

INDEX LEGEND

LOCATION: PT. NE1/4 SEC 07-78-26  
PT. OUTLOT 'Z', HERTZ FARM PLAT 1  
WAUKEE, DALLAS COUNTY, IOWA

SURVEYOR: MICHAEL A. BROONER  
SURVEYOR COMPANY: CIVIL DESIGN ADVANTAGE  
PREPARED BY & RETURN TO: CIVIL DESIGN ADVANTAGE  
4121 NW URBANDALE DRIVE  
URBANDALE, IOWA 50322  
PH: 515-369-4400

HAMILTON RIDGE PLAT 14  
FINAL PLAT

OWNER / DEVELOPER

HAMILTON RIDGE, LLC  
9550 HICKMAN RD STE 100  
CLIVE, IA 50325

ENGINEER / SURVEYOR

CIVIL DESIGN ADVANTAGE  
4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322

DATE OF SURVEY

JULY 24, 2023

ZONING

R-2: ONE AND TWO-FAMILY RESIDENTIAL DISTRICT

BULK REGULATIONS

FRONT YARD: 30 FEET  
SIDE YARD: A TOTAL OF 15 FEET - ONE SIDE MAY BE REDUCED TO NOT LESS THAN 7 FEET  
REAR YARD: 30 FEET  
MINIMUM LOT WIDTH=65 FEET  
MINIMUM LOT AREA=8,000 SF

NOTES

- 1. ANY SET MONUMENTATION SHOWN ON THIS PLAT WILL BE COMPLETED WITHIN ONE YEAR FROM THE DATE THIS PLAT WAS RECORDED.
- 2. LOTS MAY BE SUBJECT TO MINIMUM PROTECTION ELEVATIONS AND OTHER ELEVATION RESTRICTIONS NOT SHOWN ON THIS PLAT. REFER TO THE APPROVED PROJECT ENGINEERING DOCUMENTS FOR ANY ELEVATION RESTRICTIONS.
- 3. LOT 1 SHALL BE DEDICATED TO THE CITY OF WAUKEE TO SATISFY PARKLAND DEDICATION.

