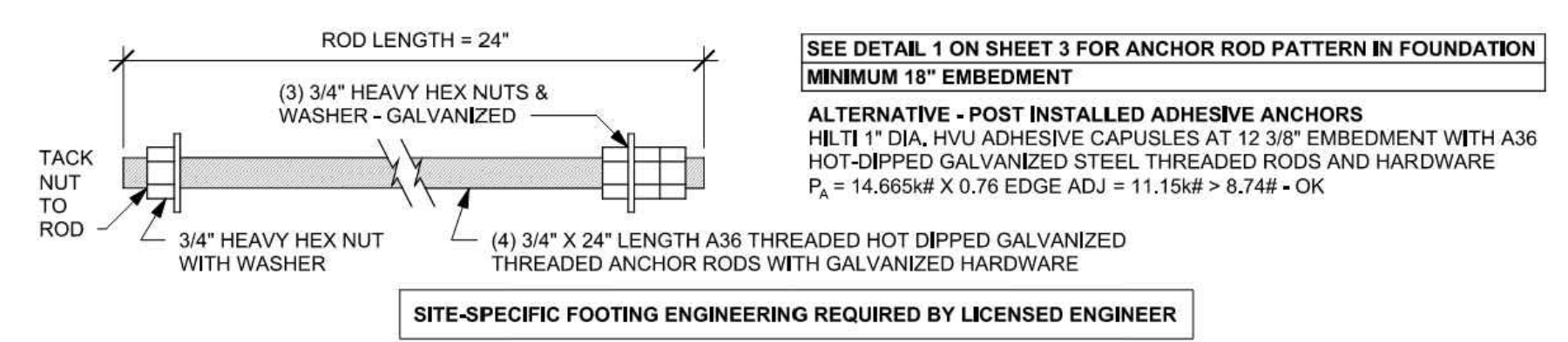
07 L503 DT 5-PANEL MENU BOARD BOLT PATTERN (TOP VIEW)



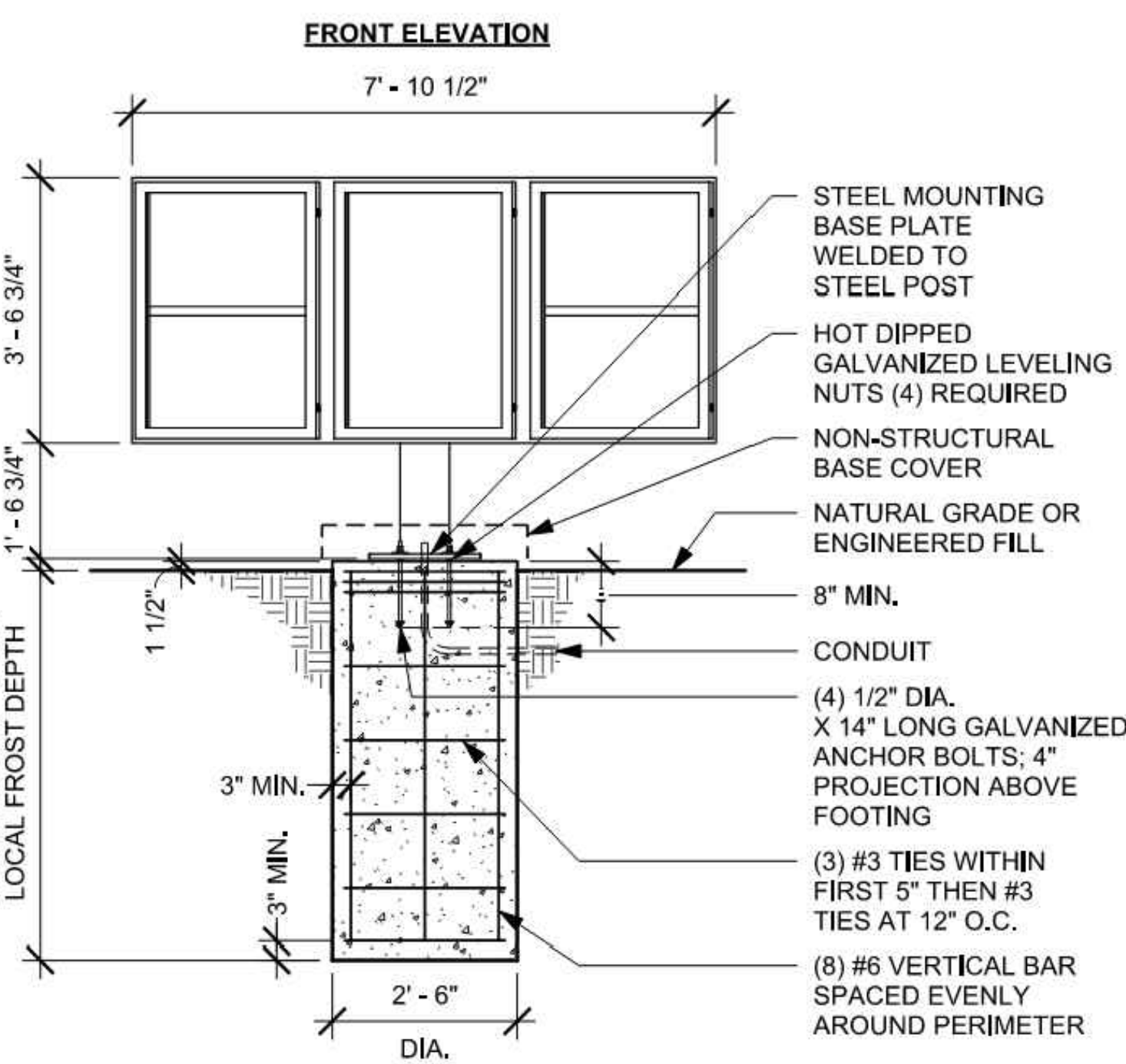
08 L503 DT 5-PANEL MENU BOARD BASE PLATE



01 L503 DTE MONUMENT SIGN, ILLUMINATED

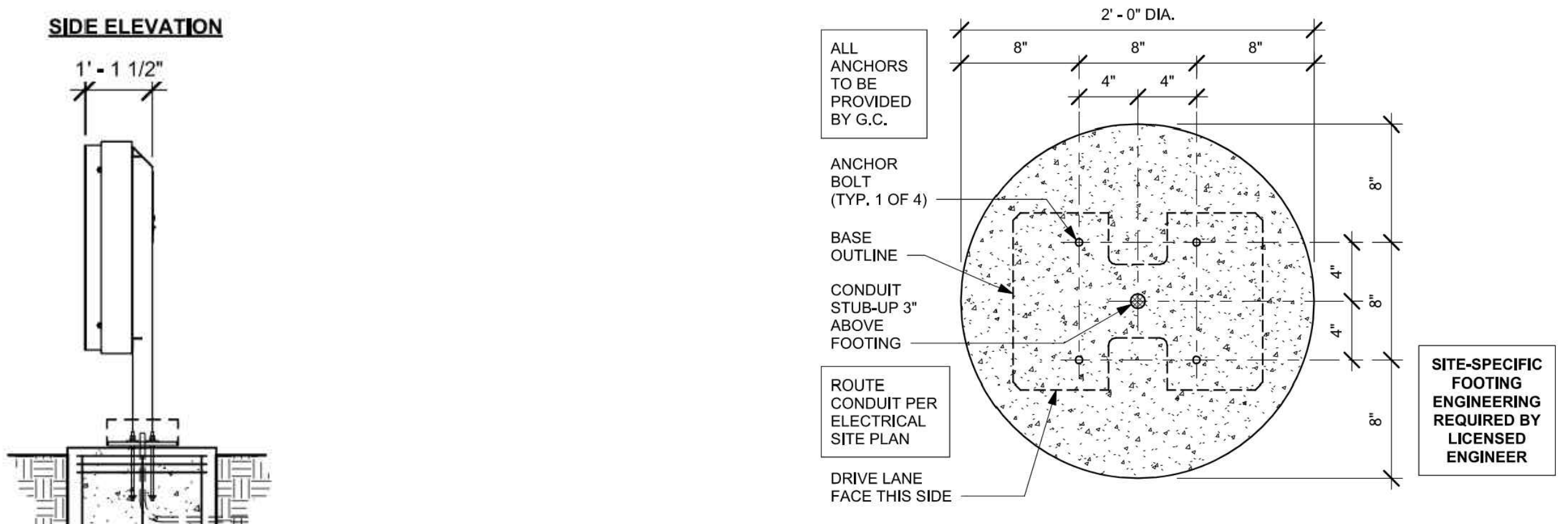


06 L503 DT 5-PANEL MENU BOARD ANCHOR ROD

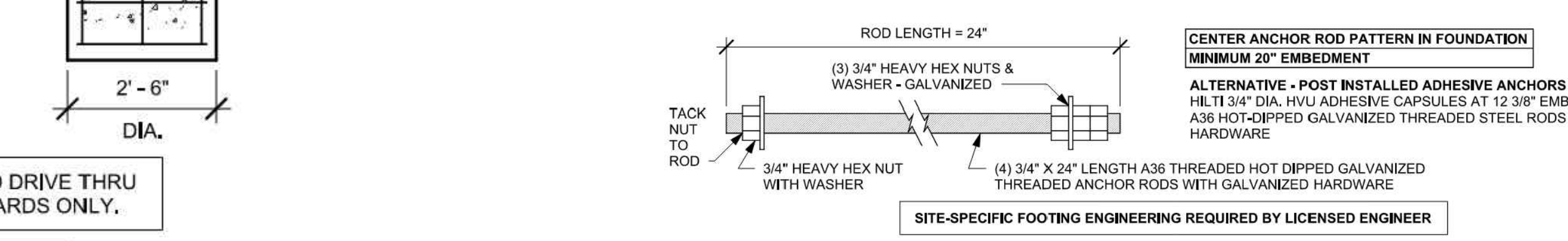


G.C. RESPONSIBLE FOR FOUNDATIONS AND FOOTINGS ON ALL MENU BOARD AND DRIVE THRU ELEMENTS. SIGNAGE VENDOR TO SUPPLY TEMPLATES AND INSTALL MENU BOARDS ONLY.  
 SITE-SPECIFIC FOOTING ENGINEERING REQUIRED BY LICENSED ENGINEER

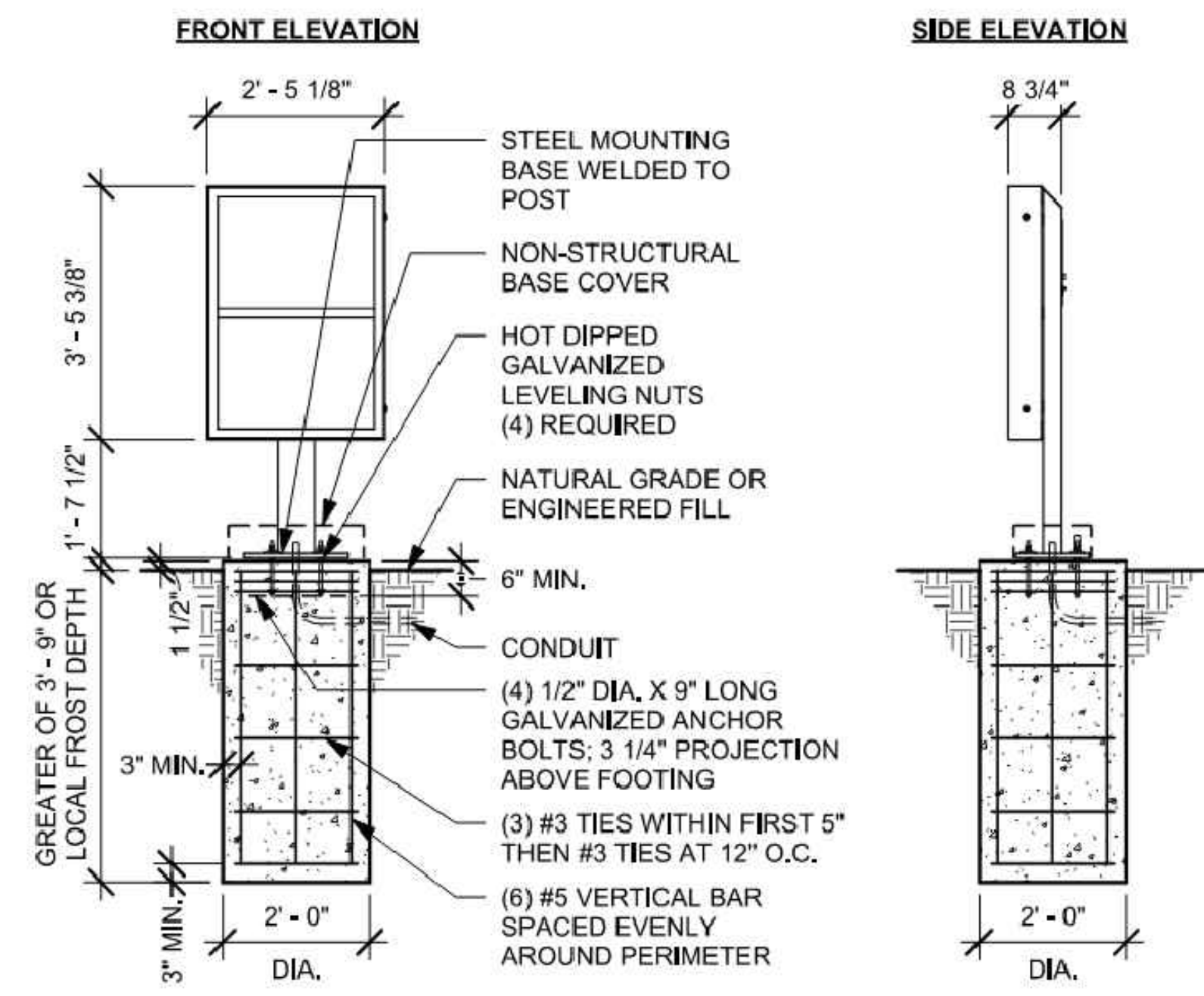
09 L503 DT 5-PANEL MENU BOARD GROUND FOOTING



