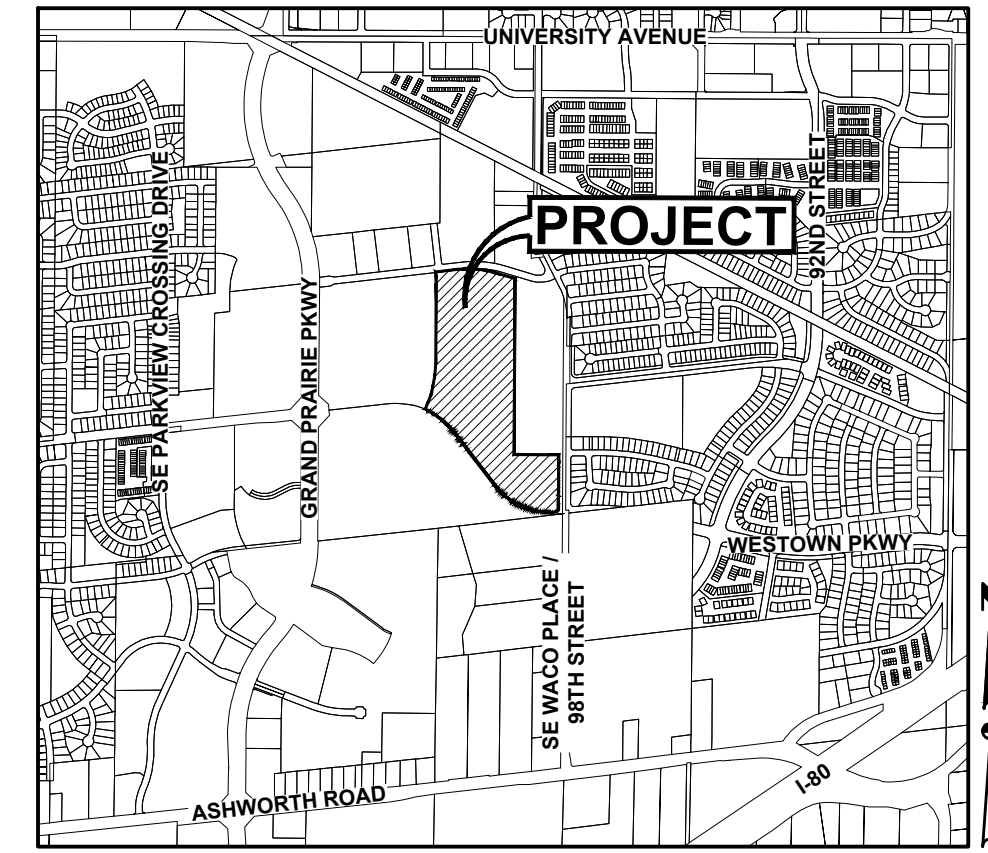


SITE PLAN FOR: KETTLESTONE CENTRAL - GYMNASIUM

WAUKEE, IOWA

VICINITY MAP

NOT TO SCALE



WAUKEE, IOWA

OWNER

DICKSON D & LUANN C JENSEN
4611 MORTENSEN ROAD STE 106
AMES, IA 50014

APPLICANT

JENSEN GROUP
CONTACT: DICKSON JENSEN
4611 MORTENSEN ROAD STE 106
AMES, IA 50014
PH: (515) 233-2752

ENGINEER

CIVIL DESIGN ADVANTAGE
4121 NW URBAN DALE DRIVE
URBAN DALE, IOWA 50322
CONTACT: ERIN OLLENDIKE
EMAIL: ERINO@CDA-ENG.COM
PH. (515) 369-4400

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
4121 NW URBAN DALE DRIVE
URBAN DALE, IOWA 50322
CONTACT: CHARLIE MCLOTHLEN
EMAIL: CHARLIE@CDA-ENG.COM
PH. (515) 369-4400

DATE OF SURVEY

MARCH, 2022

BENCHMARKS

- DALLAS COUNTY BM 120 (G120)
5/8" DIA. X 6'-0" LONG ALUMINUM ROD WITH
CAP STAMPED G120 & NGS STYLE ACCESS
COVER 3" DEEP LOCATED ON EAST SIDE OF U
PLACE ABOUT 150' SOUTH OF 200TH STREET.
ELEVATION=1011.76

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = SEPTEMBER 2023
ANTICIPATED FINISH DATE = SEPTEMBER 2024

SUBMITTAL DATES

FIRST SUBMITTAL: 09/06/2022
SECOND SUBMITTAL: 07/18/2023
THIRD SUBMITTAL: 08/08/2023
FOURTH SUBMITTAL: 08/29/2023

NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AN UPDATED SITE PLAN ILLUSTRATING ANY CHANGES MADE DURING CONSTRUCTION AND RECEIVE APPROVAL IN WRITING FROM THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT OF SAID CHANGES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES MADE WITHOUT WRITTEN APPROVAL.

PROJECT SITE ADDRESS

2045 SE GLACIER TRAIL

ZONING

K-RR: KETTLESTONE RETAIL REGIONAL DISTRICT

DEVELOPMENT SUMMARY

LOT 14 AREA: 14.16 ACRES (616,623 SF)

BULK REGULATIONS:

K-RR: KETTLESTONE RETAIL REGIONAL DISTRICT:

- PRINCIPAL PERMITTED USES FOR THIS AREA SHALL INCLUDE RETAIL, BUSINESSES, SERVICE ESTABLISHMENTS, AND OFFICE USES (SEE CITY CODE CHAPTER 169.25 FOR DETAILED USES).
- MINIMUM LOT AREA: NO MINIMUM REQUIREMENT.
- MINIMUM LOT WIDTH: NO MINIMUM REQUIREMENT.
- FRONT YARD: NO MINIMUM FOR PRINCIPAL PERMITTED USES. 20 FEET MINIMUM FOR ACCESSORY STRUCTURES.
- SIDE YARD: NO MINIMUM FOR PRINCIPAL PERMITTED USES UNLESS ADJACENT TO ADJOINING SINGLE-FAMILY, IN WHICH CASE THE MINIMUM SETBACK SHALL BE 50 FEET. 5 FEET FOR ACCESSORY STRUCTURES.
- REAR YARD: NO MINIMUM FOR PRINCIPAL PERMITTED USES UNLESS ADJACENT TO ADJOINING SINGLE-FAMILY, IN WHICH CASE THE MINIMUM SETBACK SHALL BE 50 FEET. 5 FEET FOR ACCESSORY STRUCTURES.
- BUILDING SEPARATION: 25 FEET FOR PRINCIPAL USES. 25 FEET BETWEEN PRINCIPAL BUILDING AND ACCESSORY BUILDING.
- MINIMUM BUILDING HEIGHT: NO MINIMUM REQUIREMENT.
- MAXIMUM BUILDING HEIGHT: PRINCIPAL BUILDING - 8 STORIES. ACCESSORY BUILDING - 1 STORY.
- MINIMUM FLOOR AREA RATIO: 0.35.
- OFF-STREET PARKING AND LOADING: ONE SPACE PER 250 SF OF RETAIL AND OFFICE USES. SPACES FOR ALL OTHER USES SHALL BE PROVIDED IN ACCORDANCE WITH THE PROVISIONS OF CHAPTER 168 OF THE ZONING REGULATIONS.
- MINIMUM OPEN SPACE: THE TOTAL LAND AREA DEVOTED TO OPEN SPACE AND LANDSCAPING SHALL NOT BE LESS THAN 20% OF THE GROSS LAND AREA INCLUDED IN THE BUILDING LOT. SUCH OPEN SPACE SHALL BE MAINTAINED AS GRASSED AND LANDSCAPED AREA AND SHALL NOT INCLUDE ACCESS DRIVES, PARKING AREAS, STRUCTURE, OR BUILDINGS, EXCEPT ORNAMENTAL STRUC

PARKING

PARKING REQUIRED = 728 SPACES
(13 COURTS = 56 SPACES PER COURT)

PARKING PROVIDED = 808 SPACES

ADA PARKING REQUIRED = 17 SPACES
(501-1,000) 2% OF TOTAL

ADA PARKING PROVIDED = 17 SPACES

BICYCLE PARKING REQUIRED = 25 SPACES
(808 * 3%)

BICYCLE PARKING PROVIDED = 26 SPACES

IMPERVIOUS SURFACE AREA

TOTAL IMPERVIOUS AREA = 468,423 SF
LOT AREA = 616,623 SF
OPEN SPACE REQUIRED = 20% (123,325 SF)
OPEN SPACE PROVIDED = 24% (148,200 SF)

INDEX OF SHEETS

NO.	DESCRIPTION
C1.0	COVER SHEET
C2.0	DETAILS
C3.0-3.2	DIMENSION PLAN
C4.0-4.6	GRADING PLAN
C5.0-5.3	EROSION AND SEDIMENT CONTROL PLAN
C6.0-6.9	UTILITY PLAN
L1.0-1.1	LANDSCAPE PLAN

LEGAL DESCRIPTION

LOT 14, KETTLESTONE CENTRAL PLAT 1, AN OFFICIAL PLAT IN THE CITY OF WAUKEE, DALLAS COUNTY, IOWA AND CONTAINING 14.16 ACRES (616,623 SQUARE FEET). THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

GENERAL LEGEND

PROPOSED	EXISTING
PROPERTY BOUNDARY	SANITARY MANHOLE
SECTION LINE	WATER VALVE BOX
CENTER LINE	FIRE HYDRANT
RIGHT OF WAY	WATER CURB STOP
BUILDING SETBACK	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-502 STORM INTAKE	FLARED END SECTION
TYPE SW-503 STORM INTAKE	DECIDUOUS TREE
TYPE SW-505 STORM INTAKE	CONIFEROUS TREE
TYPE SW-506 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-512 STORM INTAKE	CONIFEROUS SHRUB
TYPE SW-513 STORM INTAKE	ELECTRIC POWER POLE
TYPE SW-401 STORM MANHOLE	GUY ANCHOR
TYPE SW-402 STORM MANHOLE	STREET LIGHT
FLARED END SECTION	POWER POLE W/ TRANSFORMER
TYPE SW-301 SANITARY MANHOLE	UTILITY POLE W/ LIGHT
STORM/SANITARY CLEANOUT	ELECTRIC BOX
WATER VALVE	ELECTRIC TRANSFORMER
FIRE HYDRANT ASSEMBLY	ELECTRIC MANHOLE OR VAULT
SIGN	TRAFFIC SIGN
DETECTABLE WARNING PANEL	TELEPHONE JUNCTION BOX
WATER CURB STOP	TELEPHONE MANHOLE/VAULT
SANITARY SEWER	TELEPHONE POLE
SANITARY SERVICE	GAS VALVE BOX
STORM SEWER	CABLE TV JUNCTION BOX
STORM SERVICE	CABLE TV MANHOLE/VAULT
WATERMAIN WITH SIZE	MAIL BOX
WATER SERVICE	BENCHMARK
SAWCUT (FULL DEPTH)	SOIL BORING
SILT FENCE	UNDERGROUND TV CABLE
USE AS CONSTRUCTED	GAS MAIN
MINIMUM PROTECTION ELEVATION	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

NOTE

THE BUILDINGS SHOWN IS FOR REFERENCE PURPOSES ONLY. FINAL BUILDING TYPE IS SUBJECT TO CHANGE. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.



CIVIL DESIGN ADVANTAGE

4121 NW URBAN DALE DRIVE, URBAN DALE, IOWA 50322

PH: (515) 369-4400

PROJECT NO. 2302.086



1-800-292-8989

www.iowaonecall.com

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF WAUKEE COSESCO PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTOR'S USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2023 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

ERIN OLLENDIKE, P.E. DATE

16926

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023
PAGES OR SHEETS COVERED BY THIS SEAL:
SHEETS 1.0-6.8

PRELIMINARY
NOT FOR CONSTRUCTION

GENERAL NOTES

1. THE 2023 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE 2023 EDITION OF THE SUBCONTRACTOR SPECIFICATIONS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC UTILITIES CONTRACTOR SHALL NOTIFY THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE 2023 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4" INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2" INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS AND MUD SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK. ANY PAVEMENT REPLACEMENT SHALL COMPLY WITH THE 2023 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
14. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
15. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
16. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACT BID.
17. ALL STAKING, INCLUDING PEDESTRIAN FACILITIES, IS TO BE DONE UNDER THE DIRECTION OF A LICENSED ENGINEER OR SURVEYOR.
18. IT IS THE CONTRACTOR'S RESPONSIBILITY TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT AT LEAST ONE WEEK PRIOR TO CONSTRUCTION ACTIVITIES COMMENCING.
19. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE CITY OF WAUKEE ENGINEERING DEPARTMENT 72 HOURS PRIOR TO ANY PLANNED WEEKEND OR HOLIDAY WORK.
20. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR THESE BUILDINGS OR PORTION OF A BUILDING AS SOON AS CONSTRUCTION COMMENCES. THE FIRE APPARATUS ACCESS ROAD SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 503.2 AND SHALL EXTEND TO WITHIN 100 FEET OF ALL EXTERIOR PORTIONS OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING.
21. ALL STREETS TO BE PRIVATELY OWNED AND MAINTAINED.
22. CONTRACTOR IS RESPONSIBLE TO OBTAIN WRITTEN APPROVAL FOR ANY PLAN CHANGES DURING CONSTRUCTION FROM THE COMMUNITY DEVELOPMENT DEPARTMENT. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR ANY CHANGES THAT HAVE NOT RECEIVE WRITTEN APPROVAL FROM THE COMMUNITY DEVELOPMENT DEPARTMENT.

TRAFFIC CONTROL NOTES

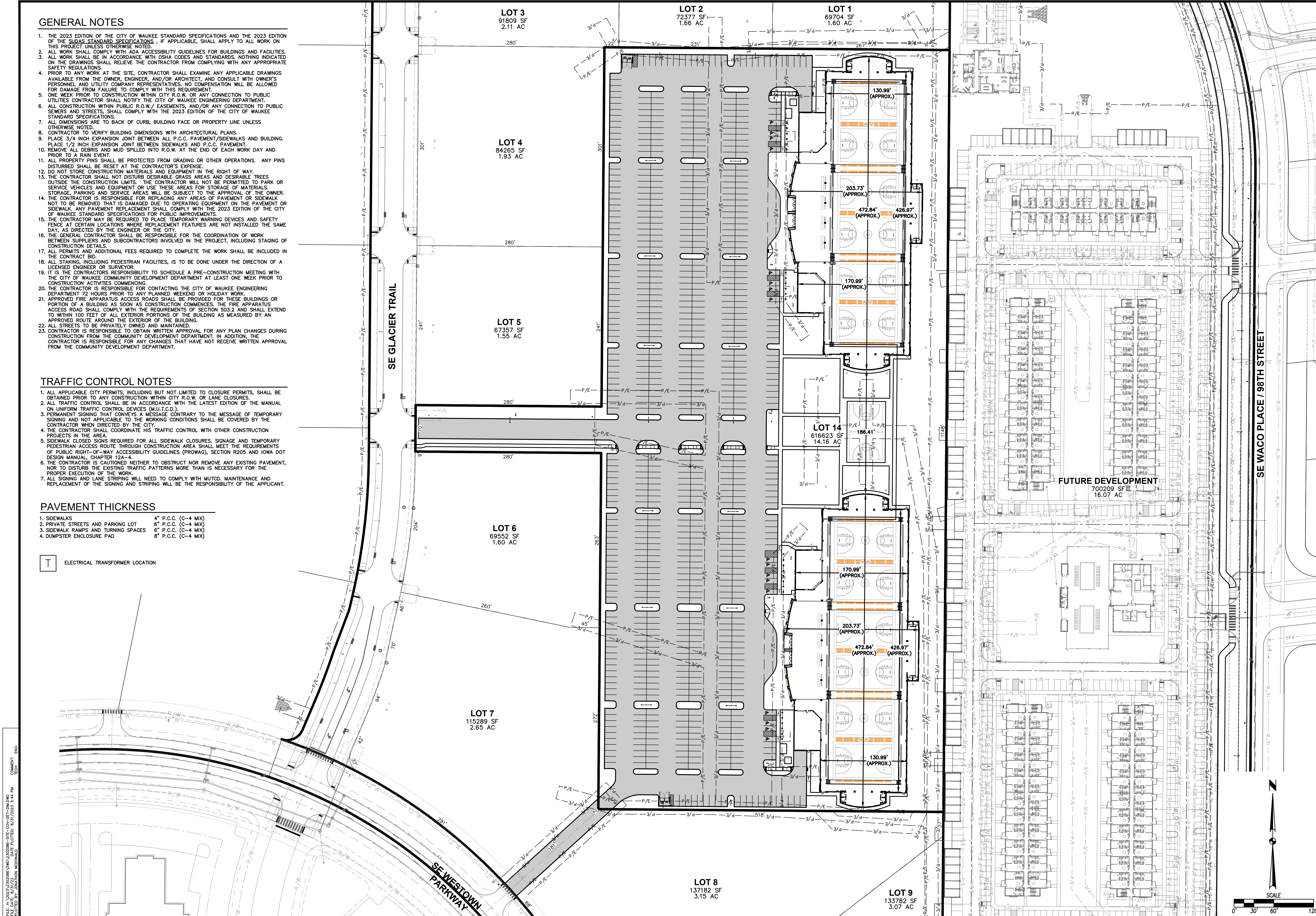
1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

PAVEMENT THICKNESS

- | | |
|--------------------------------------|---------------------|
| 1. SIDEWALKS | 4" P.C.C. (C-4 MIX) |
| 2. PRIVATE STREETS AND PARKING LOT | 6" P.C.C. (C-4 MIX) |
| 3. SIDEWALK RAMPS AND TURNING SPACES | 6" P.C.C. (C-4 MIX) |
| 4. DUMPSTER ENCLOSURE PAD | 8" P.C.C. (C-4 MIX) |

T ELECTRICAL TRANSFORMER LOCATION

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 PLOTTED BY: JGANTON
 COMMENT: ENG
 TECH:



DATE	REVISIONS
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08/08/2023	THIRD SUBMITTAL
07/19/2023	SECOND SUBMITTAL
05/09/2023	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400

EA
 CIVIL DESIGN ADVANTAGE

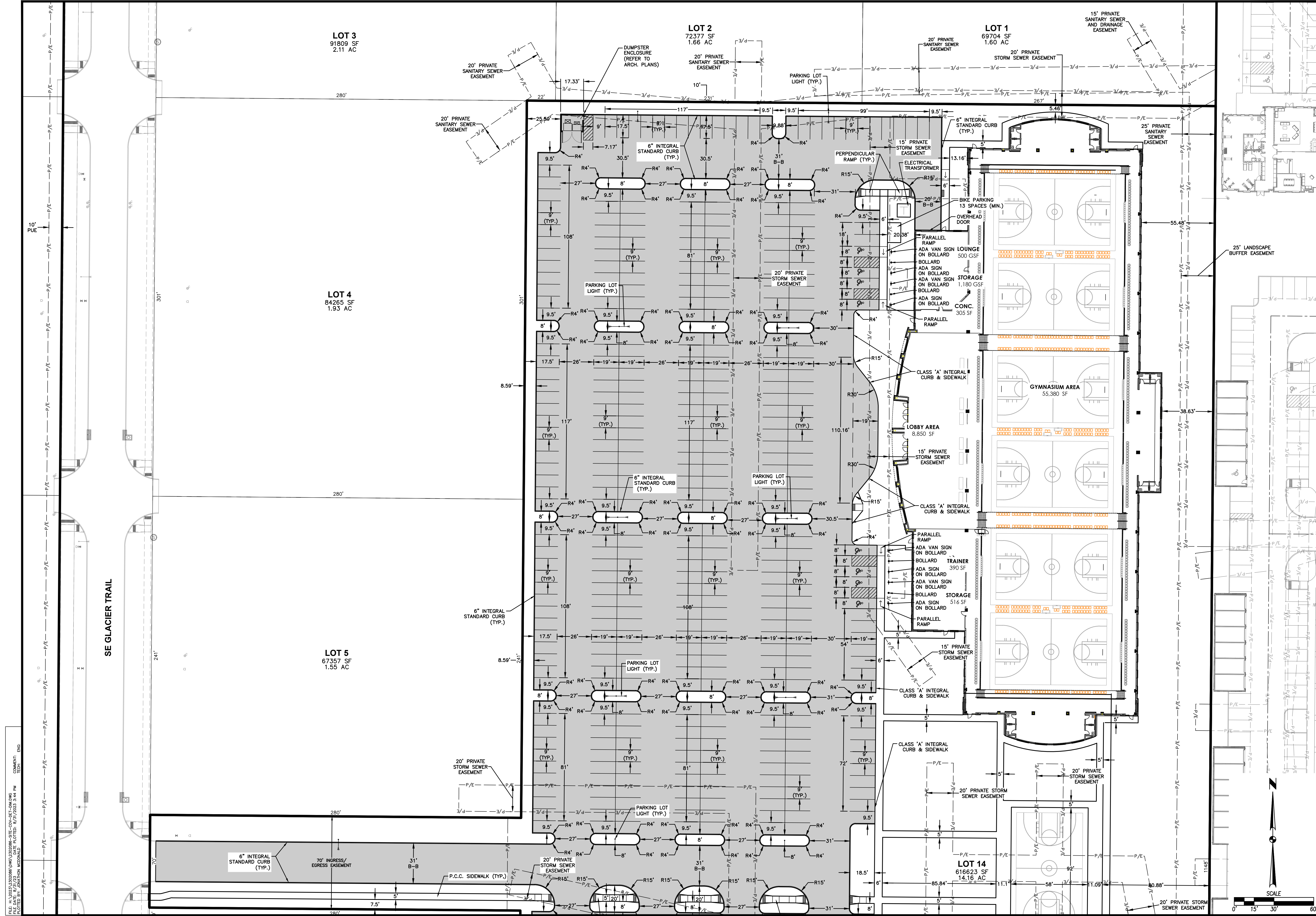
WAUKEE, IOWA

KETTLESTONE CENTRAL - GYMNASIUM
 DIMENSION PLAN

SHEET NUMBER:
C3.0
 2302.086

ENGINEER: EKO
 ENGINEER: JWM TECH: MST

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 COMMENT: ENG. TECH.



