

# PRAIRIE ROSE PLAT 2

## FINAL PLAT

### PLAT DESCRIPTION

PARCEL '21-144', BEING A PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 AND A PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4, SECTION 28, TOWNSHIP 79 NORTH, RANGE 26 WEST OF THE 5TH P.M., AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 2021, PAGE 34941 IN THE DALLAS COUNTY RECORDER'S OFFICE AND A PART OF OUTLOT 'Z', PRAIRIE ROSE PLAT 6, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WAUKEE, DALLAS COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHWEST CORNER OF LOT 8 OF PRAIRIE ROSE PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WAUKEE; THENCE NORTH 04°27'36" WEST ALONG THE EAST LINE OF SAID OUTLOT 'Z', 328.23 FEET; THENCE NORTH 57°37'43" EAST CONTINUING ALONG SAID EAST LINE, 140.24 FEET; THENCE SOUTH 65°03'40" EAST CONTINUING ALONG SAID EAST LINE, 118.99 FEET; THENCE NORTH 57°24'41" EAST CONTINUING ALONG SAID EAST LINE, 45.53 FEET; THENCE NORTH 13°25'25" EAST CONTINUING ALONG SAID EAST LINE, 119.18 FEET; THENCE NORTH 00°16'18" WEST CONTINUING ALONG SAID EAST LINE, 53.32 FEET; THENCE NORTH 84°24'25" WEST, 27.57 FEET; THENCE SOUTH 89°43'24" WEST, 78.85 FEET; THENCE NORTHWESTERLY ALONG A CURVE AND CONCAVE NORTHEASTERLY WHOSE RADIUS IS 1260.00 FEET, WHOSE ARC LENGTH IS 503.50 FEET AND WHOSE CHORD BEARS NORTH 78°49'44" WEST, 500.16 FEET TO THE SOUTHEAST CORNER OF STREET LOT 'C' OF SAID PRAIRIE ROSE PLAT 6; THENCE NORTH 22°37'08" EAST ALONG THE EAST LINE OF SAID STREET LOT 'C', 120.00 FEET TO THE NORTHEAST CORNER OF SAID STREET LOT 'C'; THENCE SOUTHEASTERLY ALONG A CURVE AND CONCAVE NORTHEASTERLY WHOSE RADIUS IS 1140.00 FEET, WHOSE ARC LENGTH IS 455.55 FEET AND WHOSE CHORD BEARS SOUTH 78°49'44" EAST, 452.52 FEET; THENCE NORTH 89°43'24" EAST, 86.91 FEET TO THE EAST LINE OF SAID OUTLOT 'Z'; THENCE NORTH 24°47'55" WEST, 222.82 FEET; THENCE NORTH 18°12'04" EAST CONTINUING ALONG SAID EAST LINE, 726.77 FEET; THENCE SOUTH 89°37'11" EAST, 270.74 FEET TO THE EAST LINE OF SAID SECTION 28; THENCE SOUTH 00°22'49" WEST ALONG SAID EAST LINE, 1563.79 FEET; THENCE NORTH 89°37'17" WEST, 640.55 FEET TO THE POINT OF BEGINNING AND CONTAINING 17.96 ACRES (782,498 S.F.), INCLUDING 1.18 ACRES (51,605 S.F.) OF ROADWAY EASEMENT.

PROPERTY SUBJECT TO ANY AND ALL EASEMENTS OF RECORD.