04 L503 DT PRE-MENU BOLT PATTERN (TOP VIEW)

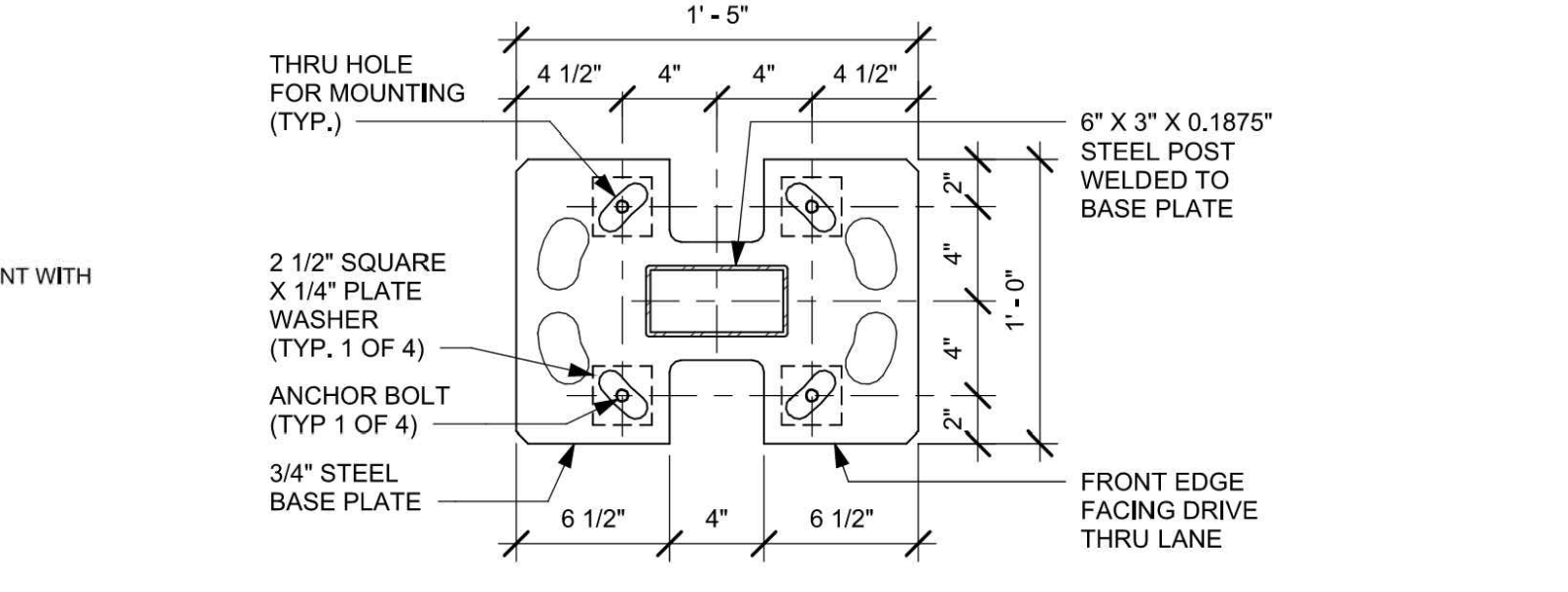


05 L503 DT PRE-MENU ANCHOR ROD



G.C. RESPONSIBLE FOR FOUNDATIONS AND FOOTINGS ON ALL MENU BOARD AND DRIVE THRU ELEMENTS. SIGNAGE VENDOR TO SUPPLY TEMPLATES AND INSTALL MENU BOARDS ONLY.  
 SITE-SPECIFIC FOOTING ENGINEERING REQUIRED BY LICENSED ENGINEER

