

MTG SPORTS COMPLEX SITE PLAN

SHEET INDEX:

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- C1.1 EX CONDITIONS & DEMO PLAN
- C2.1 LAYOUT PLAN
- C3.1 GRADING PLAN
- C4.1 UTILITY PLAN
- C5.1 LANDSCAPE PLAN
- C6.1-C6.2 DETAILS SHEET
- C7.1 SWPPP

PROPERTY DESCRIPTION:
LOT 12 IN JAMES POINTE PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WAUKEE, DALLAS COUNTY, IOWA

ADDRESS:
1650 NW VICKSBURG COURT
WAUKEE, IOWA 50263

OWNER:
TLM, LLC
ATTN: TRAVIS MOUTLTON
PH: (515) 494-1066
EMAIL: TRAVIS@PRECISIONDSM.COM
14322 SHERIDAN AVE
URBANDALE, IOWA, 50323

PREPARED FOR:
REIMAX PRECISION
2202 WOODLANDS PARKWAY
CLIVE, IOWA 50325
ATTN: TRAVIS MOUTLTON
PH: (515) 494-1066
EMAIL: TRAVIS@PRECISIONDSM.COM

PROPOSED USE:
FACILITY WILL BE USED FOR SPORTS PRACTICE AS WELL AS STORAGE. FACILITY WILL NOT BE USED FOR SPORTING EVENTS. 3,200 SF OF GFA WILL BE DEDICATED STORAGE FOR OWNER'S VEHICLE AND FACILITY EQUIPMENT.

ZONING:
M-1 (LIGHT INDUSTRIAL DISTRICT)
BULK REGULATIONS:
FRONT: 30 FEET
SIDE: NONE, 40 FEET ALONG R OR C-1 DISTRICTS
REAR: 30 FEET
MAX. BLDG. HEIGHT: 40 FEET

PROPOSED BUILDING HEIGHT: 22.5 FEET

PARKING REQUIREMENTS:
FITNESS CENTER / HEALTH CLUB REQUIREMENT:
4 SPACES PER 1,000 SF GROSS FLOOR AREA
STALLS REQUIRED: 80 (20,000 SF FLOOR AREA)
SELF STORAGE / MINI WAREHOUSE REQUIREMENT:
1 SPACE PER 20,000 SF GROSS FLOOR AREA
STALLS REQUIRED: 1 (3,200 SF FLOOR AREA)

TOTAL STALLS REQUIRED: 81
TOTAL STALLS PROPOSED: 83 (INCL. 4 ADA)

OPEN SPACE REQUIREMENTS:
LOT AREA: 107,837 - 2.47 ACRES
OPEN SPACE REQUIRED: 16,175 SF (15% OF LOT AREA)
OPEN SPACE PROVIDED: 45,287 SF (42.00% OF LOT AREA)

IMPERVIOUS SURFACE:
EXISTING PERVIOUS SURFACE = 107,837 SF
EXISTING IMPERVIOUS SURFACE = 0 SF
PROPOSED IMPERVIOUS SURFACE = 62,550 SF (58.00%)
PROPOSED PERVIOUS SURFACE = 45,287 SF (42.00%)

BENCHMARK:
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
DATUM = NAD 83, IOWA SOUTH
BENCHMARK DATUM = NAVD80, GEOD 18

UTILITY MAPS PROVIDED BY:
1. ELECTRIC (MID AMERICAN / 515-252-6972)
2. STORM AND SANITARY (CITY OF WAUKEE / 515-978-7920)
3. GAS (CITY OF WAUKEE / 515-978-7920)
4. WATER (CITY OF WAUKEE / 515-978-7920)



UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH 2023 WAUKEE STANDARD SPECIFICATIONS, 2023 SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF WAUKEE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF WAUKEE.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES. IF PAVING IS NOT INSTALLED PRIOR TO BUILDING CONSTRUCTION COMMENCING AFTER FOOTING INSTALLED, AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING TO EXTEND WITHIN 100 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS SHALL BE PROVIDED AND COMPLY WITH THE REQUIREMENTS OF SECTION 503.2 OF THE IFC.

PAVING NOTES:

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SEEDD IN ACCORDANCE WITH CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
- SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUB BASE PRIOR TO ANY PAVEMENT BEING PLACED.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

UTILITY NOTES:

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING (DAVID BENTZ AT 515-276-0467) TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION PONDS HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.
- MANDREL AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVISION OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
- WATERMANS SHALL BE C-900. SIZE OF WATERMAIN AS SHOWN ON PLANS.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
- PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF WAUKEE.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF WAUKEE WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.

UTILITY CONFLICT NOTES:

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION

WETLAND NOTES:

- BISHOP ENGINEERING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

SURVEY NOTES:

- SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING ON 2-17-2023. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.

FIRE SAFETY CONSTRUCTION:

- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES. IF PAVING IS NOT INSTALLED PRIOR TO BUILDING CONSTRUCTION COMMENCING AFTER FOOTING INSTALLED, AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING TO EXTEND WITHIN 100 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS SHALL BE PROVIDED AND COMPLY WITH THE REQUIREMENTS OF SECTION 503.2 OF THE IFC.

