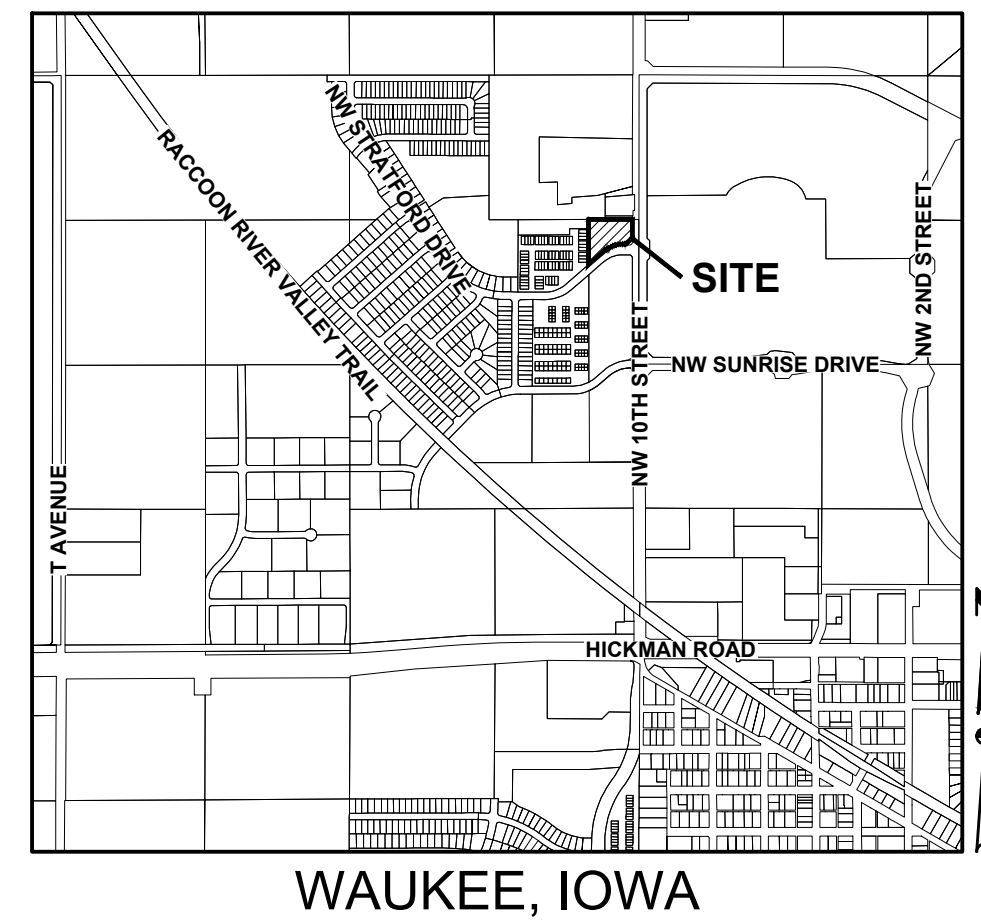


SITE PLAN / PRELIMINARY PLAT FOR: AMENDED CASEY'S - STORE #4269

WAUKEE, IOWA

VICINITY MAP



WAUKEE, IOWA

NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING AN UPDATED SITE PLAN ILLUSTRATING ANY CHANGES MADE DURING CONSTRUCTION AND RECEIVE APPROVAL IN WRITING FROM THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT OF SAID CHANGES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CHANGES MADE WITHOUT WRITTEN APPROVAL.

LEGAL DESCRIPTION

LOT 1, STRATFORD COMMERCIAL PLAT 2, CITY OF WAUKEE, DALLAS COUNTY, IOWA.

ZONING

C-1: COMMUNITY AND HIGHWAY SERVICE COMMERCIAL DISTRICT

PROJECT SITE ADDRESS

600 NW 10TH STREET

EXISTING/ PROPOSED USE

EXISTING: OPEN SPACE

PROPOSED: GAS STATION

DEVELOPMENT SUMMARY

AREA: 2.64 ACRES (114,868 SF)

ZONING: C-1 COMMUNITY AND HIGHWAY SERVICE COMMERCIAL DISTRICT

SETBACKS:

- MINIMUM FRONT YARD - 30 FEET
- MINIMUM REAR YARD - 30 FEET
- MINIMUM SIDE YARD - NO MINIMUM EXCEPT WHEN ADJACENT TO ANY R DISTRICT, THE MINIMUM SIDE YARD SHALL BE 30 FEET
- MAXIMUM HEIGHT - NO MAXIMUM EXCEPT WHEN ADJACENT TO AN R-1, R-2, OR R-4 DISTRICT, THE MAXIMUM SHALL BE 2 STORIES OR 40 FEET

1 STORY OR 14 FEET FOR ACCESSORY BUILDING

BUILDING HEIGHTS

APPROXIMATE BUILDING HEIGHTS:

CONVENIENCE STORE: 21'-4"

GAS CANOPY: 22'-3"

IMPERVIOUS SURFACE AREA

39,022 SF

PARKING REQUIREMENTS

CONVENIENCE STORE/GAS STATION:

FIVE (5) SPACES PER ONE THOUSAND (1,000) SQUARE FEET OF GROSS FLOOR AREA

RETAIL = 4,570 SF

PARKING REQUIRED = 23 SPACES

PARKING PROVIDED = 23 SPACES

BENCHMARKS

1. USGS MONUMENT ALUMINUM ROD WITH CAP STAMPED G121 AND NGS ACCESS COVER 3" DEEP, EAST SIDE OF R AVENUE (R16) 0.1 MILES SOUTH OF 300TH STREET. ELEVATION = 1032.83
2. PK NAIL 3' NORTH OF CENTERLINE EASTBOUND HIGHWAY 6 AT THE SE CORNER OF SW SE ELEVATION = 1040.27

INDEX OF SHEETS

NO.	DESCRIPTION
C-001	COVER SHEET
C-002	QUANTITIES & GENERAL NOTES
C-003	ALTA / NSPS LAND TITLE SURVEY
C-100	TOPOGRAPHIC SURVEY & DEMOLITION PLAN
C-101	DIMENSION PLAN
C-201	GRADING PLAN
C-301	UTILITY PLAN
C-401	EROSION AND SEDIMENT CONTROL PLAN
C-601 - C-604	DETAILS
C-701	LANDSCAPE PLAN

GENERAL LEGEND

PROPOSED	EXISTING	FOUND	SET
PROPERTY BOUNDARY	SECTION CORNER AS NOTED	▲	△
SECTION LINE	1/2" REBAR, YELLOW CAP #15980 (UNLESS OTHERWISE NOTED)	●	○
CENTER LINE	MEASURED BEARING & DISTANCE	M	R
RIGHT OF WAY	RECORDED BEARING & DISTANCE	R	D
BUILDING SETBACK	DEEDED BEARING & DISTANCE	MPE	P.U.E.
PERMANENT EASEMENT	MINIMUM PROTECTION ELEVATION		
TEMPORARY EASEMENT	PUBLIC UTILITY EASEMENT		
TYPE SW-501 STORM INTAKE	CENTERLINE		
TYPE SW-502 STORM INTAKE	SECTION LINE		
TYPE SW-503 STORM INTAKE	EASEMENT LINE		
TYPE SW-505 STORM INTAKE	TELEPHONE LINE		
TYPE SW-506 STORM INTAKE	CABLE TELEVISION LINE		
TYPE SW-512 STORM INTAKE	FIBER OPTICS LINE		
TYPE SW-513 STORM INTAKE	WATERMAIN		
TYPE SW-401 STORM MANHOLE	STORM SEWER		
TYPE SW-402 STORM MANHOLE	SANITARY SEWER		
FLARED END SECTION	STREET LIGHT		
TYPE SW-301 SANITARY MANHOLE	DECIDUOUS TREE		
STORM/SANITARY CLEANOUT	WOOD FENCE		
WATER VALVE	GAS LINE		
FIRE HYDRANT ASSEMBLY	ELECTRIC LINE		
SIGN	OVERHEAD ELECTRIC LINE		
DETECTABLE WARNING PANEL	GAS MANHOLE		
WATER CURB STOP	MONITORING WELLS		
SANITARY SEWER	FLARED END SECTION		
SANITARY SERVICE	TRAFFIC SIGNAL CONTROL		
STORM SEWER	CLEANOUT		
STORM SERVICE	GAS APPARATUS		
WATERMAIN WITH SIZE	AIR CONDITIONER		
WATER SERVICE	TELEPHONE PEDESTAL		
SAWCUT (FULL DEPTH)	WATER VALVE		
SILT FENCE	FIRE HYDRANT		
USE AS CONSTRUCTED	ELECTRIC TRANSFORMER		
MINIMUM PROTECTION ELEVATION	ELECTRIC METER BOARD		
FINISHED FLOOR ELEVATION	MAIL BOX		
	SIGN		
	POWER POLE		
	TELEVISION PEDESTAL		
	SANITARY SEWER MANHOLE		
	STORM SEWER MANHOLE		
	ROUND STORM SEWER INTAKE		
	STORM SEWER INTAKE		
	FLAG POLE		
	SPRINKLER BOX		
	BUSH		
	CONIFEROUS TREE		
	OVERHEAD LIGHT		
	HANDICAPPED PARKING		
	ROOF DRAIN		
	TRAFFIC LIGHT		
	SEPTIC TANK		
	YARD LIGHT		

OWNER

CASEY'S MARKETING COMPANY
ONE SE CONVENIENCE BLVD
ANKENY, IA 50021
CONTACT: BRITNI ANDREASSEN
PH: (515) 381-5106

APPLICANT

CASEY'S SERVICES COMPANY
3305 SE DELAWARE AVENUE
ANKENY, IA 50021
CONTACT: BRITNI ANDREASSEN
PH: (515) 381-5106

ENGINEER

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
CONTACT: ERIN OLLENDIKE
EMAIL: ERINO@CDA-ENG.COM
PH. (515) 369-4400

SURVEYOR

CIVIL DESIGN ADVANTAGE, LLC
4121 NW URBANDALE DRIVE
URBANDALE, IOWA 50322
CONTACT: CHARLIE MCGLOTHLEN
EMAIL: CHARLIEM@CDA-ENG.COM
PH. (515) 369-4400

DATE OF SURVEY

FEBRUARY 11, 2022

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = AUGUST 2023
ANTICIPATED FINISH DATE = DECEMBER 2023

SUBMITTAL DATES

FIRST SUBMITTAL: 08/08/2023
SECOND SUBMITTAL: 08/29/2023
THIRD SUBMITTAL: 09/11/2023

*** NOTE ***
THE BUILDINGS SHOWN ARE FOR REFERENCE PURPOSES ONLY. FINAL BUILDING TYPE IS SUBJECT TO CHANGE. REFER TO ARCHITECTURAL DRAWINGS FOR DETAILS.