02 L503 DT PRE-MENU GROUND FOOTING



03 L503 DT PRE-MENU BASE PLATE

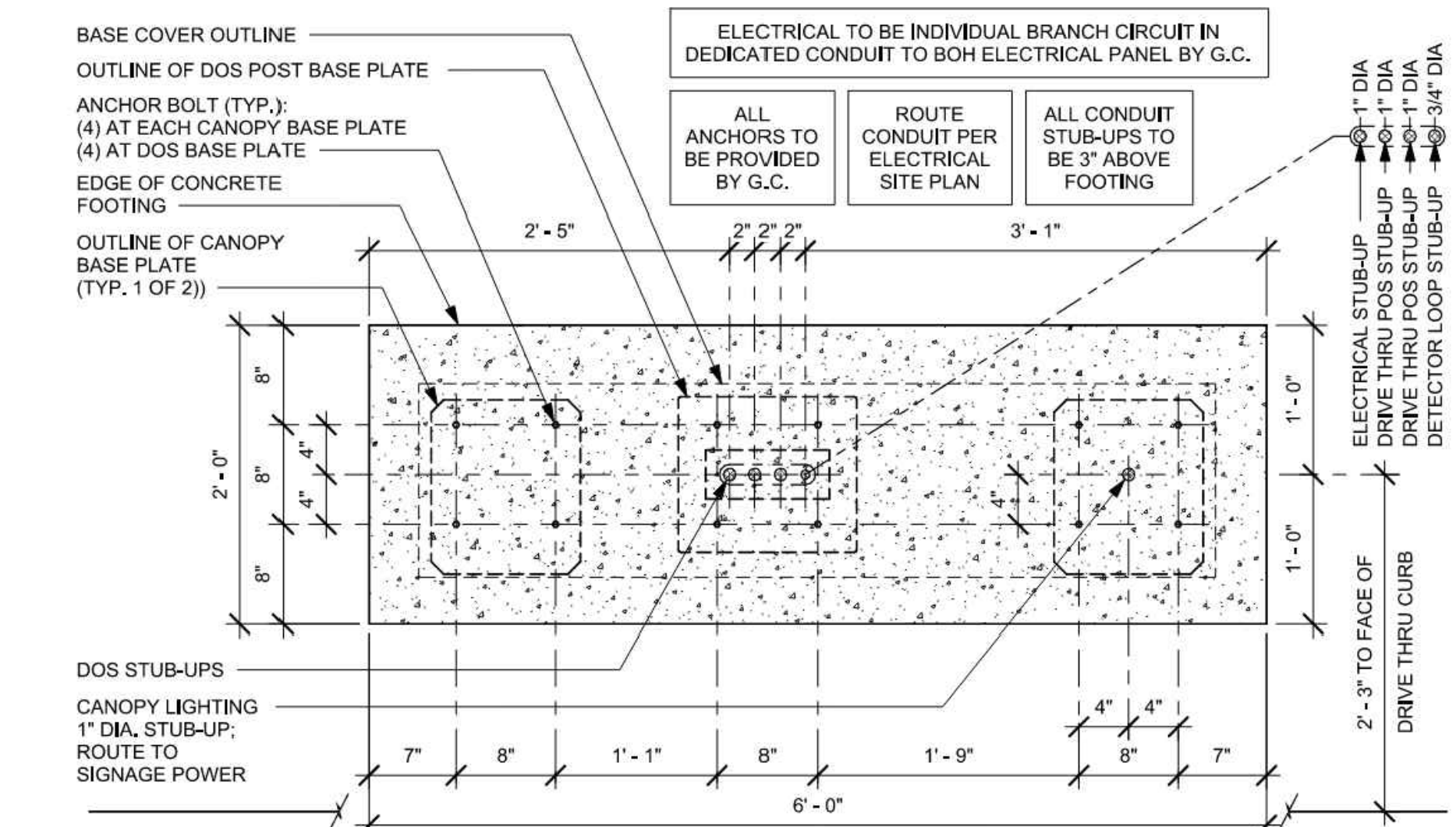
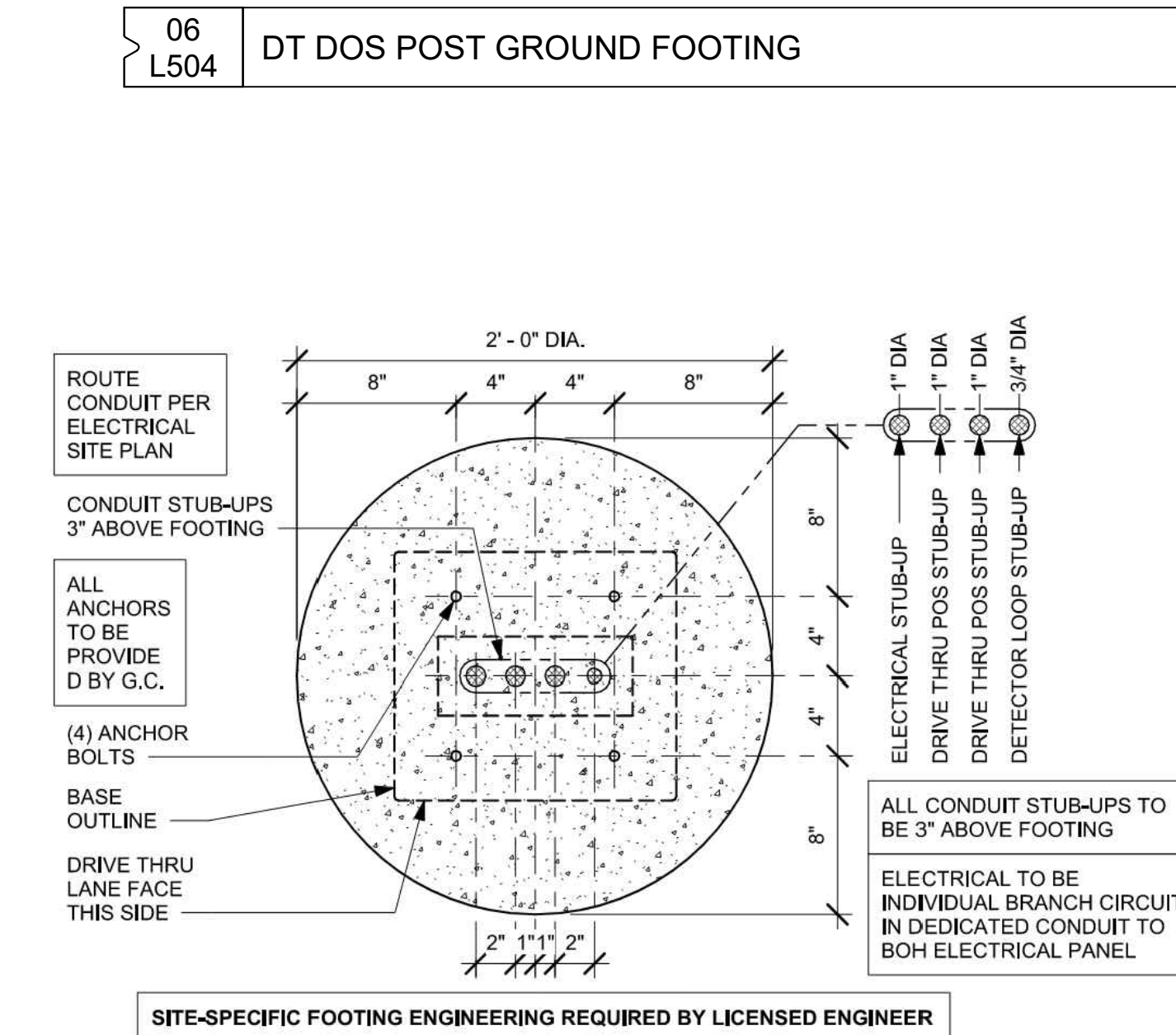
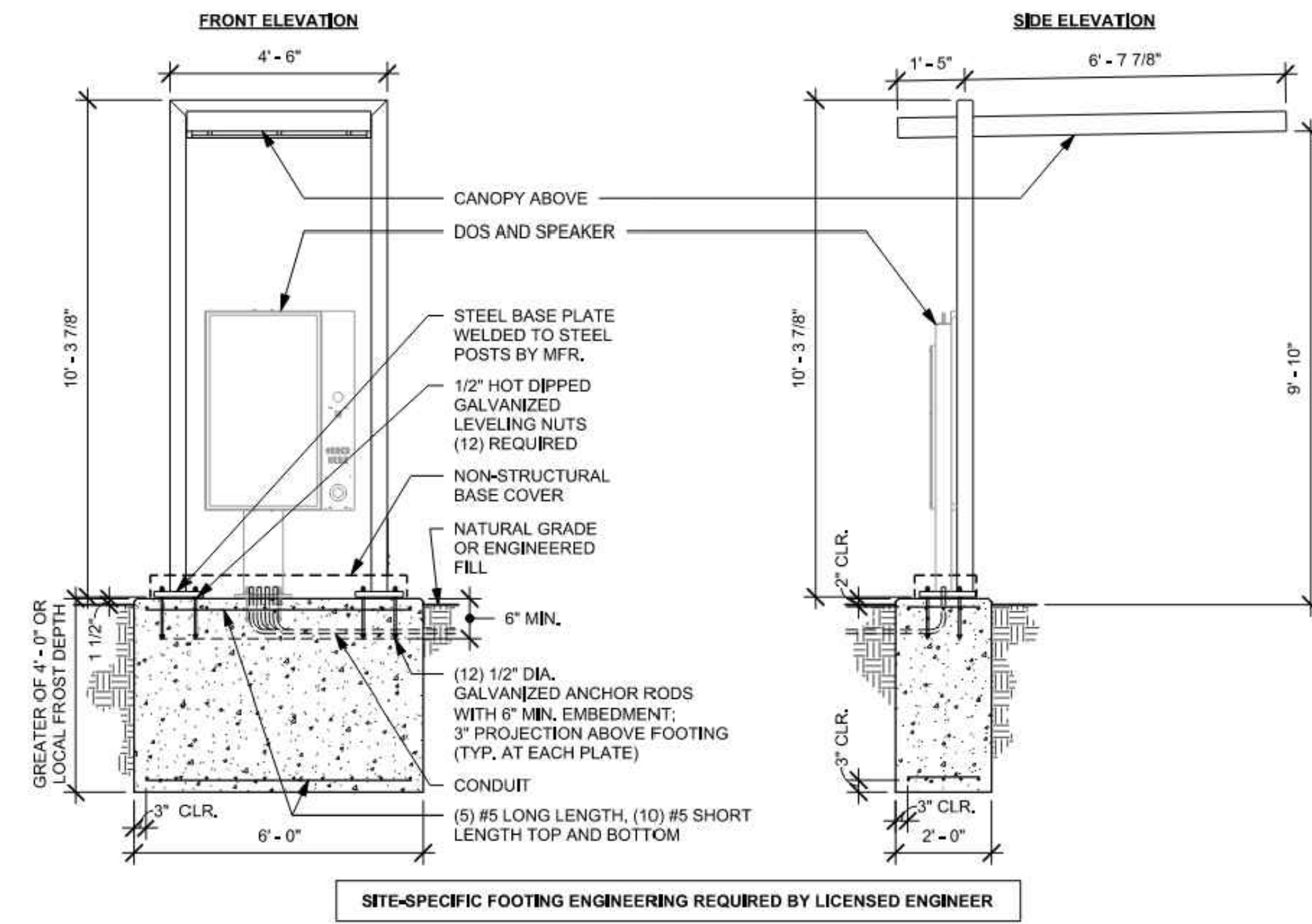
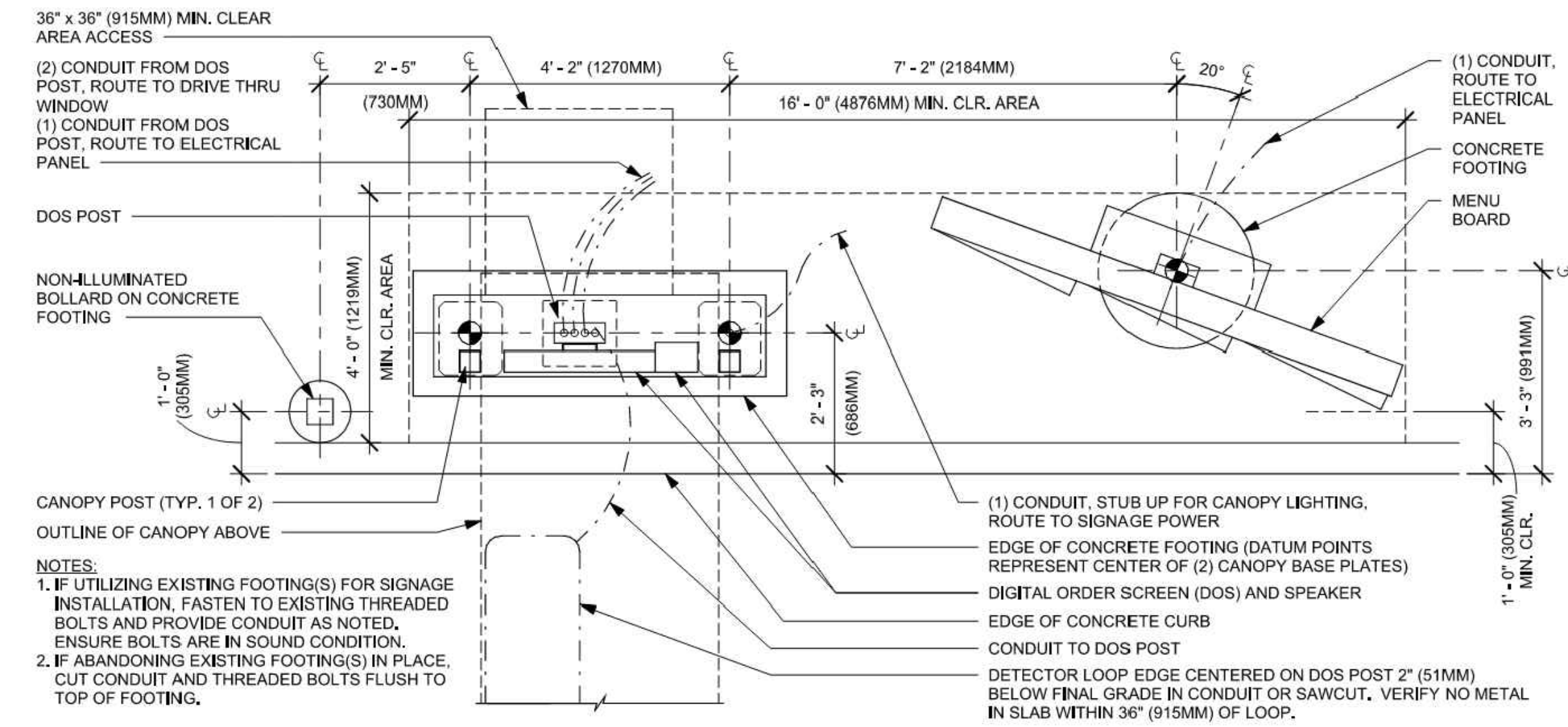
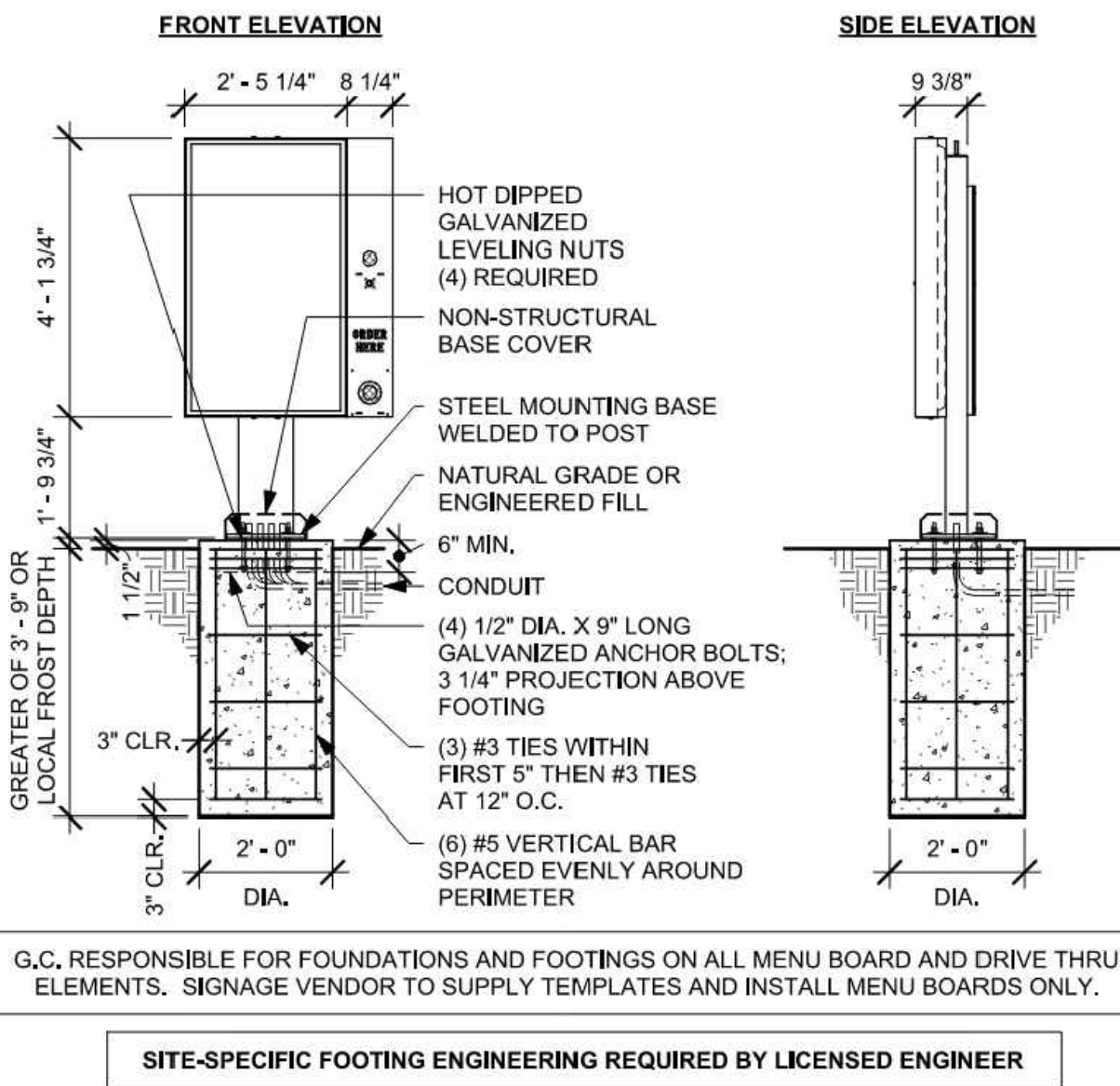
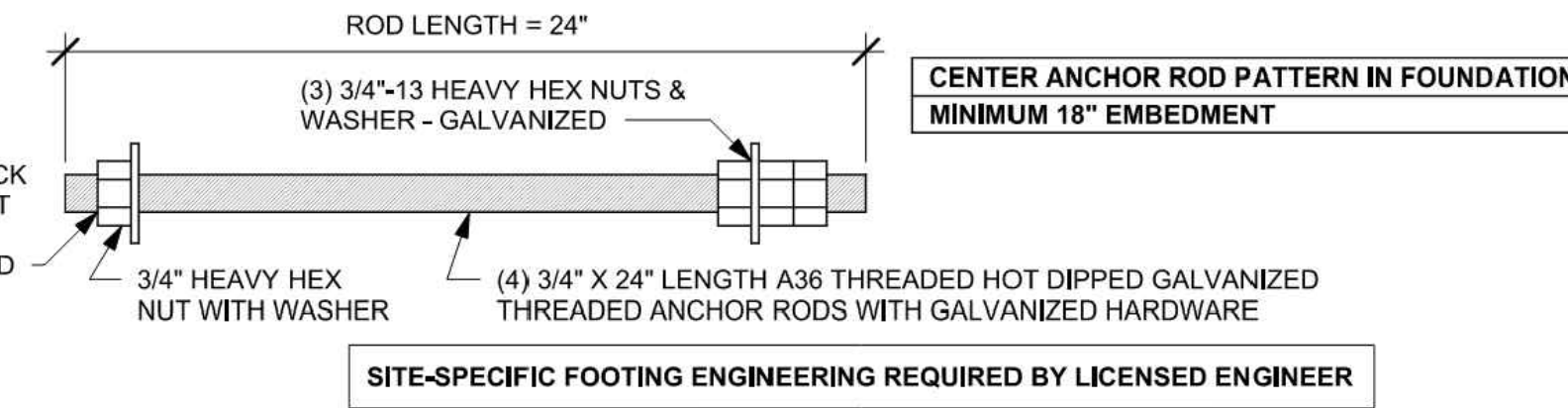
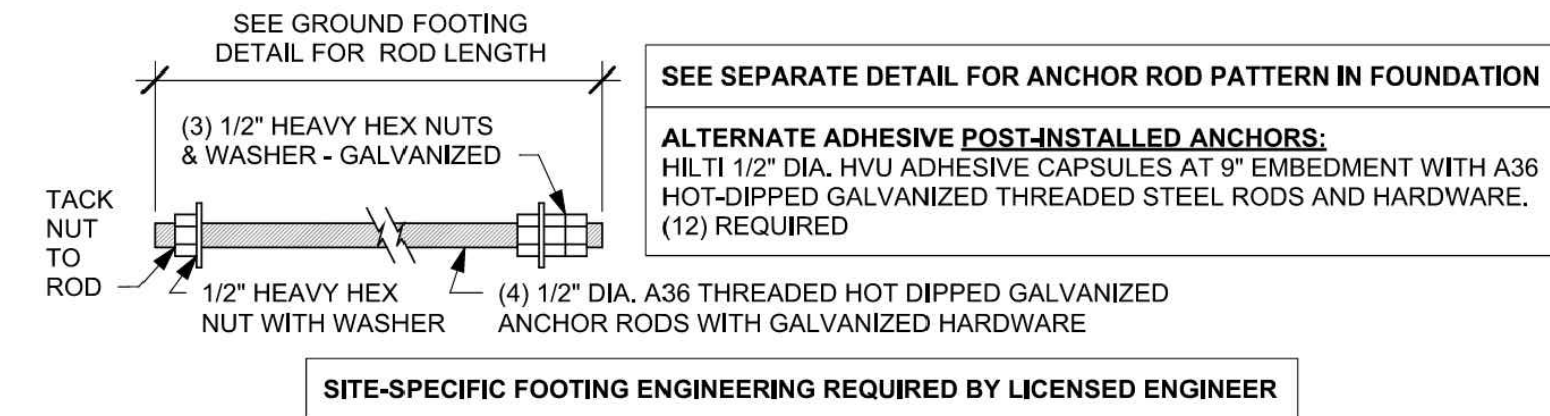
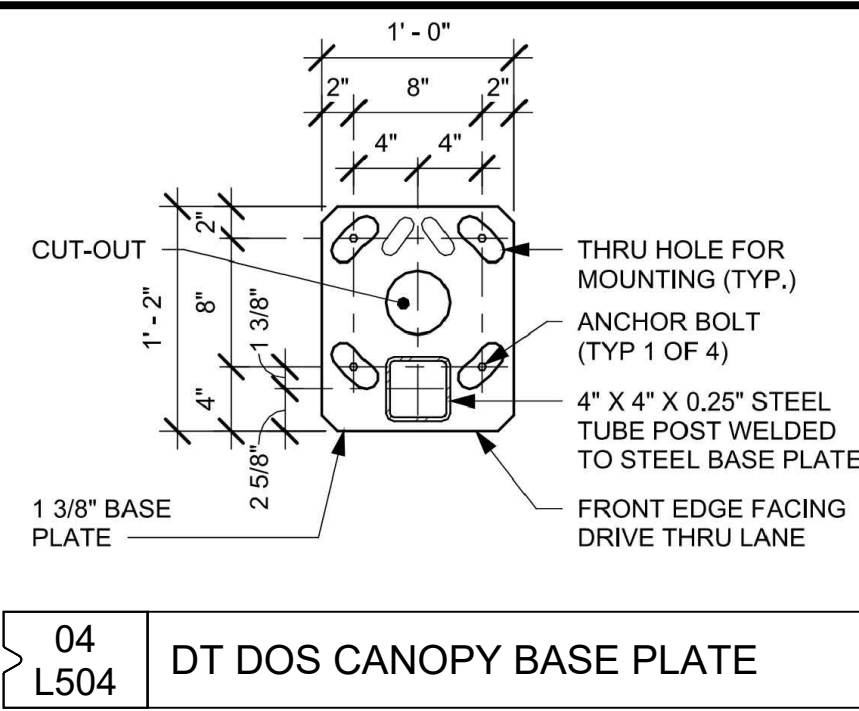
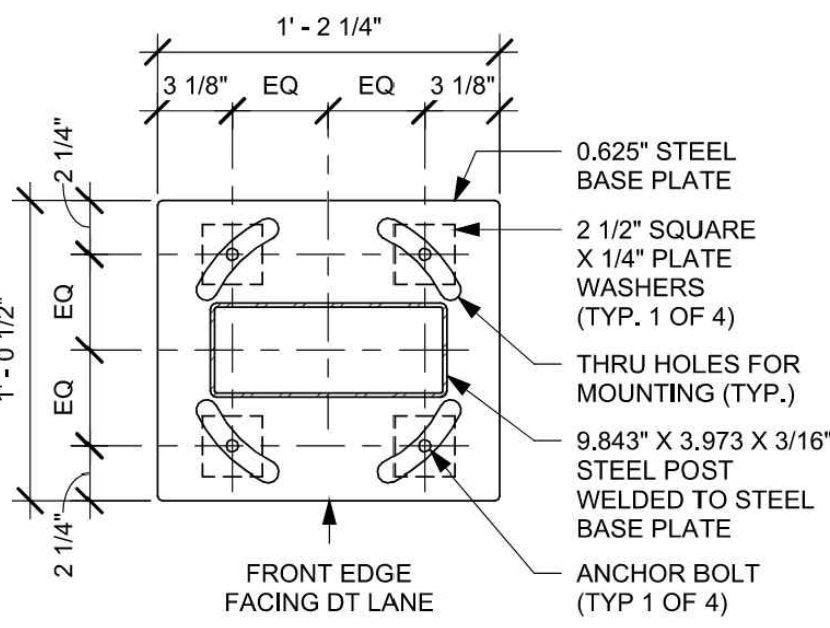
ISSUE SCHEDULE		
ISSUE	DATE	DESCRIPTION
1	02/16/2023	STARBUCKS INITIAL LAYOUT
2	05/15/2023	50% CD SET
3	05/22/2023	INITIAL SITE PLAN SUBMITTAL
4	07/18/2023	2ND SITE PLAN SUBMITTAL
5	02/12/2023	100% PERMIT DRAWINGS
6	08/07/2023	3RD SITE PLAN SUBMITTAL

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SITE DETAILS  
 CONFLUENCE PROJECT # 21072-10

L503



ISSUE SCHEDULE		
ISSUE	DATE	DESCRIPTION
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# HME VDL100 Vehicle Detector Loop

## INSTALLATION INSTRUCTIONS

The following instructions are for installation of the HME VDL100 Vehicle Detector Loop in a single drive-thru traffic lane, for vehicle detector use with any HME drive-thru communication system. The loop should be installed prior to pouring concrete for paving the lane, and therefore requires coordination with the paving contractor. Pay careful attention to the illustrations on the back of this page, especially regarding loop dimensions and the depth and position of its installation.

A loop must always be installed at the speaker post or menu board. If you received two loops, the second loop should typically be installed at the service window. If you received three loops, the third loop should typically be installed at the cashier window. Locations of the second and third loops may vary depending on specific requirements.

**NOTE:** In some cases the distance from the loop to where the conduit exits the ground into the speaker post cabinet may exceed three feet. In such cases, an additional 1/2 inch (12.7 mm) PVC pipe will be required (not provided).

### LOOP AREA PREPARATION (Refer to Figure 1)

- The loop should begin 12 to 18 inches (305 - 457 mm) out from the curb.
- The forward edge of the loop should be lined up with the midpoint of the menu board, speaker post or drive-thru window.
- A 3 foot (914 mm) perimeter, free from rebar, wire screen, reinforcing bars, electrical cable or metal objects should be provided. Any metal nearby disturbs the loop's magnetic field, thus reducing the field in which detection takes place. Electrical cables near the loop can possibly cause false impulses to the magnetic field generated by the loop, causing erratic operation of the detector.