CONSTRUCTION SCHEDULE:

- OCTOBER 2023 - BREAK GROUND
- SPRING 2024 - UTILITY WORK COMPLETE
- SUMMER 2024 - PAVING COMPLETE
- FALL 2024 - FINAL LANDSCAPING



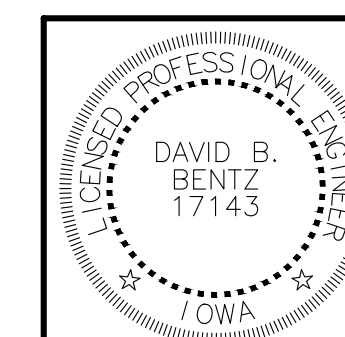
VICINITY MAP
SCALE: 1" = 1,000'

ABBREVIATIONS:

- AC ACRES
- ASPH ASPHALT
- BK BOOK
- CONC CONCRETE
- D DEEDED DISTANCE
- EX EXISTING
- ENCL ENCLOSURE
- FF FINISHED FLOOR
- FL FLOW LINE
- FRAC FRACTIONAL
- M MEASURED DISTANCE
- MH MANHOLE
- OPC ORANGE PLASTIC CAP
- P PLATTED DISTANCE
- PG PAGE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRA PREVIOUSLY RECORDED AS
- PUE PUBLIC UTILITY EASEMENT
- ROW RIGHT OF WAY
- RPC RED PLASTIC CAP
- SF SQUARE FEET
- SAN SANITARY
- TYP TYPICAL
- YPC YELLOW PLASTIC CAP
- N NORTH
- S SOUTH
- E EAST
- W WEST

LEGEND

— SAN —	SANITARY SEWER	⊠	ELECTRIC VAULT	
— ST —	STORM SEWER	⊠	TRANSFORMER POLE	
— W —	WATER LINE	⊠	TRANSFORMER POLE	
— G —	GAS LINE	⊠	LIGHT POLE	
— U/E —	UNDERGROUND ELECTRIC	⊠	ELECTRIC JUNCTION BOX	
— O/E —	OVERHEAD ELECTRIC	⊠	ELECTRIC PANEL	
— TELE —	TELEPHONE LINE	⊠	TRANSFORMER	
— F/O —	FIBER OPTIC	⊠	GROUND LIGHT	
— CATV —	CABLE TV	⊠	GUY WIRE	
⊠	STORM MANHOLE	⊠	ELECTRIC HANDHOLE	
⊠	CURB INTAKE	⊠	GAS METER	
⊠	SURFACE INTAKE	⊠	GAS VALVE	
⊠	FLARED END SECTION	⊠	AIR CONDITIONING UNIT	
⊠	ROOF DRAIN	⊠	TELEPHONE RISER	
⊠	DOWNSPOUT	⊠	TELEPHONE VAULT	
⊠	FRACTIONAL MANHOLE	⊠	TELEPHONE MANHOLE	
⊠	CLEANOUT	⊠	TRAFFIC SIGNAL MANHOLE	
⊠	FIRE HYDRANT	⊠	FIBER OPTIC MANHOLE	
⊠	PAGE	⊠	FIBER OPTIC RISER	
⊠	SPRINKLER	⊠	FIBER OPTIC VAULT	
⊠	IRRIGATION CONTROL VALVE	⊠	CABLE TV RISER	
⊠	WATER MANHOLE	⊠	SIGN	
⊠	WELL	⊠	BOLLARDS	
⊠	WATER VALVE	⊠	⊠	DENOTES NUMBER OF PARKING STALLS
⊠	WATER SHUT OFF	⊠	●	PROPERTY CORNER - FOUND AS NOTED
⊠	YARD HYDRANT	⊠	○	PROPERTY CORNER - PLACED 5/8" IRON ROD WITH YELLOW PLASTIC CAP ID # 14775 OR AS NOTED
⊠	FLAGPOLE	⊠	⊠	SECTION CORNER - FOUND AS NOTED
⊠	ELECTRIC MANHOLE	⊠	▲	SITE CONTROL POINT - MONUMENT AS NOTED
⊠	ELECTRIC METER			
⊠	ELECTRIC RISER			



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: DAVID B. BENTZ, PE. 17143 DATE: _____
 LICENSE RENEWAL DATE: DEC. 31, 2023
 PAGES OR SHEETS COVERED BY THIS SEAL: C0.1 - C7.1

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Established 1959

MTG SPORTS COMPLEX
WAUKEE, IOWA

COVER SHEET

REFERENCE NUMBER:

DRAWN BY:
DRL

CHECKED BY:
DB

REVISION DATE:
03/30/2023 1ST CITY SET
09/18/2023 2ND CITY SET
10/11/2023 3RD CITY SET

PROJECT NUMBER:
230051

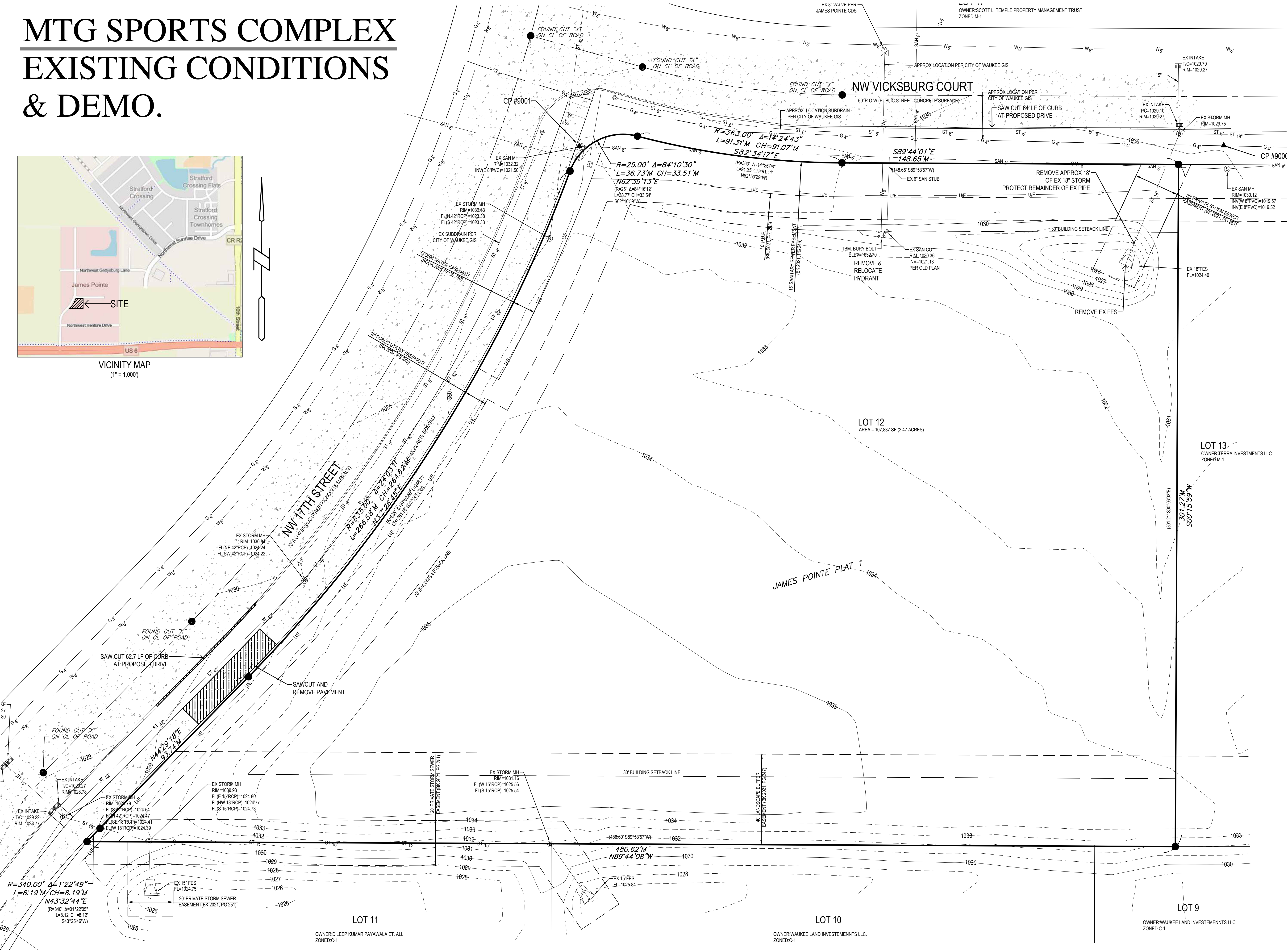
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MTG SPORTS COMPLEX EXISTING CONDITIONS & DEMO.



VICINITY MAP
(1" = 1,000')

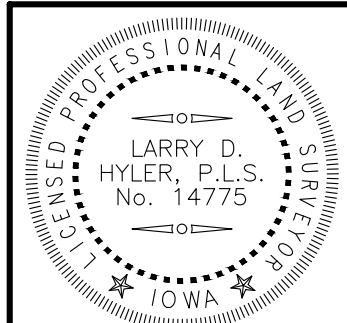
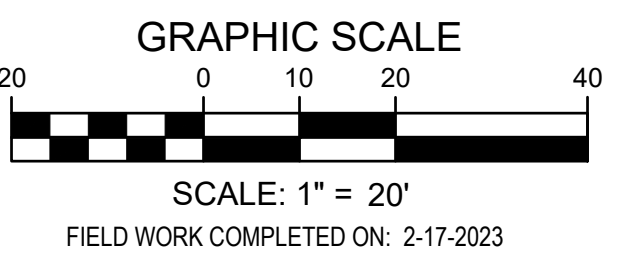
10/26/2023 2:10:47 PM L:\LAND PROJECTS\2023\20051 - MTG SPORTS COMPLEX\DWG\1 - EXISTING CONDITIONS & DEMO.DWG



UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

UTILITY MAPS PROVIDED BY:
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2. STORM AND SANITARY (CITY OF WAUKEE / 515-978-7920)
3. GAS (CITY OF WAUKEE / 515-978-7920)
4. WATER (CITY OF WAUKEE / 515-978-7920)

NOTES:
1. ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM DALLAS COUNTY ASSESSORS WEB PAGE
2. PARENTHESIS () DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES
COPYRIGHT 2023 BISHOP ENGINEERING. THIS DOCUMENT AND THE INFORMATION CONTAINED MAY NOT BE REPRODUCED OR EXCERPTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF BISHOP ENGINEERING. UNAUTHORIZED COPYING OR DISCLOSURE OF CONSTRUCTION USE ARE PROHIBITED BY COPYRIGHT LAW.



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.
SIGNED: LARRY D. HYLER, P.L.S. 14775 DATE: _____
LICENSE RENEWAL DATE: DEC. 31, 2024
PAGES OR SHEETS COVERED BY THIS SEAL: C0.1

MTG SPORTS CENTER
WAUKEE, IOWA

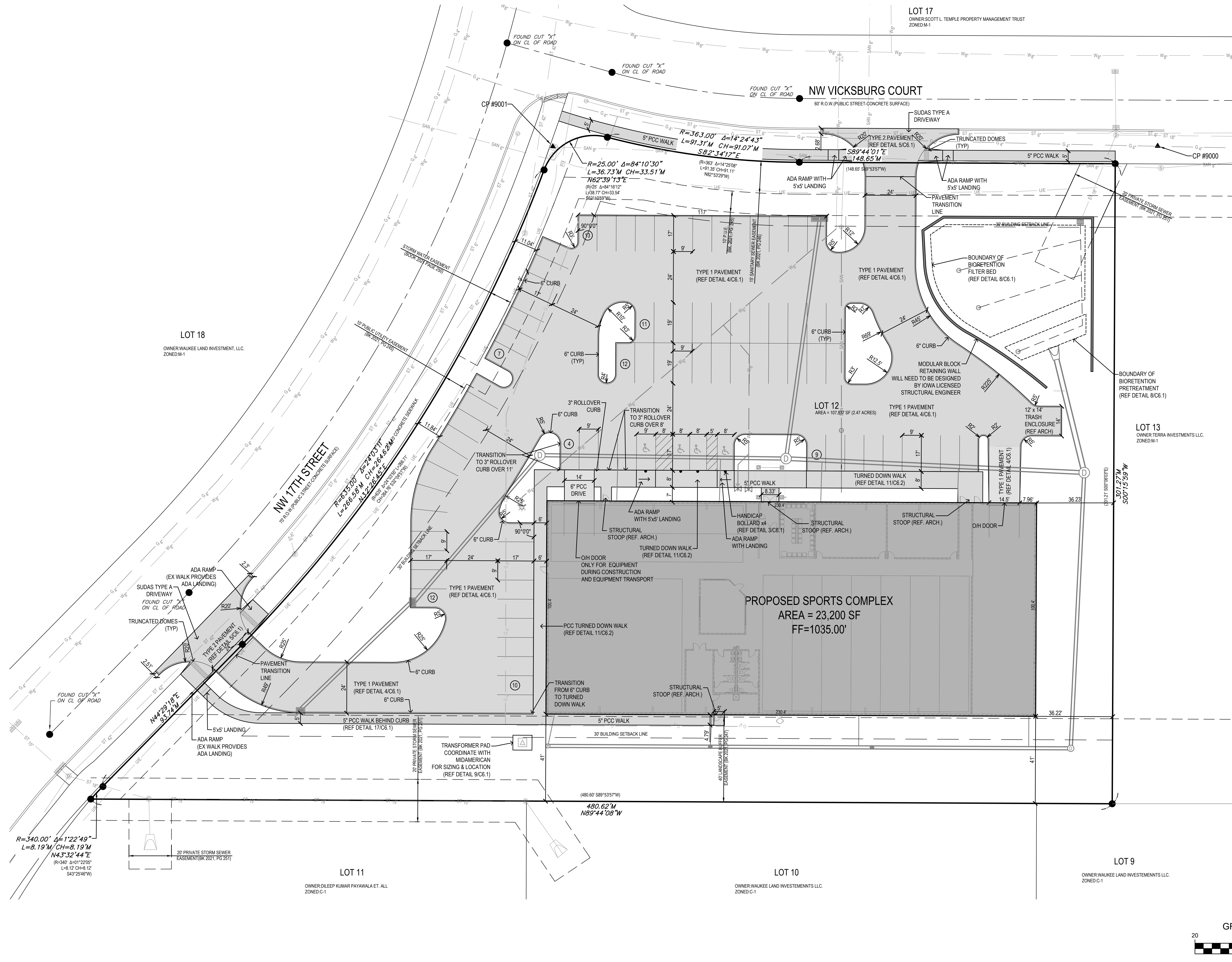
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EXISTING CONDITIONS & DEMO.