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

REFER TO GEOTECHNICAL ENGINEERING REPORT NO. 222060CWC PREPARED BY CONSTRUCTION MATERIALS TESTING, INC. FOR GEOTECHNICAL REQUIREMENTS. DATE: JUNE 17, 2022

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF WAUKEE COSESCO PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2023 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

ERIN K. OLLENDIKE, P.E. DATE

LICENSE NUMBER 16926

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2023

PAGES OR SHEETS COVERED BY THIS SEAL:
SHEETS C-001 - C-002, & C-100 - C-604

I, ERIN K. OLLENDIKE, IOWA LICENSED PROFESSIONAL ENGINEER, NO. 16926, HAVE PREPARED THIS PLAN. I AM NOT PROVIDING ANY GUARANTEE FOR THE ACCURACY OF THE INFORMATION SHOWN HEREON. I AM NOT PROVIDING ANY GUARANTEE FOR THE ACCURACY OF THE INFORMATION SHOWN HEREON. I AM NOT PROVIDING ANY GUARANTEE FOR THE ACCURACY OF THE INFORMATION SHOWN HEREON.

ALTA/NSPS LAND TITLE SURVEY

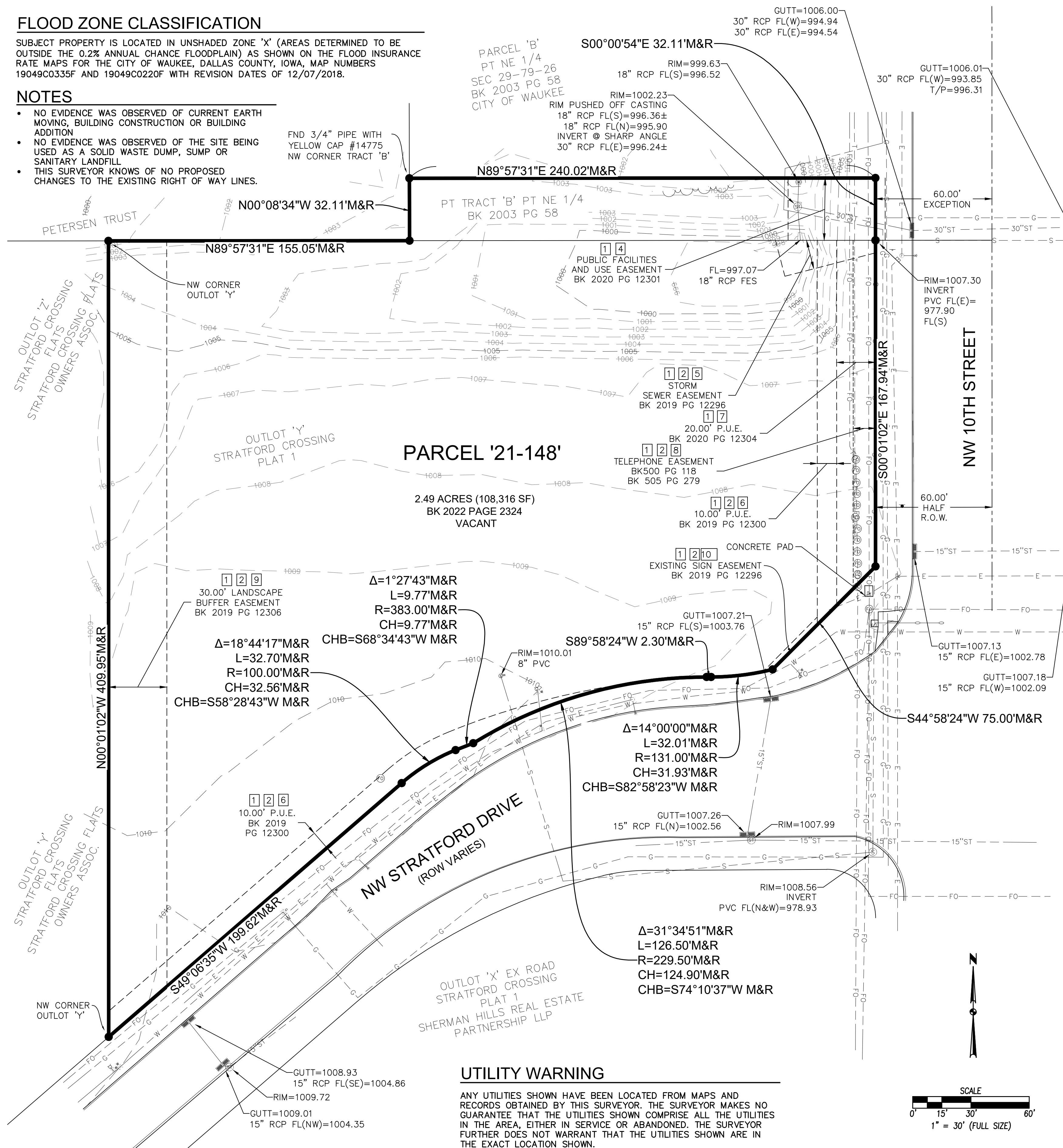
FLOOD ZONE CLASSIFICATION

SUBJECT PROPERTY IS LOCATED IN UNSHADED ZONE 'X' (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN) AS SHOWN ON THE FLOOD INSURANCE RATE MAPS FOR THE CITY OF WAUKEE, DALLAS COUNTY, IOWA, MAP NUMBERS 19049C0335F AND 19049C0220F WITH REVISION DATES OF 12/07/2018.

NOTES

- NO EVIDENCE WAS OBSERVED OF CURRENT EARTH MOVING, BUILDING CONSTRUCTION OR BUILDING ADDITION
- NO EVIDENCE WAS OBSERVED OF THE SITE BEING USED AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL
- THIS SURVEYOR KNOWS OF NO PROPOSED CHANGES TO THE EXISTING RIGHT OF WAY LINES.

FND 3/4" PIPE WITH YELLOW CAP #14775 NW CORNER TRACT 'B'



LEGEND

FOUND	SET	
▲	△	GAS APPARATUS
●	○	AIR CONDITIONER
M	R	TELEPHONE PEDESTAL
R	D	WATER VALVE
D	MPE	FIRE HYDRANT
MPE	P.U.E.	ELECTRIC TRANSFORMER
P.U.E.		ELECTRIC METER BOARD
		MAIL BOX
		SIGN
		POWER POLE
		TELEVISION PEDESTAL
		SANITARY SEWER MANHOLE
		STORM SEWER MANHOLE
		ROUND STORM SEWER INTAKE
		STORM SEWER INTAKE
		FLAG POLE
		SPRINKLER BOX
		BUSH
		CONIFEROUS TREE
		OVERHEAD LIGHT
		HANDICAPPED PARKING
		ROOF DRAIN
		TRAFFIC LIGHT
		SEPTIC TANK
		YARD LIGHT

ENGINEER/SURVEYOR

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322

OWNER / REQUESTED BY

STRATFORD CROSSING, LLC

DATE OF SURVEY

02-11-2022

SITE ADDRESS

VACANT

AREA OF PROPERTY

2.49 ACRES (108,316 SF)

WETLANDS:

NO WETLANDS WERE DELINEATED AT THE TIME OF SURVEY

ZONING

C-1: COMMUNITY AND HIGHWAY SERVICE COMMERCIAL DISTRICT

BULK REGULATIONS

- MINIMUM FRONT YARD - 30 FEET
 - MINIMUM REAR YARD - 30 FEET
 - MINIMUM SIDE YARD - NO MINIMUM EXCEPT WHEN ADJACENT TO ANY R DISTRICT, THE MINIMUM SIDE YARD SHALL BE 30 FEET
 - MAXIMUM HEIGHT - NO MAXIMUM EXCEPT WHEN ADJACENT TO AN R-1, R-2, OR R-4 DISTRICT, THE MAXIMUM SHALL BE 2 STORIES OR 40 FEET
- 1 STORY OR 14 FEET FOR ACCESSORY BUILDING

PROPERTY DESCRIPTION

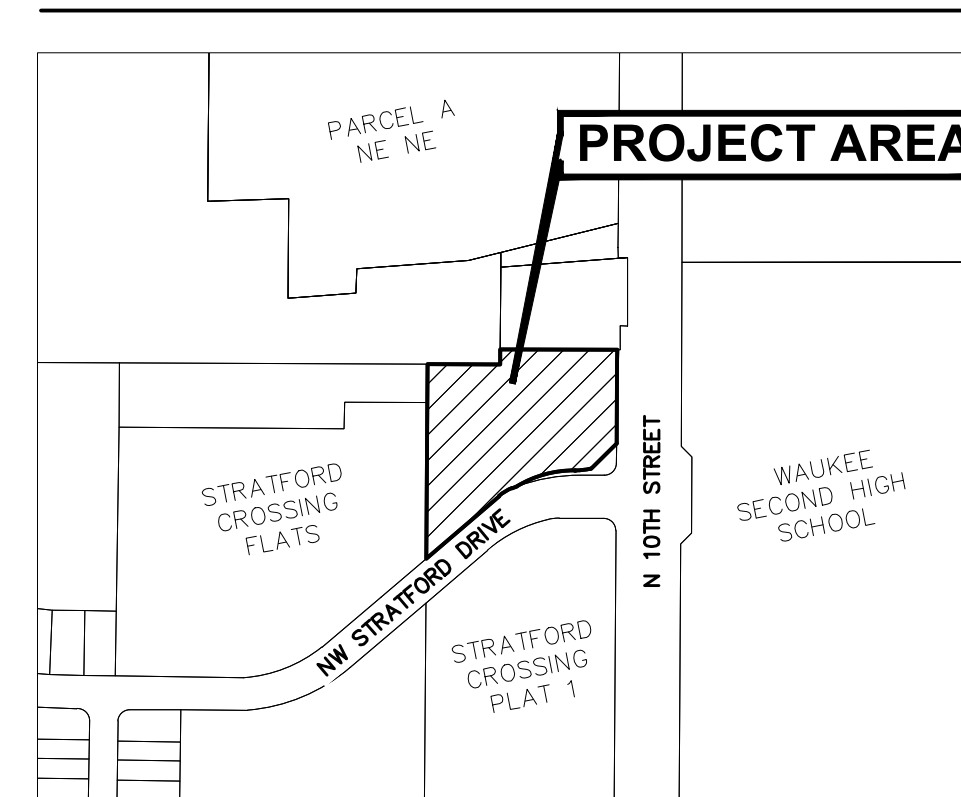
PARCEL 21-148 OF OUTLOT 'Y', STRATFORD CROSSING PLAT 1 & OF TRACT B OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$) OF THE NORTHEAST QUARTER (NE $\frac{1}{4}$) OF SECTION 29, TOWNSHIP 79 NORTH, RANGE 26 WEST OF THE 5TH P.M., AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 2003 AT PAGE 58, CITY OF WAUKEE, DALLAS COUNTY, IOWA.