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08/09/2023	THIRD SUBMITTAL
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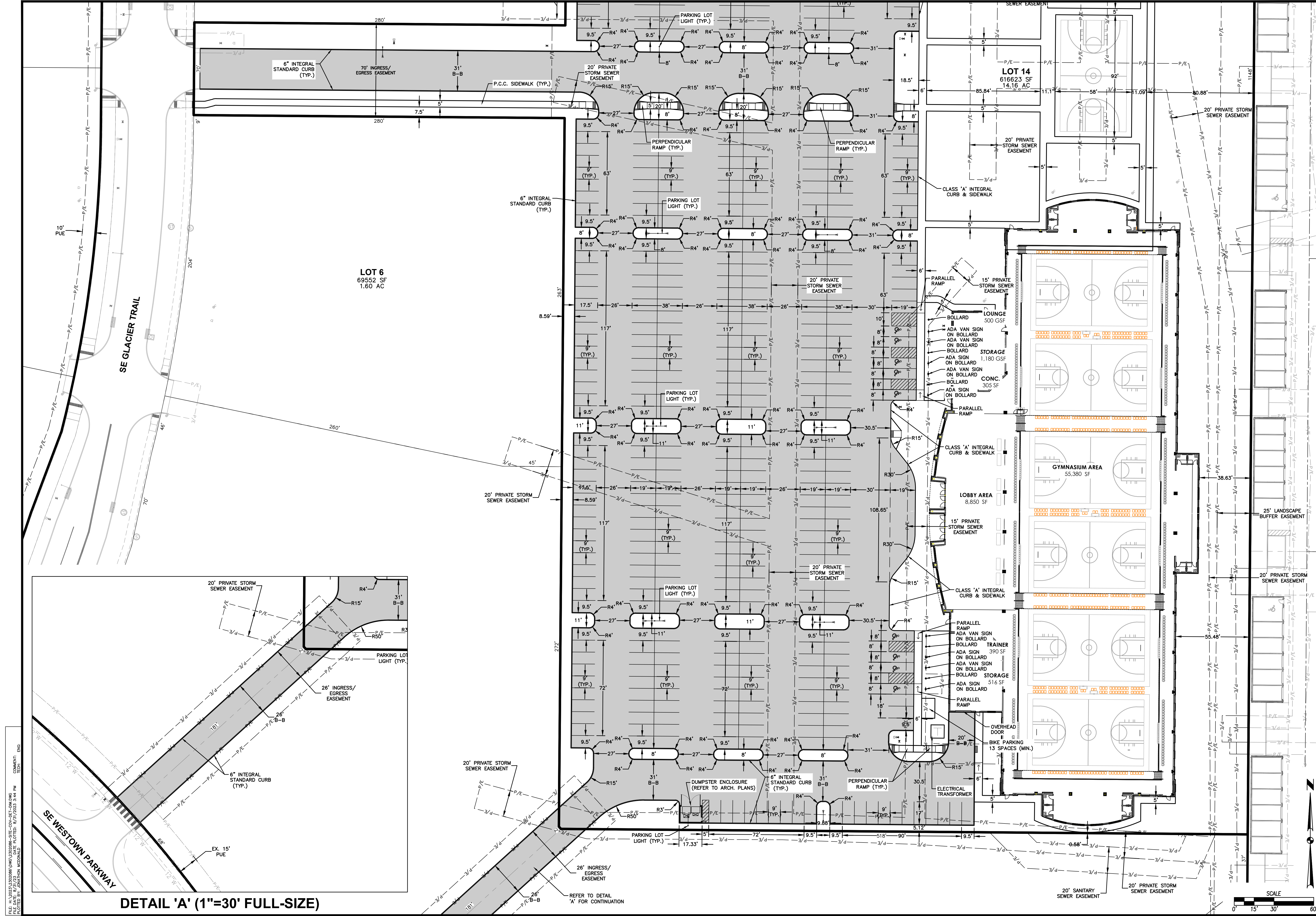
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KETTLESTONE CENTRAL - GYMNASIUM
 DIMENSION PLAN

WAUKEE, IOWA
 ENGINEER: EKO
 ENGINEER: JWM TECH: MST

SHEET NUMBER
C3.1
 2302.086



DETAIL 'A' (1"=30' FULL-SIZE)

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DATE	REVISIONS
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09/08/2022	FIRST SUBMITTAL

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 URBANDALE, IA 50322
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CIVIL DESIGN ADVANTAGE
 ENGINEER: EKO
 ENGINEER: JWM TECH: MST

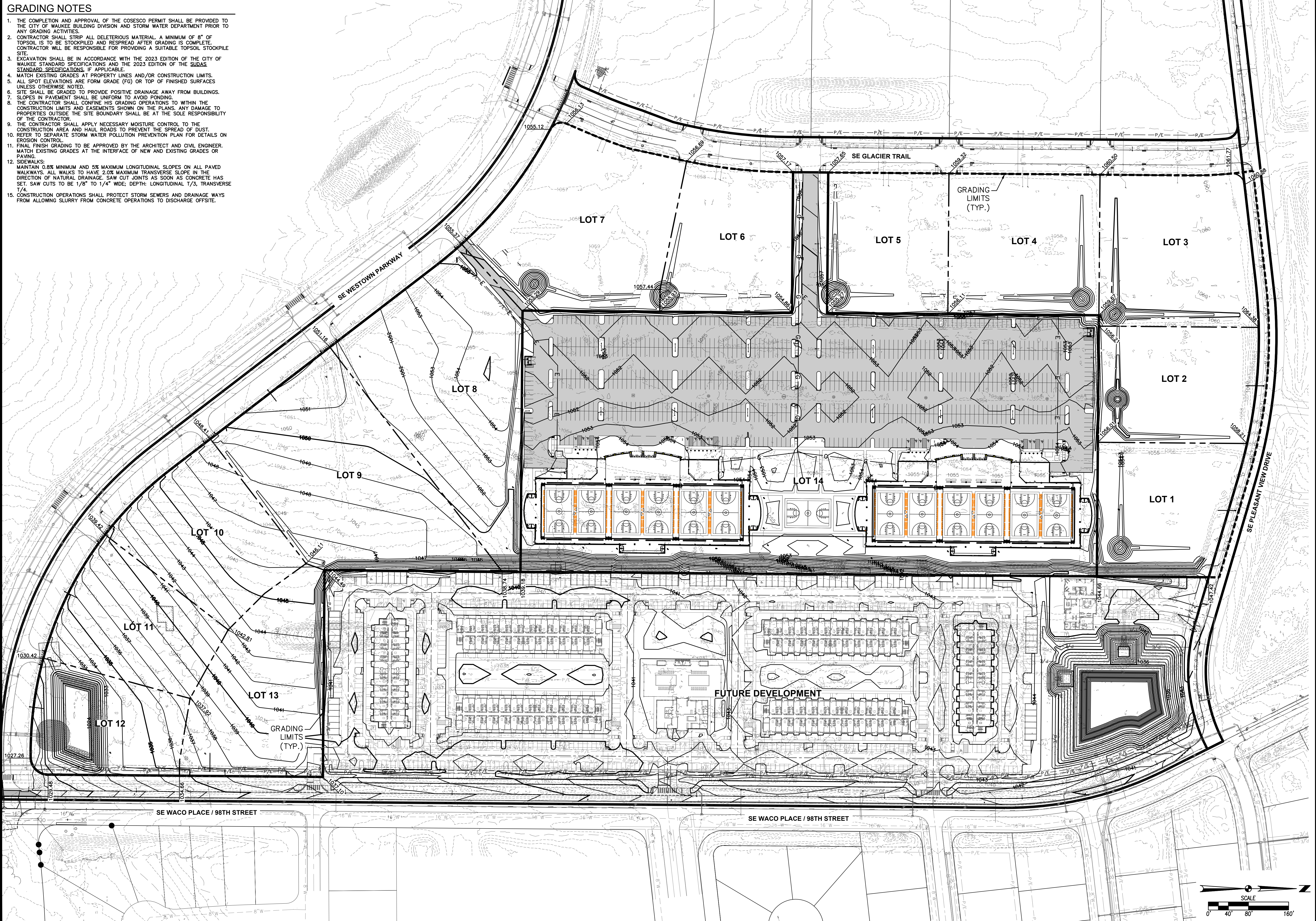
KETTLESTONE CENTRAL - GYMNASIUM
 DIMENSION PLAN

WAUKEE, IOWA
 SHEET NUMBER
C3.2
 2302.086

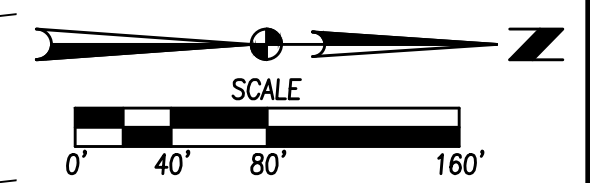


GRADING NOTES

1. THE COMPLETION AND APPROVAL OF THE COSESCO PERMIT SHALL BE PROVIDED TO THE CITY OF WAUKEE BUILDING DIVISION AND STORM WATER DEPARTMENT PRIOR TO ANY GRADING ACTIVITIES.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL, A MINIMUM OF 8" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2023 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS:
 MAINTAIN 0.8% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE. DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
15. CONSTRUCTION OPERATIONS SHALL PROTECT STORM SEWERS AND DRAINAGE WAYS FROM ALLOWING SLURRY FROM CONCRETE OPERATIONS TO DISCHARGE OFFSITE.



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DATE	REVISIONS
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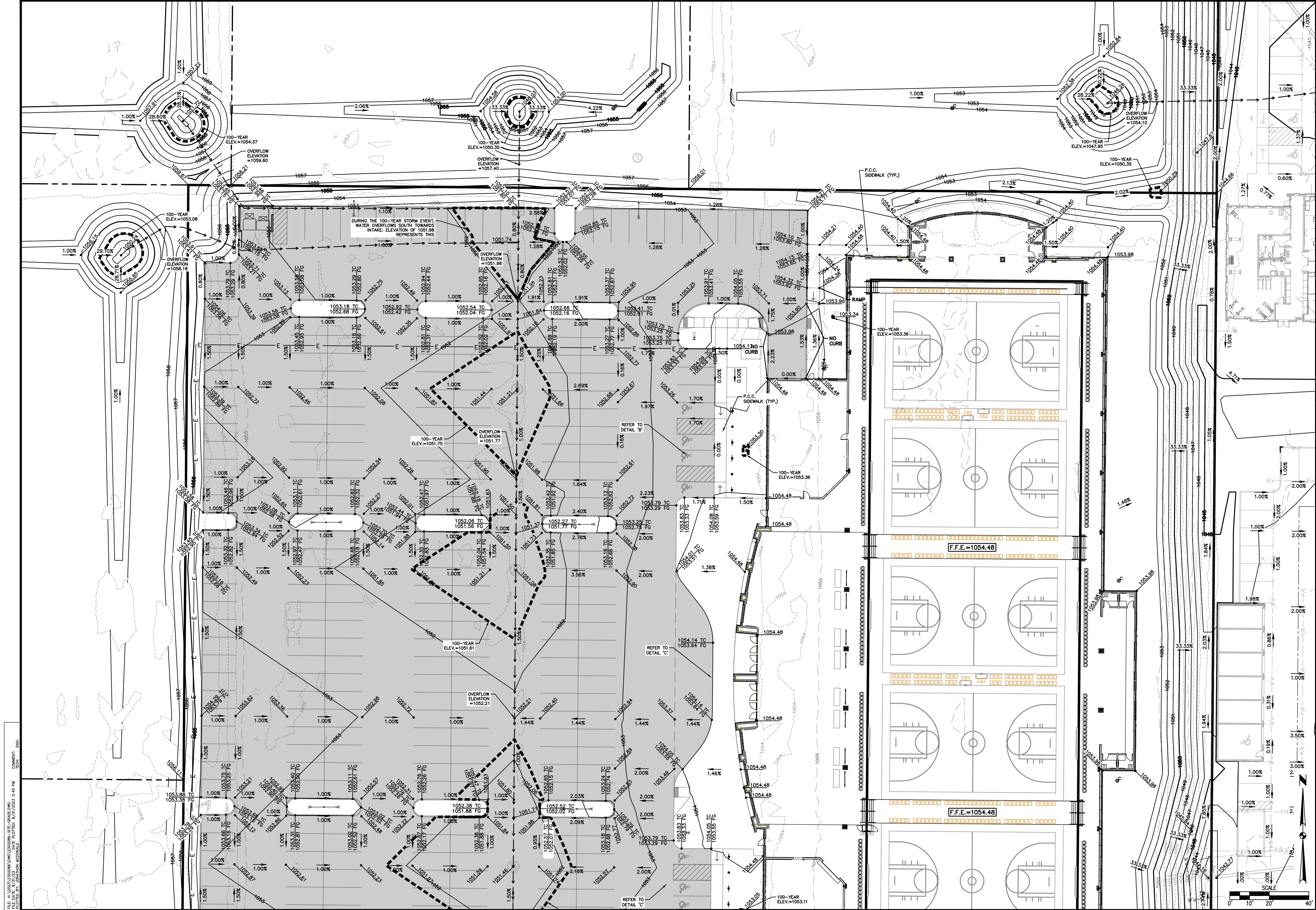
4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400



CIVIL DESIGN ADVANTAGE
 WAUKEE, IOWA

KETTLESTONE CENTRAL - GYMNASIUM
GRADING PLAN
 SHEET NUMBER: **C4.0**
 2302.086

ENGINEER: EKO
 ENGINEER: JWM
 TECH: MST



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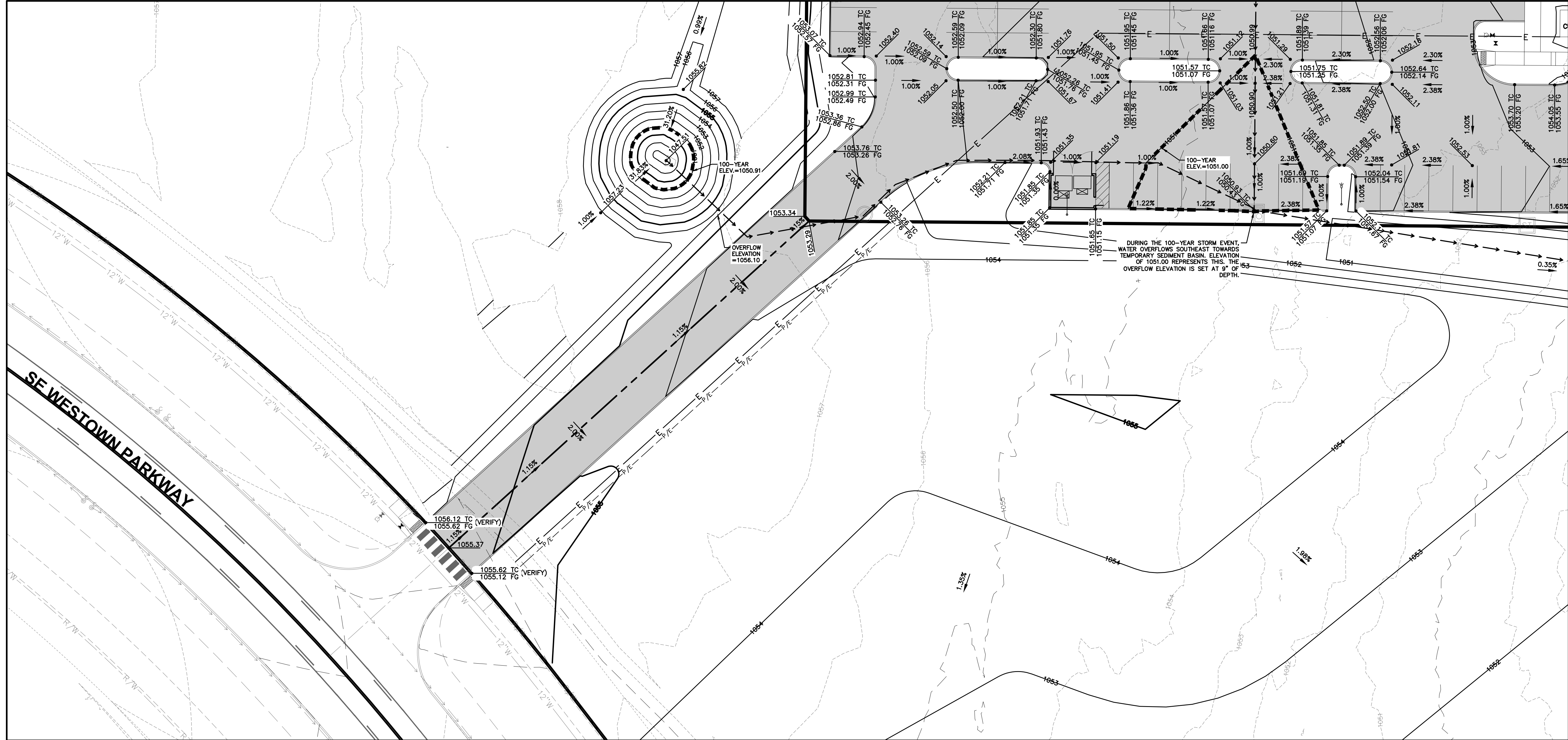
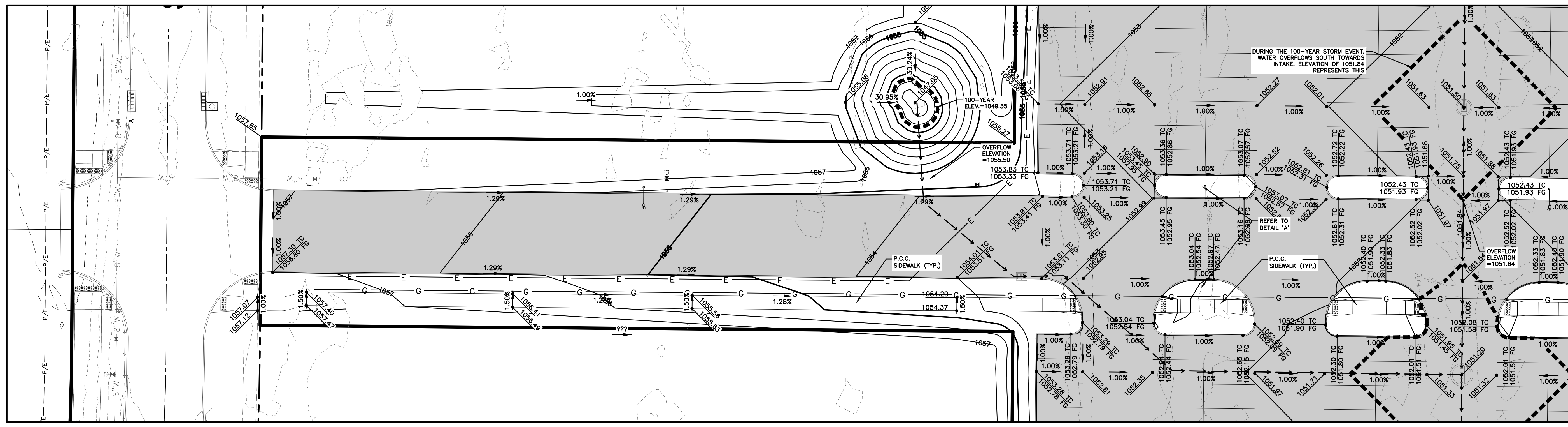
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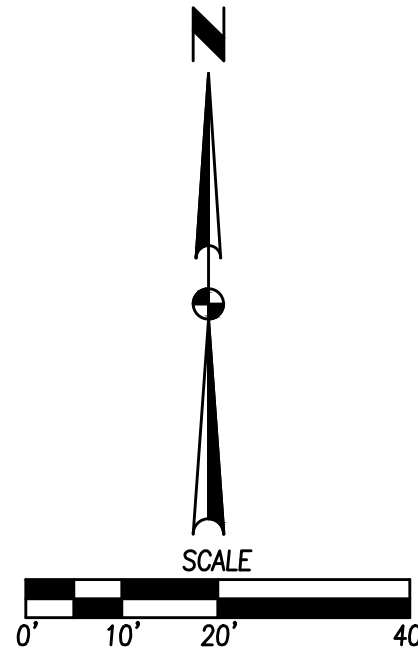