### TOOLS/MATERIALS REQUIRED

Shovel; hacksaw; tape measure; wood supports; securing wire; PVC adhesive & brush

### PARTS LIST

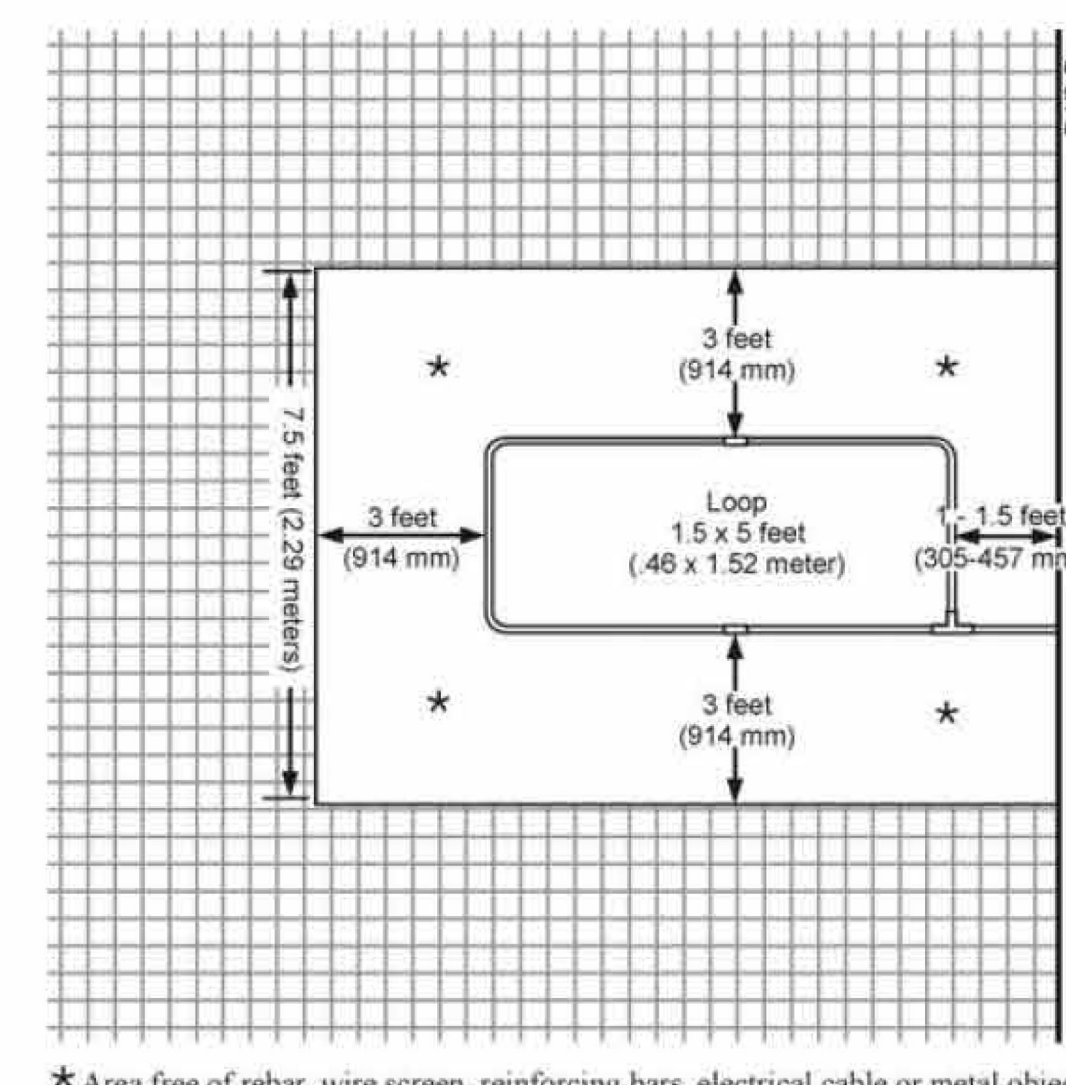
- Prefab (folded) loop, 1.5 feet (.46 meter) x 5 feet (1.52 meter) 1 ea
- Coupling for 1/2 inch (12.7 mm) PVC tubing 1 ea
- 90 degree elbow for 1/2 inch (12.7 mm) PVC tubing 1 ea
- 1/2 inch (12.7 mm) PVC tubing, 2 feet (.61 meter) long 1 ea
- 1/2 inch (12.7 mm) PVC tubing, 3 feet (.91 meter) long 1 ea

### PROCEDURE

- Check the contents of this package against the parts list. If any item is missing, contact your HME sales representative.
- Remove the elbow coupling, Figure 2 (6), from the cable. The cable was threaded through the coupling for shipping only.
- Assemble the loop as instructed on the back of this page.
- Measure the distance from the curb to the outlet of the conduit that comes from the building into the speaker post or menu board to determine if the enclosed 3 foot (.91 meter) PVC loop extension reaches from the loop to the conduit as shown in Figure 2 (4). If it does, proceed to the next paragraph. If not, substitute a longer piece of 1/2 inch (12.7 mm) PVC pipe (not provided). Measure and cut the pipe to reach from the loop to the point where it must exit the ground into the speaker post.

HME ELECTRONICS, INC. 14110 Stowe Drive, Poway, CA 92064 USA • Phone: 1-800-848-4468 Fax: (858) 552-0172

HME# 400G120  
 Rev C 4/4/07



\* Area free of rebar, wire screen, reinforcing bars, electrical cable or metal objects

**NOTE:** PVC adhesive (not provided) must be applied wherever PVC couplings and pipe are fitted together.

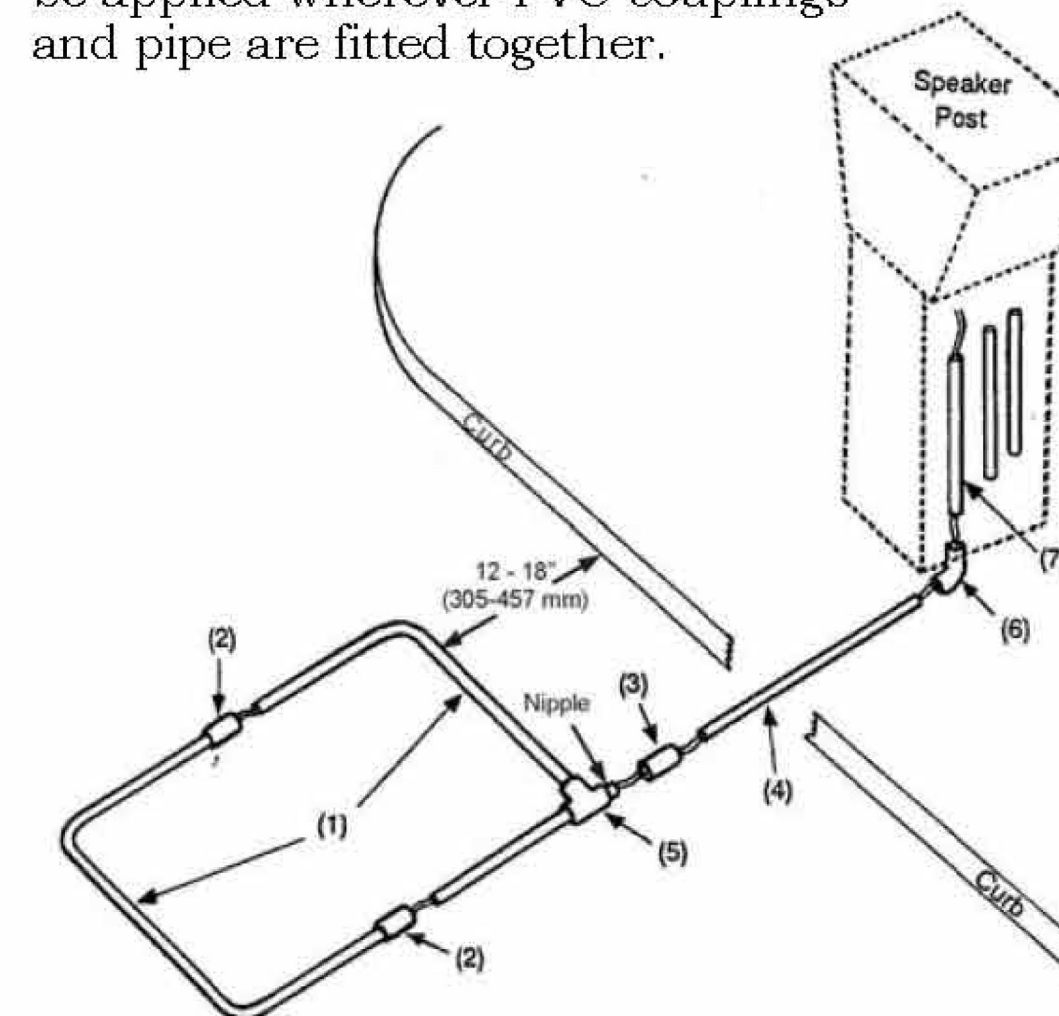


Figure 2. Loop layout and connections

- Flatten the loop (folded for shipping) as shown in Figure 2 (1). Fit the pipe securely into the couplings (2). Lay the loop flat in the drive-thru lane and position it as shown in Figure 2. Elevate the loop on supports that are anchored to the ground, as shown in Figure 3. Level the loop so it will be 2 inches (51 mm) or less from the paved surface when the concrete is poured. Fasten the loop to the supports with wire, so it will not float when the concrete is poured.
- Pull the loop wires through the PVC loop extension (4). Slide one end of the sleeve coupling (3) over the nipple on the corner fitting of the loop (5), and slide the end of the loop extension into the other end of the sleeve coupling.
- Pull the loop wires through the elbow coupling (6) and the remaining 2 foot (.61 meter) piece of PVC (7). Slide the two ends (of 4 & 7) into the coupling (6), positioning the piece of PVC (7) so it points upward, out of the ground. Be certain it is next to and parallel to the outlets of the conduit coming into the speaker post from the building.

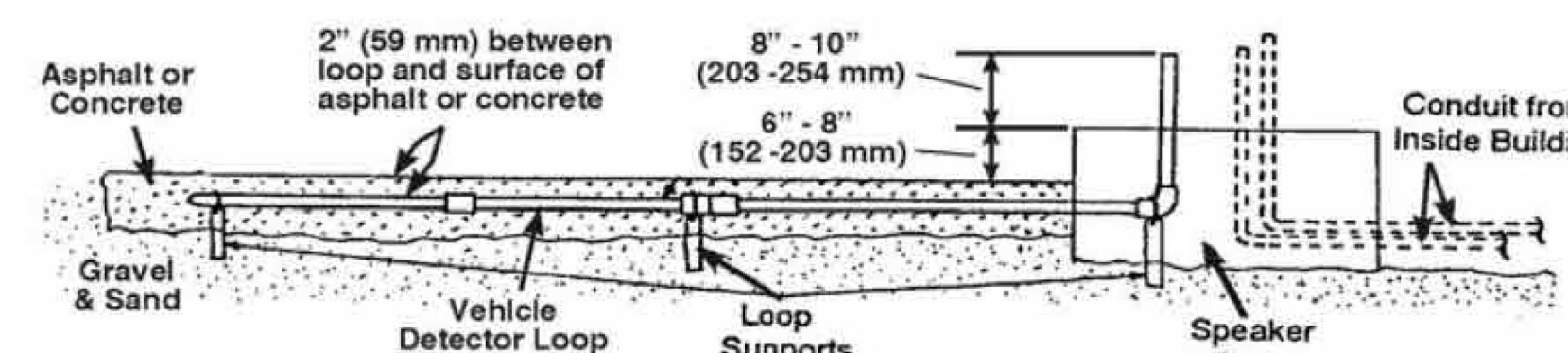


Figure 3. Side view of loop in asphalt or concrete

### Waste Electrical and Electronic Equipment (WEEE)

The European Union (EU) WEEE Directive (2002/96/EC) places an obligation on producers (manufacturers, distributors and/or retailers) to take-back electronic products at the end of their useful life. The WEEE Directive covers most HME products being sold into the EU as of August 13, 2005. Manufacturers, distributors and retailers are obliged to finance the costs of recovery from municipal collection points, reuse, and recycling of specified percentages per the WEEE requirements.

### Instructions for Disposal of WEEE by Users in the European Union

The symbol shown below is on the product or on its packaging which indicates that this product was put on the market after August 13, 2005 and must not be disposed of with other waste. Instead, it is the user's responsibility to dispose of the user's waste equipment by handing it over to a designated collection point for the recycling of WEEE. The separate collection and recycling of waste equipment at the time of disposal will help to conserve natural resources and ensure that it is recycled in a manner that protects human health and the environment. For more information about where you can drop off your waste equipment for recycling, please contact your local authority, your household waste disposal service or the seller from whom you purchased the product.



ISSUE	DATE	DESCRIPTION
1	02/16/2023	STARBUCKS INITIAL LAYOUT
2	02/16/2023	20% CD SET
3	06/09/2023	INITIAL SITE PLAN SUBMITTAL
4	07/18/2023	2ND SITE PLAN SUBMITTAL
5	07/12/2023	100% PERMIT DRAWINGS
6	08/07/2023	3RD SITE PLAN SUBMITTAL