SCHEDULE B - SECTION II

THE TITLE OPINION PREPARED BY WHITFIELD & EDDY LAW, WITH A TITLE OPINION NUMBER OF 27770 AND AN EFFECTIVE DATE OF FEBRUARY 1, 2022 WAS USED TO PREPARE THIS SURVEY.

- PLAT RECORDED AT BOOK 2022, PAGE 2324 IN THE OFFICE OF THE DALLAS COUNTY RECORDER IS THE PLAT OF SURVEY FOR PARCEL 21-148 WHICH REFLECTS THE VARIOUS EASEMENTS TO WHICH THE PROPERTY IS SUBJECT. SUBJECT PROPERTY IS THE PROPERTY DESCRIBED IN SAID PLAT AND EASEMENTS SHOWN ON SAID PLAT OF SURVEY ARE AS SHOWN ON THIS SURVEY.
- PLAT REPORTED AT BOOK 2019, PAGE 12296 IS THE FINAL PLAT OF STRATFORD CROSSING, LLC. PART OF THE SUBJECT PROPERTY IS OUTLOT 'Y' OF SAID FINAL PLAT AND INCLUDES EASEMENTS AS SHOWN ON SURVEY.
- ANNEXATION. PROPERTY HAS BEEN ANNEXED INTO THE CITY OF WAUKEE, IOWA.
- PUBLIC UTILITIES AND USE EASEMENT. REPORTED AT BOOK 2020, PAGE 12301 IS A PUBLIC UTILITIES AND USE EASEMENT. -SAID EASEMENT LOCATED ON SUBJECT PROPERTY AS SHOWN ON SURVEY.
- STORM SEWER EASEMENT REPORTED AT BOOK 2019, PAGE 12302 IS A STORM SEWER EASEMENT. -SAID EASEMENT LOCATED ON SUBJECT PROPERTY AS SHOWN ON SURVEY.
- PUBLIC UTILITY EASEMENT. REPORTED AT BOOK 2019, PAGE 12300 IS A 10-FOOT WIDE PUBLIC UTILITY EASEMENT. -SAID EASEMENT LOCATED ON SUBJECT PROPERTY AS SHOWN ON SURVEY.
- PUBLIC UTILITY EASEMENT. REPORTED AT BOOK 2020, PAGE 12304 IS 20-FOOT WIDE PUBLIC UTILITY EASEMENT. -SAID EASEMENT LOCATED ON SUBJECT PROPERTY AS SHOWN ON SURVEY.
- TELEPHONE EASEMENT. REPORTED AT BOOK 500, PAGE 118 (AND BOOK 505, PAGE 279 PER PLAT OF SURVEY IS A TELEPHONE EASEMENT BUT IT IS NOT REPORTED IN THE ABSTRACT). -SAID EASEMENT LOCATED ON SUBJECT PROPERTY AS SHOWN ON SURVEY.
- PRIVATE LANDSCAPE BUFFER EASEMENT. REPORTED AT BOOK 2019, PAGE 12306 IS A PRIVATE LANDSCAPE BUFFER EASEMENT. -SAID EASEMENT IS LOCATED ON THE SUBJECT PROPERTY AS DESCRIBED IN SAID EASEMENT DOCUMENT AND IS SHOWN ON THE FINAL PLAT STRATFORD CROSSING PLAT 1. EASEMENT IS LOCATED ON SUBJECT PROPERTY AS SHOWN ON SURVEY.
- DECLARATION OF COVENANT FOR MONUMENT SIGNS. REPORTED AT BOOK 2019, PAGE 12307 IS A DECLARATION OF COVENANT FOR MONUMENT SIGNS. SAID DECLARATION DESCRIBES A SIGN EASEMENT AS SHOWN ON SURVEY.

VICINITY MAP



CERTIFICATION:

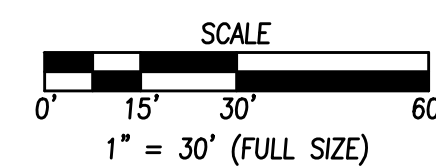
TO CASEY'S SERVICE COMPANY:
THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1, 2, 3, 4, 5, 6(A), 6(B), 7(A), 7(B1), 7(C), 8, 9, 10, 11, 13, 14, 16, 17, 18, AND 19 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON 2-11-2022.

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

MICHAEL A. BROONER, P.L.S. DATE _____
LICENSE NUMBER 15980
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024
PAGES OR SHEETS COVERED BY THIS SEAL:
THIS SHEET

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM MAPS AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.



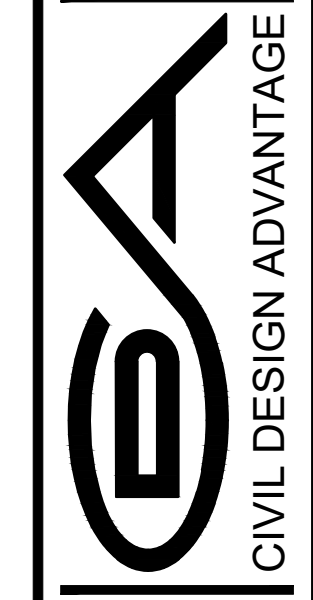
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 FILE DATE: 02/11/2023 8:36 AM
 PLOTTED BY: GAE/MSD

DATE: 02/11/2023
 REVISIONS: 08/29/2023 SECOND SUBMITTAL, 09/09/2023 FIRST SUBMITTAL
 4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400
 ENGINEER: EKO
 ENGINEER: GH, TECH: RL
 CIVIL DESIGN ADVANTAGE
 WAUKEE, IOWA
AMENDED CASEY'S - STORE #4269
ALTA/NSPS LAND TITLE SURVEY
 600 NW 10TH STREET
 SHEET NUMBER: **C-003**
 2202.055

NOTES
REFER TO SHEET C-002 FOR NOTES.

DATE	REVISIONS
09/11/2023	THIRD SUBMITTAL
08/29/2023	SECOND SUBMITTAL
08/09/2023	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400



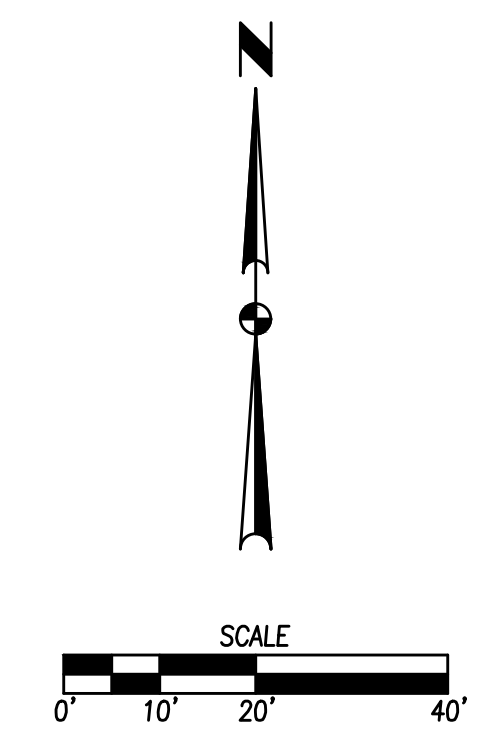
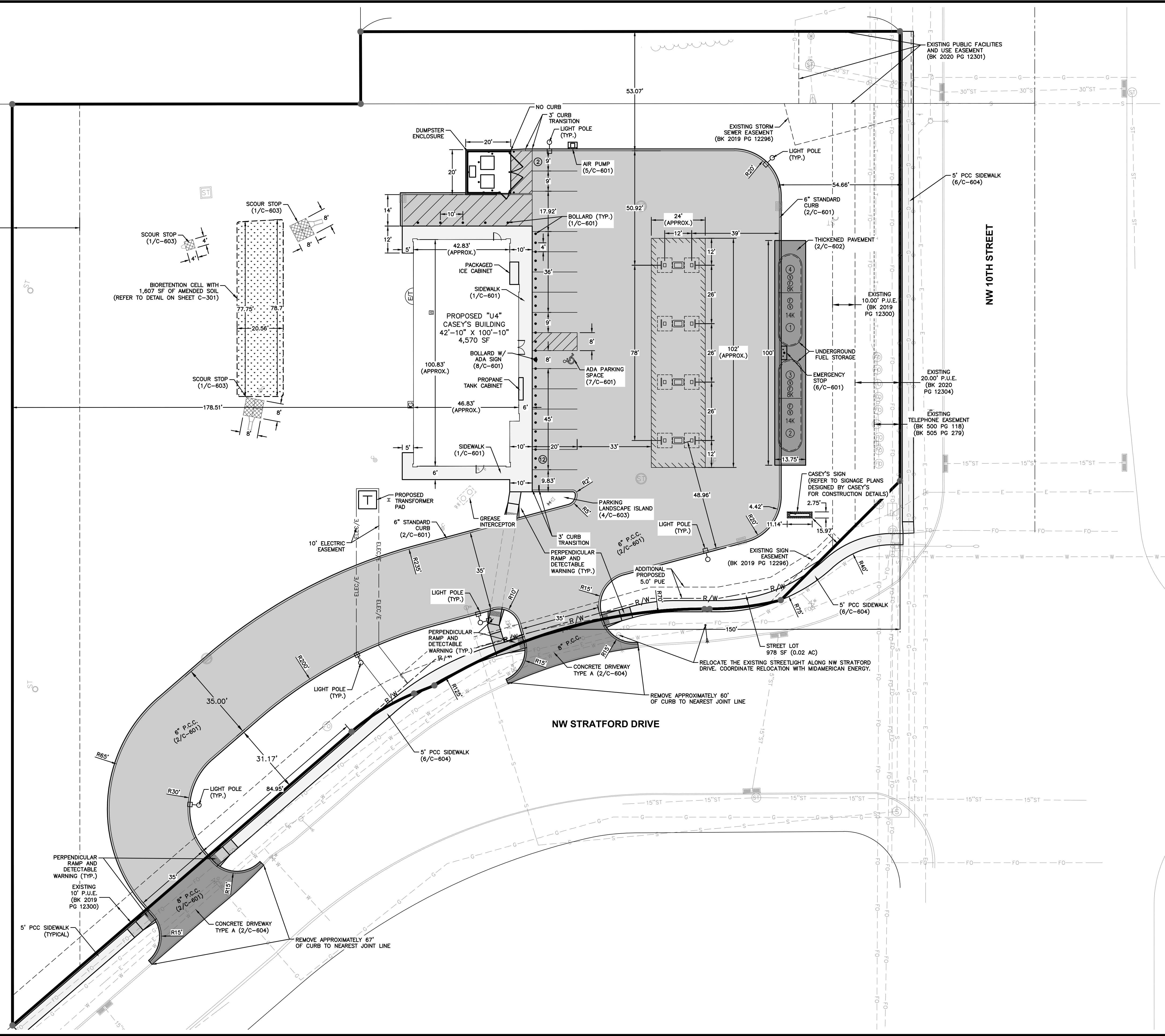
WAUKEE, IOWA