KETTLESTONE CENTRAL - GYMNASIUM
GRADING PLAN
 CIVIL DESIGN ADVANTAGE
 WAUKEE, IOWA

SHEET NUMBER
C4.1
 2302.086



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DATE	REVISIONS
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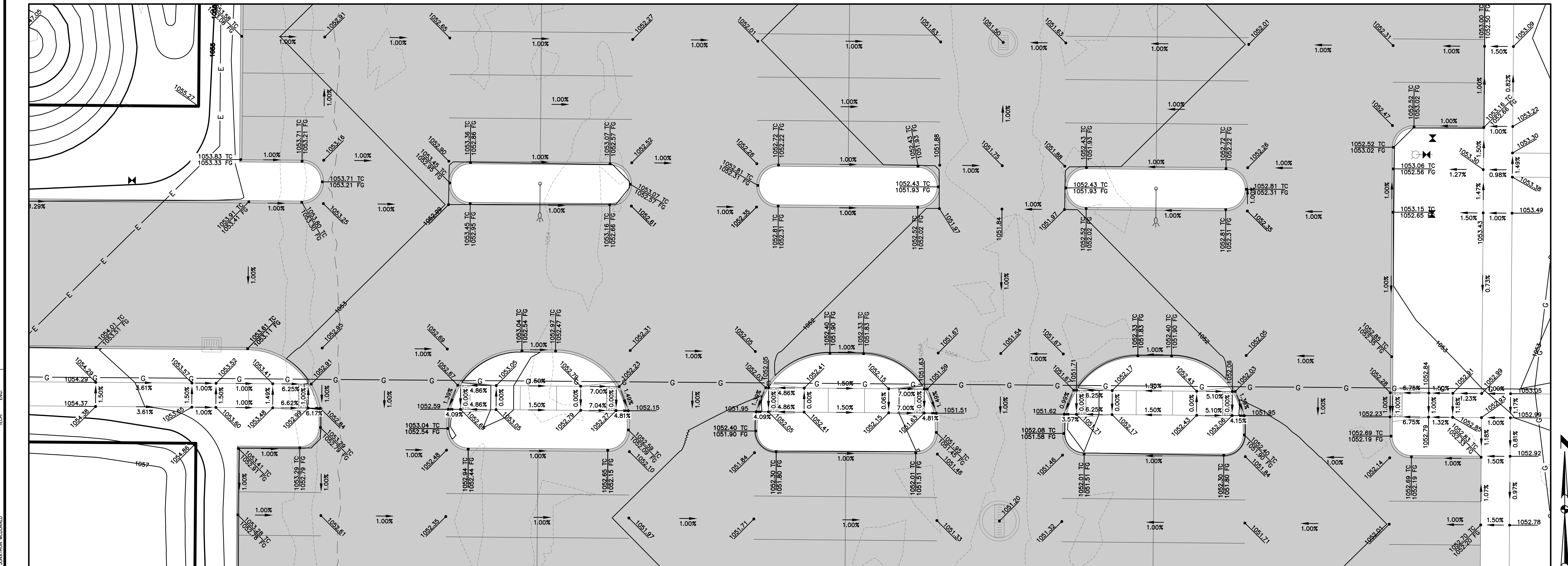
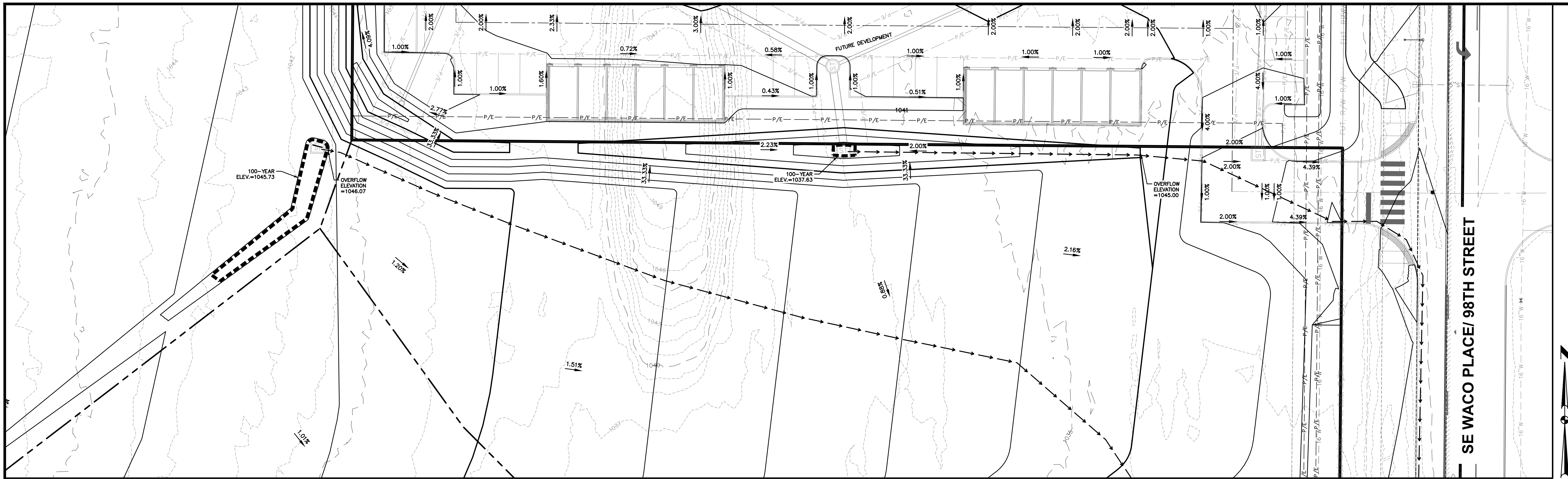


CIVIL DESIGN ADVANTAGE
 WAUKEE, IOWA

KETTLESTONE CENTRAL - GYMNASIUM
GRADING PLAN

SHEET NUMBER
C4.4
 2302.086

ENGINEER: EKO
 ENGINEER: JWM TECH: MST



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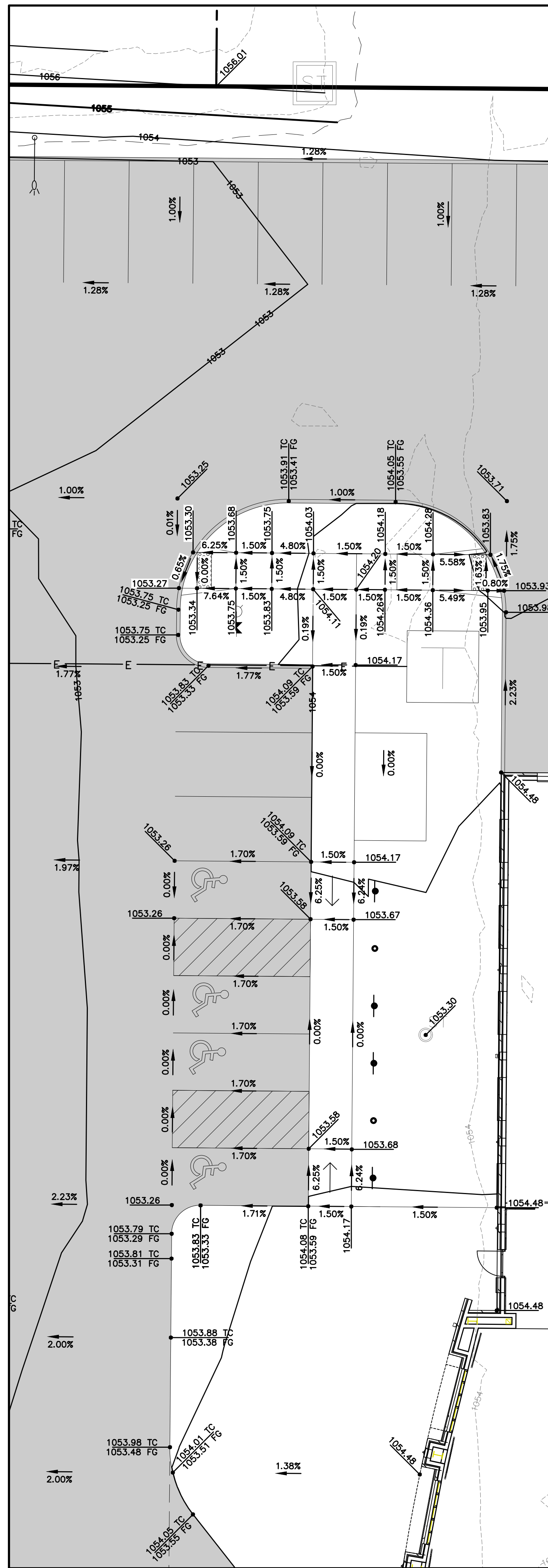
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4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400
 ENGINEER: JWM TECH: MST

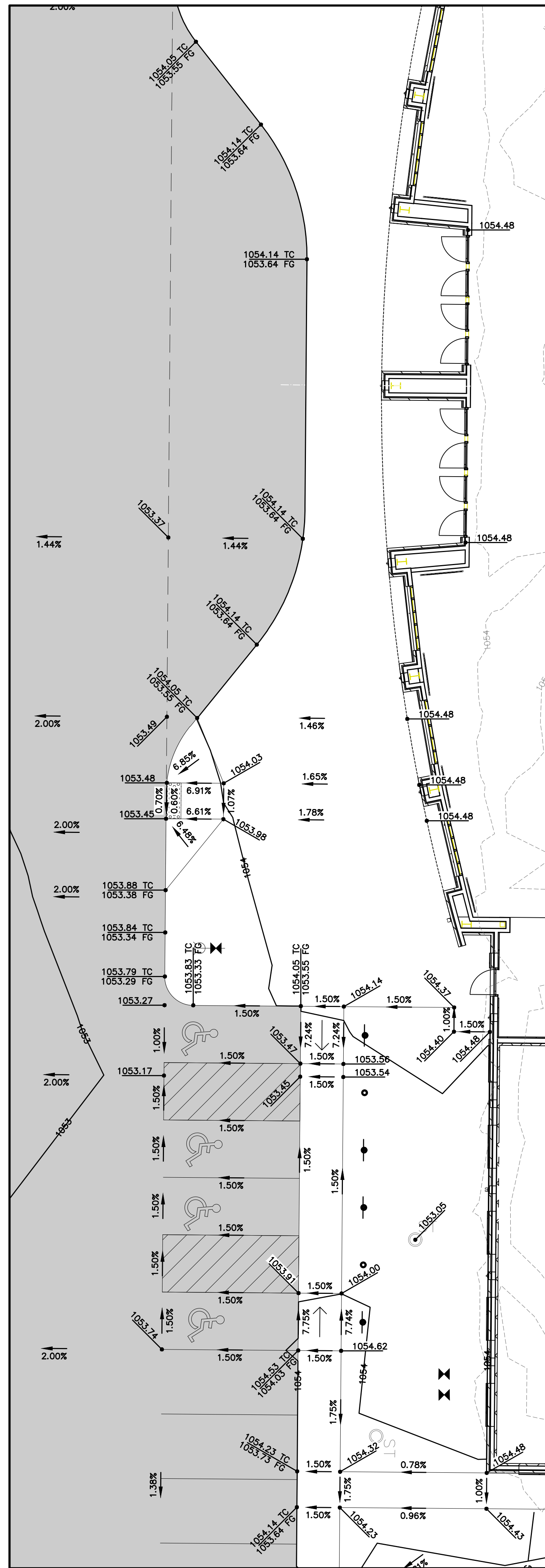
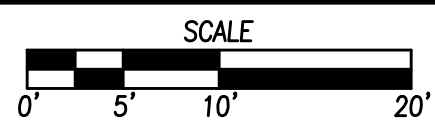


WAUKEE, IOWA
 CIVIL DESIGN ADVANTAGE

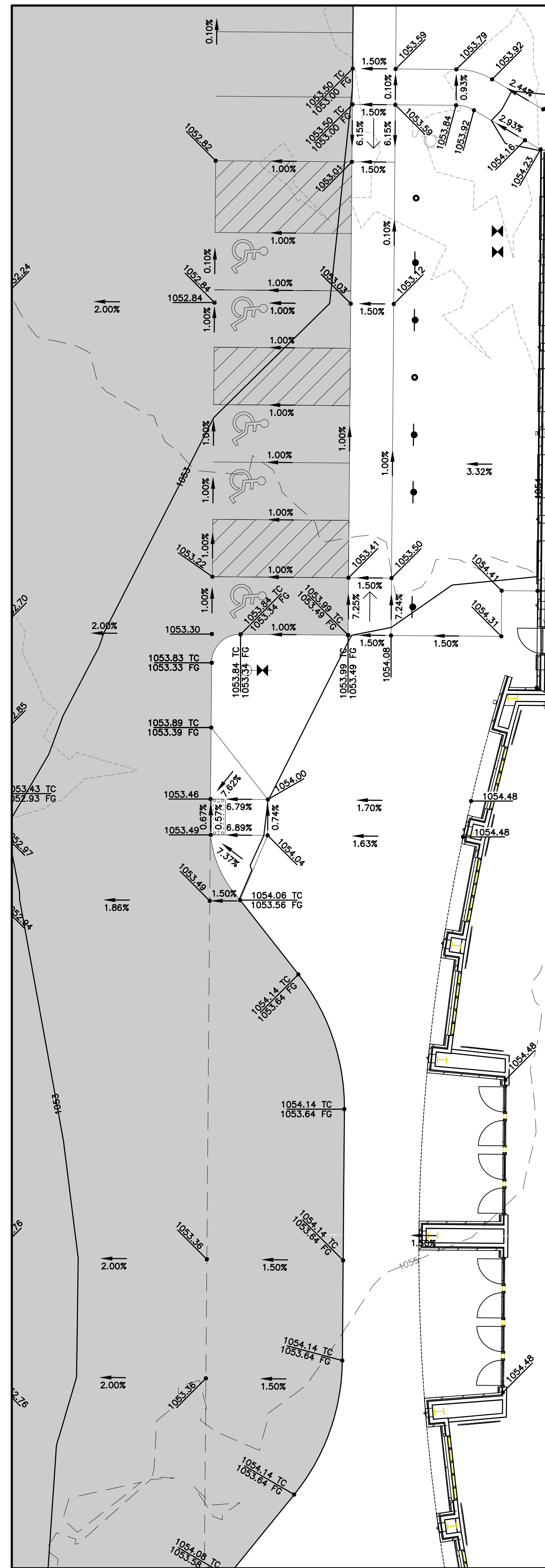
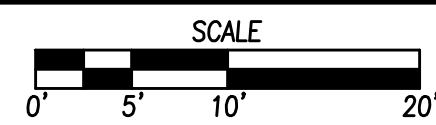
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GRADING PLAN
 SHEET NUMBER
C4.5
 2302.086



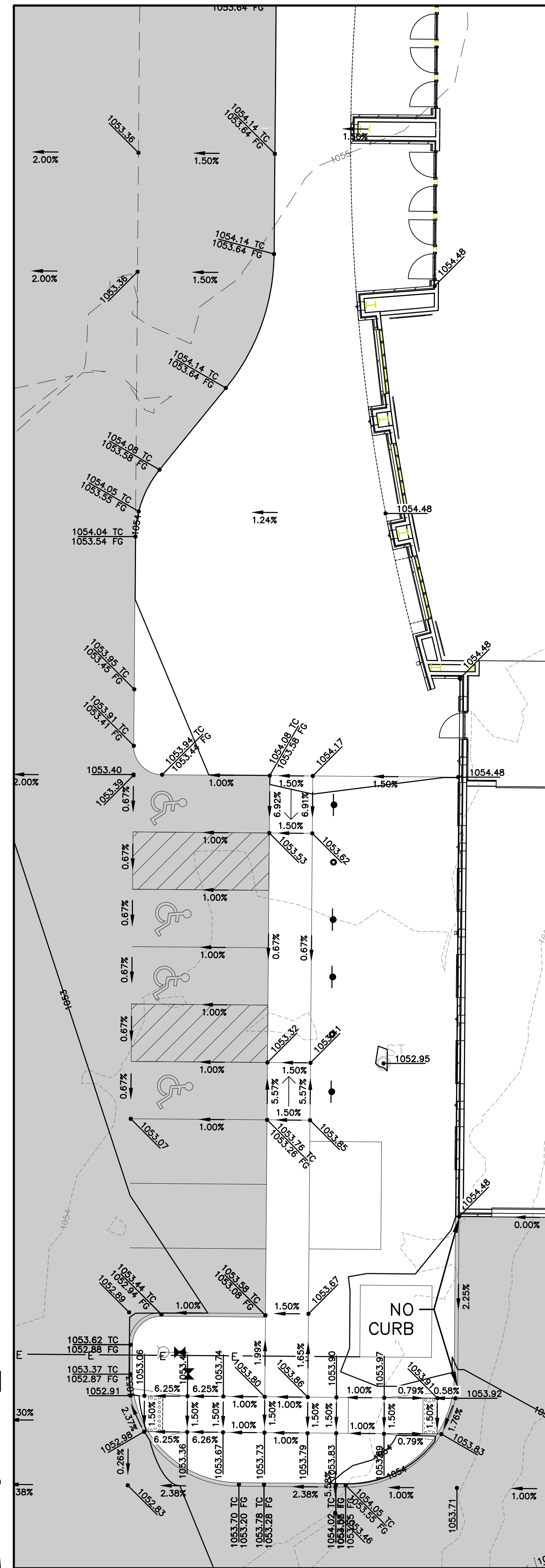
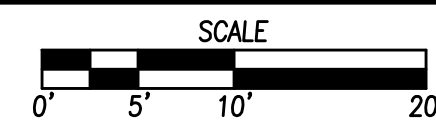
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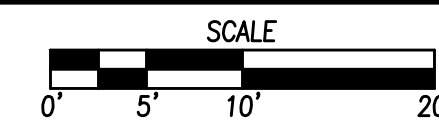
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DETAIL 'D'



DETAIL 'E'



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 COMMENT: ENG
 TECH

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08/09/2023	THIRD SUBMITTAL
07/19/2023	SECOND SUBMITTAL
06/09/2022	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400

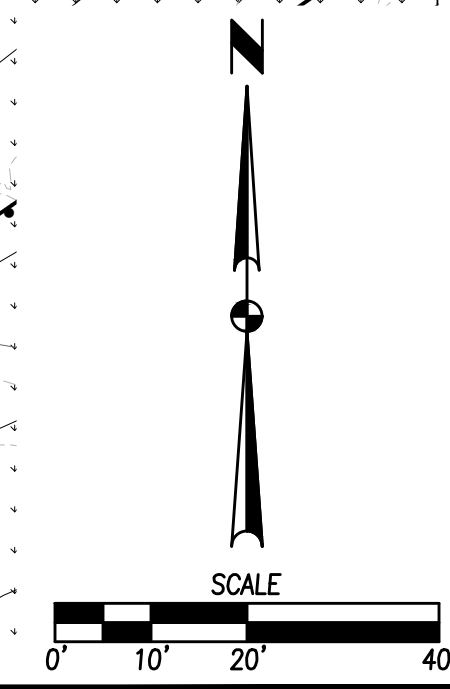
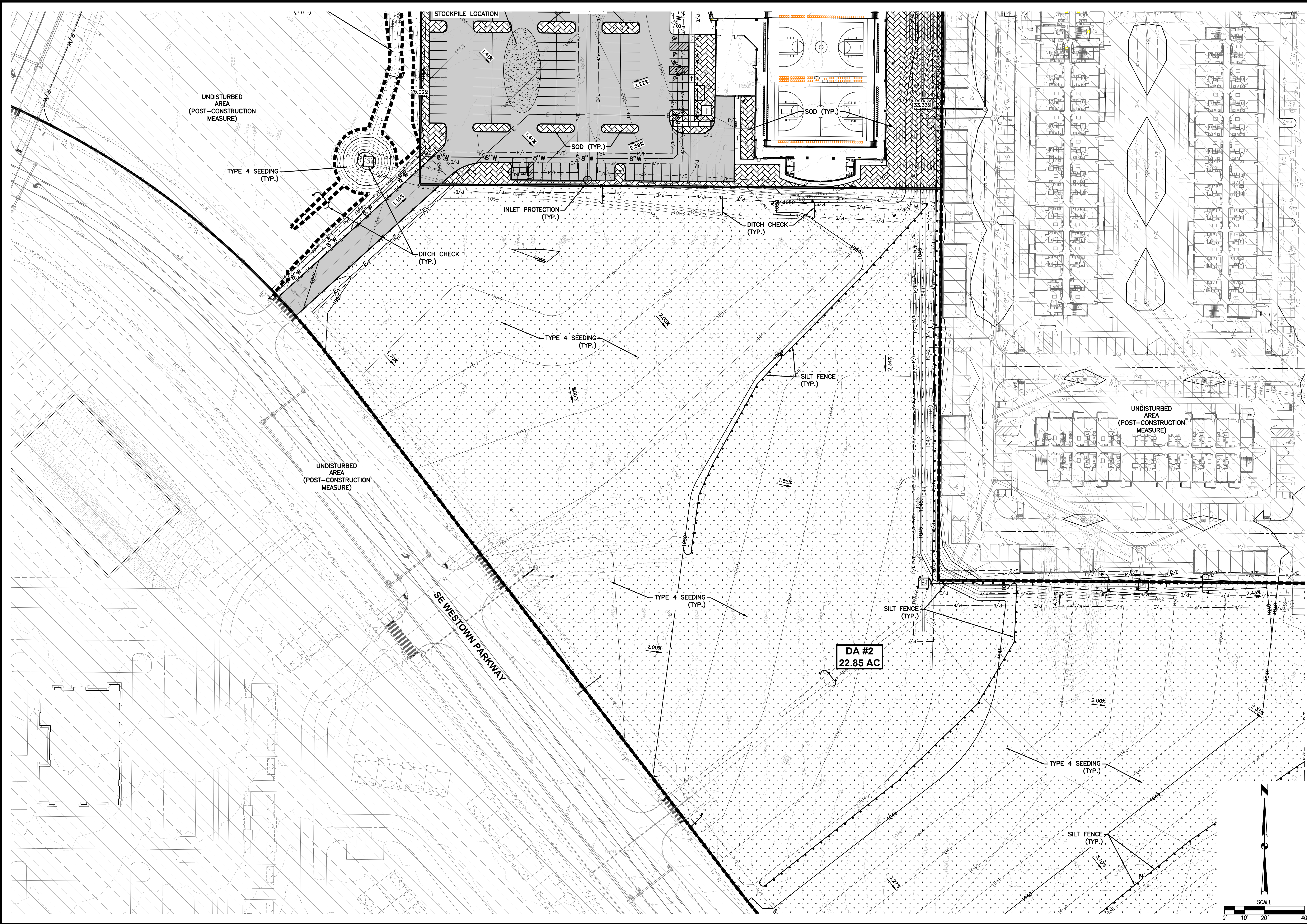
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CIVIL DESIGN ADVANTAGE
 WAUKEE, IOWA