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10/26/2023 2:11:01 PM L:\LAND PROJECTS\2023\20051 - MTG SPORTS COMPLEX\DWG\C2 LAYOUT.DWG



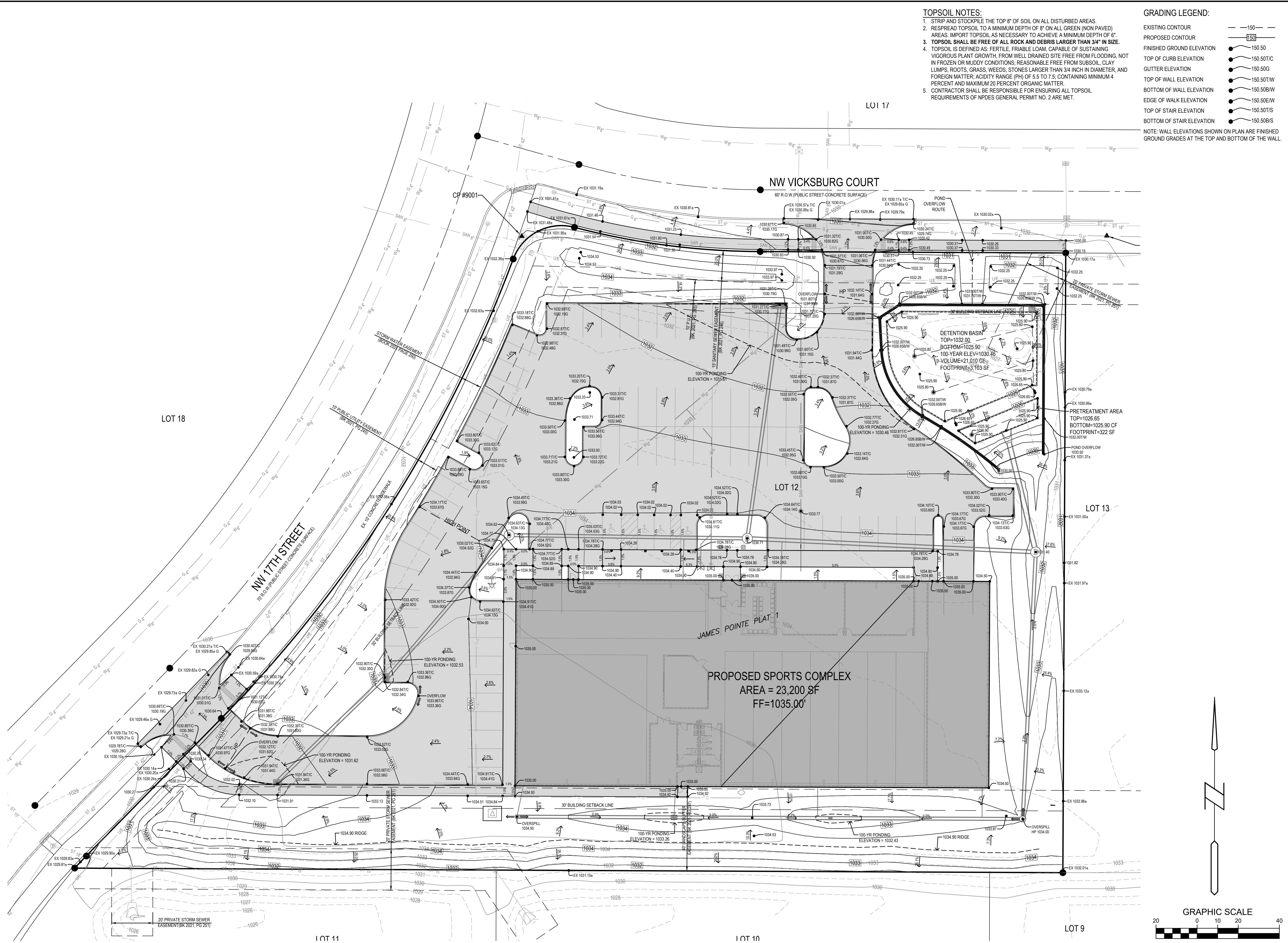
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**MTG SPORTS COMPLEX
 WAUKEE, IOWA
 LAYOUT PLAN**

REFERENCE NUMBER:	
DRAWN BY:	DRL
CHECKED BY:	DB
REVISION DATE:	03/30/2023 1ST CITY SET 09/18/2023 2ND CITY SET 10/11/2023 3RD CITY SET
PROJECT NUMBER:	230051
SHEET NUMBER:	C2.1