AMENDED CASEY'S - STORE #4269
DIMENSION PLAN

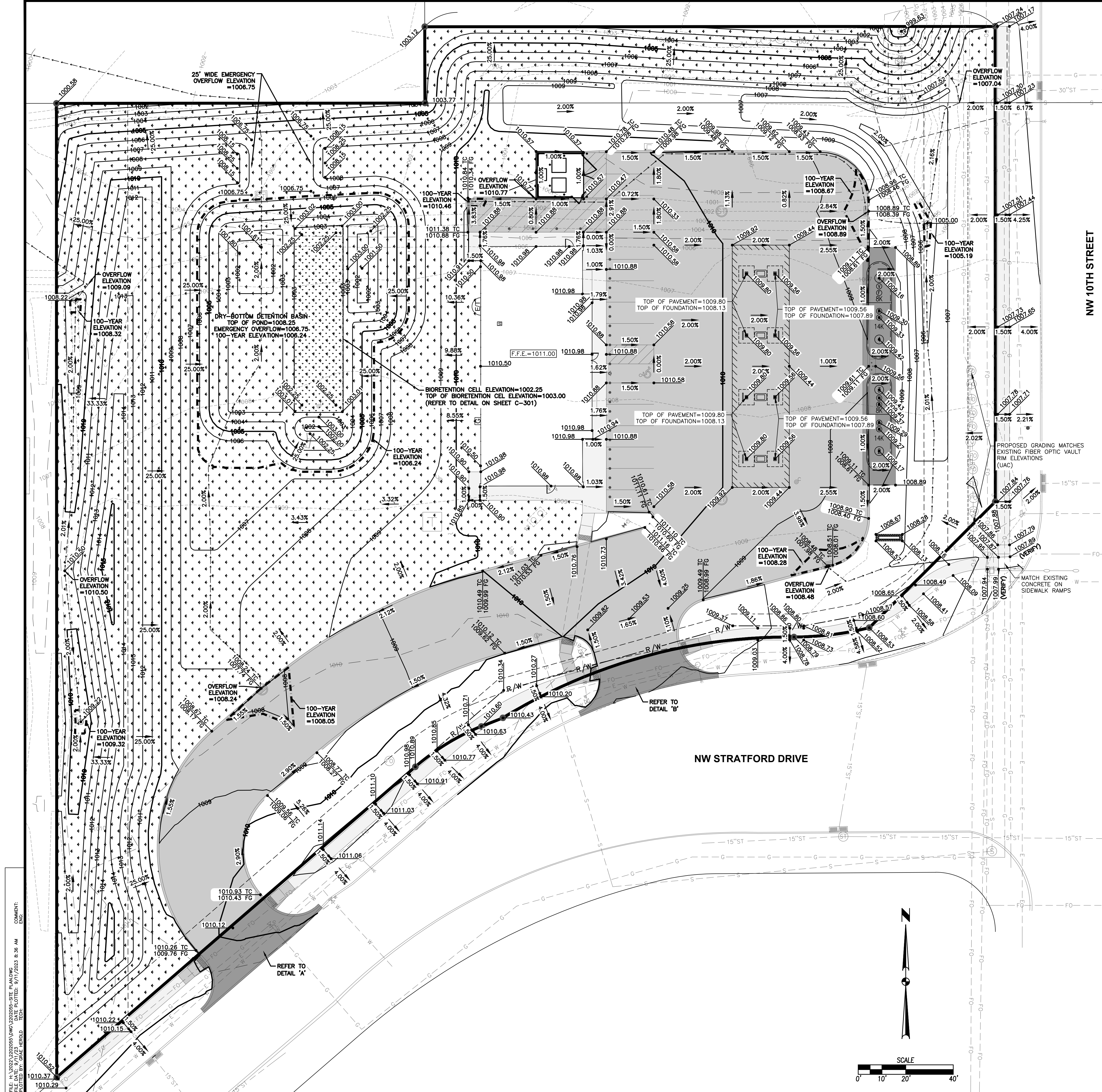
SHEET NUMBER:
C-101
2202.055

600 NW 10TH STREET

ENGINEER: EKO
ENGINEER: GH, TECH: RL



COMMENTS:
ENC.
FILE DATE: 8/11/23
DATE PLOTTED: 8/11/2023 8:36 AM
PLOTTED BY: GRAE HEROLD, TECH.