KETTLESTONE CENTRAL - GYMNASIUM
 GRADING PLAN

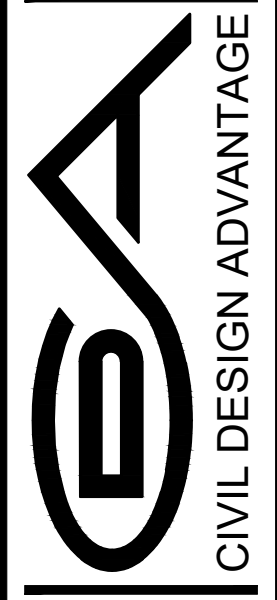
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FIRST SUBMITTAL	09/09/2022

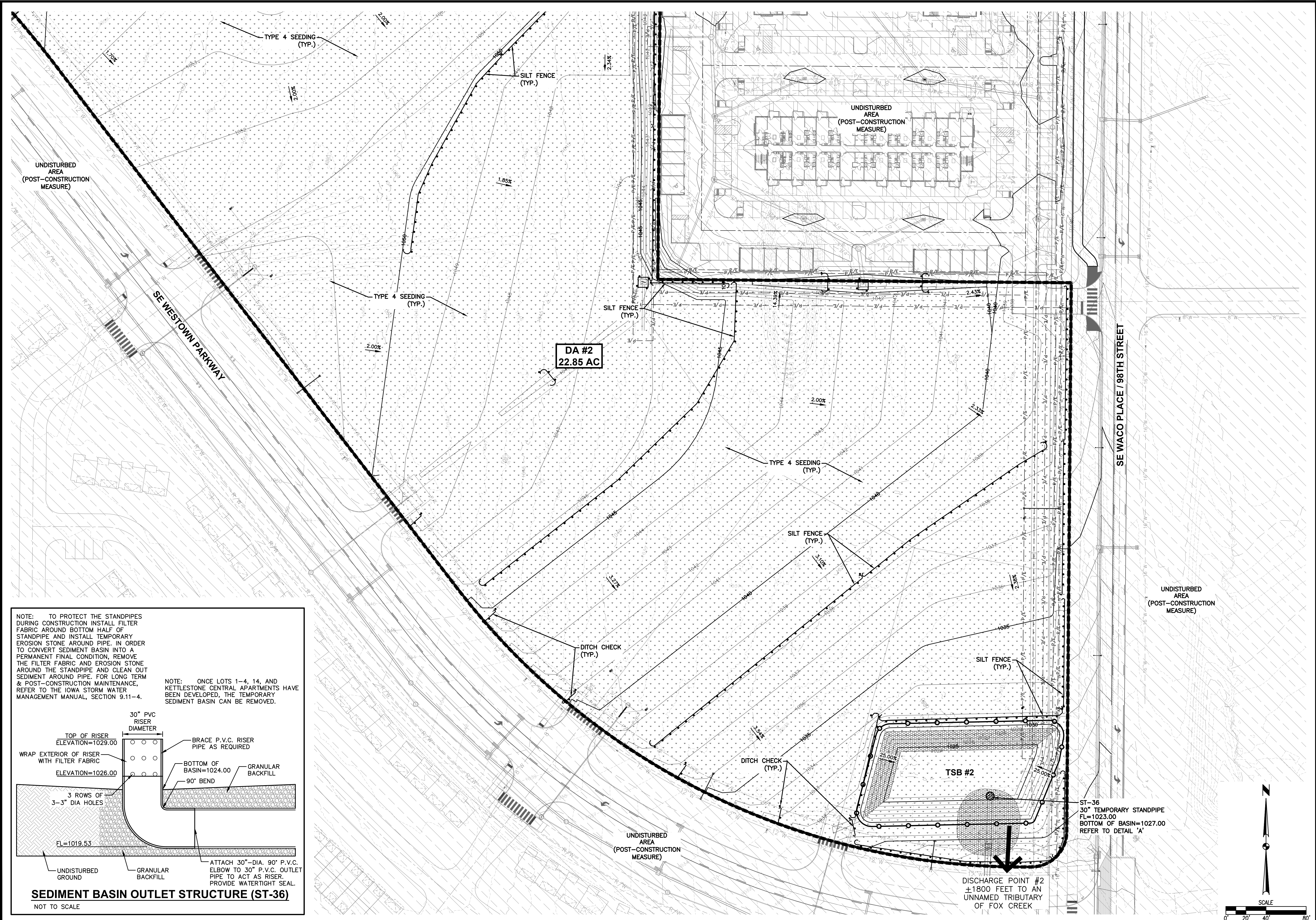
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URBANDALE, IA 50322
PHONE: (515) 369-4400



KETTLESTONE CENTRAL - GYMNASIUM
EROSION AND SEDIMENT CONTROL PLAN
WAUKEE, IOWA

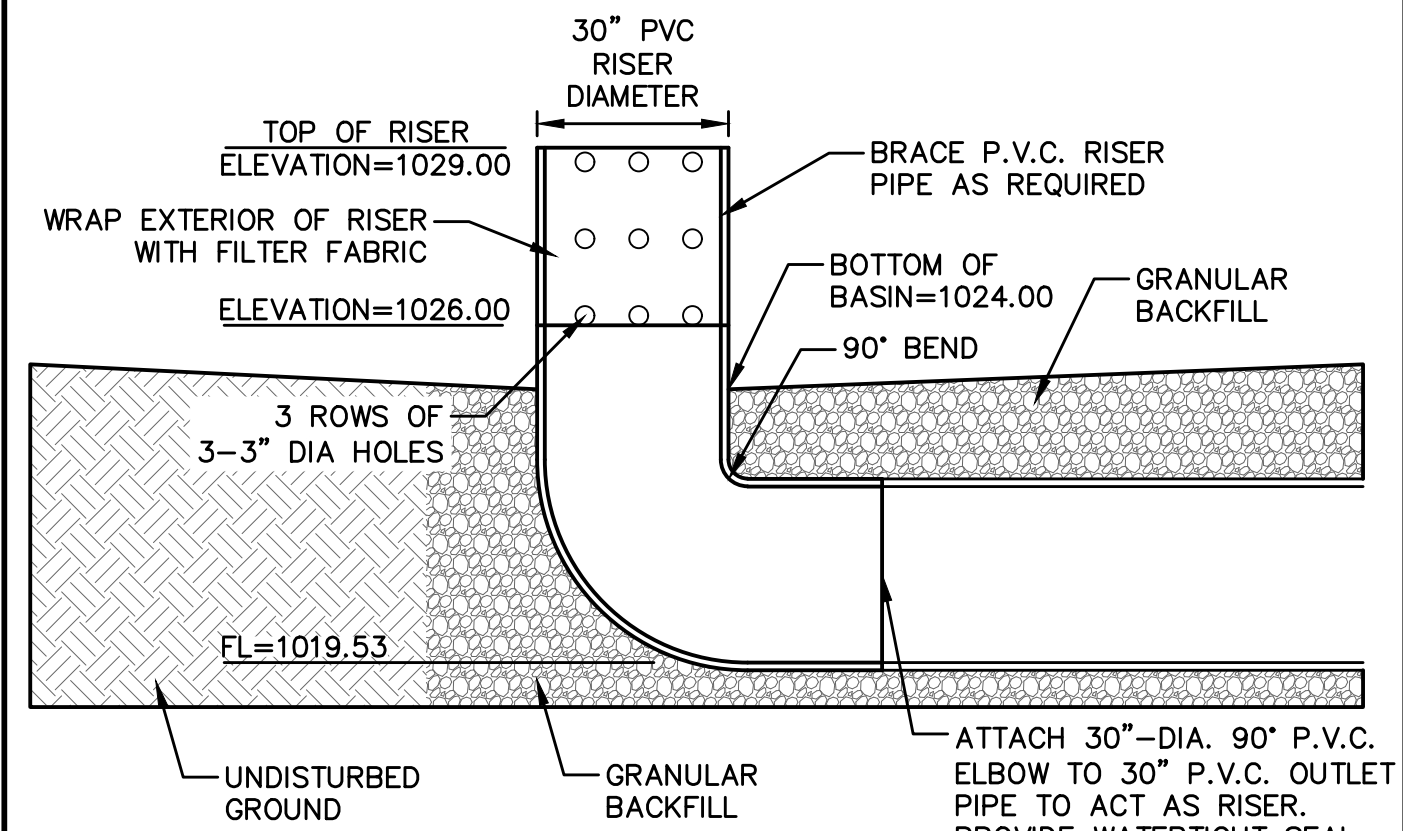
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ENGINEER: JWM TECH: MST

SHEET NUMBER:
C5.2
2302.086



NOTE: TO PROTECT THE STANDPIPES DURING CONSTRUCTION INSTALL FILTER FABRIC AROUND BOTTOM HALF OF STANDPIPE AND INSTALL TEMPORARY EROSION STONE AROUND PIPE. IN ORDER TO CONVERT SEDIMENT BASIN INTO A PERMANENT FINAL CONDITION, REMOVE THE FILTER FABRIC AND EROSION STONE AROUND THE STANDPIPE AND CLEAN OUT SEDIMENT AROUND PIPE. FOR LONG TERM & POST-CONSTRUCTION MAINTENANCE, REFER TO THE IOWA STORM WATER MANAGEMENT MANUAL, SECTION 9.11-4.

NOTE: ONCE LOTS 1-4, 14, AND KETTLESTONE CENTRAL APARTMENTS HAVE BEEN DEVELOPED, THE TEMPORARY SEDIMENT BASIN CAN BE REMOVED.



SEDIMENT BASIN OUTLET STRUCTURE (ST-36)
NOT TO SCALE

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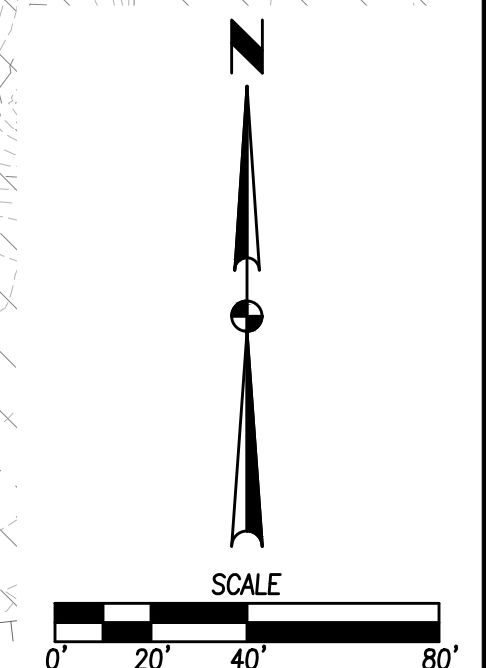
4121 NW URBANDALE DRIVE
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 PHONE: (515) 369-4400

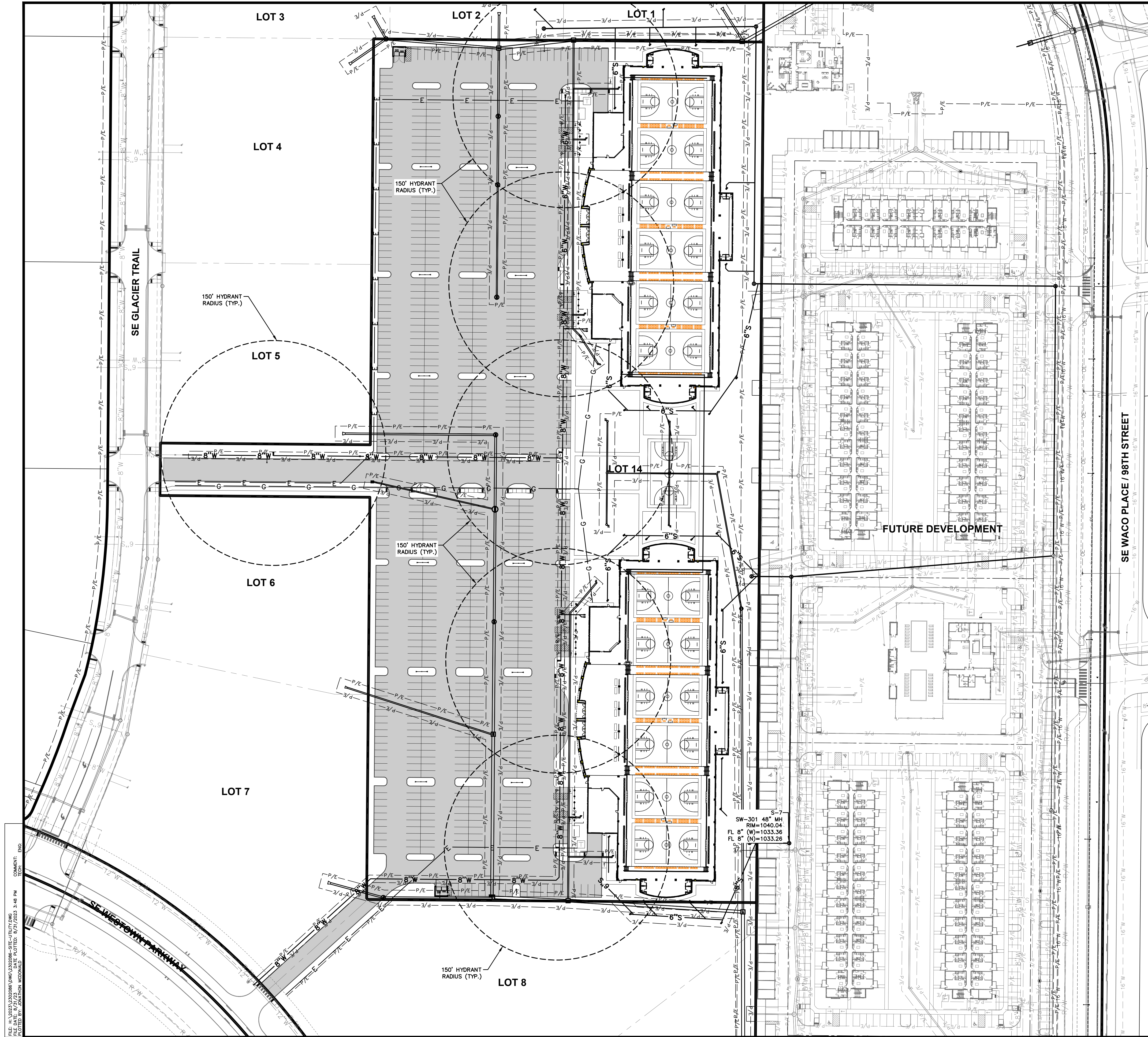
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 ENGINEER: JWM TECH: MST



KETTLESTONE CENTRAL - GYMNASIUM
EROSION AND SEDIMENT CONTROL PLAN

SHEET NUMBER:
C5.3
 2302.086





UTILITY NOTES

1. REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
2. FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
3. PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
4. BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND THE 2023 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMANS.
5. ALL UTILITIES SHALL BE TUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
6. ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES. INSTALL CHIMNEY SEALS ON ANY ADJUSTED MANHOLES. ALL PROPOSED SANITARY MANHOLES ARE TO UTILIZE A TYPE 'A' CASTING WITH PRO-RINGS.
7. ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2023 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
8. 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
9. MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
10. WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTORS RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
11. ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE 2023 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS.
12. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
13. PRIVATE UTILITIES TO BE INSTALLED PER THE 2023 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE LATEST VERSION OF THE UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS. ALL APPLICABLE UTILITY COMPANIES SHALL BE CONTACTED 48 HOURS PRIOR TO ANY WORK BEING STARTED.
14. OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE DETENTION FACILITIES AND PRIVATE UTILITIES.
15. CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SEDIMENT CONTROLS AT ALL PERMANENT STORM SEWER INLETS. DROP DOWN INLET PROTECTION IS REQUIRED FOR PUBLIC STREETS.
16. CONTRACTOR SHALL TEST AND INSPECT ALL PROPOSED STORM SEWER, WATERMAIN AND SANITARY SEWER. THE CITY OF WAUKEE ENGINEERING DEPARTMENT IS REQUIRED TO WITNESS TESTING. ALL TESTING SHALL BE COMPLETED MEETING CITY OF WAUKEE STANDARDS.
17. ALL UTILITY TIE-INS TO EXISTING PUBLIC UTILITIES SHOULD BE COORDINATED WITH THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
18. ALL PRIVATE AND PUBLIC SANITARY SEWER AND STORM SEWER PIPES SHALL BE CLEANED OUT AND TELEVIEWED PRIOR TO PAVING. ALL SANITARY MANHOLES SHALL BE VACUUMED TESTED. A HARD COPY OF THE REPORT AND VIDEO SHALL BE PROVIDED TO THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
19. ALL CONNECTIONS TO EXISTING SANITARY SEWER MANHOLES SHALL BE CORE DRILLED AND A LINK SEAL SHALL BE USED FOR THE CONNECTION.
20. IT IS THE OWNER'S RESPONSIBILITY TO COORDINATE IRRIGATION AND METER PITS WITH THE WAUKEE PUBLIC WORKS DEPARTMENT.
21. ALL HYDRANTS SHALL HAVE 5-INCH STORZ FITTINGS.
22. COORDINATE INSTALLATION OF UTILITIES AND PAVING WITH SURROUNDING PROPERTIES.
23. ROOF DRAINS FROM THE WEST SIDE OF THE BUILDINGS SHALL BE CONNECTED INTO STORM SEWER. ROOF DRAINS FROM THE EAST SIDE OF THE SOUTH BUILDING SHALL BE CONNECTED INTO STORM SEWER. ROOF DRAINS FROM THE EAST SIDE OF THE NORTH BUILDING SHALL BE DAYLIGHTED TO GRADE.