### AREA

17.96 ACRES (782,498 SQUARE FEET)

### OWNER/APPLICANT

CITY OF WAUKEE, IOWA  
230 W HICKMAN RD  
WAUKEE, IOWA 50263

### SURVEYOR

SNYDER AND ASSOCIATES, INC.  
2727 SW SNYDER BLVD  
ANKENY, IOWA 50023  
ERIC J. MILLER  
(515) 964-2020

### ZONING

R-4: ROW DWELLING & TOWNHOME DWELLING DISTRICT

### LAND USE

COMMERCIAL

### BULK REGULATIONS

DENSITY: 3,500 SQUARE FEET PER UNIT  
LOT WIDTH: 20 FEET PER UNIT, 75 FEET OVERALL  
FRONT YARD SETBACK: 30 FEET  
REAR YARD SETBACK: 30 FEET FOR DWELLING, 40 FEET FOR OTHER PERMITTED USES  
SIDE YARD SETBACK: TOTAL 12 FEET FOR SINGLE UNIT TOWNHOMES  
TOTAL OF 15 FEET; ONE SIDE MAY BE REDUCED TO NOT LESS THAN 7 FEET; 15 FEET FOR ANY OTHER PRINCIPAL BUILDING  
FOR THE PURPOSES OF DETERMINING SIDE YARD REQUIREMENTS IN ROW DWELLINGS, THE ENTIRE ROW DWELLING STRUCTURE SHALL BE CONSIDERED TO BE ONE BUILDING  
MAXIMUM HEIGHT: 3 STORIES OR 40 FEET - PRINCIPAL BUILDING  
1 STORY OR 14 FEET - ACCESSORY BUILDING  
FLOOR AREA: 800 SQUARE FEET PER UNIT

### NOTES

- STREET LOTS "A" AND "B" WILL BE RETAINED BY THE CITY OF WAUKEE AS DEDICATED STREET RIGHT-OF-WAY.
- OUTLOT "Z" WILL BE RETAINED BY THE CITY OF WAUKEE.

### SHEET INDEX

- TITLE SHEET
- FINAL PLAT

### LEGEND

#### Survey

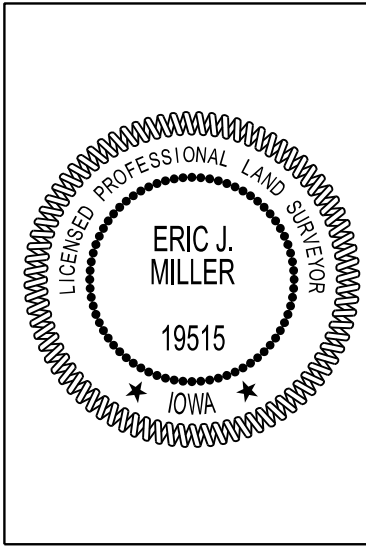
- Section Corner
- 1/2" Rebar, Orange Plastic Cap #19515
- 1/2" Rebar, Yellow Plastic Cap #15980 (Unless Otherwise Noted)
- ROW Marker
- ROW Rail
- Control Point
- Bench Mark
- Platted Distance
- Measured Bearing & Distance
- Recorded As
- Deed Distance
- Calculated Distance
- Minimum Protection Elevation
- Centerline
- Section Line
- 1/4 Section Line
- 1/4 1/4 Section Line
- Easement Line