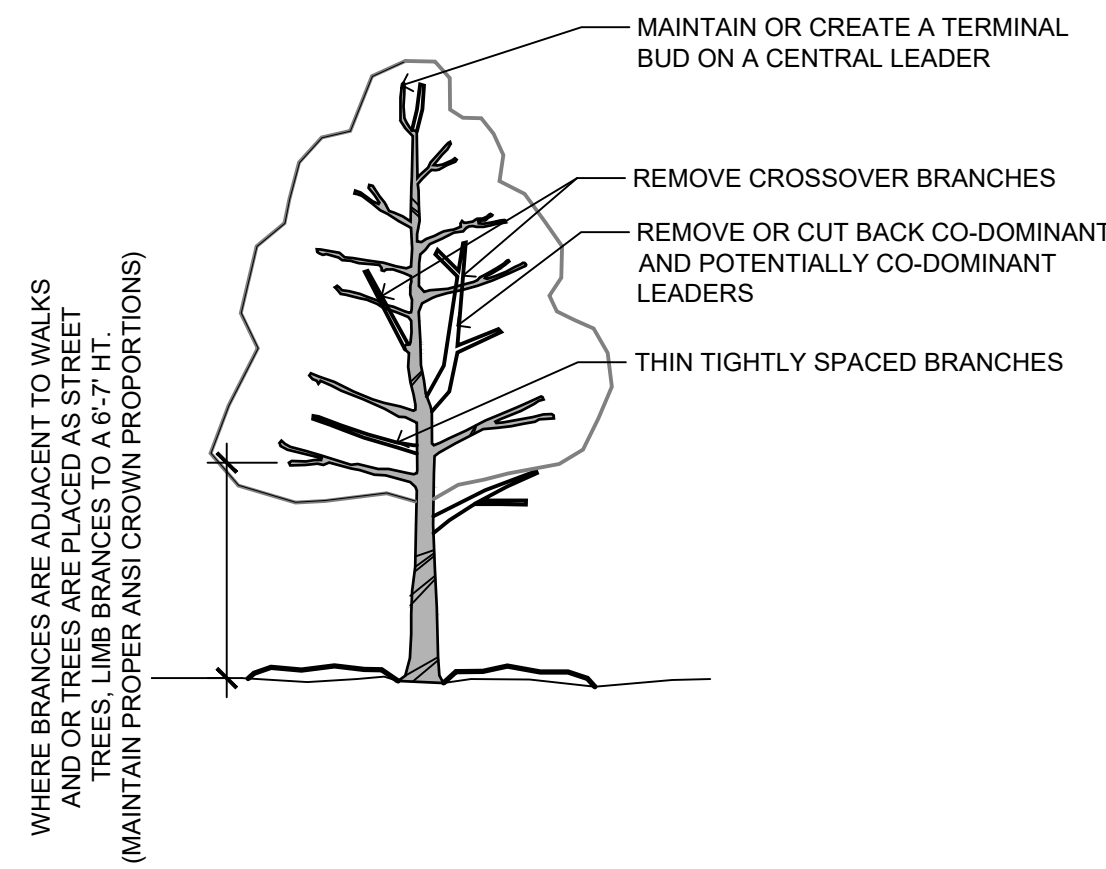
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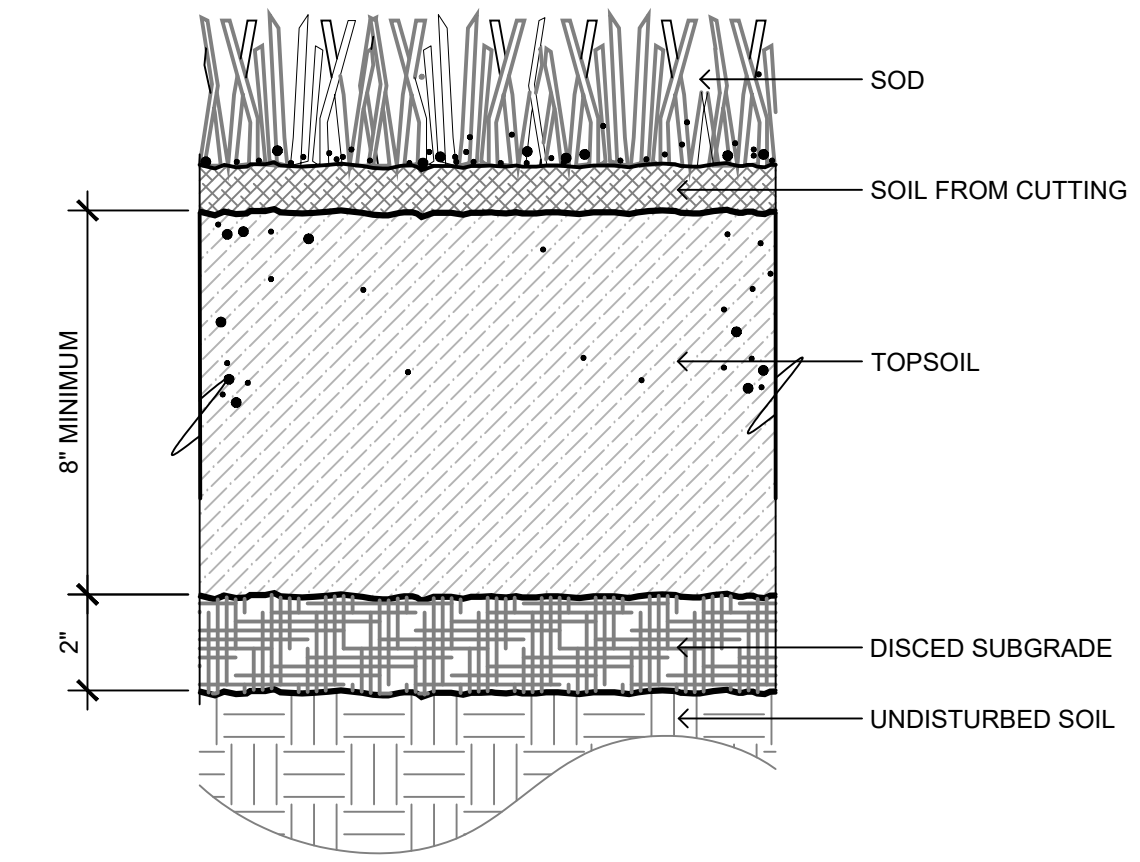
### SITE DETAILS

CONFLUENCE PROJECT # 21072-10

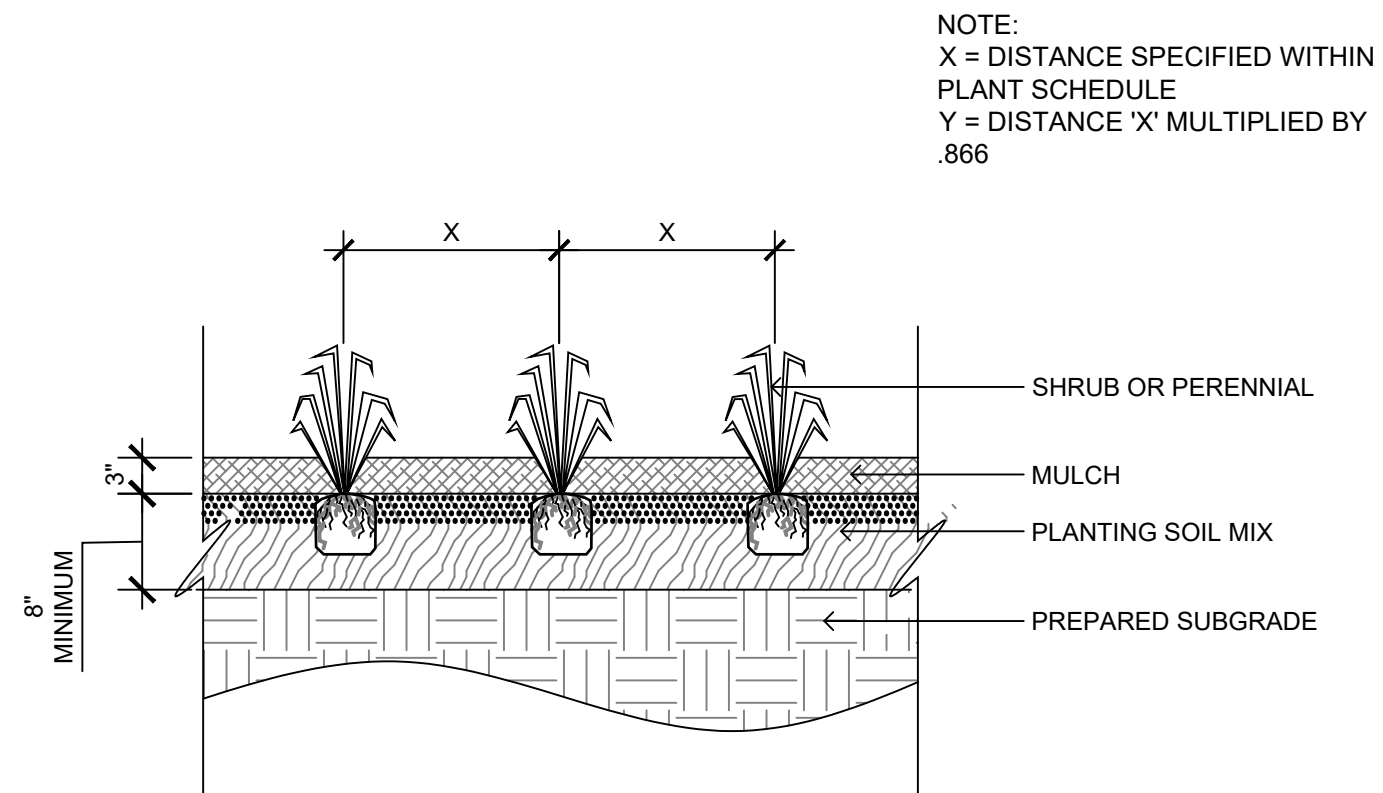
L505



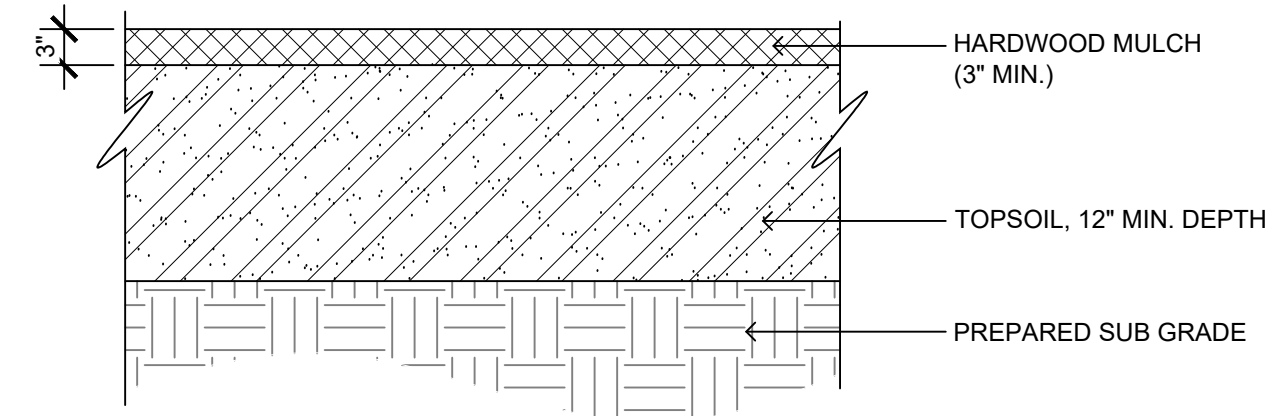
05 SECTION: TREE PRUNING  
 L506



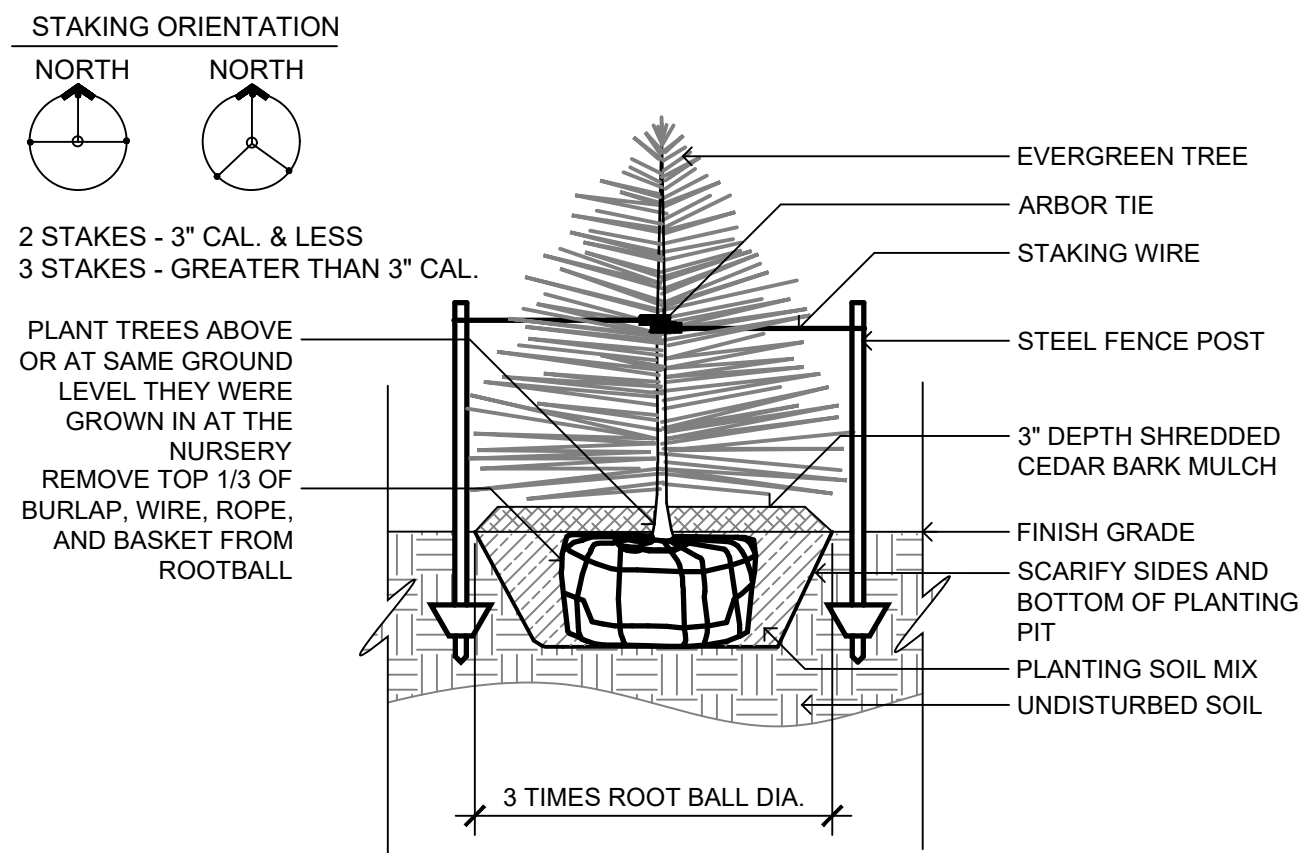
01 SECTION: SOD  
 L506



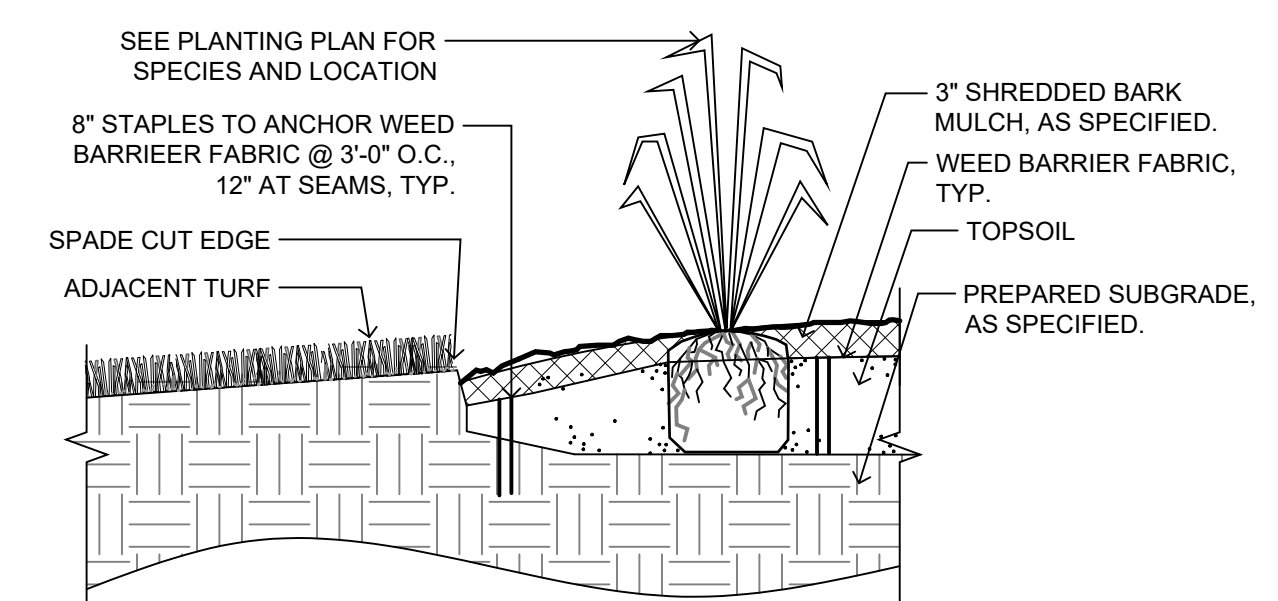
06 SECTION: SHRUB OR PERENNIAL PLANTING  
 L506