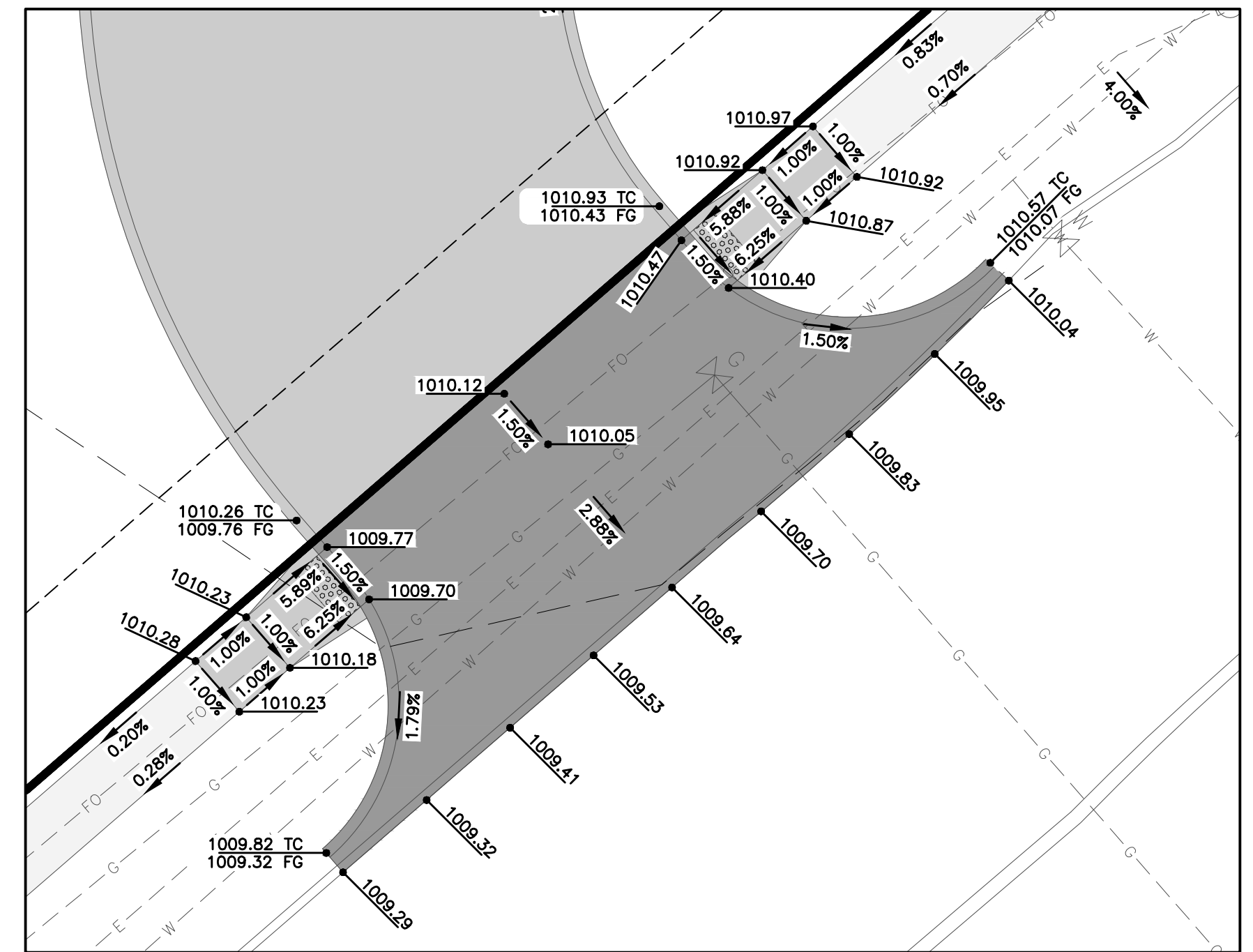


NOTES

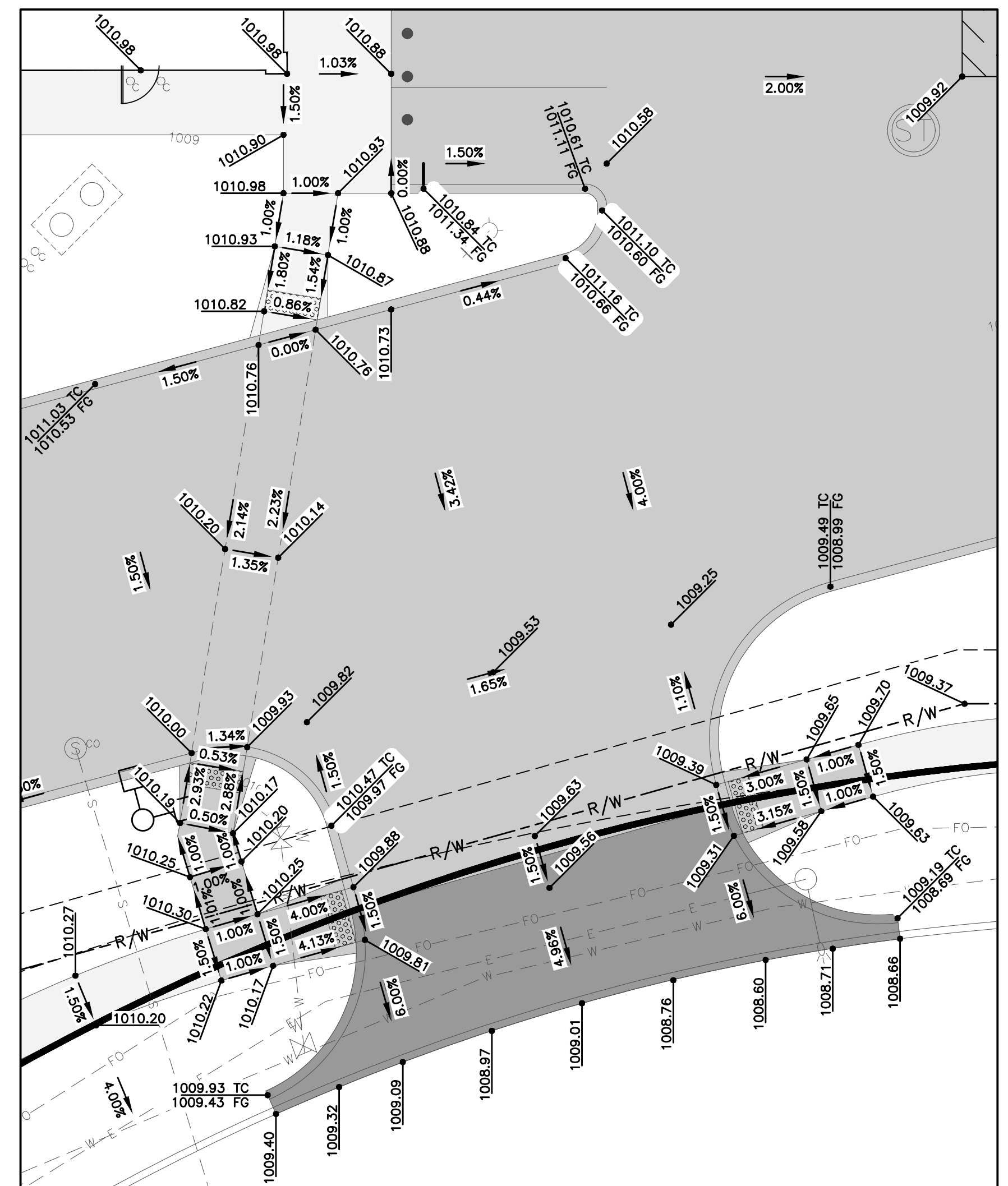
1. REFER TO SHEET C-002 FOR NOTES.
2. SOIL QUALITY RESTORATION WILL OCCUR ON ALL OPEN SPACE AREA AND IS TO BE OVERLAID WITH A MINIMUM OF 8" OF TOPSOIL WITH A MINIMUM OF 2% ORGANIC MATTER CONTENT PRIOR TO SOD PLACEMENT TO ENSURE WATER QUALITY VOLUME IS MET. CONTRACTOR SHALL WORK WITH THE GEOTECHNICAL COMPANY ONSITE TO TEST THE TOPSOIL PRIOR TO PLACEMENT TO ENSURE ORGANIC CONTENT REQUIREMENTS ARE BEING MET. PROVIDE TEST REPORTS TO CITY OF WAUKEE STORMWATER DEPARTMENT.

STORM WATER OVERFLOW ROUTE → → → →

SOIL QUALITY RESTORATION



DETAIL 'A'



DETAIL 'B'

COMMENTS:
 DATE: 07/23/2023 8:36 AM
 PLOTTED BY: GRAVEHEAD, ETC.

DATE	REVISIONS
09/11/2023	THIRD SUBMITTAL
08/29/2023	SECOND SUBMITTAL
08/09/2023	FIRST SUBMITTAL

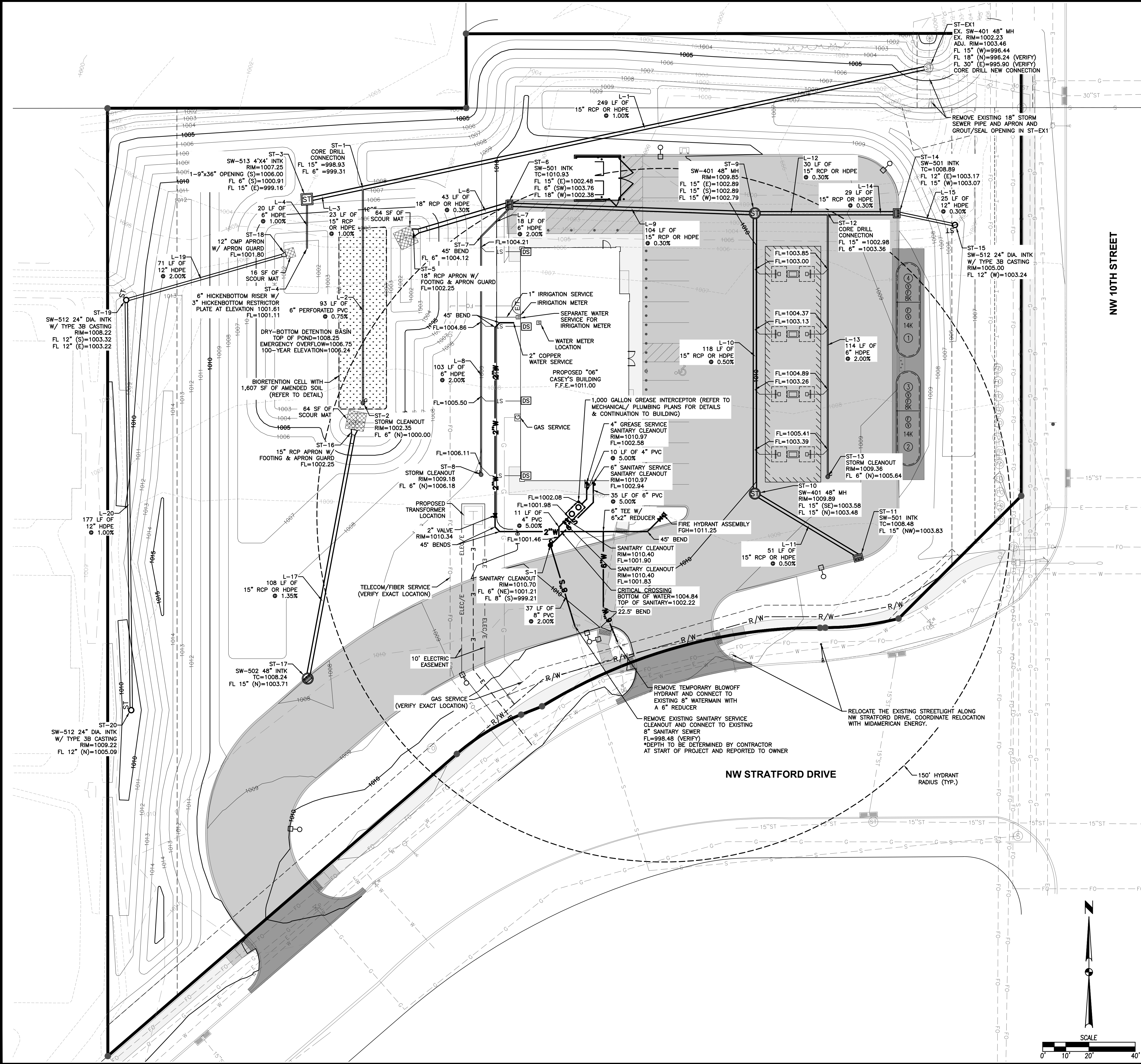
4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400



ENGINEER: EKO
 ENGINEER: GH, TECH: RL

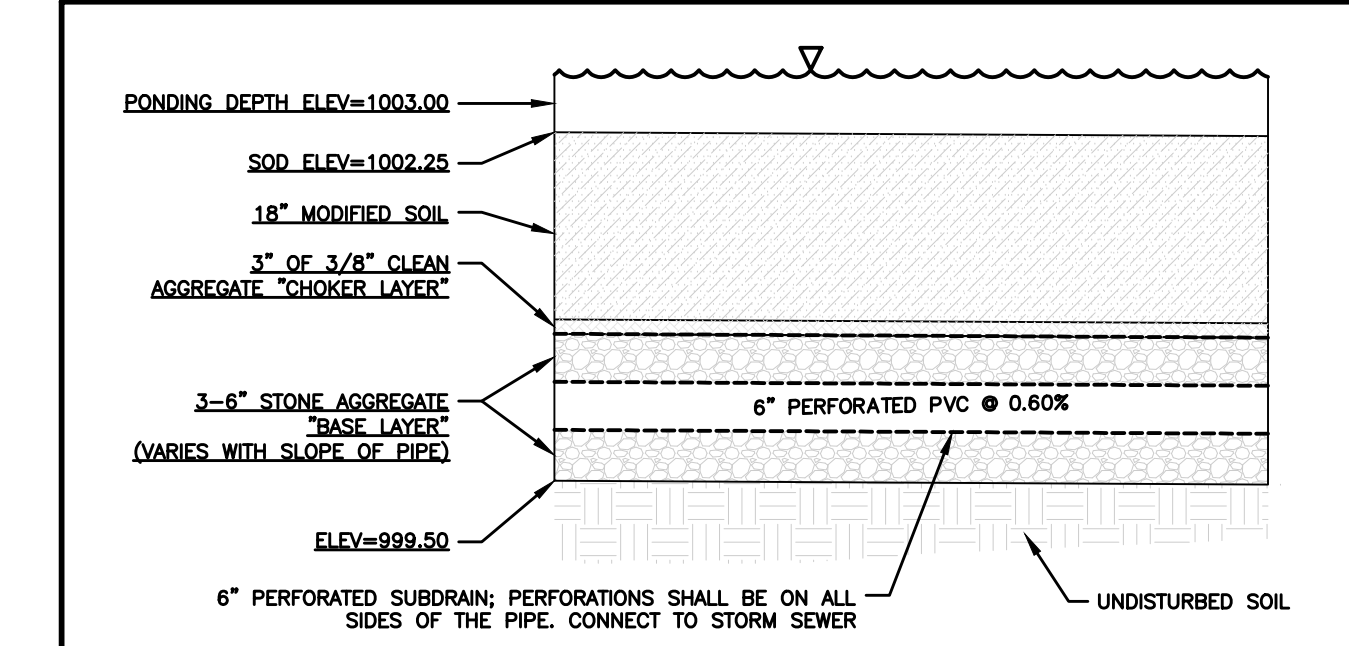
AMENDED CASEY'S - STORE #4269
GRADING PLAN

600 NW 10TH STREET
 SHEET NUMBER:
C-201
 2202.055



NOTES

REFER TO SHEET C-002 FOR NOTES.