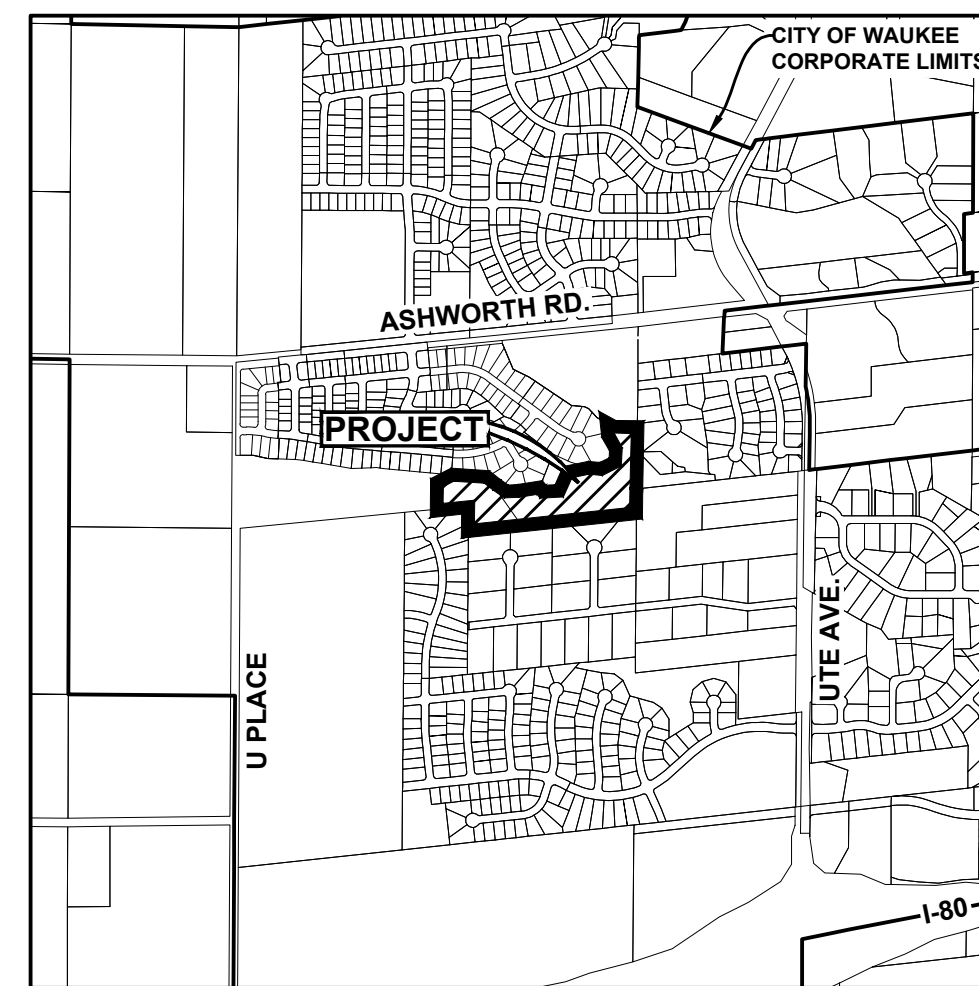
PLAT DESCRIPTION

A PART OF OUTLOT 'Z', HERTZ FARM PLAT 1, AN OFFICIAL PLAT AND A PART OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 78 NORTH, RANGE 26 WEST OF THE FIFTH PRINCIPAL MERIDIAN, ALL IN THE CITY OF WAUKEE, DALLAS COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID OUTLOT 'Z'; THENCE SOUTH 01°11'24" WEST ALONG THE EASTERLY LINE OF SAID OUTLOT 'Z', 482.08 FEET; THENCE SOUTH 00°25'23" WEST ALONG SAID EASTERLY LINE, 190.70 FEET TO THE SOUTHEAST CORNER OF SAID OUTLOT 'Z'; THENCE SOUTH 83°58'59" WEST ALONG THE SOUTHERLY LINE OF SAID OUTLOT 'Z' AND THE NORTHERLY LINE OF LEONARDS SUBDIVISION PLAT 2, AN OFFICIAL PLAT IN SAID CITY OF WAUKEE, 1321.42 FEET TO THE NORTHWEST CORNER OF SAID LEONARDS SUBDIVISION PLAT 2; THENCE NORTH 00°51'29" EAST ALONG THE EASTERLY LINE OF PAINTED WOODS WEST PLAT 4, AN OFFICIAL PLAT IN SAID CITY OF WAUKEE, 185.46 FEET TO THE NORTHEAST CORNER OF SAID PAINTED WOODS WEST PLAT 4; THENCE SOUTH 83°58'08" WEST ALONG THE NORTHERLY LINE OF SAID PAINTED WOODS WEST PLAT 4, A DISTANCE OF 247.85 FEET; THENCE NORTH 00°25'02" EAST 218.54 FEET TO THE SOUTHERLY LINE OF PARCEL '20-69' AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 2020, PAGE 23365 IN THE OFFICE OF THE DALLAS COUNTY RECORDER; THENCE NORTH 63°14'40" EAST ALONG SAID SOUTHERLY LINE, 136.09 FEET TO THE SOUTHERLY LINE OF HAMILTON RIDGE PLAT 6, AN OFFICIAL PLAT IN SAID CITY OF WAUKEE; THENCE SOUTH 86°14'08" EAST ALONG SAID SOUTHERLY LINE, 268.86 FEET; THENCE SOUTH 52°13'27" EAST ALONG SAID SOUTHERLY LINE, 101.85 FEET; THENCE SOUTH 54°40'48" EAST ALONG SAID SOUTHERLY LINE, 88.15 FEET; THENCE NORTH 86°58'27" EAST ALONG SAID SOUTHERLY LINE, 96.10 FEET; THENCE NORTH 80°43'43" EAST ALONG SAID SOUTHERLY LINE, 166.74 FEET TO THE SOUTHERLY LINE OF HAMILTON RIDGE PLAT 8, AN OFFICIAL PLAT IN SAID CITY OF WAUKEE; THENCE SOUTH 39°34'12" EAST ALONG SAID SOUTHERLY LINE, 41.42 FEET; THENCE NORTH 87°36'15" EAST ALONG SAID SOUTHERLY LINE, 126.04 FEET; THENCE NORTH 24°21'10" EAST ALONG SAID SOUTHERLY LINE, 161.21 FEET; THENCE NORTH 78°21'25" EAST ALONG SAID SOUTHERLY LINE, 165.54 FEET; THENCE SOUTH 85°21'26" EAST ALONG SAID SOUTHERLY LINE, 99.83 FEET; THENCE NORTH 63°41'09" EAST ALONG SAID SOUTHERLY LINE, 122.50 FEET; THENCE NORTH 02°34'41" EAST ALONG THE EASTERLY LINE OF SAID HAMILTON RIDGE PLAT 8, A DISTANCE OF 99.56 FEET; THENCE NORTH 29°46'26" WEST ALONG SAID EASTERLY LINE, 123.86 FEET; THENCE NORTH 06°04'46" WEST ALONG SAID EASTERLY LINE, 99.96 FEET TO THE NORTHERLY LINE OF SAID OUTLOT 'Z', HERTZ FARM PLAT 1; THENCE SOUTH 61°57'18" EAST ALONG SAID NORTHERLY LINE, 67.20 FEET; THENCE SOUTH 88°53'13" EAST ALONG SAID NORTHERLY LINE, 183.02 FEET TO THE POINT OF BEGINNING AND CONTAINING 13.10 ACRES (570,639 SQUARE FEET).