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THIRD SUBMITTAL	07/19/2023
SECOND SUBMITTAL	07/19/2023
FIRST SUBMITTAL	09/06/2022

REVISIONS

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400

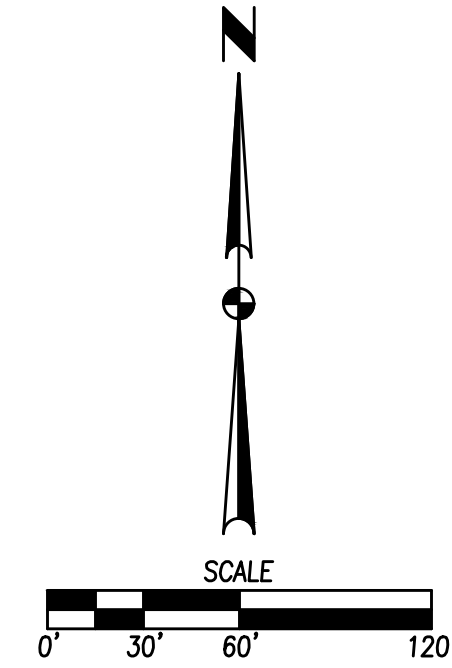
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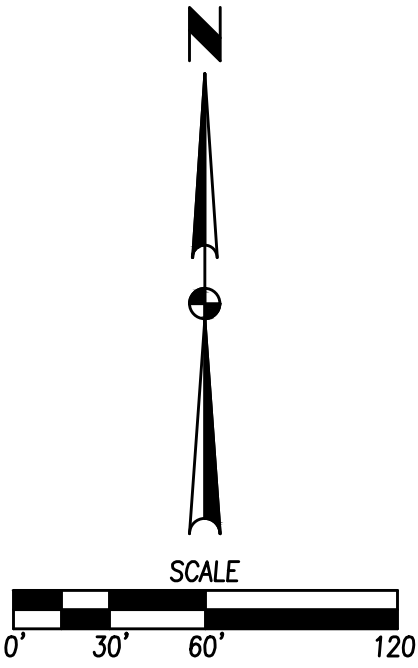
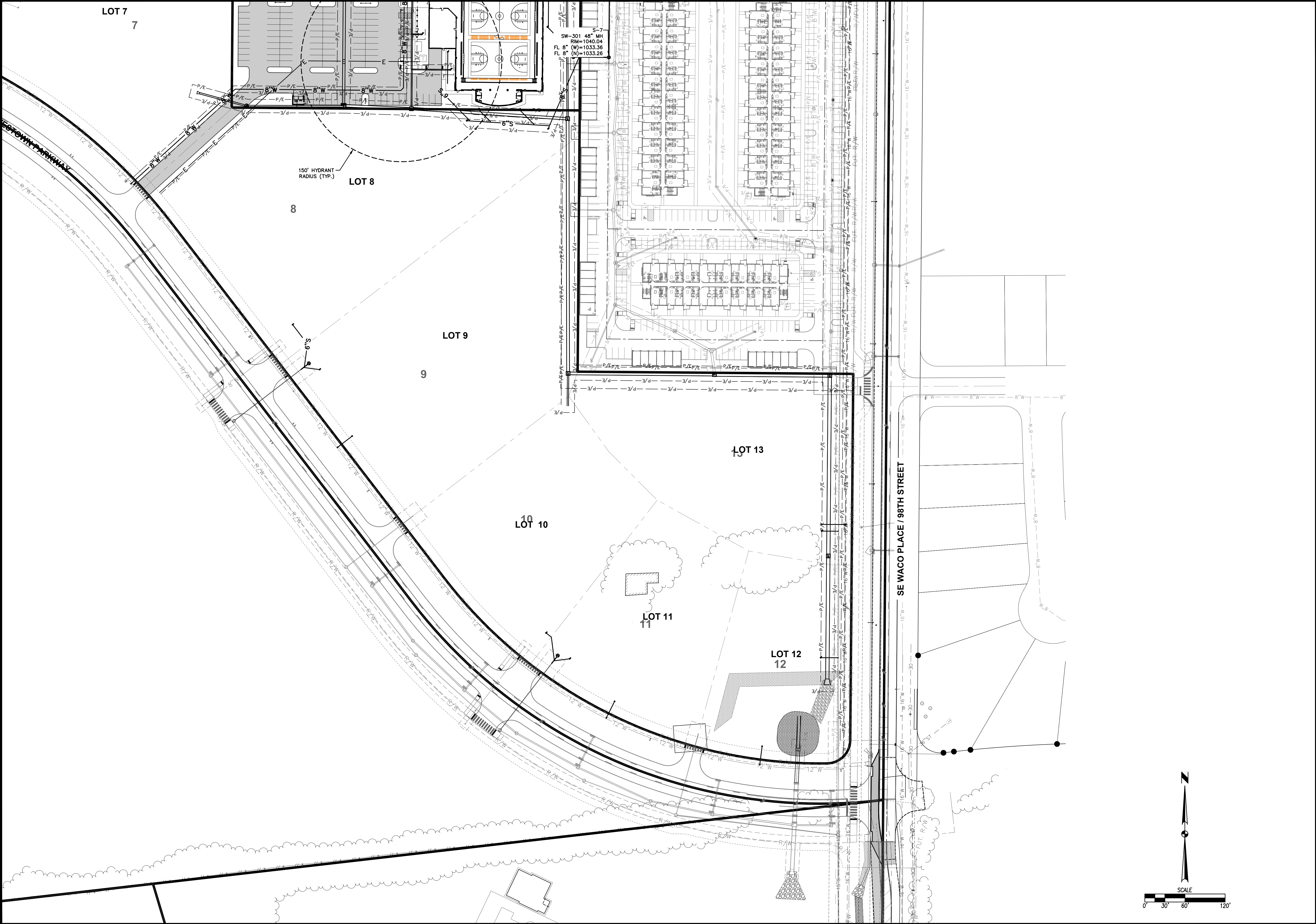
WAUKEE, IOWA

KETTLESTONE CENTRAL - GYMNASIUM
 UTILITY PLAN

SHEET NUMBER: **C6.0**
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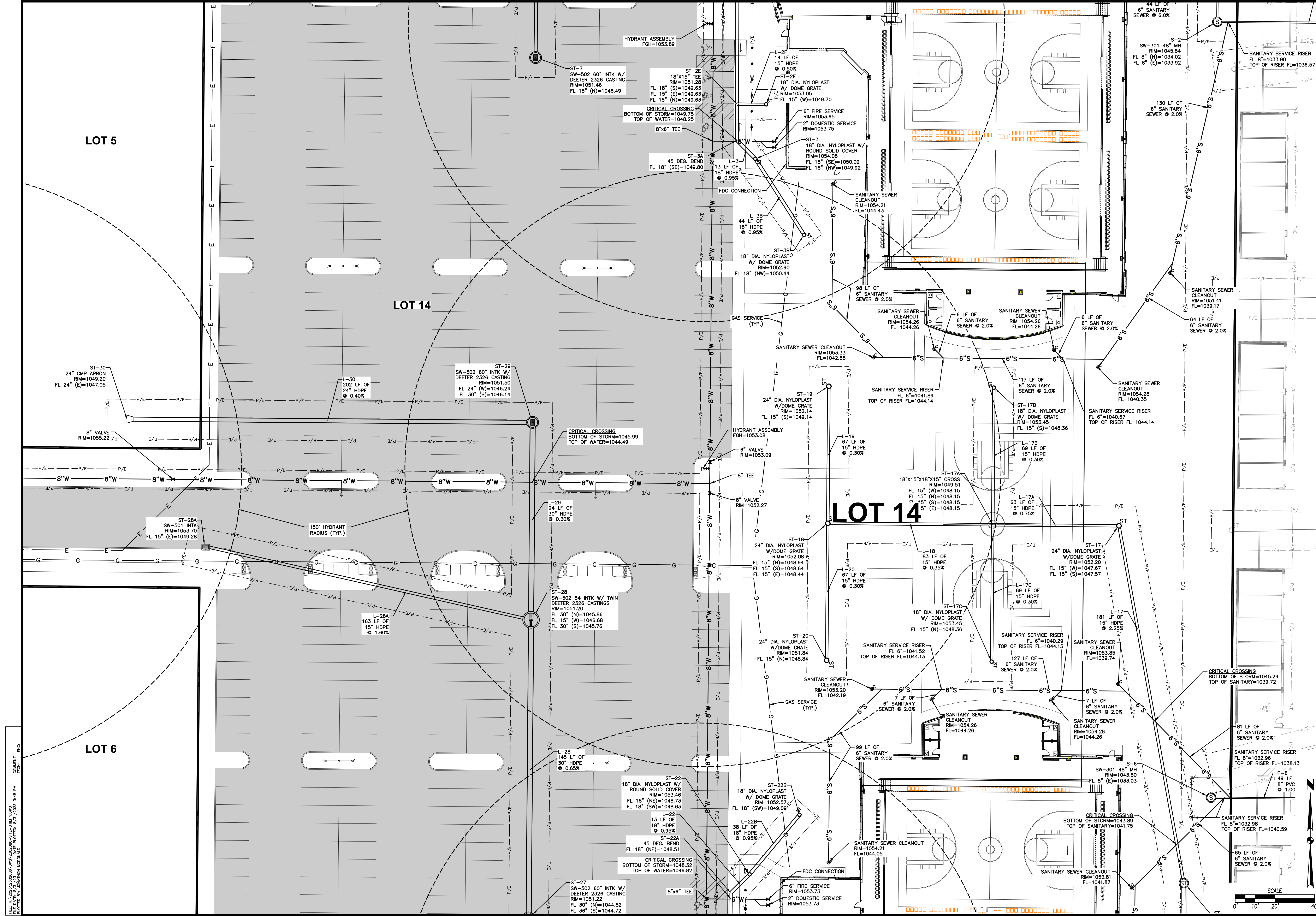
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ESA
 CIVIL DESIGN ADVANTAGE

KETTLESTONE CENTRAL - GYMNASIUM
 UTILITY PLAN

WAUKEE, IOWA
 ENGINEER: EKO
 ENGINEER: JWM TECH: MST

SHEET NUMBER
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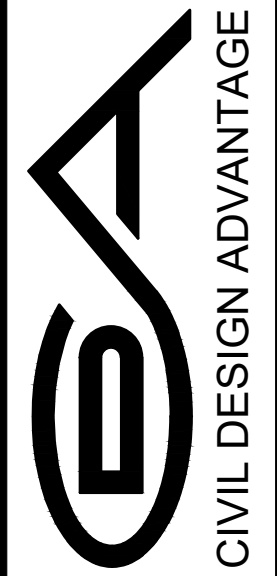
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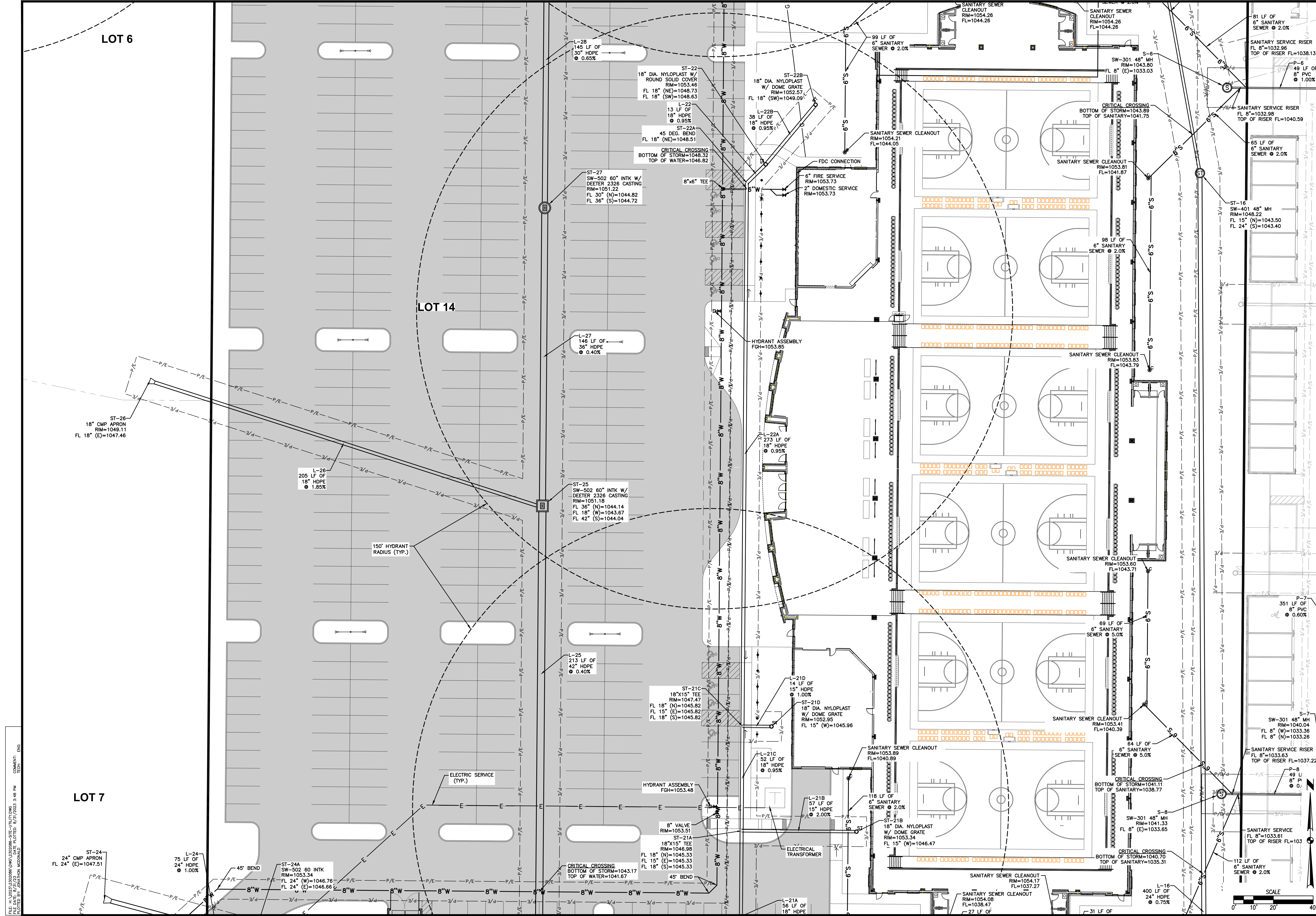


KETTLESTONE CENTRAL - GYMNASIUM
 UTILITY PLAN

ENGINEER: JWM TECH: MST
 ENGINEER: EKO
 WAUKEE, IOWA

SHEET NUMBER
C6.3
 2302.086





LOT 6

LOT 14

LOT 7

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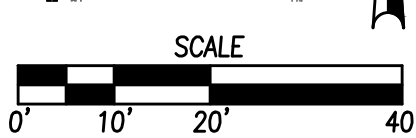
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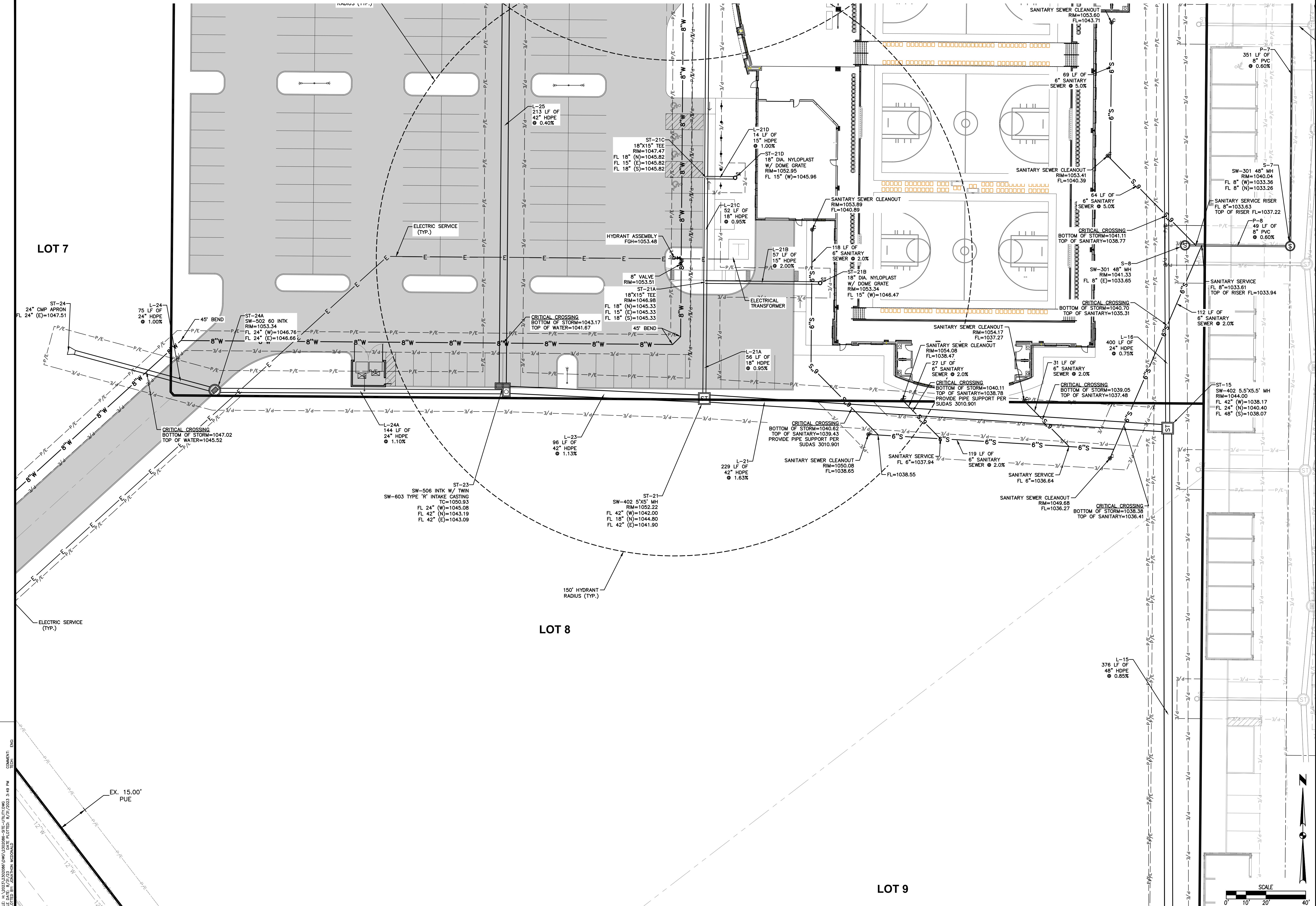
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 URBANDALE, IA 50322
 PHONE: (515) 369-4400



KETTLESTONE CENTRAL - GYMNASIUM
 UTILITY PLAN

WAUKEE, IOWA
 ENGINEER: EKO
 ENGINEER: JWM TECH: MST
 SHEET NUMBER
C6.4
 2302.086





LOT 7

LOT 8

LOT 9

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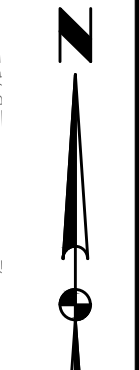
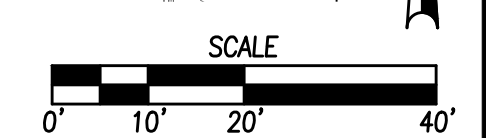
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 URBANDALE, IA 50322
 PHONE: (515) 369-4400
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 ENGINEER: JWM TECH: MST

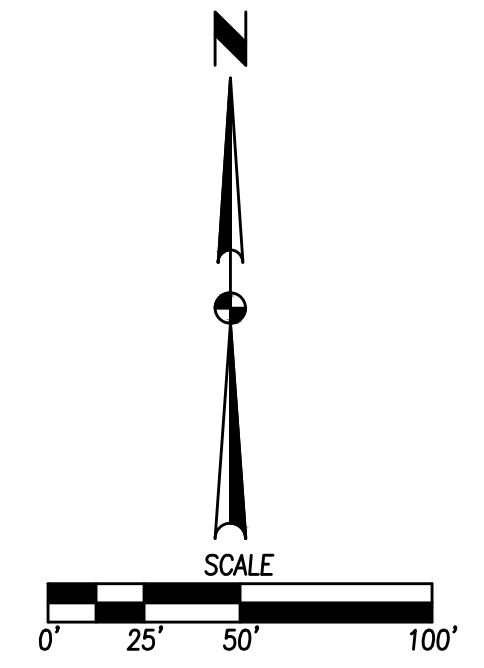
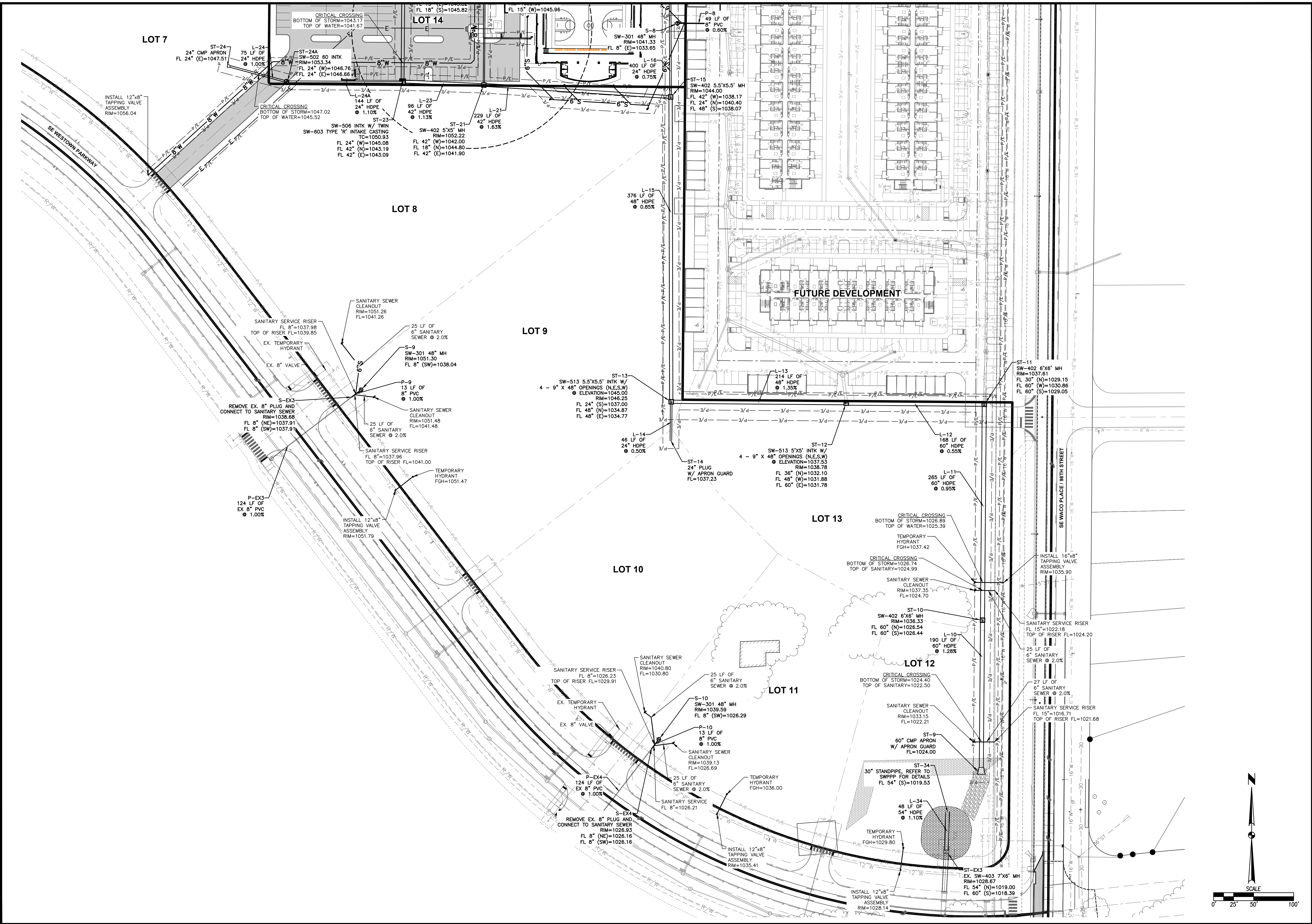