PRELIMINARY- NOT FOR CONSTRUCTION

10/26/2023 2:11:12 PM L:\LAND PROJECTS\2023\20051 - MTG SPORTS COMPLEX\DWG\C3 GRADING.DWG



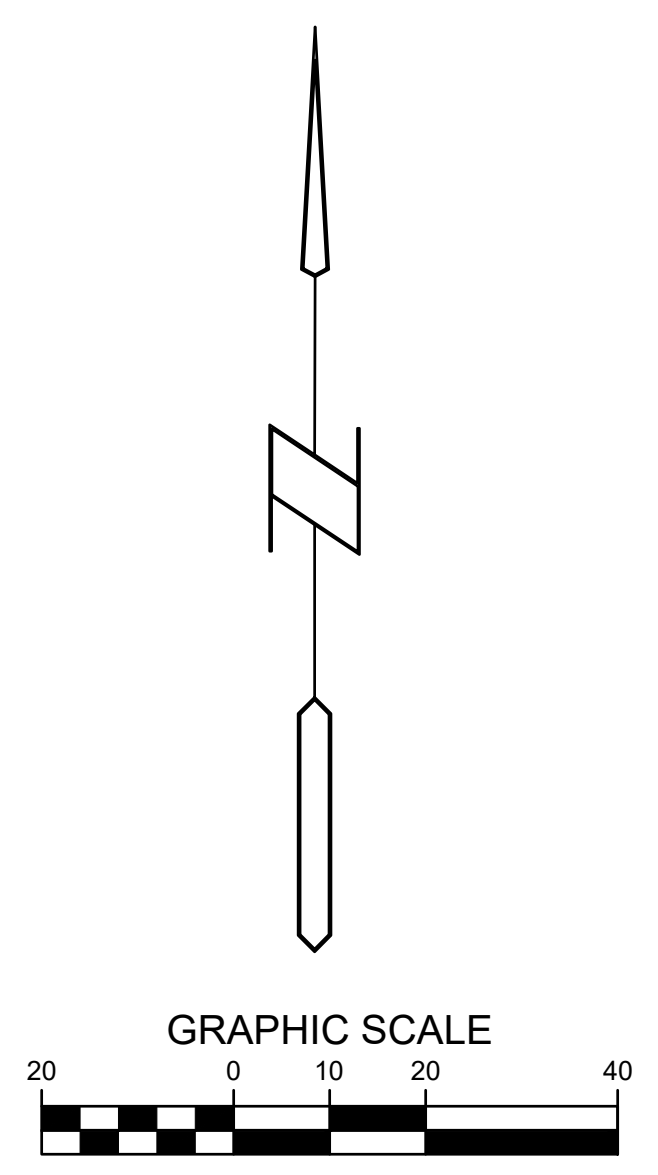
- TOPSOIL NOTES:**
1. STRIP AND STOCKPILE THE TOP 8" OF SOIL ON ALL DISTURBED AREAS.
 2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 8" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 8".
 3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
 4. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5, CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
 5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

- GRADING LEGEND:**
- EXISTING CONTOUR: --- 150 ---
 - PROPOSED CONTOUR: --- 150 ---
 - FINISHED GROUND ELEVATION: ● 150.50
 - TOP OF CURB ELEVATION: ● 150.50/C
 - GUTTER ELEVATION: ● 150.50G
 - TOP OF WALL ELEVATION: ● 150.50/W
 - BOTTOM OF WALL ELEVATION: ● 150.50B/W
 - EDGE OF WALK ELEVATION: ● 150.50E/W
 - TOP OF STAIR ELEVATION: ● 150.50T/S
 - BOTTOM OF STAIR ELEVATION: ● 150.50B/S
- NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