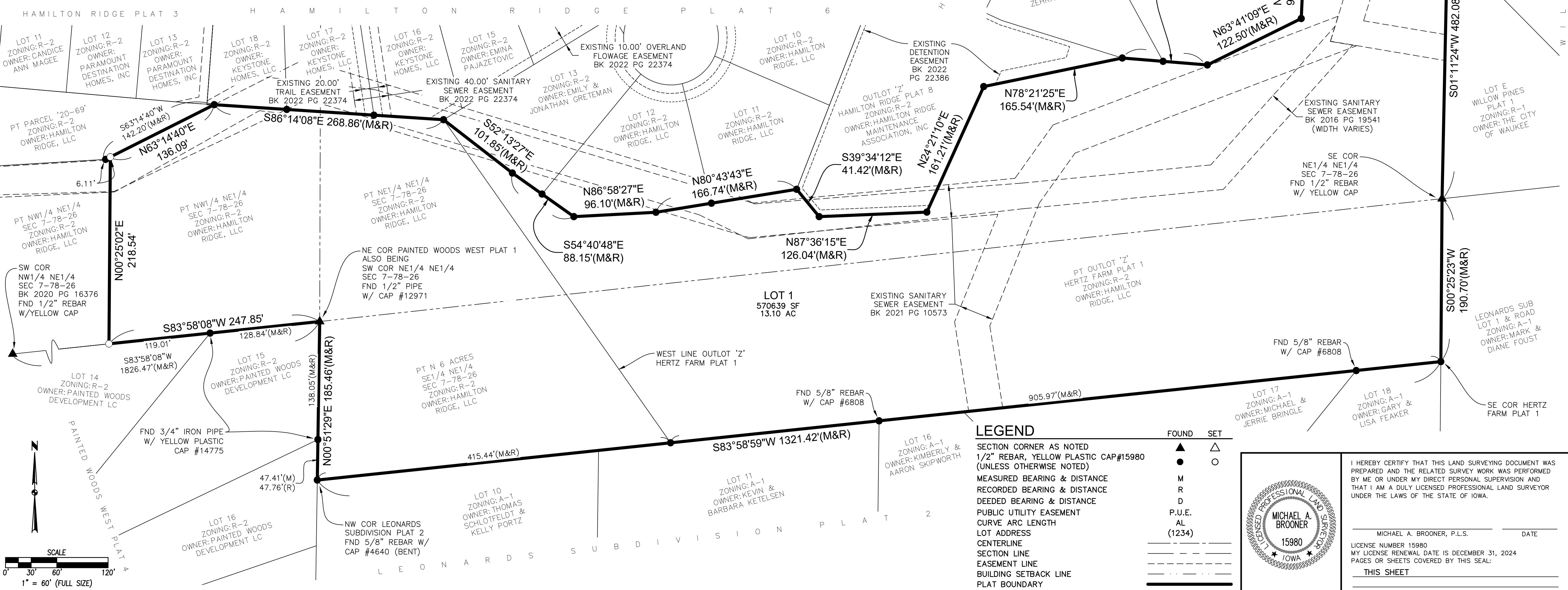
THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

VICINITY MAP (NOT TO SCALE)



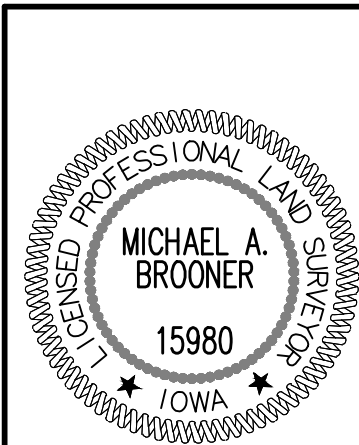
WAUKEE, IOWA

AREA ABOVE RESERVED FOR RECORDING STAMP



LEGEND

Table with 2 columns: FOUND, SET. Rows include Section Corner, Measured Bearing & Distance, Recorded Bearing & Distance, Deeded Bearing & Distance, Public Utility Easement, Curve Arc Length, Lot Address, Centerline, Section Line, Easement Line, Building Setback Line, and Plat Boundary.



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

Vertical sidebar containing title 'HAMILTON RIDGE PLAT 14 FINAL PLAT', contact information for Civil Design Advantage, and a revision table.