- BIO-RETENTION CONSTRUCTION NOTES**
- CONTRACTOR SHALL INSTALL AND FINAL GRADE BIO-RETENTION AREA AFTER ALL DISTURBED AREAS ARE ESTABLISHED TO MINIMIZE THE AMOUNT OF SEDIMENT REACHING THE FILTER BED.
 - SOD ALL AREAS WITHIN THE BIO-RETENTION AREA.
 - CLEAN OUT ANY SEDIMENT OR ORGANIC MATTER THAT ENTERS INTO THE BIO-RETENTION AREA THROUGHOUT THE LIFE OF THE BASIN TO ENSURE WATER CAN INFILTRATE THROUGH THE FILTER BED. IF WATER IS STANDING FOR MORE THAN 48 HOURS, MAINTENANCE WILL NEED TO BE COMPLETED.
 - MAINTENANCE REQUIRED:
 ROUTINE LANDSCAPE MAINTENANCE - REMOVAL OF UNDESIRABLE AND DEAD VEGETATION.
 REPLISH MULCH LAYER.
 REMOVAL OF ACCUMULATED SEDIMENT IN PRETREATMENT AREAS.
 - ENSURE THAT THE BOTTOM OF THE BIO-RETENTION CELL IS FLAT TO ALLOW PROPER DISTRIBUTION OF THE WATER REQUIRING FILTRATION. REGRADE ANY AREAS THAT SETTLE OR BUILD UP SEDIMENT.
- POND 1 - BIORETENTION CELL SECTION VIEW**
 NOT TO SCALE

NOTE: REFER TO IOWA STORMWATER MANAGEMENT MANUAL, SECTION 2E-4 FOR FURTHER DETAILS.

DATE	09/11/2023
THIRD SUBMITTAL	09/29/2023
SECOND SUBMITTAL	09/29/2023
FIRST SUBMITTAL	09/09/2023

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400

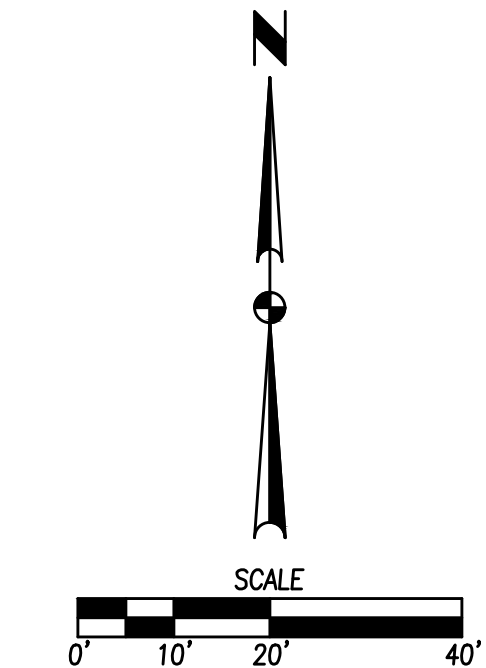
AMENDED CASEY'S - STORE #4269
 UTILITY PLAN

600 NW 10TH STREET

ENGINEER: EKO
 ENGINEER: GH, TECH: RL

WAUKEE, IOWA

SHEET NUMBER:
C-301
 2202.055

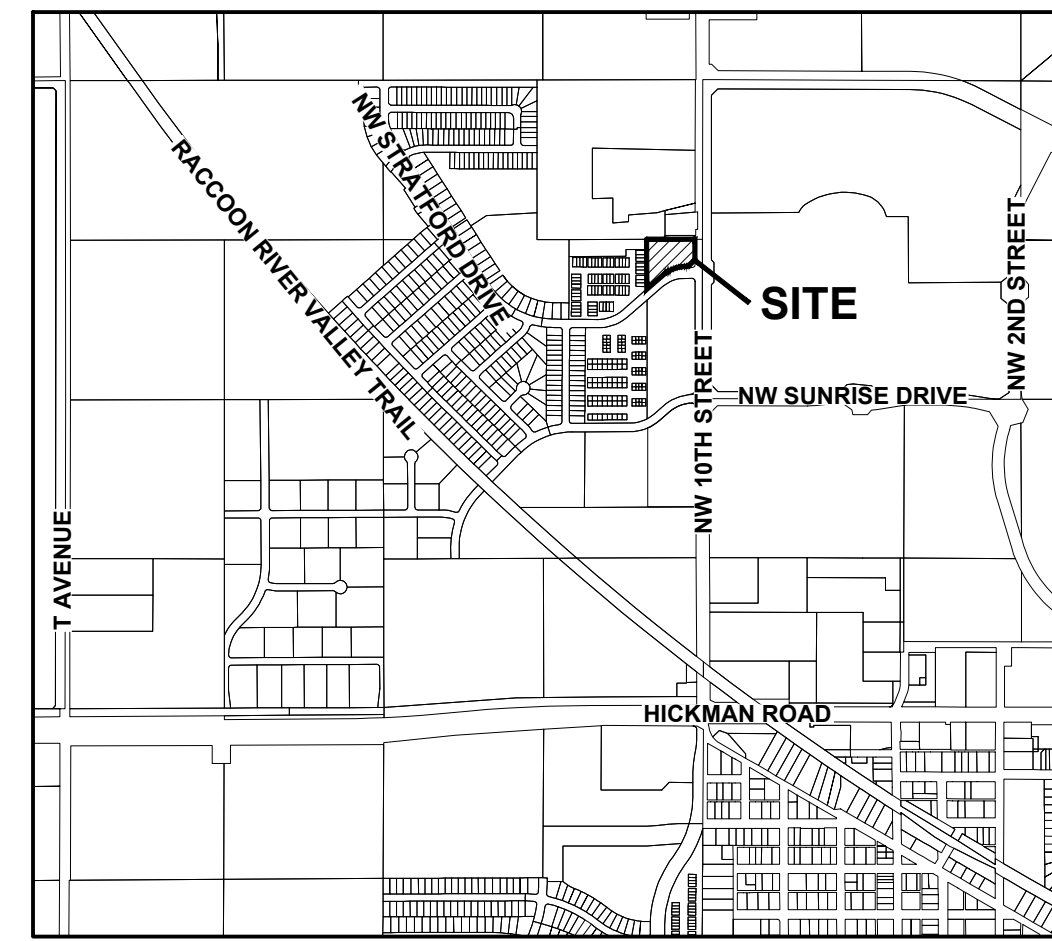


AMENDED CASEY'S - STORE #4269

EROSION AND SEDIMENT CONTROL PLAN

VICINITY MAP

NOT TO SCALE



WAUKEE, IOWA

STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	1,848
2	SOD	SF	84,942
3	INLET PROTECTION DEVICES	EA	4
4	CONCRETE WASHOUT PIT	EA	1
5	SUDAS TYPE 4 TEMPORARY SEED MIX	AC	1.95
6	TOPSOIL, RESPREAD (SOIL QUALITY RESTORATION)	AC	1.29

DISCHARGE POINT SUMMARY

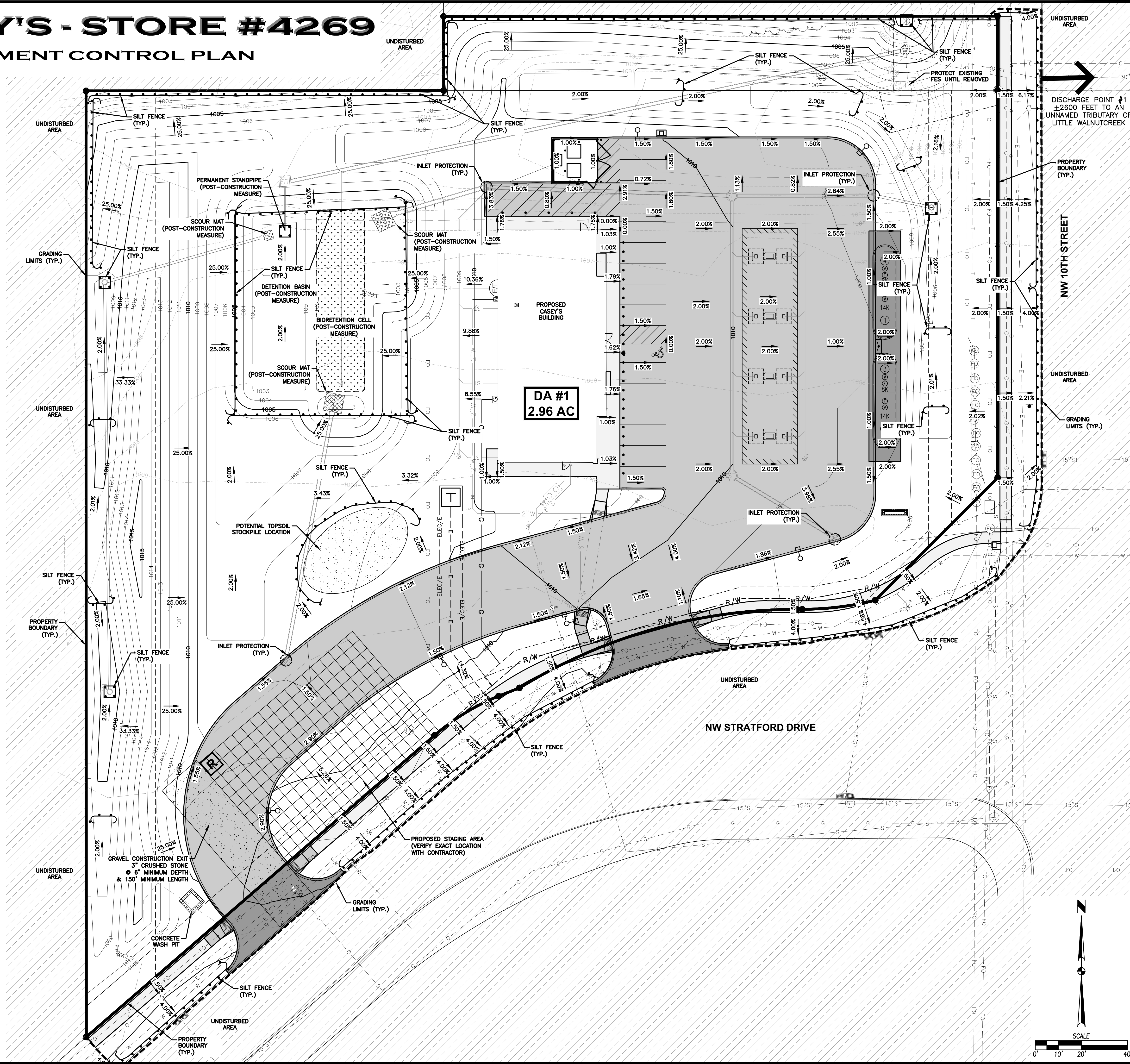
DISCHARGE POINT #1 TO AN UNNAMED TRIBUTARY OF LITTLE WALNUT CREEK ±2600 FT
 TOTAL AREA DISTURBED TO DISCHARGE POINT 2.96 ACRES
 STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT) 10,656 CU FT
 VOLUME PROVIDED IN SILT FENCE (1,848 LF @ 9 CU FT/LF OF FENCE) 16,632 CU FT
 TOTAL VOLUME PROVIDED 16,632 CU FT