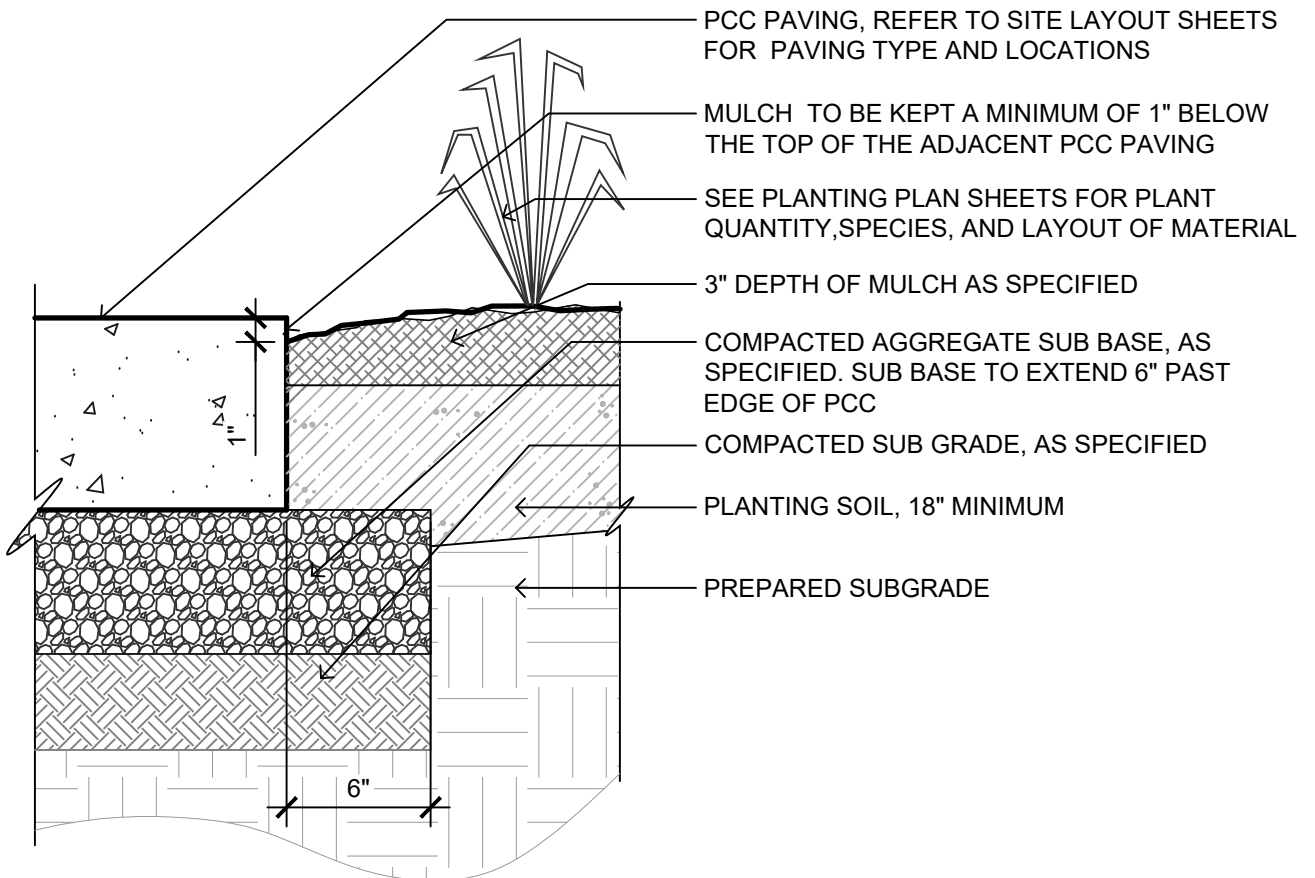
02 SECTION: PLANTING BED  
 L506



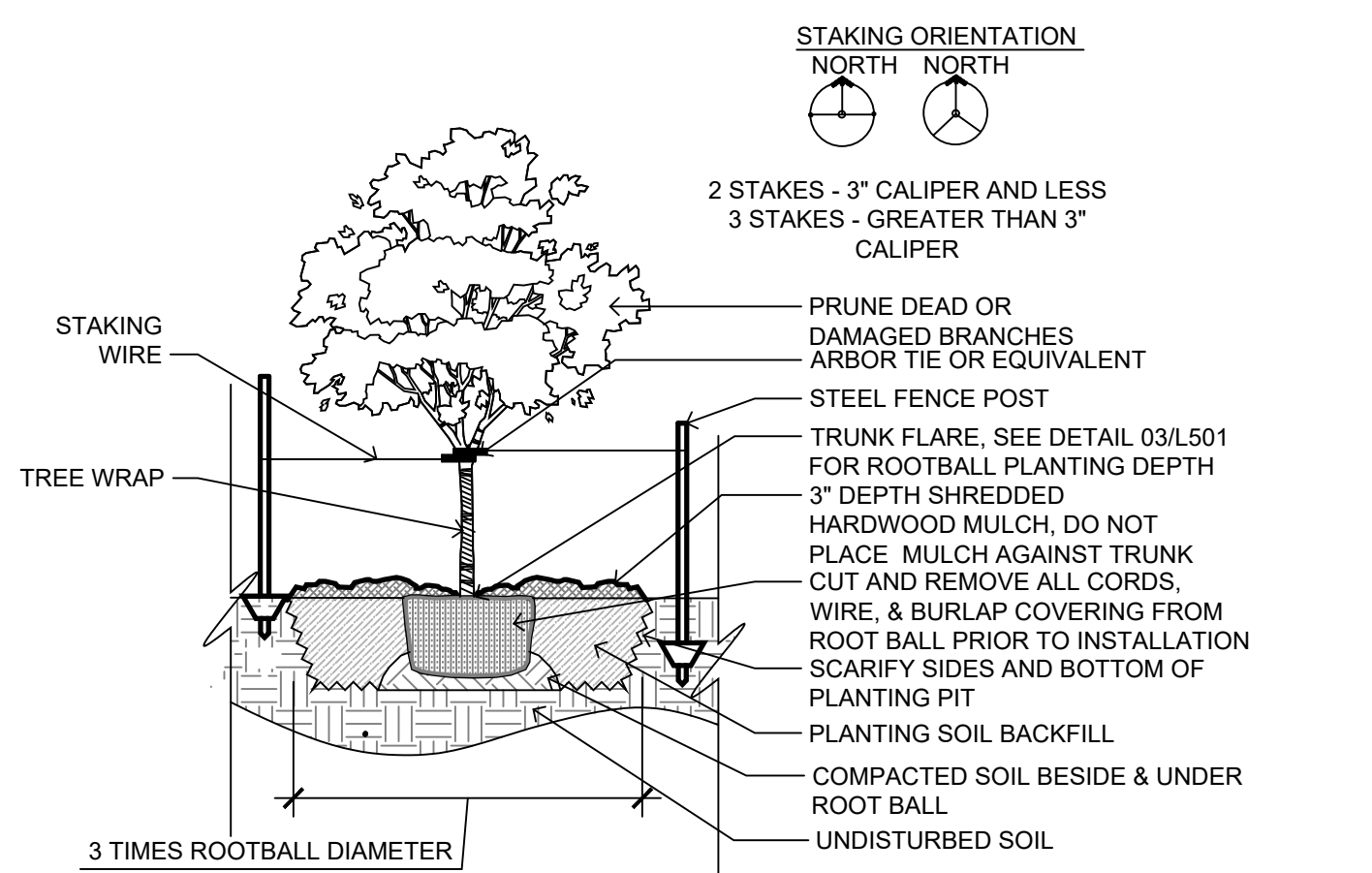
07 SECTION: CONIFEROUS TREE PLANTING  
 L506



03 SECTION: SPADE CUT EDGING  
 L506



08 SECTION: PLANTING BED ALONG PAVING  
 L506



04 SECTION: OVERSTORY TREE PLANTING  
 L506

ISSUE SCHEDULE		
ISSUE	DATE	DESCRIPTION
1	02/16/2023	STARBUCKS INITIAL LAYOUT
2	05/15/2023	20% CD SET
3	05/22/2023	INITIAL SITE PLAN SUBMITTAL
4	07/18/2023	2ND SITE PLAN SUBMITTAL
5	07/21/2023	100% PERMIT DRAWINGS
6	08/01/2023	3RD SITE PLAN SUBMITTAL

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 DRAWINGS  
 NOT FOR  
 CONSTRUCTION

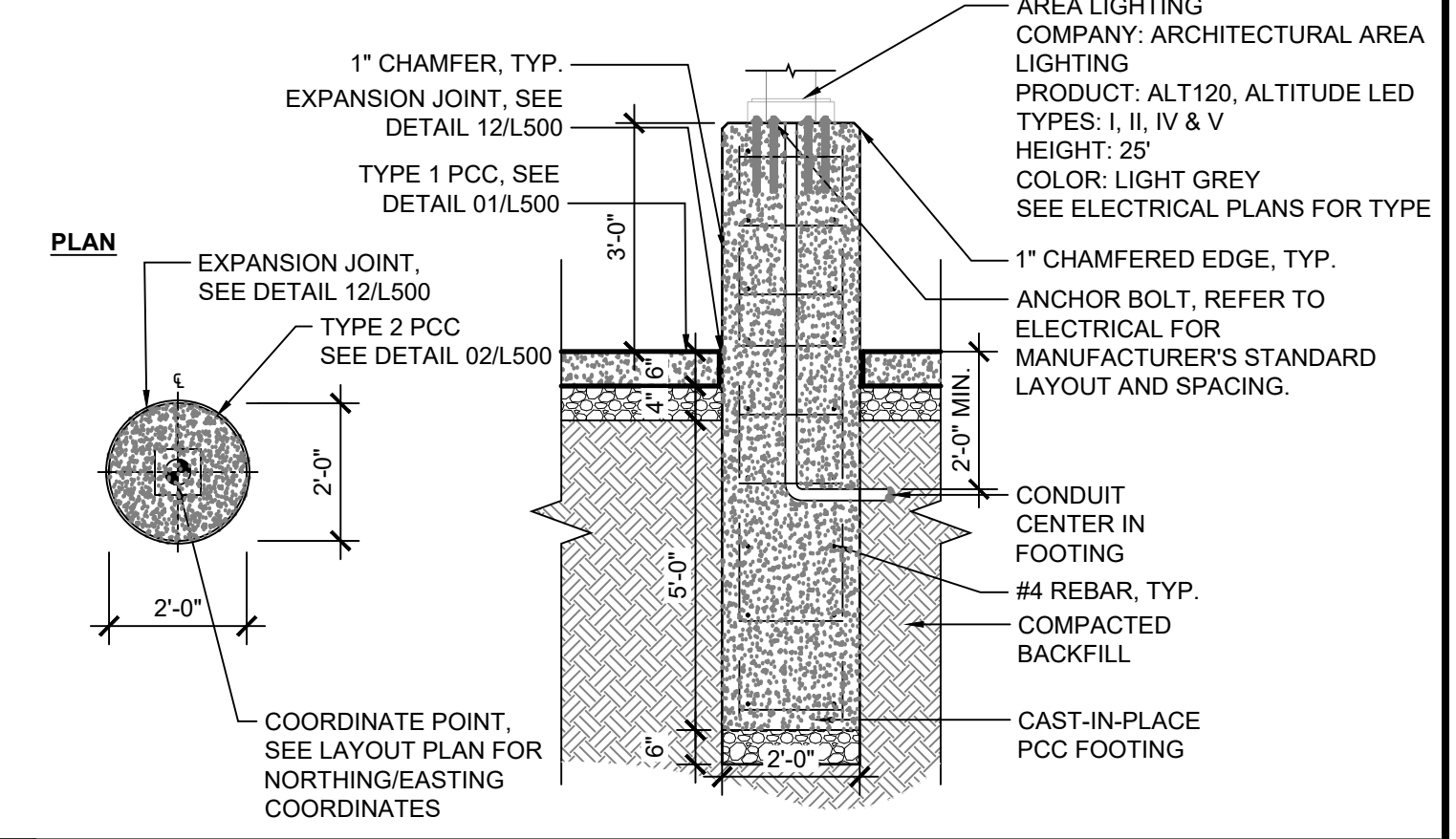
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PLANTING DETAILS