KETTLESTONE CENTRAL - GYMNASIUM
 UTILITY PLAN
 WAUKEE, IOWA
 CIVIL DESIGN ADVANTAGE

SHEET NUMBER:
C6.5
 2302.086



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 URBANDALE, IA 50322
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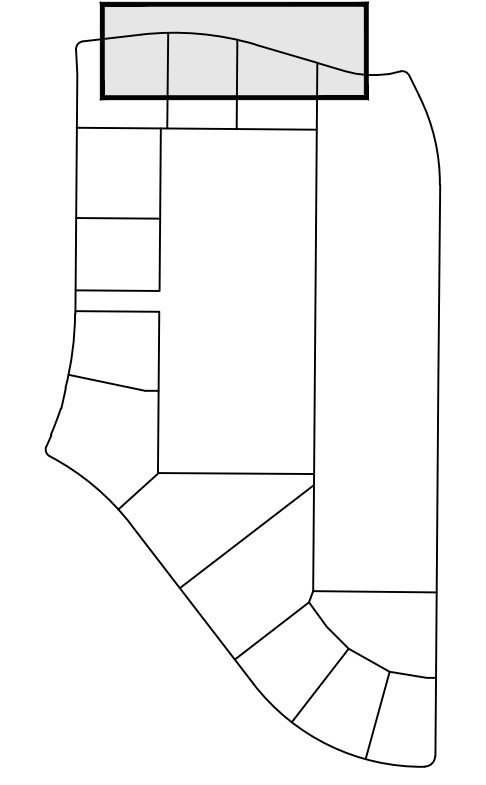
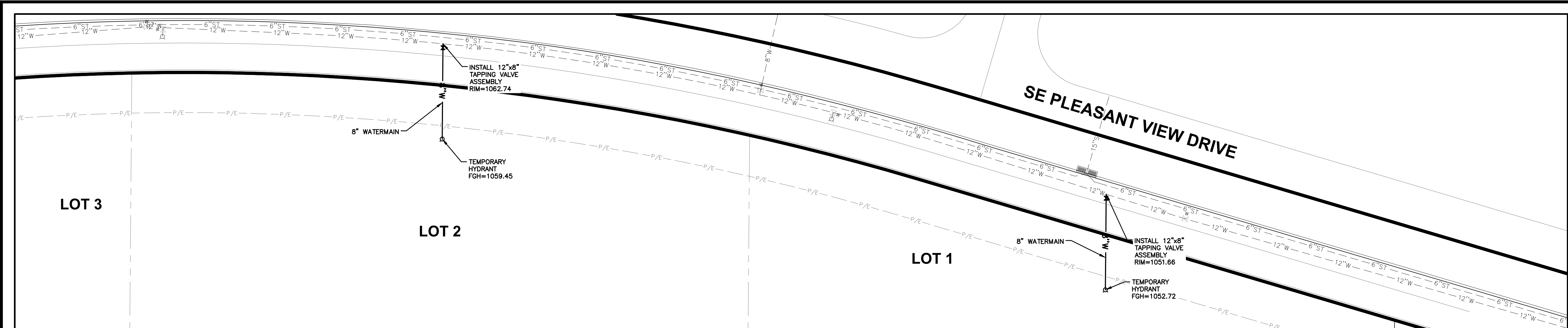
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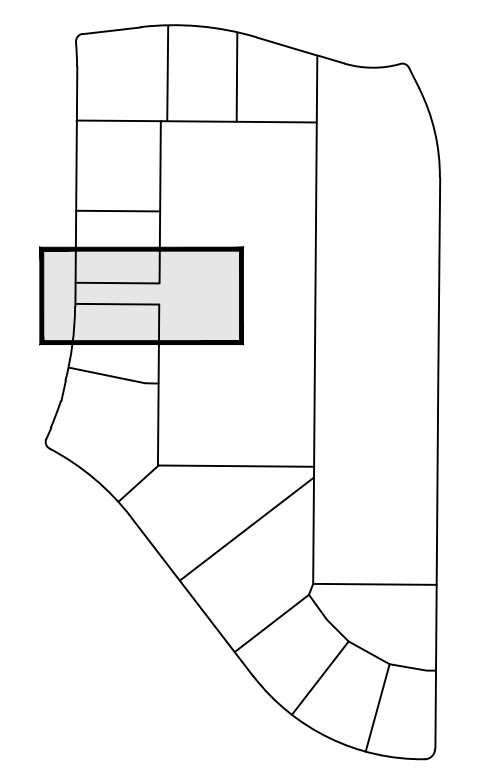
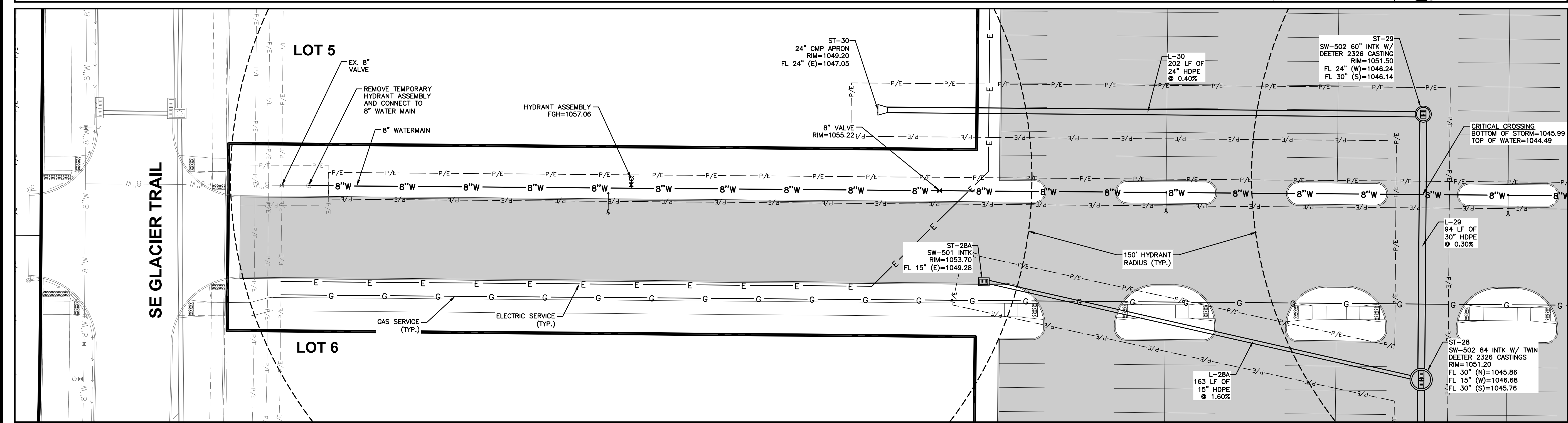
WAUKEE, IOWA

KETTLESTONE CENTRAL - GYMNASIUM
 UTILITY PLAN

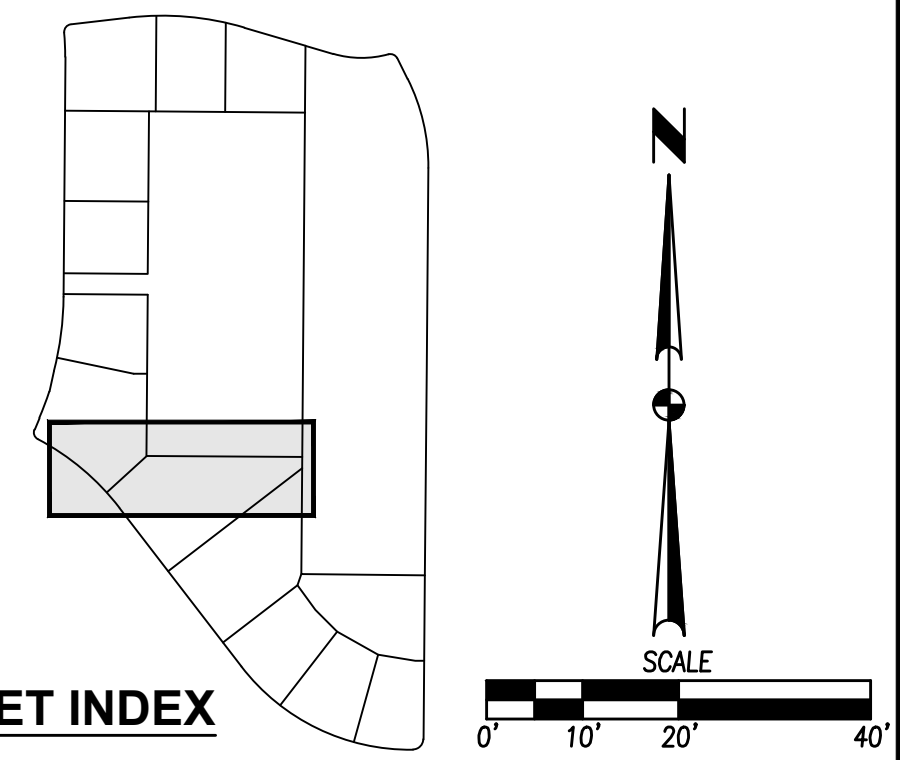
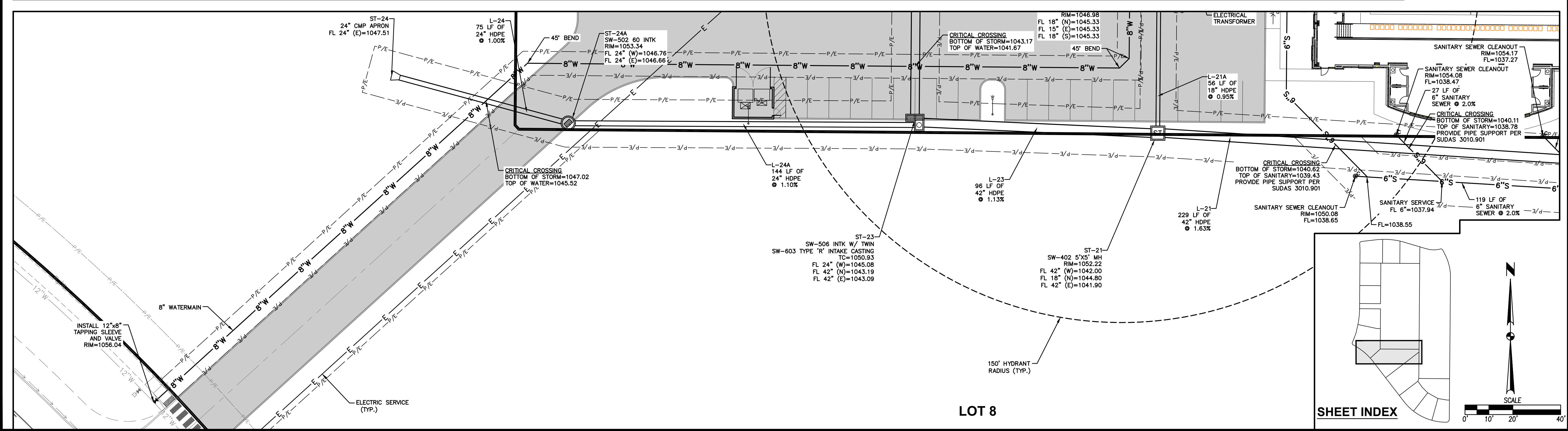
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C6.6
 2302.086



SHEET INDEX



SHEET INDEX



SHEET INDEX

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 TECH:

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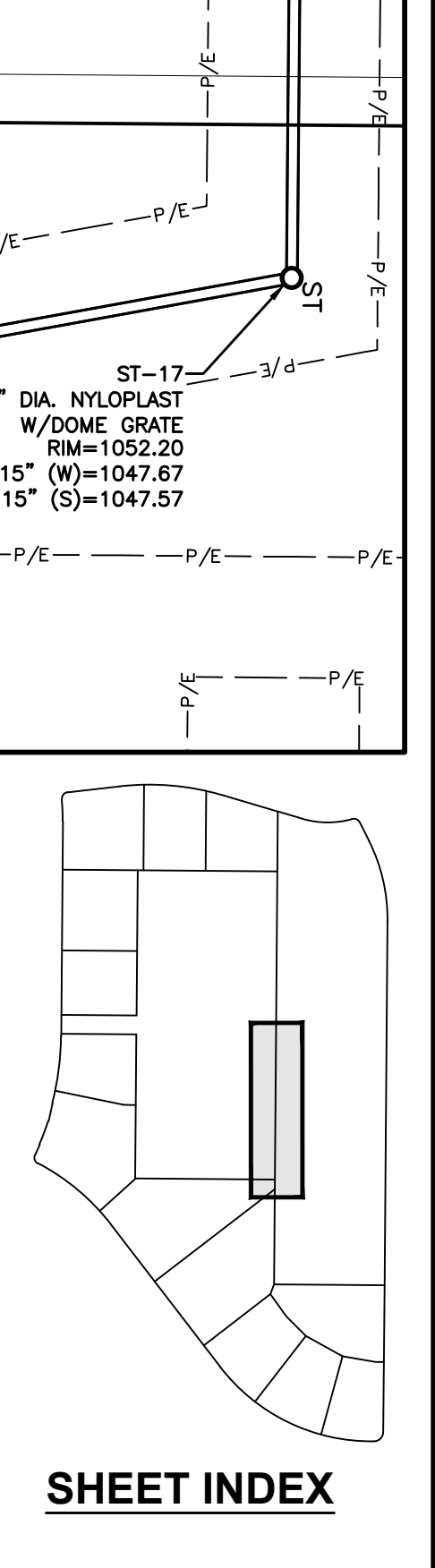
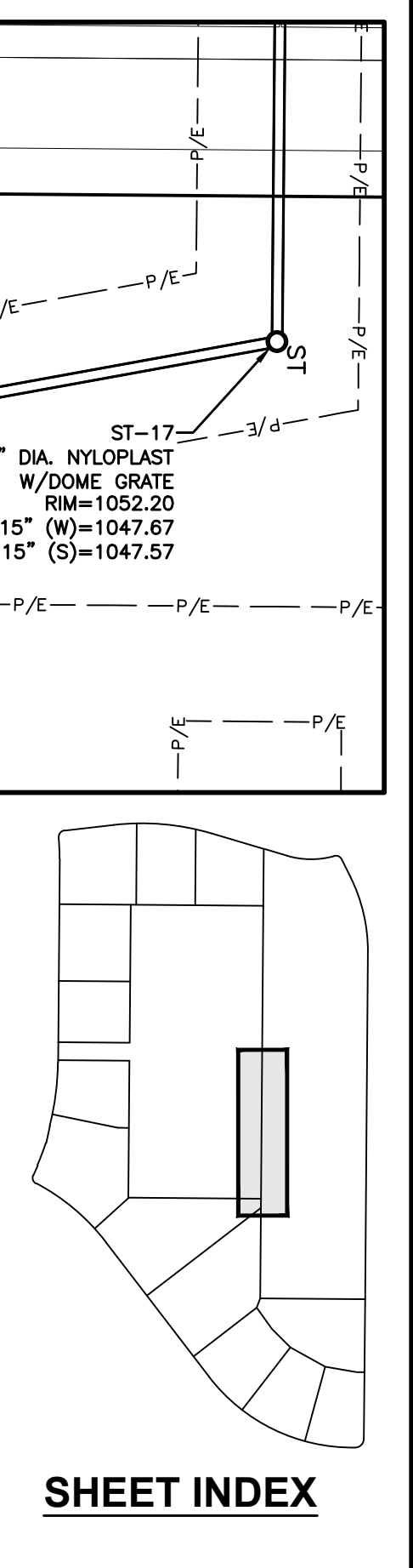
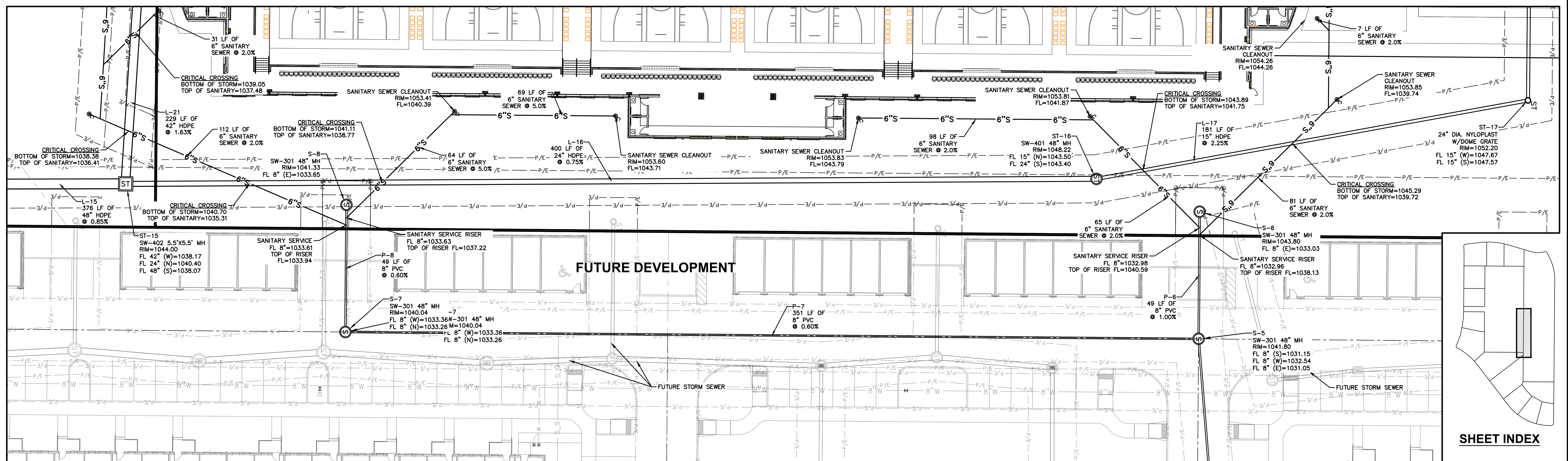
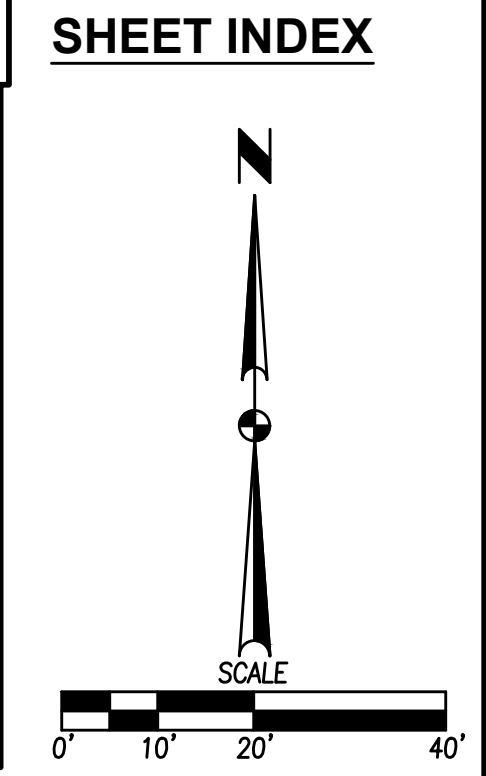
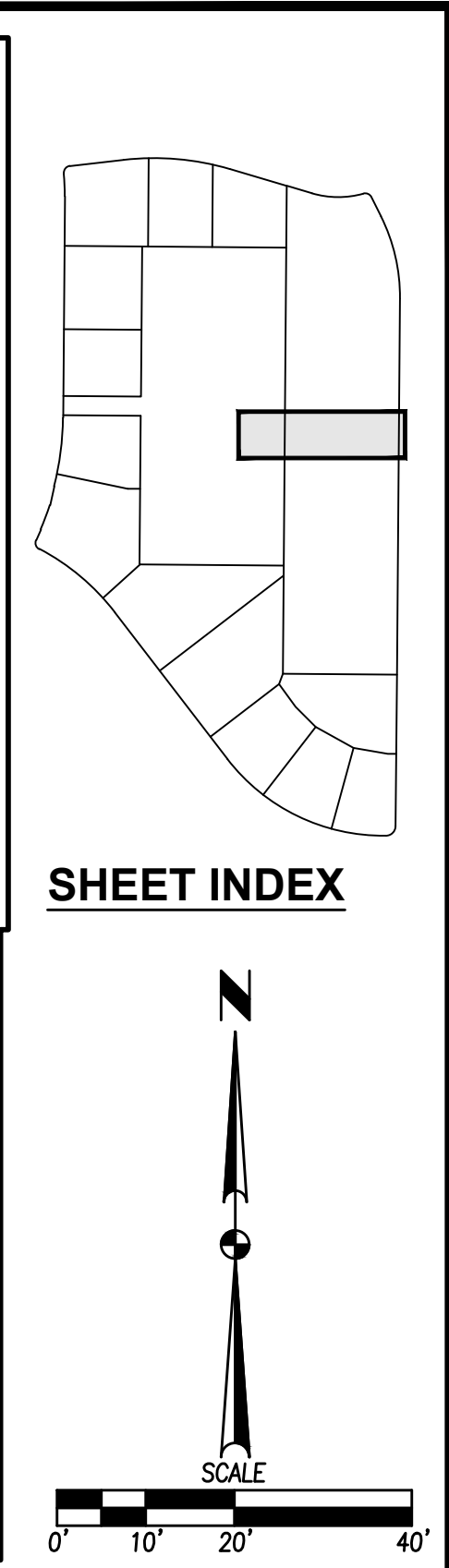
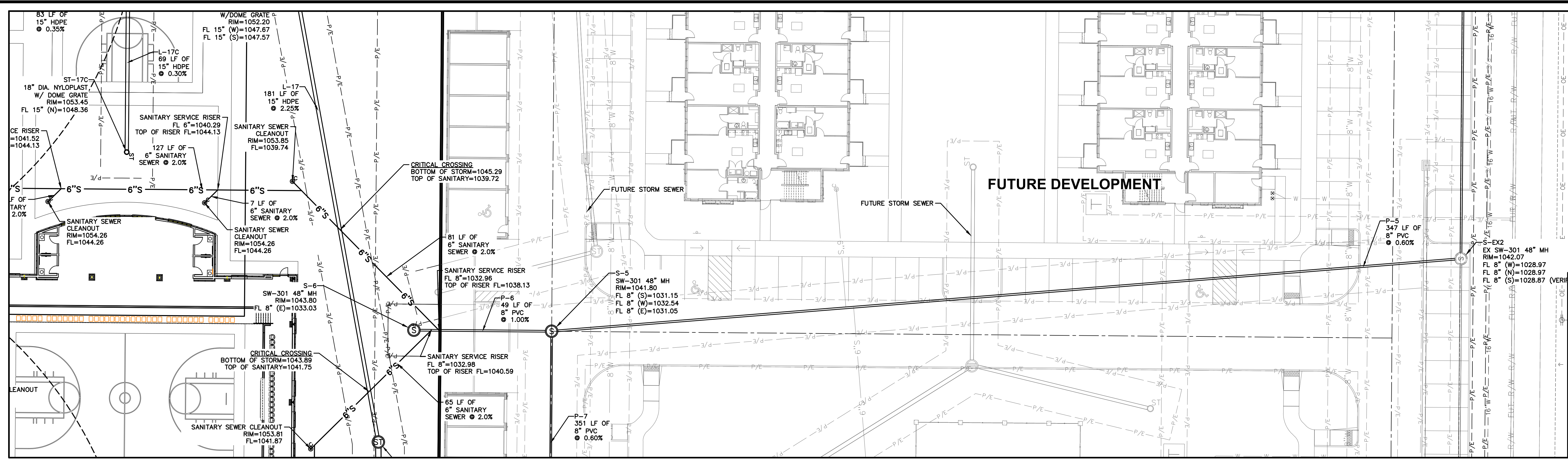