#### Found

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- D
- C
- MPE

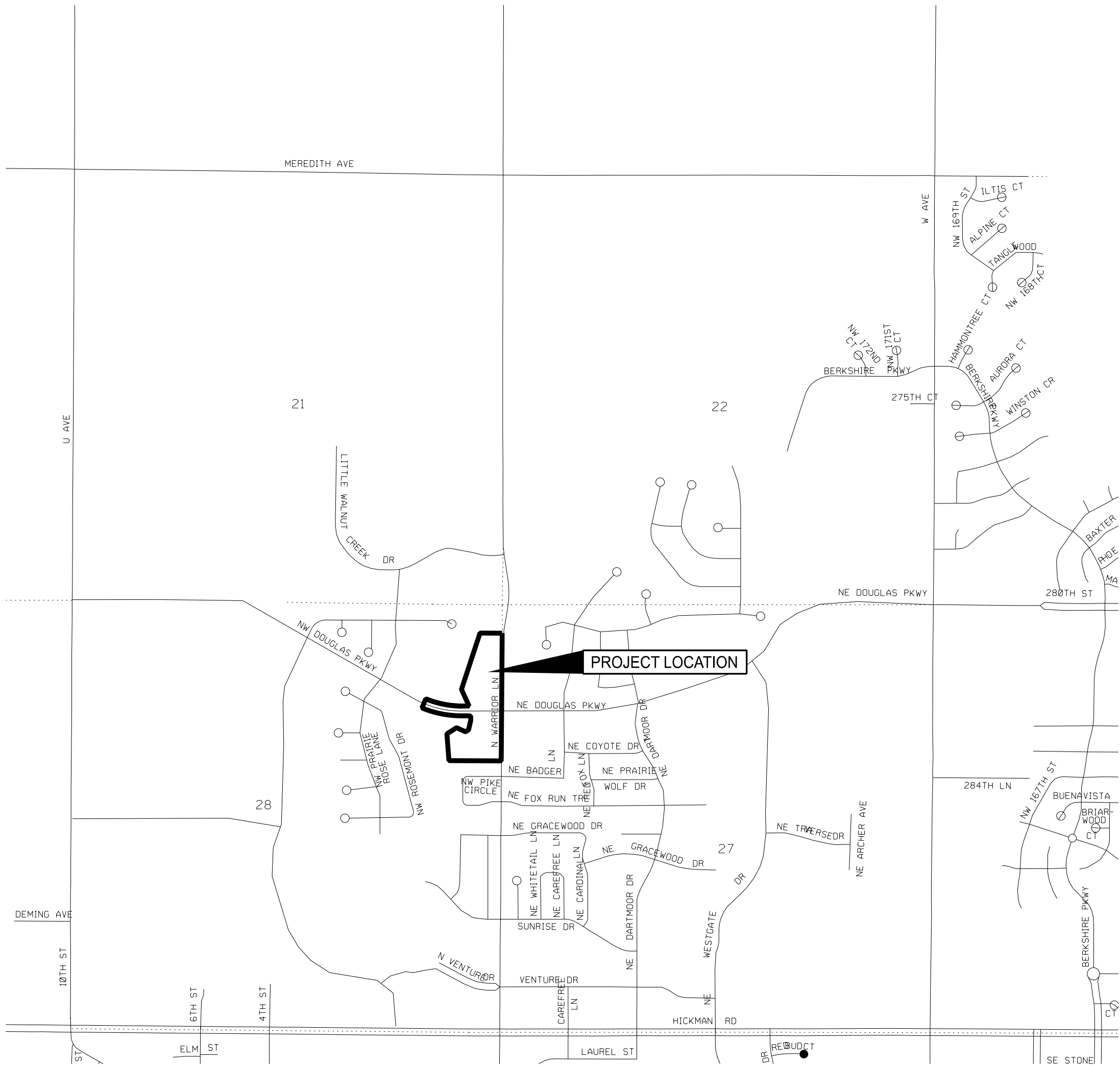
#### Set

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I hereby certify that this land surveying document was prepared and the related survey work was performed by me or under my direct personal supervision and that I am a duly licensed Professional Land Surveyor under the laws of the State of Iowa.

Eric J. Miller, PLS \_\_\_\_\_ Date \_\_\_\_\_  
License Number 19515  
My License Renewal Date is December 31, 2024  
Pages or sheets covered by this seal:  
Sheets 1 through 2 of 2



VICINITY MAP

NOT TO SCALE

PRAIRIE ROSE PLAT 2

FINAL PLAT

SNYDER & ASSOCIATES, INC.

WAUKEE, IOWA

2727 SW SNYDER BOULEVARD  
ANKENY, IA 50023  
515-964-2020 | www.snyder-associates.com



Project No: 1230134

Sheet 1 of 2

MARK	REVISION	DATE	BY
Engineer: NC	Checked By: EJM	Scale: 1"=60'	
Technician: SDB	Date: 08/10/23	Field Bk:	
Project No: 1230134			Sheet 1 of 2