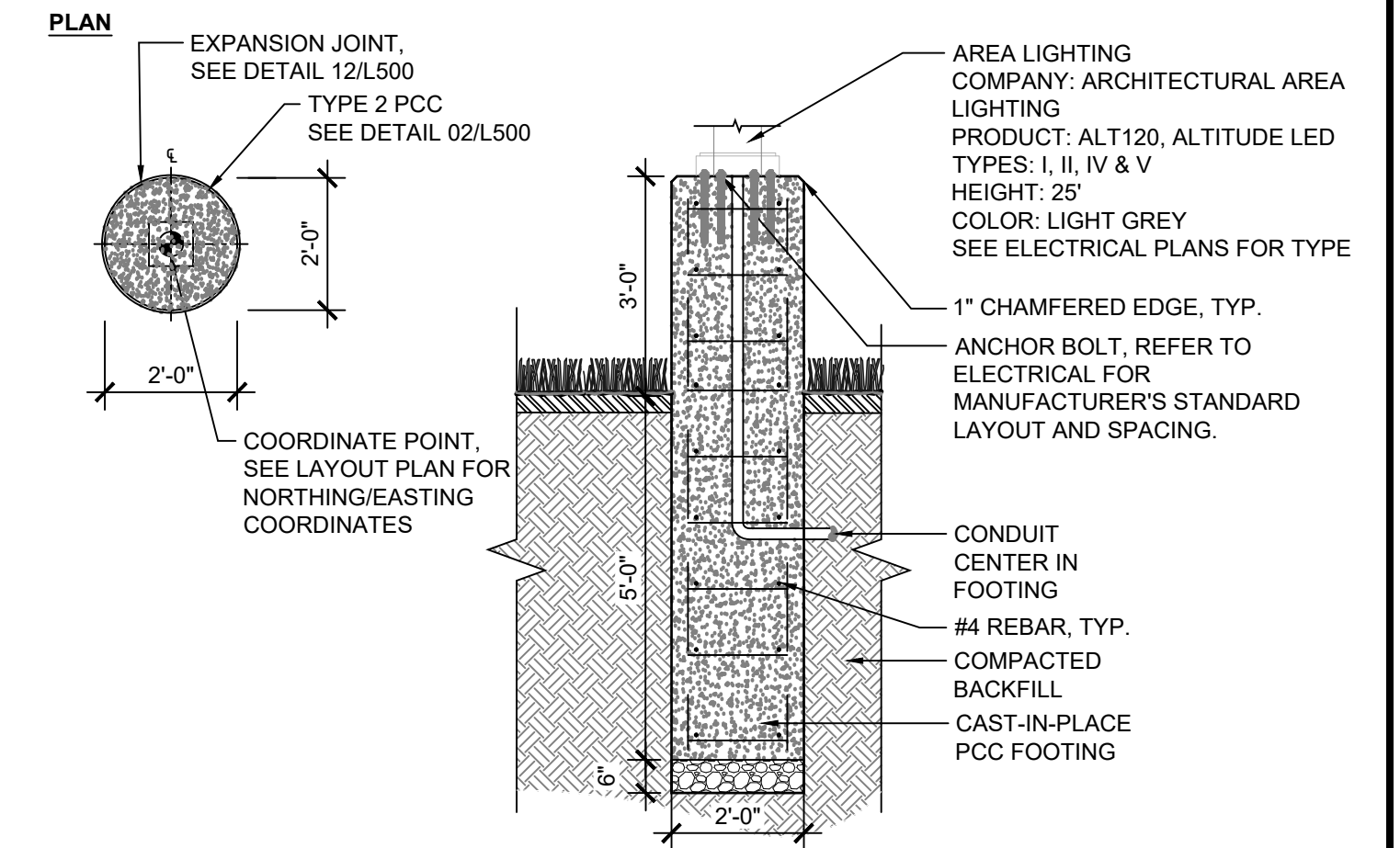
CONFLUENCE PROJECT # 21072-10

L506

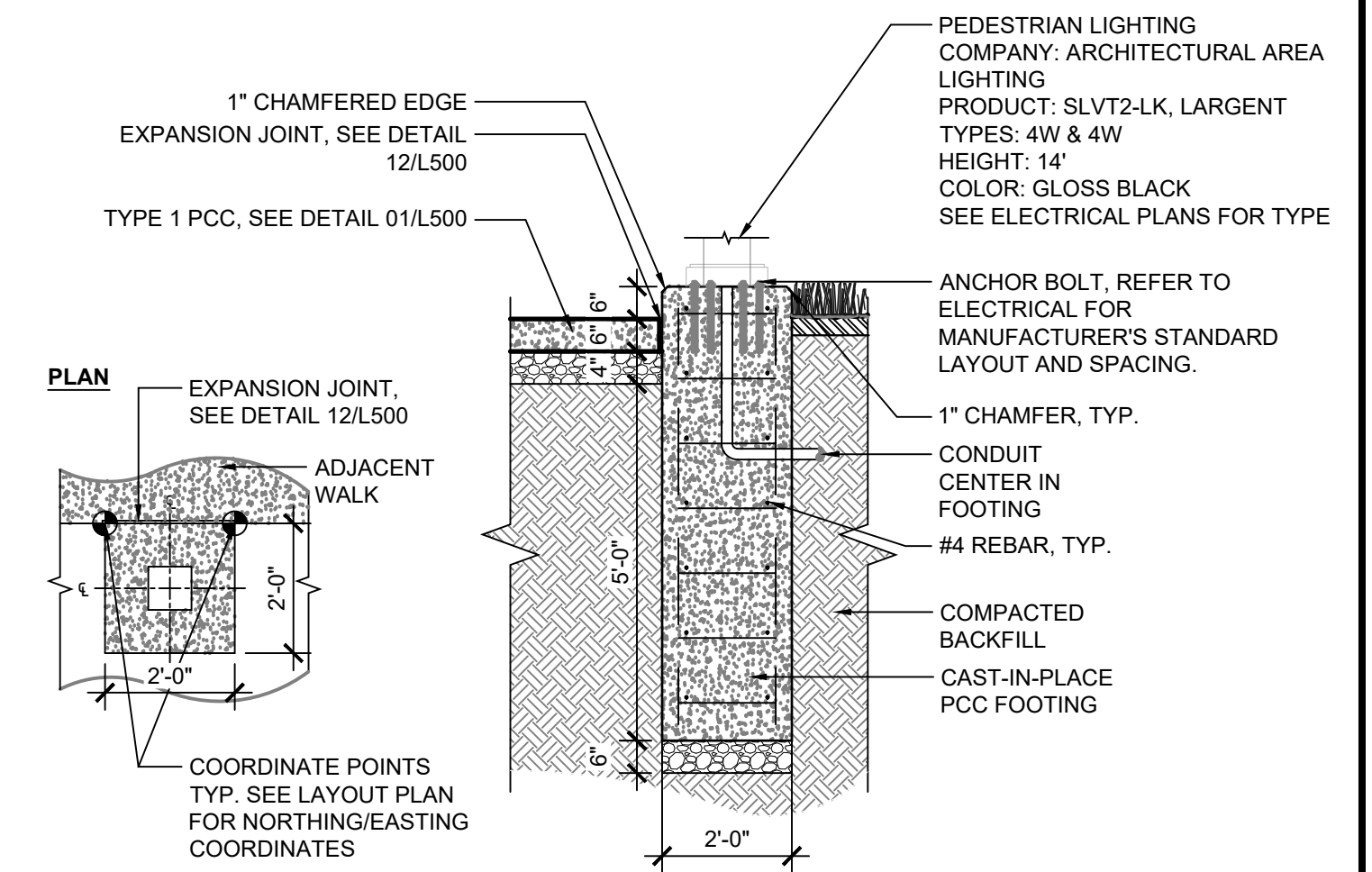
**KEETOWN LOOP STARBUCKS**  
 THE QUARTER AT WAUKEE, LLC  
 WAUKEE, IOWA



01 L504 SECTION: AREA LIGHT IN PARKING LOT, TYP. N.T.S.



02 L504 SECTION: AREA LIGHT IN LANDSCAPE, TYP. N.T.S.



03 L504 SECTION: PEDESTRIAN LIGHT IN PAVEMENT, TYP. N.T.S.

ISSUE SCHEDULE		
ISSUE	DATE	DESCRIPTION
1	02/16/2023	STARBUCKS INITIAL LAYOUT
2	05/15/2023	50% CD SET
3	05/22/2023	INITIAL SITE PLAN SUBMITTAL
4	07/18/2023	2ND SITE PLAN SUBMITTAL
5	07/21/2023	100% PERMIT DRAWINGS
6	08/07/2023	3RD SITE PLAN SUBMITTAL

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LIGHTING DETAILS

CONFLUENCE PROJECT # 21072-10

L507

**EXTERIOR MATERIAL SELECTIONS**  
MATERIAL SELECTIONS TO CONVEY GENERAL DESIGN INTENT ONLY. CONFIRM ALL FINAL SELECTIONS WITH TENANT PRIOR TO ORDERING

**CLEAR INSULATING GLASS WITH LOW-E COATING (IG-1)**  
-GLASS PRODUCT:  
-BASIS OF DESIGN: OLDCASTLE SNR 43 ON CLEAR  
-OVERALL THICKNESS: 1"  
-1/4" GUARDIAN SUNGUARD SNR 43 ON CLEAR RADIANT LOW-E  
-1/2" CAVITY (90% ARGON / 10% AIR)  
-1/4" GUARDIAN CLEAR  
-PERFORMANCE:  
-VISIBLE LIGHT: 43%  
-SOLAR ENERGY: 19%  
-UV: 17%  
-VISIBLE LIGHT REFLECTANCE (EXT): 27%  
-VISIBLE LIGHT REFLECTANCE (INT): 14%  
-SOLAR ENERGY REFLECTANCE: 42%  
-WINTER U-FACTOR: 0.24  
-SHADING COEFFICIENT: 0.26  
-SOLAR HEAT GAIN COEFFICIENT: 0.22  
-LIGHT/SOLAR GAIN: 1.94

**OPTION 1 EXTERIOR MATERIAL SELECTIONS**

**ROOFING: GUTTER & FASCIA**

FIRESTONE OR SIMILAR  
- COLOR: BLACK  
- INCLUDES:  
- D-EDGE & SOFFIT TRIM

**ROOFING: DOWNSPOUTS**

FIRESTONE OR SIMILAR  
- COLOR: BLACK  
- MATCH GUTTERS

**BRICK VENEER**

MUTUAL MATERIALS  
- BRICK COLOR:  
- PEWTER MISSION  
- MORTAR COLOR:  
- SM100 GRAY  
- RUNNING BOND

**COMPOSITE WOOD CLADDING & CANOPY SOFFIT**

IDENTITY WOOD PRODUCTS  
- TEXTURE: SANDBLAST  
- 1200 PRETZEL MEDIUM  
- REVEAL:  
- 1/16"

**TEXTURED HARDIEPANEL SIDING**

JAMES HARDIE  
- TEXTURE: FINE SAND  
- COLOR INTENT:  
- MATCH SW ANEW GRAY

**EXTERIOR STOREFRONT FINISH**

SEE SPECS  
- ANODIZED ALUM  
- COLOR INTENT:  
- BLACK  
- CONFIRM W/ TENANT

**OPTION 2 EXTERIOR MATERIAL SELECTIONS**

**ROOFING: GUTTER & FASCIA**

FIRESTONE OR SIMILAR  
- COLOR: BLACK  
- INCLUDES:  
- D-EDGE & SOFFIT TRIM

**ROOFING: DOWNSPOUTS**

FIRESTONE OR SIMILAR  
- COLOR: BLACK  
- MATCH GUTTERS

**BRICK VENEER**

GLEN-GARY  
- BRICK COLOR:  
- CHARCOAL GRAY VELOUR  
- MORTAR COLOR:  
- SM770 SABLE  
- RUNNING BOND

**WOOD CLADDING & CANOPY SOFFIT**

IDENTITY WOOD PRODUCTS  
- TEXTURE: SANDBLAST  
- 1204 EXTRA CRISPY  
- REVEAL:  
- 1/16"

**TEXTURED HARDIEPANEL SIDING**

JAMES HARDIE  
- TEXTURE: FINE SAND  
- COLOR INTENT:  
- MATCH SW SOFTER TAN

**EXTERIOR STOREFRONT FINISH**

SEE SPECS  
- ANODIZED ALUM  
- COLOR INTENT:  
- BLACK  
- CONFIRM W/ TENANT

**MATERIAL PERCENTAGES**

**NORTH FACADE**

MATERIAL	AREA	PERCENTAGE
BRICK VENEER	414 SF	28%
WOOD CLADDING	760 SF	52%
HARDIEPANEL SIDING	169 SF	12%
GLAZING	117 SF	8%
<b>TOTAL</b>	<b>1,460 SF</b>	<b>100%</b>

**EAST FACADE**

MATERIAL	AREA	PERCENTAGE
BRICK VENEER	257 SF	39%
WOOD CLADDING	82 SF	12%
HARDIEPANEL SIDING	260 SF	40%
GLAZING	62 SF	9%
<b>TOTAL</b>	<b>661 SF</b>	<b>100%</b>

**SOUTH FACADE**

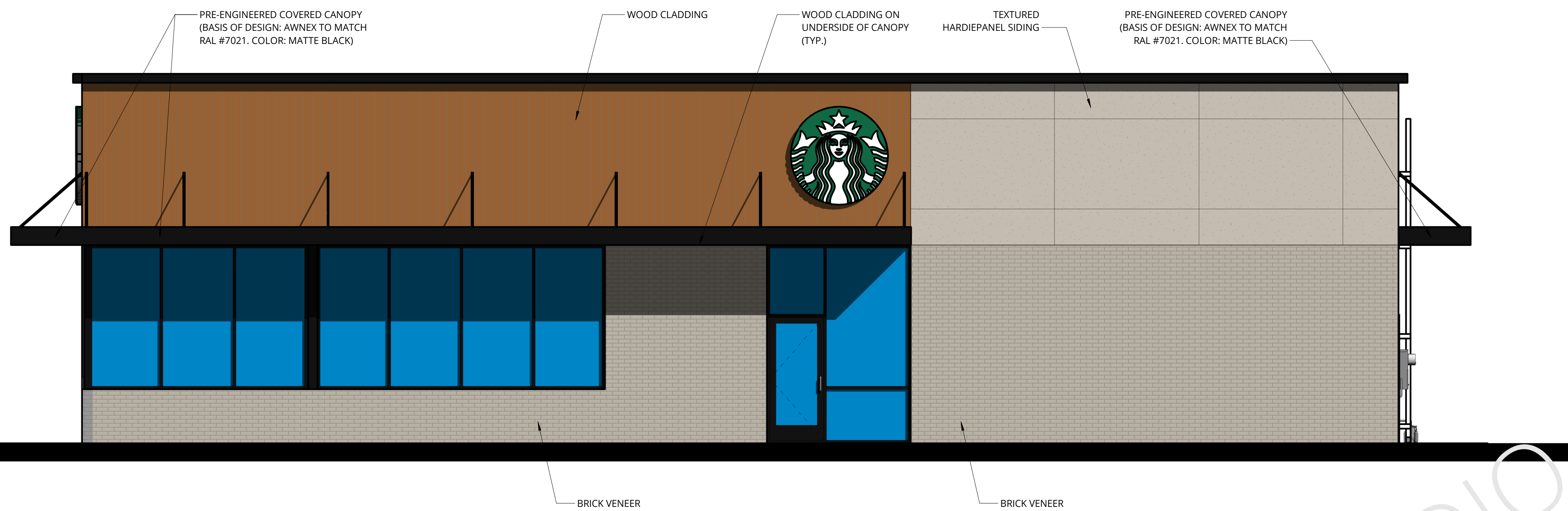
MATERIAL	AREA	PERCENTAGE
BRICK VENEER	160 SF	12%
WOOD CLADDING	403 SF	27%
HARDIEPANEL SIDING	495 SF	34%
GLAZING	402 SF	27%
<b>TOTAL</b>	<b>1,460 SF</b>	<b>100%</b>

**WEST FACADE**

MATERIAL	AREA	PERCENTAGE
BRICK VENEER	157 SF	23%
WOOD CLADDING	321 SF	47%
HARDIEPANEL SIDING	N/A SF	0%
GLAZING	206 SF	30%
<b>TOTAL</b>	<b>684 SF</b>	<b>100%</b>

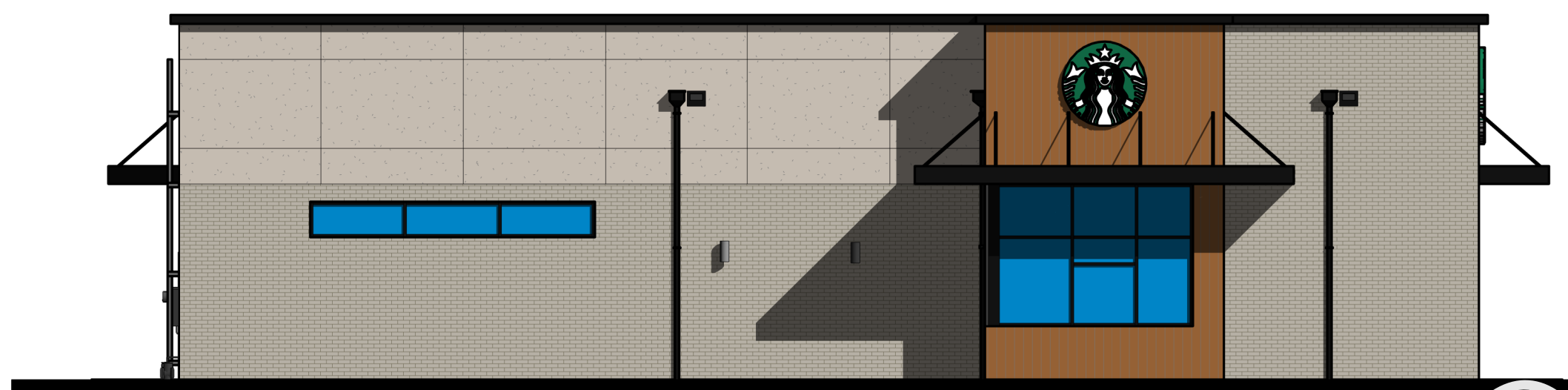
**TOTAL**

MATERIAL	AREA	PERCENTAGE
BRICK VENEER	988 SF	23%
WOOD CLADDING	1,566 SF	37%
HARDIEPANEL SIDING	924 SF	21%
GLAZING	787 SF	19%
<b>TOTAL</b>	<b>4,265 SF</b>	<b>100%</b>



**COLOR - SOUTH ELEVATION**

SCALE: 1/4" = 1'-0"