CIVIL DESIGN ADVANTAGE
 WAUKEE, IOWA

KETTLESTONE CENTRAL - GYMNASIUM

UTILITY PLAN

SHEET NUMBER
C6.7
 2302.086



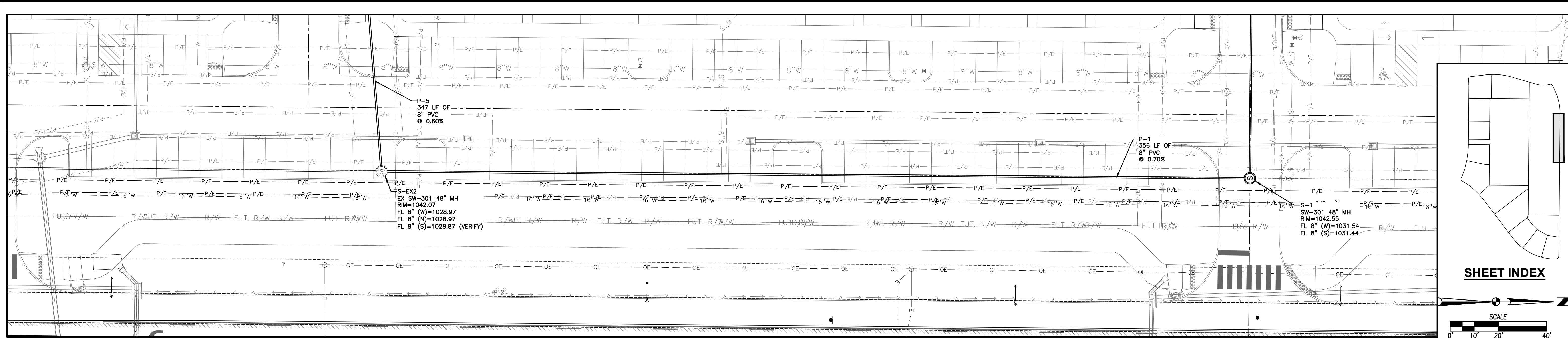
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 PLOTTED DATE: 6/17/2023 3:49 PM

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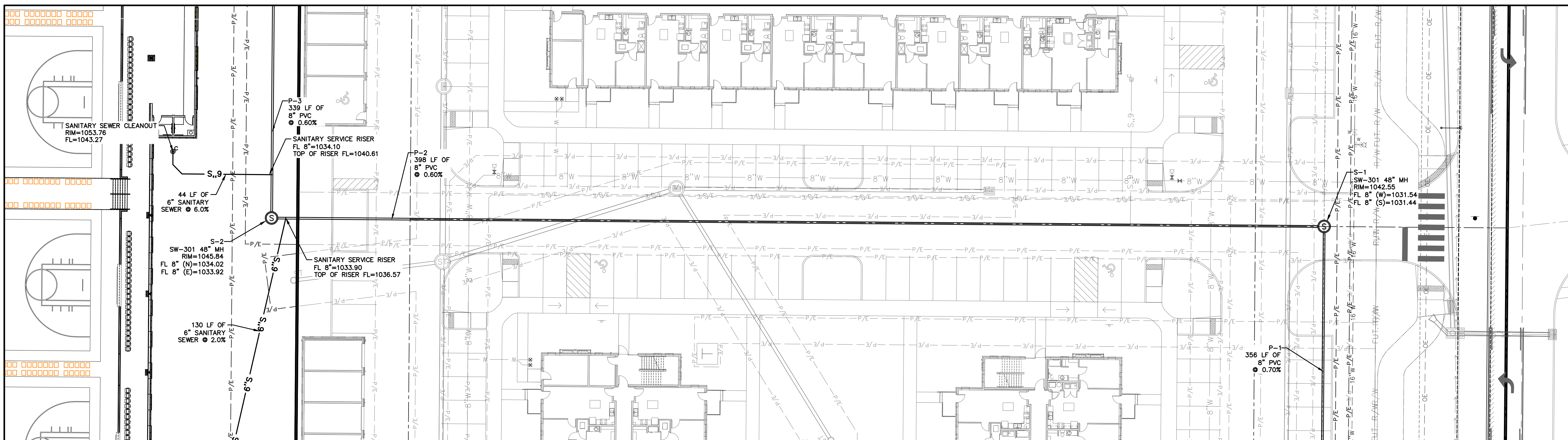
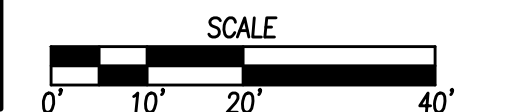
4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400
 ENGINEER: EKO
 ENGINEER: JWM TECH: MST



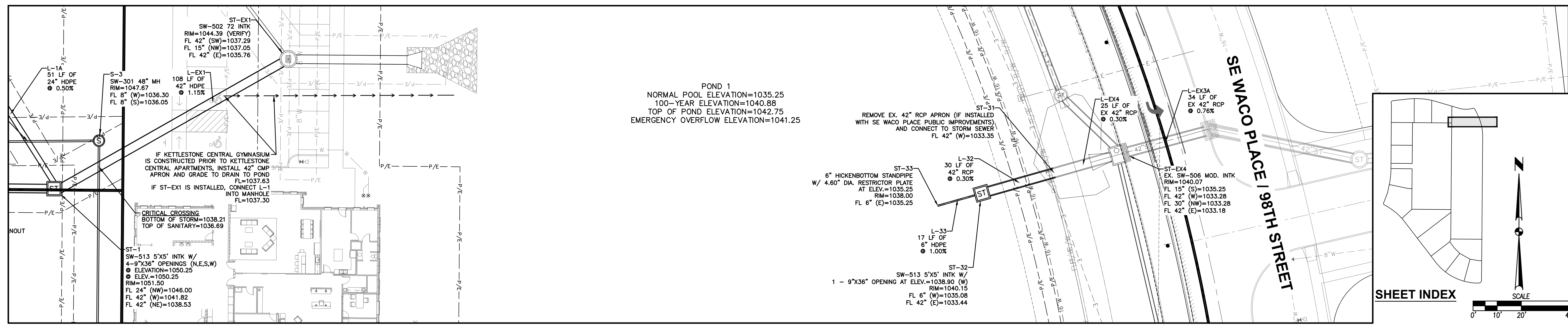
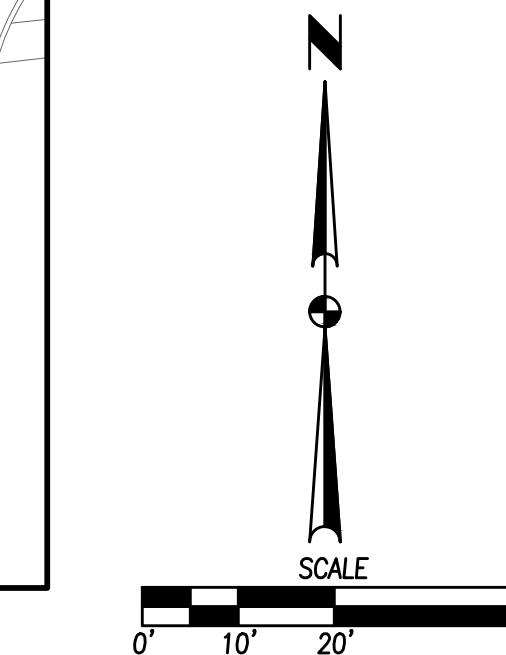
KETTLESTONE CENTRAL - GYMNASIUM
 UTILITY PLAN
 WAUKEE, IOWA
 SHEET NUMBER:
C6.8
 2302.086



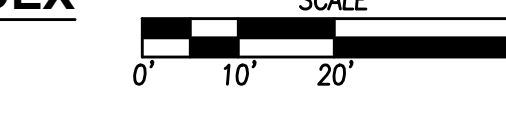
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SHEET INDEX



SHEET INDEX



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07/18/2023 <td>SECOND SUBMITTAL</td>	SECOND SUBMITTAL
06/06/2023 <td>FIRST SUBMITTAL</td>	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400

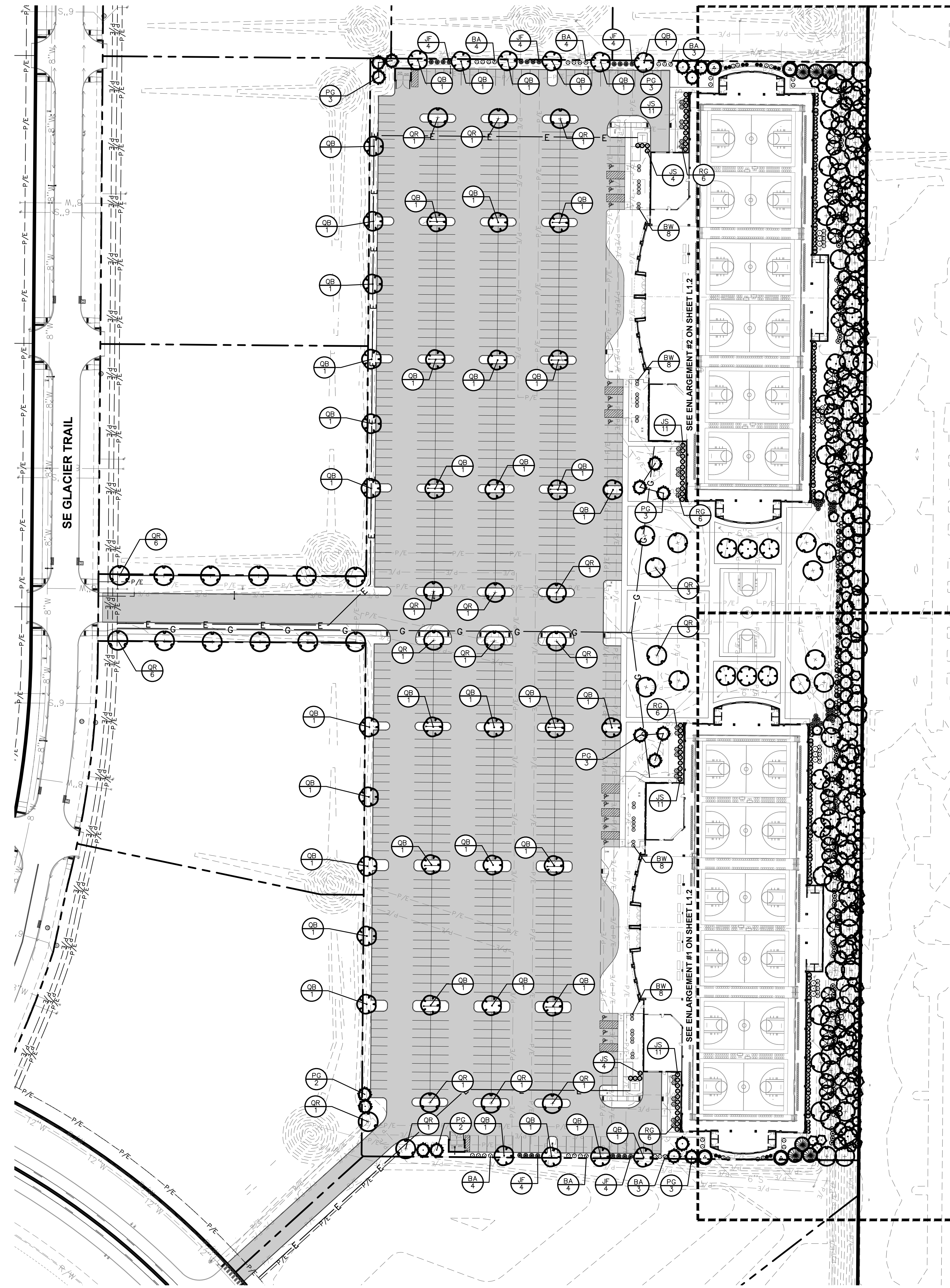
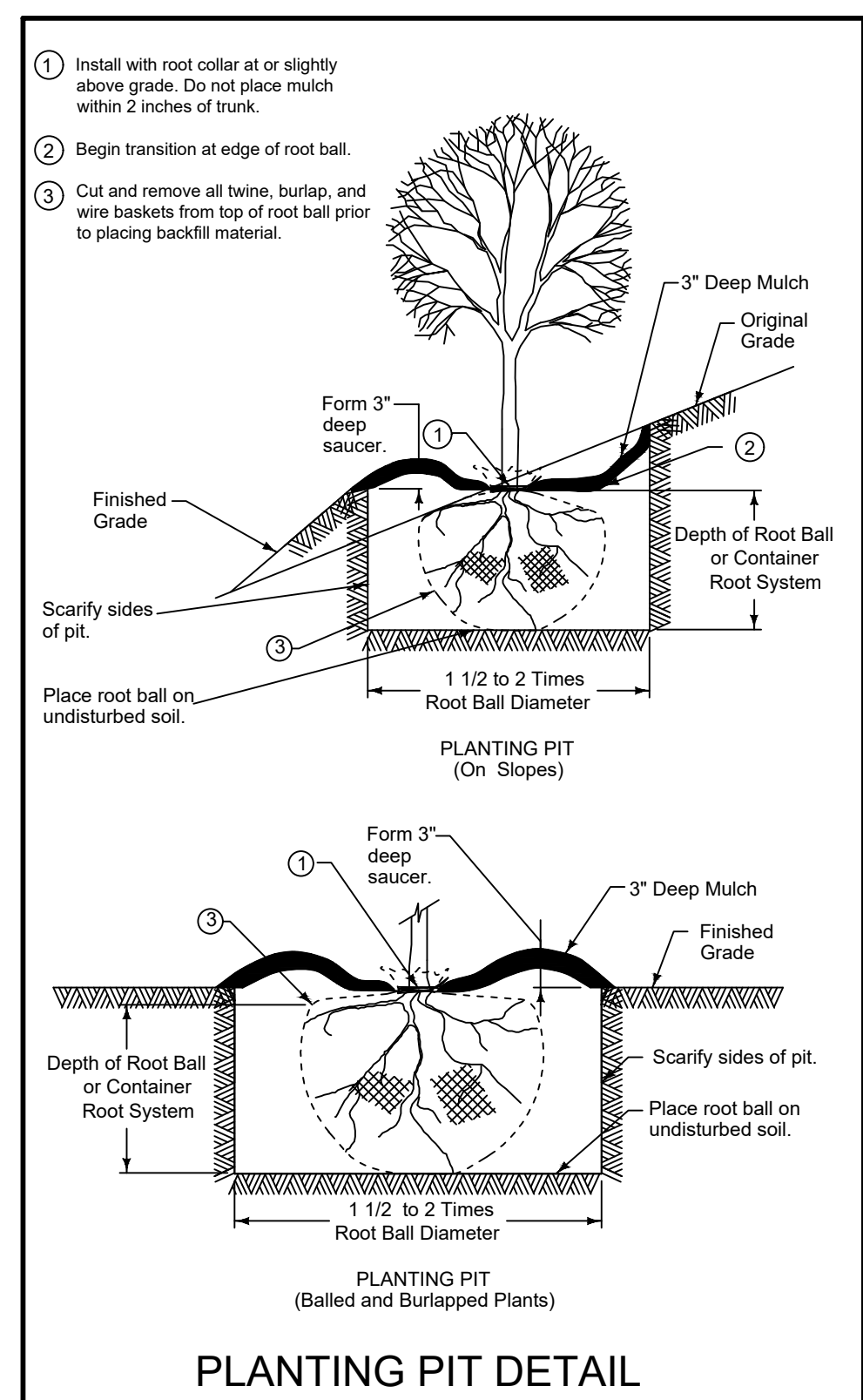


KETTLESTONE CENTRAL - GYMNASIUM
 UTILITY PLAN

WAUKEE, IOWA
 ENGINEER: EKO
 TECH: MST
 SHEET NUMBER:
C6.9
 2302.086

PLANT SCHEDULE OPEN SPACE				
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
PF2	6	Douglas Fir	<i>Pseudotsuga menziesii</i> 'Fletcher'	B&B, 6' HEIGHT
PG	19	Colorado Blue Spruce	<i>Picea pungens</i> 'Glauca'	B&B, 6' HEIGHT
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
AA	4	Downy Serviceberry	<i>Amelanchier arborea</i>	B&B, 8' HEIGHT
CE	20	Eastern Redbud Multi-trunk	<i>Cercis canadensis</i>	B&B, 6' HEIGHT, MULTI-STEM
CF	6	Flowering Dogwood	<i>Cornus florida</i>	B&B, 6' HEIGHT
PN	4	Newport Flowering Plum	<i>Prunus cerasifera</i> 'Newport'	B&B, 6' HEIGHT
OVERSTORY TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
GS	7	Skyline Honey Locust	<i>Gleditsia triacanthos</i> 'Skyline'	B&B, 8' HEIGHT
QB	59	Swamp White Oak	<i>Quercus bicolor</i>	B&B, 8' HEIGHT
QR	54	Red Oak	<i>Quercus rubra</i>	B&B, 8' HEIGHT
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
BA	58	Japanese Barberry	<i>Berberis thunbergii</i> 'Aurea'	24" HT.
BW	32	Wintergreen Boxwood	<i>Buxus microphylla</i> 'Wintergreen'	15" HT
EC	8	Compact Burning Bush	<i>Euonymus alatus</i> 'Compactus'	24" HT.
JF	44	Sea Green Juniper	<i>Juniperus chinensis</i> 'Sea Green'	24" HT.
JO	4	Old Gold Juniper	<i>Juniperus chinensis</i> 'Old Gold'	5 GAL
JS	108	Spartan Juniper	<i>Juniperus chinensis</i> 'Spartan'	36" HT.
RG	24	Gro-Low Fragrant Sumac	<i>Rhus aromatica</i> 'Gro-Low'	24" HT.
RR	110	Fine Line Buckthorn	<i>Rhamnus frangula</i> 'Fine Line'	36" HT.
SK	12	Miss Kim Korean Lilac	<i>Syringa pubescens</i> 'Miss Kim'	24" HT.
VD	12	Arrowwood Viburnum	<i>Viburnum dentatum</i> 'Arrowwood'	36" HT.