NOTES:

- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.
- SOIL QUALITY RESTORATION WILL OCCUR ON ALL OPEN SPACE AREA AND IS TO BE OVERLAID WITH A MINIMUM OF 8" OF TOPSOIL WITH A MINIMUM OF 2% ORGANIC MATTER CONTENT PRIOR TO SOD PLACEMENT TO ENSURE WATER QUALITY VOLUME IS MET. CONTRACTOR SHALL WORK WITH THE GEOTECHNICAL COMPANY ONSITE TO TEST THE TOPSOIL PRIOR TO PLACEMENT TO ENSURE ORGANIC CONTENT REQUIREMENTS ARE BEING MET. PROVIDE TEST REPORTS TO CITY OF WAUKEE STORMWATER DEPARTMENT

SWPPP LEGEND

DRAINAGE ARROW		X.XX %
GRADING LIMITS		
FILTER SOCK		
SILT FENCE		
DITCH CHECK		
INLET PROTECTION		
PORTABLE RESTROOM		R
CONCRETE WASHOUT PIT		
UNDISTURBED AREA		
GRAVEL ENTRANCE		
STAGING AREA		



DATE	09/11/2023
THIRD SUBMITTAL	08/29/2023
SECOND SUBMITTAL	08/29/2023
FIRST SUBMITTAL	08/29/2023

REVISIONS

4121 NW URBANDALE DRIVE
 URUBANDALE, IA 50322
 PHONE: (515) 369-4400

ENGINEER: GH, TECH: RL

ENGINEER: EKO

CIVIL DESIGN ADVANTAGE

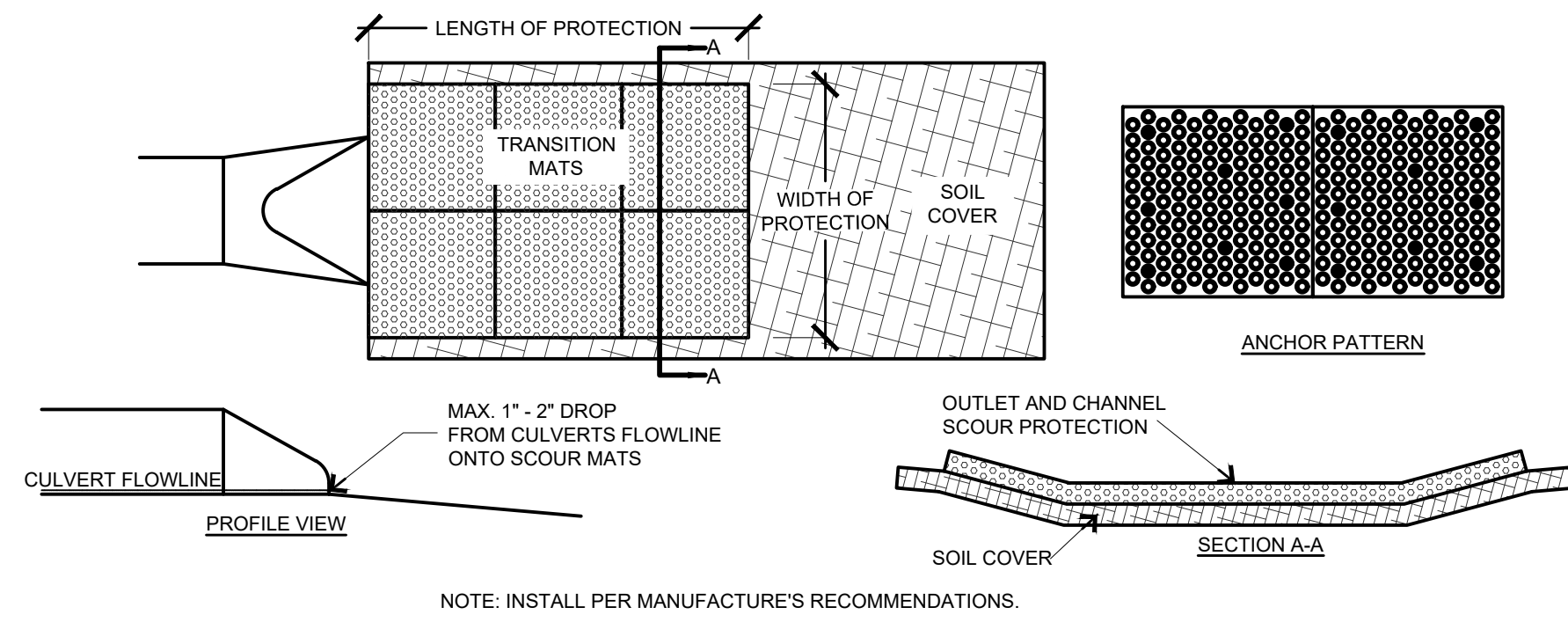
WAUKEE, IOWA

AMENDED CASEY'S - STORE #4269

EROSION AND SEDIMENT CONTROL PLAN

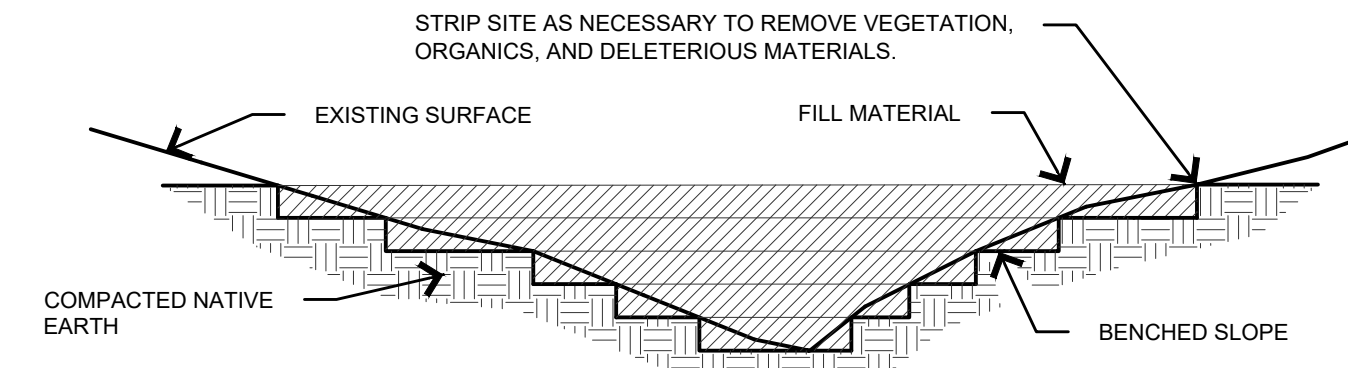
600 NW 10TH STREET

SHEET NUMBER: C-401
 2202.055



1 SCOUR STOP EROSION CONTROL

Not to Scale

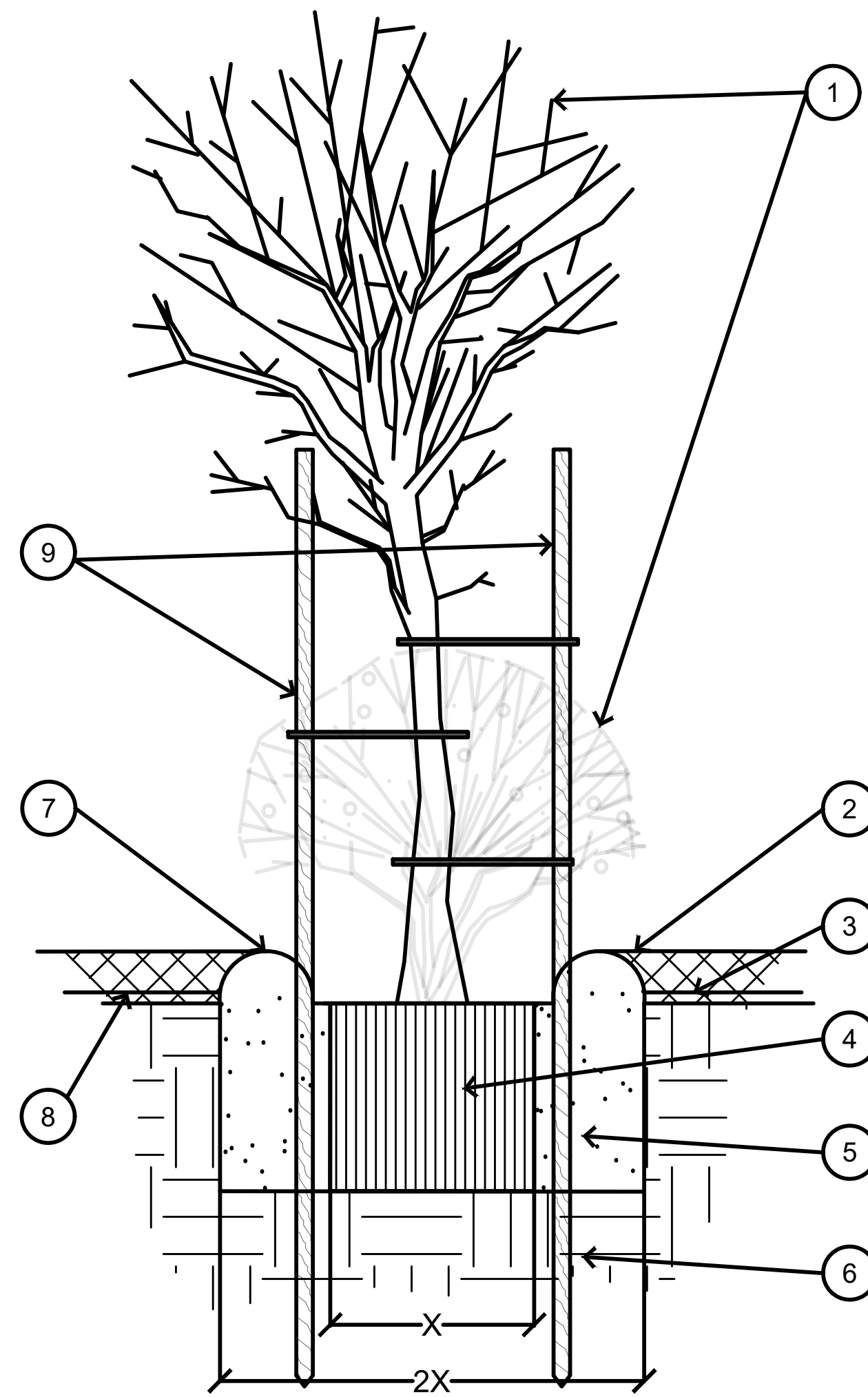


NOTES:

1. BENCH SLOPES TO MAINTAIN VERTICAL SIDE SLOPES AT FILL LIMITS +/- 3" VERTICAL TO +/- 8" HORIZONTAL.
2. COMPACTION SHALL BE IN 8" LIFTS TO 95% STANDARD PROCTOR OR OTHERWISE SPECIFIED IN GEOTECHNICAL REPORT.
3. SCARIFY ORIGINAL GROUND AND BLEND WITH FIRST LIFT ON EACH BENCH.
4. ALL FILL MATERIALS, INCLUDING FILL GENERATED ON-SITE, SHALL BE OF SUITABLE MATERIAL. UNSUITABLE FILL MATERIAL INCLUDES, BUT IS NOT LIMITED TO, SOIL THAT CONTAINS LARGE ROCKS, TREE AND PLANT ROOTS, CONCRETE, TRASH, ETC.