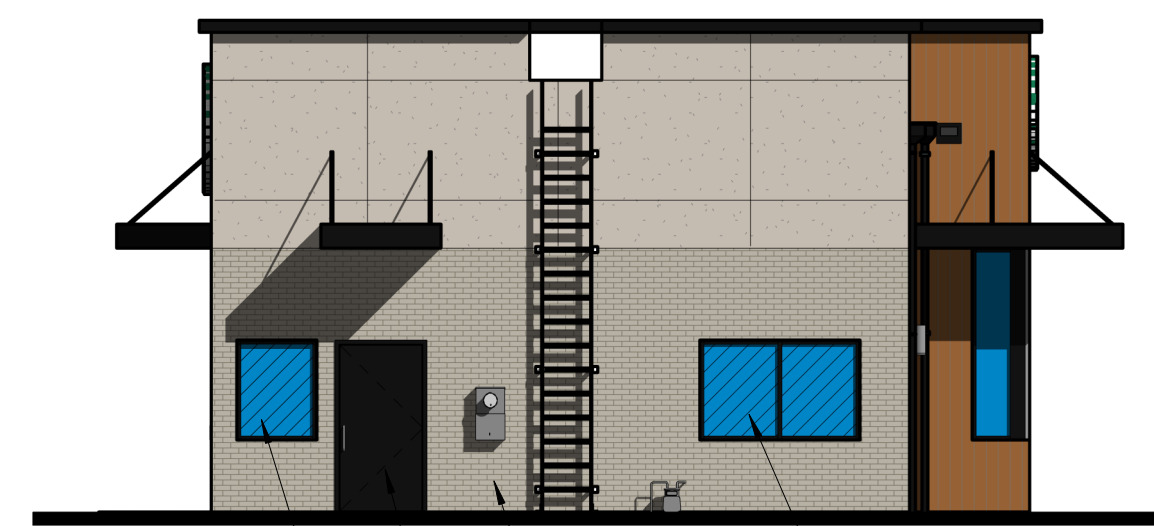
**COLOR - NORTH ELEVATION**

SCALE: 1/8" = 1'-0"



**COLOR - WEST LEFT ELEVATION**

SCALE: 1/8" = 1'-0"



**COLOR - EAST ELEVATION**

SCALE: 1/8" = 1'-0"

'DASHED HATCH' INDICATES PROVIDE WINDOW UNIT WITH BLACK-OUT FILM AT INTERIOR SIDE ONLY  
'DASHED HATCH' INDICATES PROVIDE WINDOW UNIT WITH BLACK-OUT FILM AT INTERIOR SIDE ONLY  
SEE CIVIL DRAWINGS FOR LANDSCAPE SCREENING AT THIS AREA  
SERVICE DOOR - MATCH STOREFRONT FINISH

SCALE: 1/8" = 1'-0"

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**KEETOWN LOOP STARBUCKS**  
**SITE PLAN SUBMITTAL**  
 THE QUARTER AT WAUKEE, LLC  
 WAUKEE, IOWA

ISSUE SCHEDULE		
ISSUE	DATE	DESCRIPTION
1	03/16/2023	STARBUCKS INITIAL LAYOUT
2	05/15/2023	20% CD SET

ISSUED FOR  
 INTERNAL  
 REVIEW  
 NOT FOR  
 CONSTRUCTION

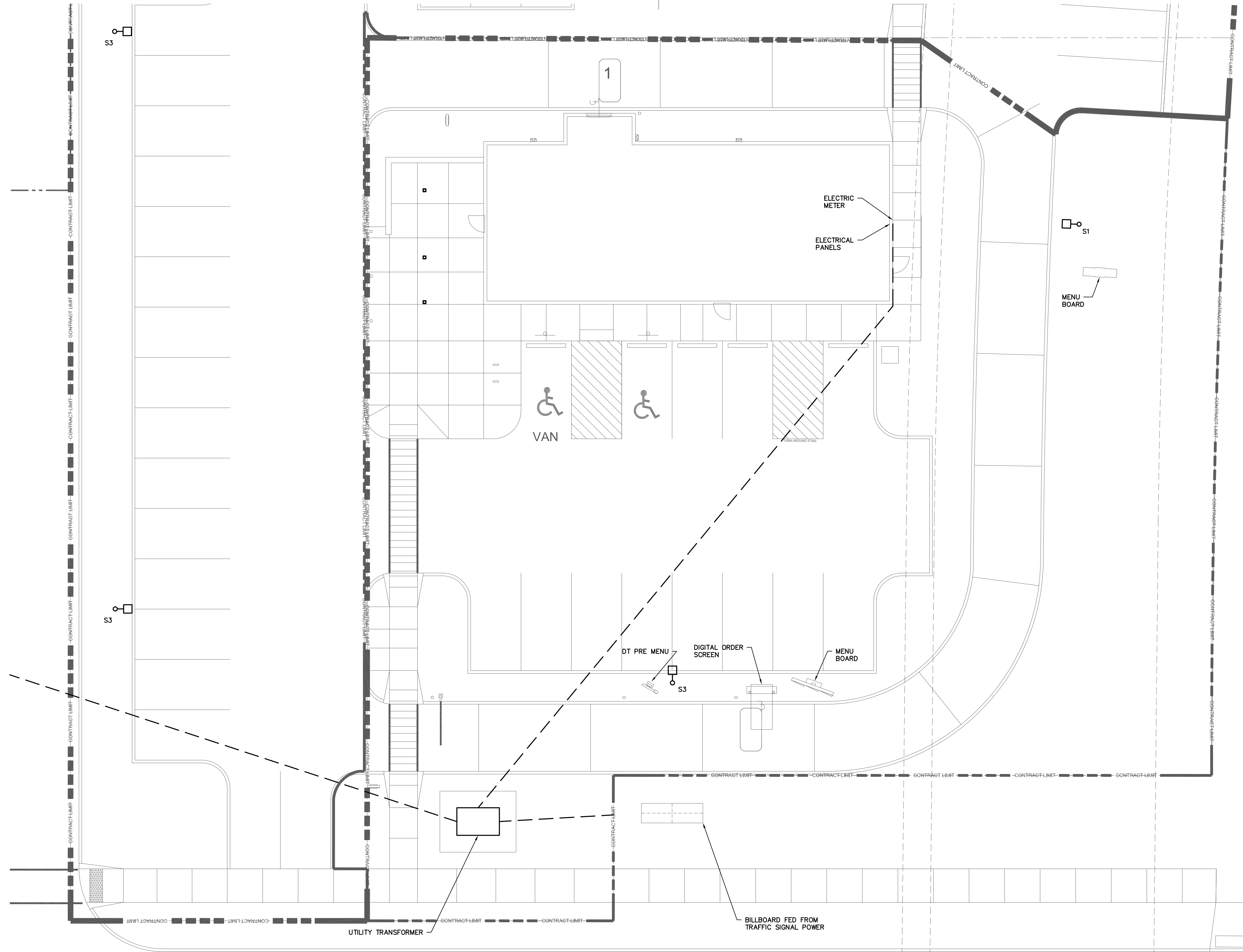
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**ELECTRICAL SITE  
 PLAN**

CONFLUENCE PROJECT # 21072-02

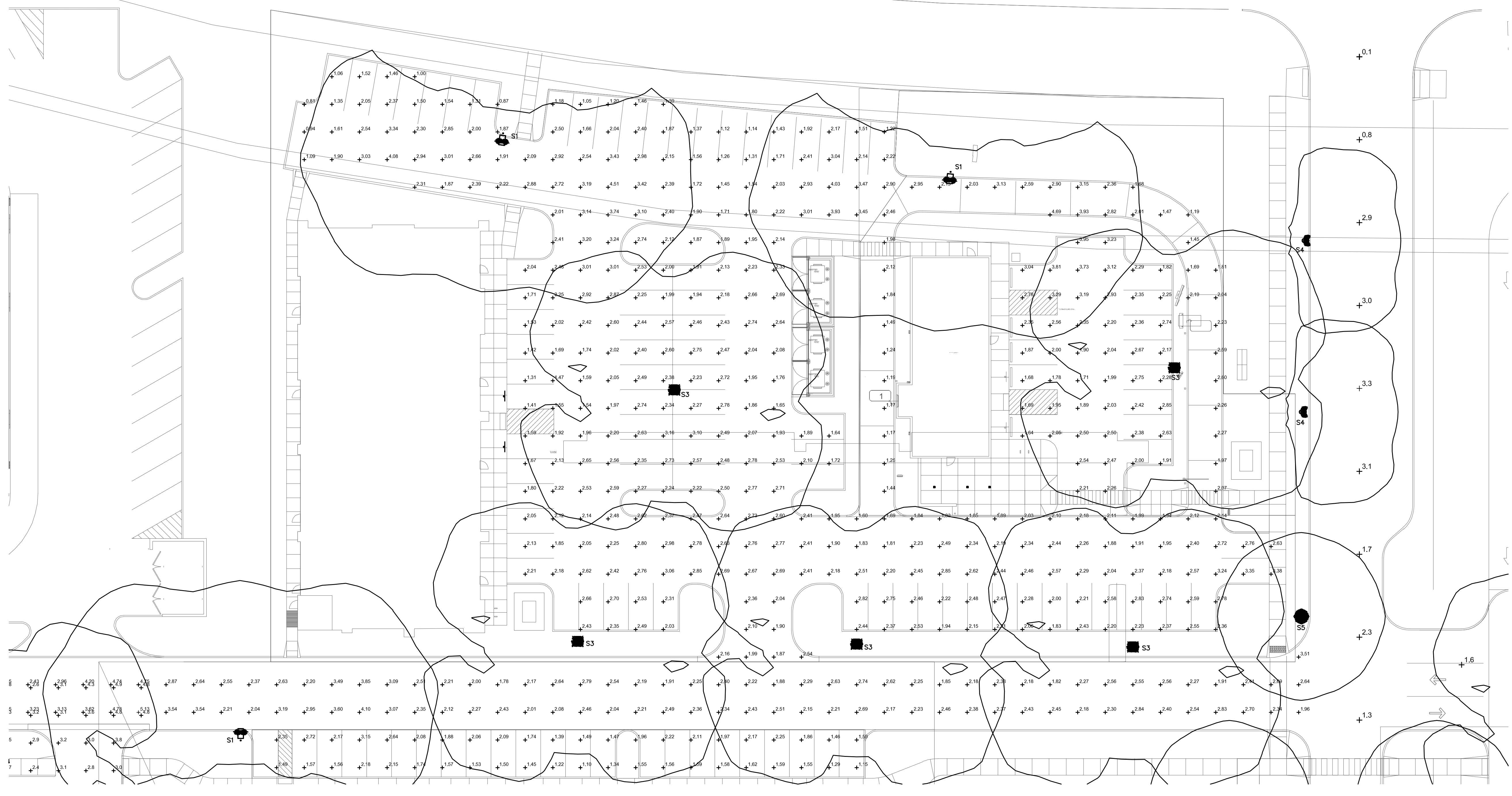
**E101**

LUMINAIRE SCHEDULE							
CALLOUT	LAMP	BALLAST	DESCRIPTION	MOUNTING	MODEL	VOLTS	NOTES
S1	(1) LED	LED DRIVER	SINGLE-HEAD ARCHITECTURAL AREA LIGHT, MINIMUM 15600 DELIVERED LUMENS PER HEAD, IESNA TYPE II DISTRIBUTION, ALUMINUM CONSTRUCTION, ARM SUITABLE FOR POLE TYPE/SIZE, FINISH SELECTED BY ARCHITECT	POLE	KIM ALT	120V 1P 2W	
S2	(1) LED	LED DRIVER	SAME AS S1, IESNA TYPE IV DISTRIBUTION	POLE	KIM ALT	120V 1P 2W	
S2A	(1) LED	LED DRIVER	SAME AS S1, IESNA TYPE IV DISTRIBUTION, NEIGHBOR FRIENDLY OPTICS	POLE	KIM ALT	120V 1P 2W	
S3	(1) LED	LED DRIVER	SAME AS S1, IESNA TYPE V DISTRIBUTION	POLE	KIM ALT	120V 1P 2W	
S4	(1) LED	LED DRIVER	SINGLE-HEAD PEDESTRIAN SCALE POST TOP AREA LIGHT, MINIMUM 8000 DELIVERED LUMENS PER HEAD, IESNA TYPE IV DISTRIBUTION, ARM SUITABLE FOR POLE TYPE/SIZE, FINISH SELECTED BY ARCHITECT	POLE	AAL SLVT2	120V 1P 2W	
S5	(1) LED	LED DRIVER	SAME AS S4, IESNA TYPE IV DISTRIBUTION	POLE	AAL SLVT2	120V 1P 2W	
S6	14W LED	DRIVER	DECORATIVE BOLLARD, 36" TALL, FINISH SELECTED BY ARCHITECT, MINIMUM 200 DELIVERED LUMENS REFER TO 4/E3.0 FOR BOLLARD BASE DETAIL	CONCRETE BASE	KIM LIGHTING PAIR OR PRE-APPROVED EQUAL	277V 1P 2W	4000K COLOR TEMPERATURE
S7	(1) LED	LED DRIVER	FLAG POLE FLOOD LIGHT, MINIMUM 1500 DELIVERED LUMENS, FLOOD DISTRIBUTION, IP66 RATED, PROVIDE GLARE WSCR, FINISH SELECTED BY ARCHITECT.	CONCRETE BASE	LITHONIA DSXF2	120V 1P 2W	



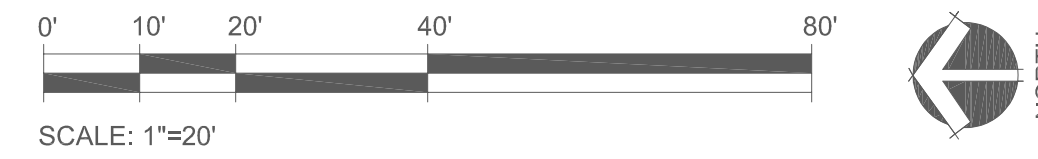
**1 ELECTRICAL SITE PLAN**  
 1"=10'-0"

**KEETOWN LOOP STARBUCKS  
 SITE PLAN SUBMITTAL**  
 THE QUARTER AT WAUKEE, LLC  
 WAUKEE, IOWA



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
NE PARKING	+	2.32 fc	5.13 fc	0.81 fc	6.3:1	2.9:1

Schedule						
Label	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage
B	N/A	FLO-SW-P-30-HB-90-1.4	1	70	0.9	1.34
S1	ALT2P35-300L4K-FGL	ALTITUDE	1	30445	0.9	343.1
S2	ALT4P35-300L4K-FGL	ALTITUDE	1	30534	0.9	343.5
S2A	ALT4P35-300L4K-FGL-NFO	ALTITUDE	1	27100	0.9	342.2
S3	ALTSF35-300L4K-FGL	ALTITUDE	1	30579	0.9	344.2
S4	SLVT2-72L-335-4K7-4W	LARGENT 2.0	1	8484	0.9	75.5
S5	SLVT2-72L-335-4K7-5W	LARGENT 2.0	1	8237	0.9	75.5



ISSUE SCHEDULE		
ISSUE	DATE	DESCRIPTION
1	05/16/2023	STARBUCKS INITIAL LAYOUT
2	05/15/2023	20% CD SET
3	05/20/2023	FINAL SITE PLAN SUBMITTAL

ISSUED FOR  
 SITE PLAN  
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ENLARGED E201

CONFLUENCE PROJECT # 21072-02

**E201**