PLANT SCHEDULE EAST BUFFER				
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
PD	26	Dwarf White Spruce	<i>Picea glauca</i> 'Conica'	B&B, 6' HEIGHT
PC	16	Black Hills White Spruce	<i>Picea glauca</i> 'Densata'	B&B, 6' HEIGHT
PG	32	Colorado Blue Spruce	<i>Picea pungens</i> 'Glauca'	B&B, 6' HEIGHT
ORNAMENTAL TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
AA	46	Downy Serviceberry	<i>Amelanchier arborea</i>	B&B, 8' HEIGHT
CE	4	Eastern Redbud Multi-trunk	<i>Cercis canadensis</i>	B&B, 6' HEIGHT, MULTI-STEM
CF	36	Flowering Dogwood	<i>Cornus florida</i>	B&B, 6' HEIGHT
OVERSTORY TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
GS	21	Skyline Honey Locust	<i>Gleditsia triacanthos</i> 'Skyline'	B&B, 8' HEIGHT
QB	14	Swamp White Oak	<i>Quercus bicolor</i>	B&B, 8' HEIGHT
QR	24	Red Oak	<i>Quercus rubra</i>	B&B, 8' HEIGHT
SHRUBS	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
BA	5	Japanese Barberry	<i>Berberis thunbergii</i> 'Aurea'	24" HT.
BW	10	Wintergreen Boxwood	<i>Buxus microphylla</i> 'Wintergreen'	15" HT
EC	72	Compact Burning Bush	<i>Euonymus alatus</i> 'Compactus'	24" HT.
JO	48	Old Gold Juniper	<i>Juniperus chinensis</i> 'Old Gold'	5 GAL
SK	18	Miss Kim Korean Lilac	<i>Syringa pubescens</i> 'Miss Kim'	24" HT.
VA	9	American Cranberrybush	<i>Viburnum trilobum</i>	36" HT.
VD	3	Arrowwood Viburnum	<i>Viburnum dentatum</i> 'Arrowwood'	36" HT.
VL	15	Nannyberry	<i>Viburnum lentago</i>	36" HT.



LANDSCAPE NOTES

- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
- THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
- ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
- ALL DISTURBED AREAS WITHIN THE GRADING LIMITS BUT OUTSIDE OF THE PROPERTY BOUNDARY SHALL BE SEEDED WITH SUDAS TYPE 4 SEED MIX. ALL DISTURBED AREAS WITHIN THE PROPERTY BOUNDARY SHALL BE SOD.
- BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
- WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
- SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL LANTING BEDS TO A (MIN) DEPTH OF 3".
- ALL EDGING SHALL BE SPADE CUT EDGE.
- PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
- ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY.
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

MINIMUM PLANTING REQUIREMENTS

- MINIMUM SIZE: THE MINIMUM SIZE FOR REQUIRED PLANTINGS, OTHER THAN THOSE IN REQUIRED BUFFERS, SHALL BE AS FOLLOWS:
 - DECIDUOUS OVERSTORY TREES SHALL BE A MINIMUM OF EIGHT (8) FEET IN HEIGHT.
 - EVERGREEN TREES SHALL BE A MINIMUM OF SIX (6) FEET IN HEIGHT.
 - DECIDUOUS ORNAMENTAL TREES SHALL BE A MINIMUM OF SIX (6) FEET IN HEIGHT.
- MINIMUM QUANTITY: THE MINIMUM NUMBER OF PLANTINGS PER SITE SHALL BE AS FOLLOWS:
 - A MINIMUM OF FIFTY PERCENT (50%) OF ALL REQUIRED TREES SHALL BE OVERSTORY SHADE TREES
 - FOR ALL USES EXCEPT SINGLE-FAMILY ATTACHED AND DETACHED RESIDENTIAL DWELLINGS, A MINIMUM OF TWENTY FIVE PERCENT (25%) OF ALL REQUIRED TREES SHALL BE EVERGREEN TREES.

OPEN SPACE LANDSCAPE REQUIREMENTS

LOT AREA	=616,623 SF
OPEN SPACE REQUIRED	=20% (123,325 SF)
OPEN SPACE PROVIDED	=24% (158,200 SF)
1.5 OVERSTORY TREES, 0.5 UNDERSTORY TREES AND 2 SHRUBS PER 1,000 SF OF OPEN SPACE REQUIRED	
OS TREES REQUIRED	= 185
US TREES REQUIRED	= 62
SHRUBS REQUIRED	= 247
OS TREES PROVIDED	= 185
US TREES PROVIDED	= 62
SHRUBS PROVIDED	= 247

25' BUFFER REQUIREMENTS (EAST)

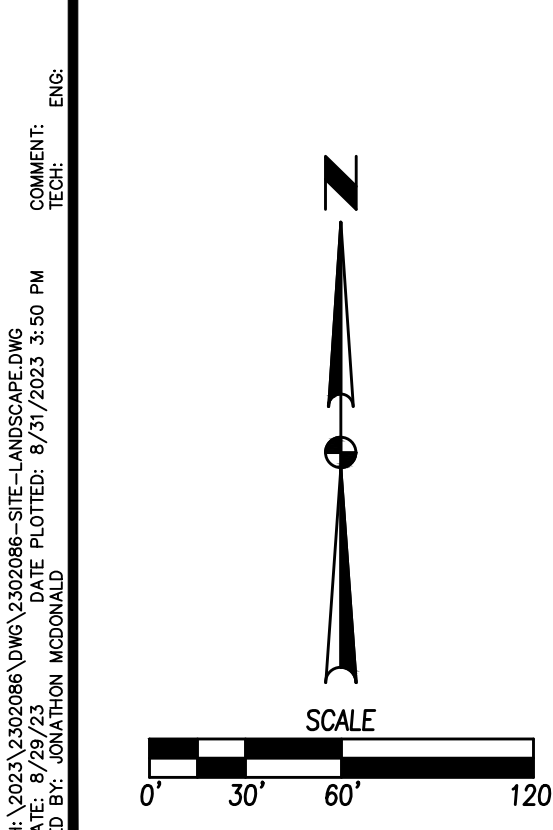
1.5 OVERSTORY, 2.5 EVERGREEN AND 2.5 ORNAMENTAL TREES AND 15 SHRUBS PER 50 LINEAR FEET.

1,148 L.F. OF BUFFER

REQUIRED	
OVERSTORY TREES	= 35
EVERGREEN TREES	= 58
ORNAMENTAL TREES	= 58
SHRUBS	= 344
PROVIDED	
OVERSTORY TREES	= 35
EVERGREEN TREES	= 58
ORNAMENTAL TREES	= 58
SHRUBS	= 344

OFF-STREET PARKING AREAS

- ALL OF THE FOLLOWING REQUIREMENTS SHALL APPLY TO OFF-STREET PARKING AREAS EXCEPT FOR SINGLE-FAMILY ATTACHED AND DETACHED PARKING IN DRIVEWAYS AS FOLLOWS:
- ALL ROWS OF PARKING SPACES SHALL BE PROVIDED A TERMINAL LANDSCAPED ISLAND, WITH A MINIMUM WIDTH OF TEN FEET AND A MINIMUM LENGTH OF 17 FEET FOR SINGLE PARKING ROWS AND 34 FEET FOR DUAL PARKING ROWS, TO PROTECT PARKED VEHICLES, PROVIDE VISIBILITY, CONFINE MOVING TRAFFIC TO DRIVEWAYS, AND PROVIDE SPACE FOR LANDSCAPING. THERE SHALL BE PROVIDED WITHIN EACH ROW OF PARKING SPACES LANDSCAPED ISLANDS, WITH A MINIMUM WIDTH OF 6 FEET AND A MINIMUM LENGTH OF 17 FEET FOR SINGLE PARKING ROWS AND 34 FEET FOR DUAL PARKING ROWS, LOCATED SO AS TO PREVENT MORE THAN 15 VEHICLES FROM BEING PARKED SIDE BY SIDE IN AN ABUTTING CONFIGURATION.
 - ALL LANDSCAPED ISLANDS REQUIRED IN SUBSECTIONS 1 AND 2 OF THIS SECTION SHALL BE PLANTED WITH AT LEAST ONE ORNAMENTAL OR ONE DECIDUOUS OVERSTORY TREE. A MINIMUM OF 50 PERCENT OF THE LANDSCAPED ISLANDS SHALL BE PROVIDED WITH A DECIDUOUS OVERSTORY TREE. THE ENTIRE LANDSCAPED ISLAND AREA SHALL BE COVERED WITH PLANT MATERIALS, LAWN, OR MULCHES.
 - THE SETBACK BETWEEN THE PARKING AREA AND THE PUBLIC RIGHT-OF-WAY SHALL BE LANDSCAPED WITH A MINIMUM OF ONE OVERSTORY DECIDUOUS TREE PER 40 LINEAR FEET OF FRONTAGE. THE FRONTAGE CALCULATION SHALL BE EXCLUSIVE OF THE DRIVEWAYS. THE PLANTINGS MAY BE PLANTED INDIVIDUALLY OR IN CLUSTERS. THIS REQUIREMENT SHALL BE INCLUDED IN THE MINIMUM NUMBER OF TREES REQUIRED FOR THE SITE AND IS NOT IN ADDITION TO.
 - TO ENCOURAGE THE USE OF ALTERNATIVE DESIGN PRACTICES AND GREEN INFRASTRUCTURE, THE CITY COUNCIL UPON A RECOMMENDATION OF THE PLANNING AND ZONING COMMISSION, MAY ACCEPT ALTERNATIVE LANDSCAPE COVERS AND/OR DESIGNS FOR PARKING LOT ISLANDS, IF DESIGNED APPROPRIATELY AND IN CONCERT WITH SURROUNDING DEVELOPMENT.



DATE: 08/29/2023, 08/08/2023, 07/18/2023, 09/08/2023

REVISIONS: FOURTH SUBMITTAL, THIRD SUBMITTAL, SECOND SUBMITTAL, FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER: EKO, JWM TECH: MST

CIVIL DESIGN ADVANTAGE

WAUKEE, IOWA

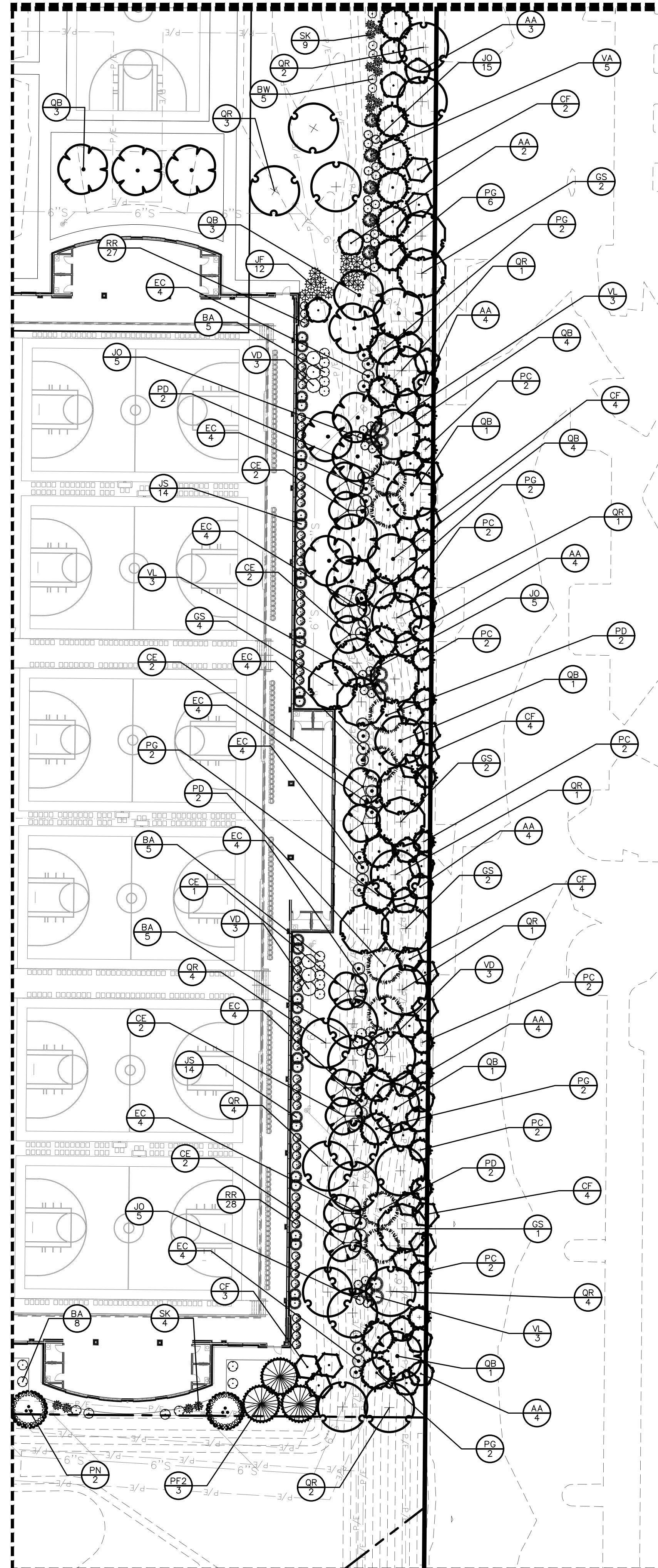
KETTLESTONE CENTRAL - GYMNASIUM
LANDSCAPE PLAN

SHEET NUMBER: **L1.0**
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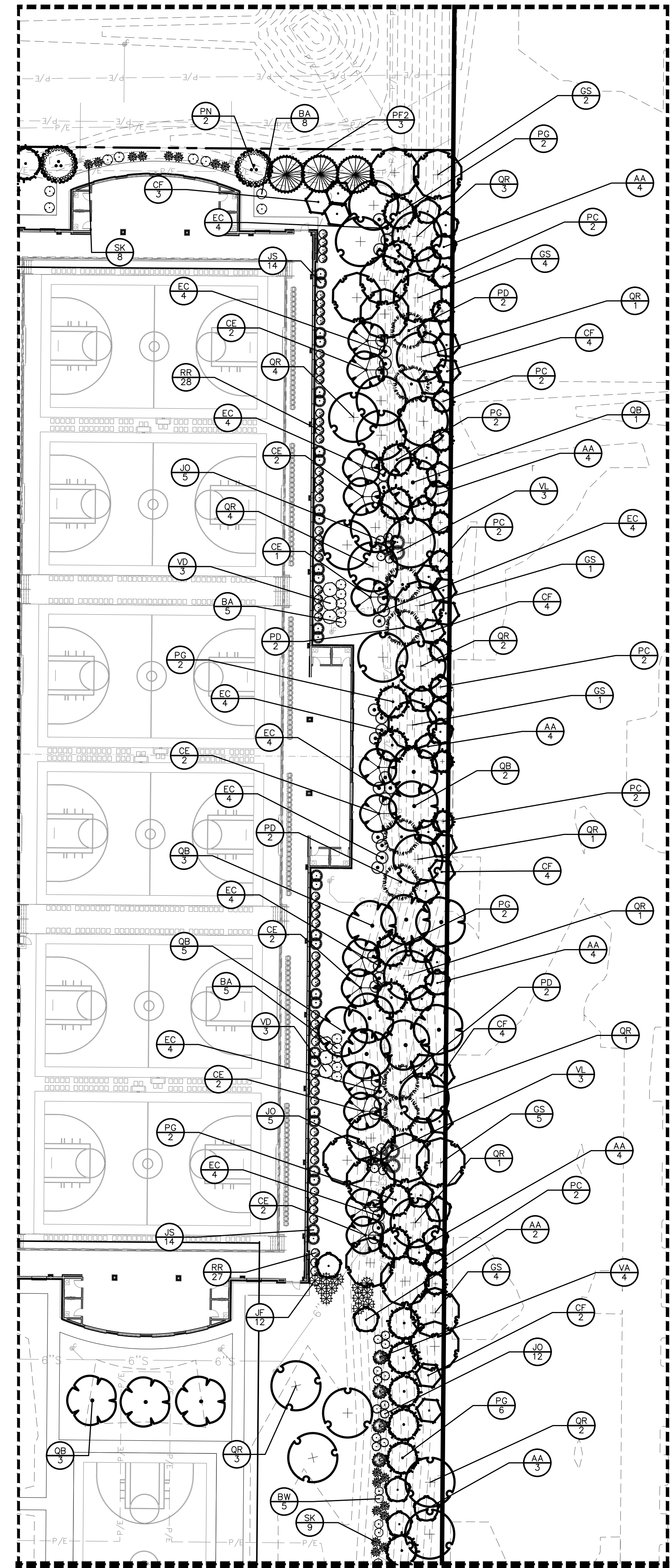
PLANT SCHEDULE OPEN SPACE				
EVERGREEN TREES	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
PF2	6	Douglas Fir	<i>Pseudotsuga menziesii</i> 'Fletcher'	B&B, 6' HEIGHT
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ORNAMENTAL TREES				
QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	
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CE	20	Eastern Redbud Multi-trunk	<i>Cercis canadensis</i>	B&B, 6' HEIGHT, MULTI-STEM
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QB	59	Swamp White Oak	<i>Quercus bicolor</i>	B&B, 8' HEIGHT
QR	54	Red Oak	<i>Quercus rubra</i>	B&B, 8' HEIGHT
SHRUBS				
QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	
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JF	44	Sea Green Juniper	<i>Juniperus chinensis</i> 'Sea Green'	24" HT.
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JS	108	Spartan Juniper	<i>Juniperus chinensis</i> 'Spartan'	36" HT.
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QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE	
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VD	3	Arrowwood Viburnum	<i>Viburnum dentatum</i> 'Arrowwood'	36" HT.
VL	15	Nannyberry	<i>Viburnum lentago</i>	36" HT.

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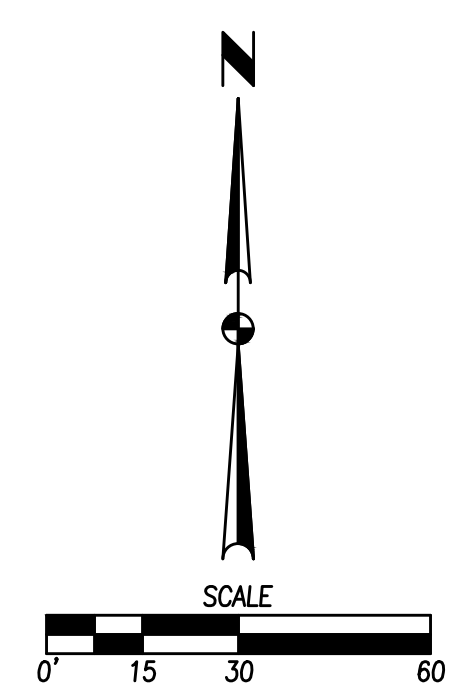
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DATE: 08/29/2023
 REVISIONS:
 FOURTH SUBMITTAL
 THIRD SUBMITTAL
 SECOND SUBMITTAL
 FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400

ENGINEER: EKO
 ENGINEER: JWM
 TECH: MST

ES&A
 CIVIL DESIGN ADVANTAGE

WAUKEE, IOWA

KETTLESTONE CENTRAL - GYMNASIUM
 LANDSCAPE ENLARGEMENTS

SHEET NUMBER:
L1.1
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