2 TYPICAL FILL SECTION

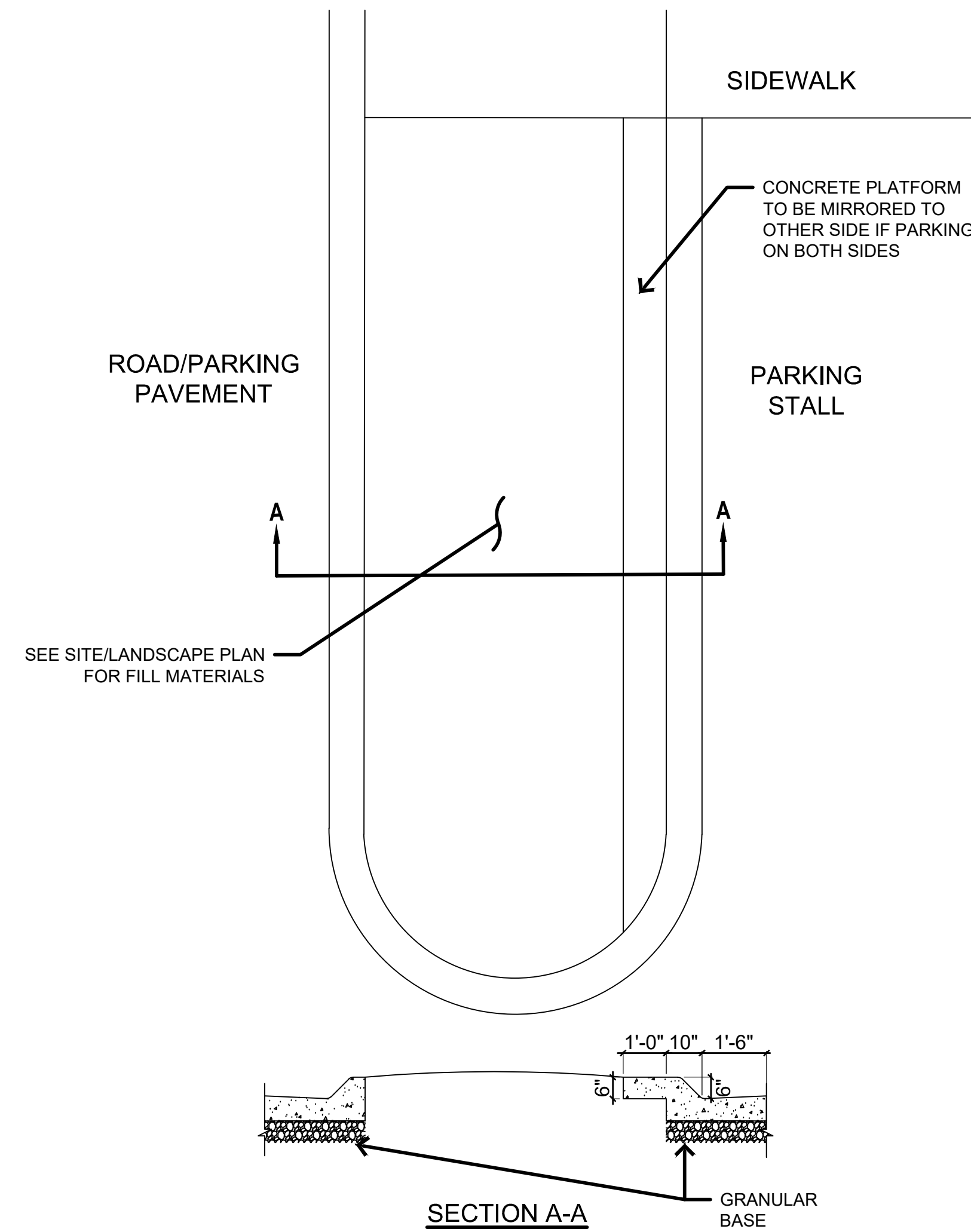
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- 1 TREE/SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
- 2 GROUNDCOVER: 3" DEPTH OF 3/4" WASHED STONE OR WASHED BRICK CHIPS AS INDICATED IN LANDSCAPING PLAN.
- 3 FINISH GRADE.
- 4 ROOT BALL.
- 5 BACKFILL. AMEND AND FERTILIZE AS RECOMMENDED BY LOCAL SUPPLIER
- 6 UNDISTURBED NATIVE SOIL.
- 7 3" HIGH EARTHEN WATERING BASIN.
- 8 HEAVY WEED FABRIC UNDER GROUNDCOVER.
- 9 FOR TREES, 2 STAKES/GUIDEPOSTS MIN; 3 REQ ON SLOPES WITH TIES

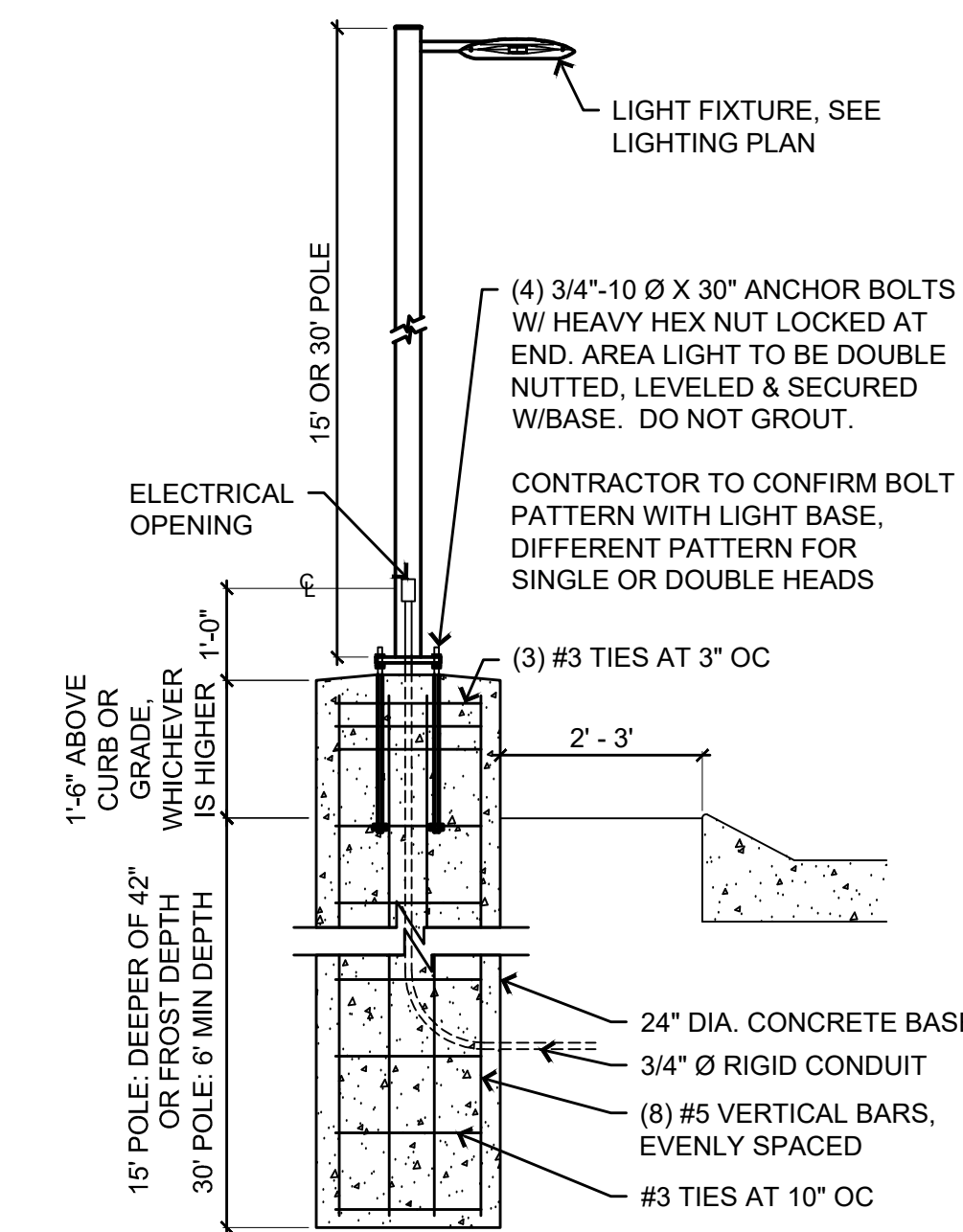
3 PLANT/TREE INSTALLATION

Not to Scale



4 PARKING LANDSCAPE ISLAND DETAIL

3/8" = 1'-0"



5 AREA LIGHTING

1/2" = 1'-0"

FILE IN: C:\WORK\2023\AMENDED CASEY'S STORE #4269
 FILE DATE: 8/22/23
 PLOTTED BY: GME/EROLD

COMMENT:
 ENG.

DATE	REVISIONS
09/11/2023	THIRD SUBMITTAL
08/29/2023	SECOND SUBMITTAL
09/09/2023	FIRST SUBMITTAL

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WAUKEE, IOWA

AMENDED CASEY'S - STORE #4269

DETAILS

SHEET NUMBER:
C-603
 2202.055

600 NW 10TH STREET