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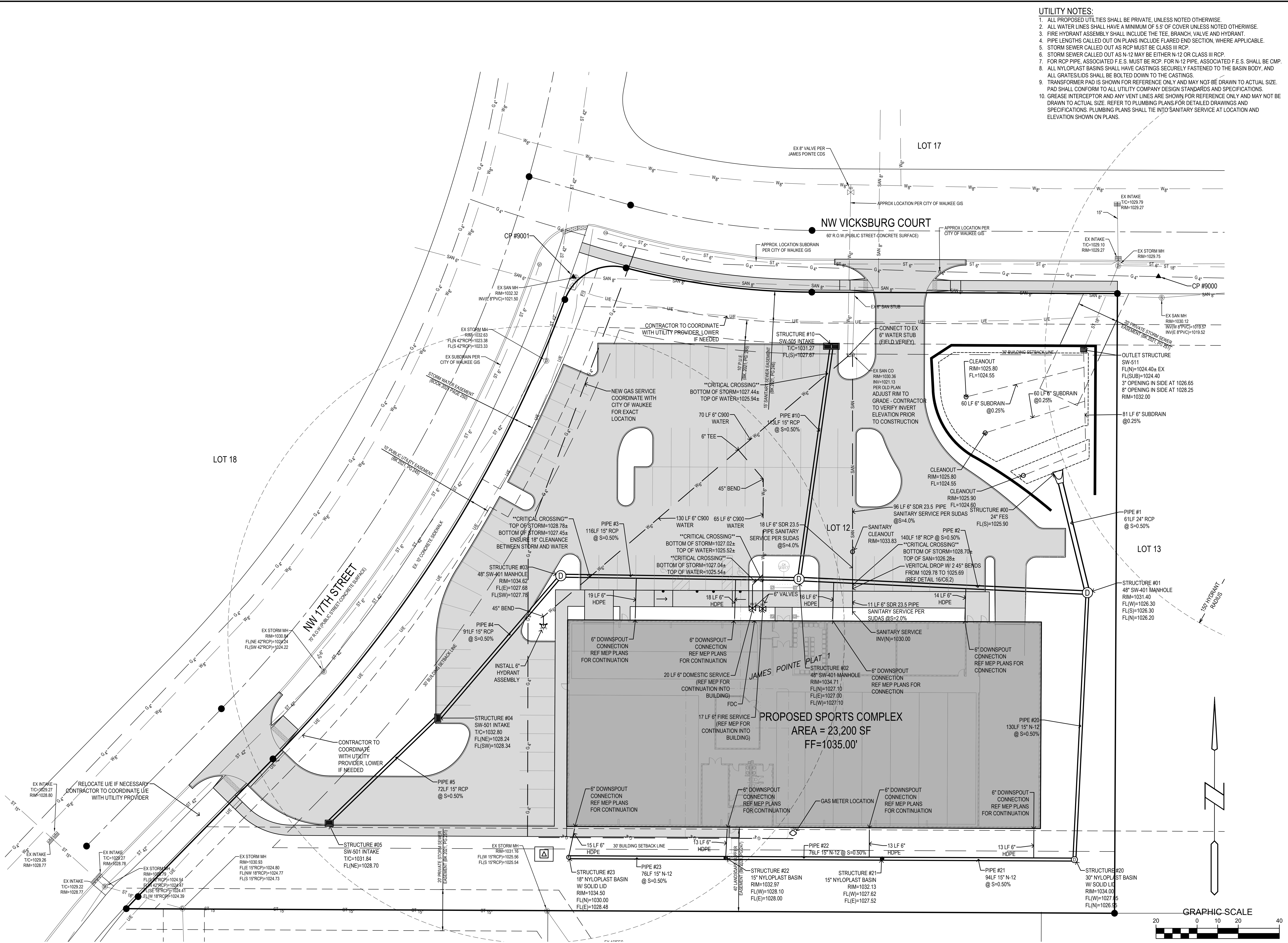
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WAUKEE, IOWA
GRADING PLAN

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SHEET NUMBER:	C3.1



PRELIMINARY - NOT FOR CONSTRUCTION

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- UTILITY NOTES:**
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
 2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5' 5" OF COVER UNLESS NOTED OTHERWISE.
 3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
 4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
 5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
 6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
 7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
 8. ALL NYLOPLAST BASINS SHALL HAVE CASTINGS SECURELY FASTENED TO THE BASIN BODY, AND ALL GRATES/LIDS SHALL BE BOLTED DOWN TO THE CASTINGS.
 9. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
 10. GREASE INTERCEPTOR AND ANY VENT LINES ARE SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. REFER TO PLUMBING PLANS FOR DETAILED DRAWINGS AND SPECIFICATIONS. PLUMBING PLANS SHALL TIE INTO SANITARY SERVICE AT LOCATION AND ELEVATION SHOWN ON PLANS.

Bishop Engineering
 "Planning Your Successful Development"
 3501 104th Street
 Des Moines, Iowa 50322-3825
 Phone: (515)276-0467 Fax: (515)276-0217
 Established 1959
 Civil Engineering & Land Surveying

MTG SPORTS COMPLEX
WAUKEE, IOWA
UTILITY PLAN

REFERENCE NUMBER:	
DRAWN BY:	DRL
CHECKED BY:	DB
REVISION DATE:	03/30/2023 1ST CITY SET 09/18/2023 2ND CITY SET 10/11/2023 3RD CITY SET
PROJECT NUMBER:	230051
SHEET NUMBER:	C4.1

PRELIMINARY - NOT FOR CONSTRUCTION

LANDSCAPE NOTES:

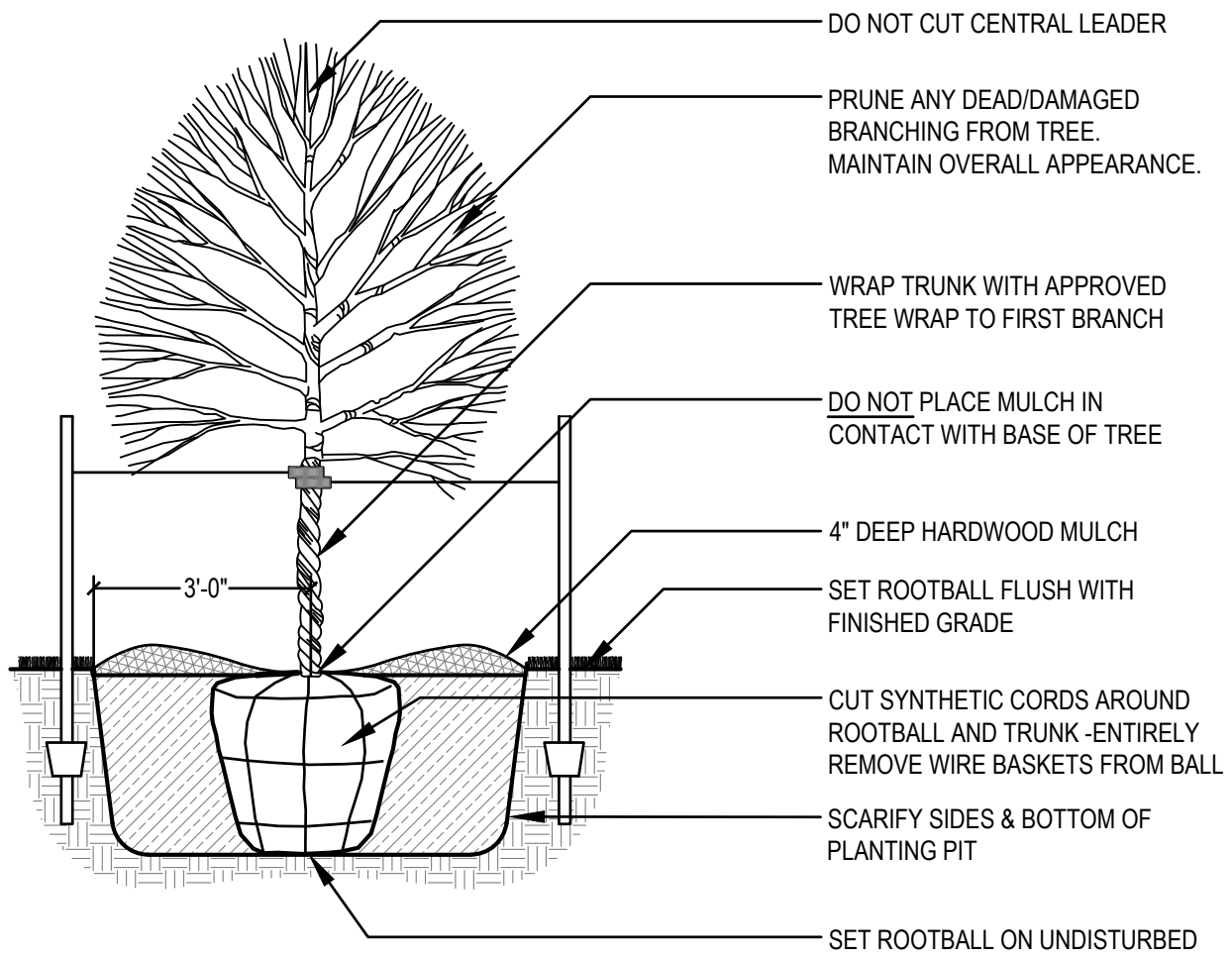
- ALL SEEDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- SOD ALL DISTURBED AREAS included in R.O.W. WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SEED LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
- STAKE SOD ON ALL SLOPES 3 : 1 OR GREATER.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE.
- FOR WARRANTY PURPOSES, THE DATE OF INITIAL ACCEPTANCE SHALL BE SUBMITTED IN WRITING TO THE OWNER AND/OR OWNER'S REPRESENTATIVE AFTER ALL PLANT MATERIALS HAVE BEEN INSTALLED AND REVIEWED BY OWNER OR OWNER'S REPRESENTATIVE. PLANT MATERIALS WILL ONLY BE ACCEPTED IF THEY ARE IN AN ALIVE AND THRIVING CONDITION.
- CONDITIONAL ACCEPTANCE OF PLANT MATERIAL MAY BE GIVEN FOR PLANTS INSTALLED IN A DORMANT CONDITION WITH INITIAL ACCEPTANCE OCCURRING THE FOLLOWING SPRING ONCE THEY ARE SHOWN TO BE ALIVE AND THRIVING.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS (INCLUDING SIZING INFORMATION) MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- STAKING AND GUYING OF TREES SHALL BE AT THE DISCRETION OF THE CONTRACTOR BASED ON CURRENT ACCEPTED NURSERY STANDARDS. GENERALLY, TREES IN LARGE OPEN AREAS SUBJECT TO SIGNIFICANT WIND SHALL BE STAKED. STAKE AND WRAP TREES IMMEDIATELY AFTER PLANTING. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD. REMOVE ALL STAKES AND GUY WIRES NO MORE THAN ONE YEAR AFTER INSTALLATION.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
- ALL EDGING SHALL BE DURAEDGE 3/16" STEEL EDGING - COLOR BLACK, OR APPROVED EQUAL.
- CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL BE MULCHED WITH 4" THICK SHREDDED HARDWOOD MULCH.
- ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.

IRRIGATION NOTES:

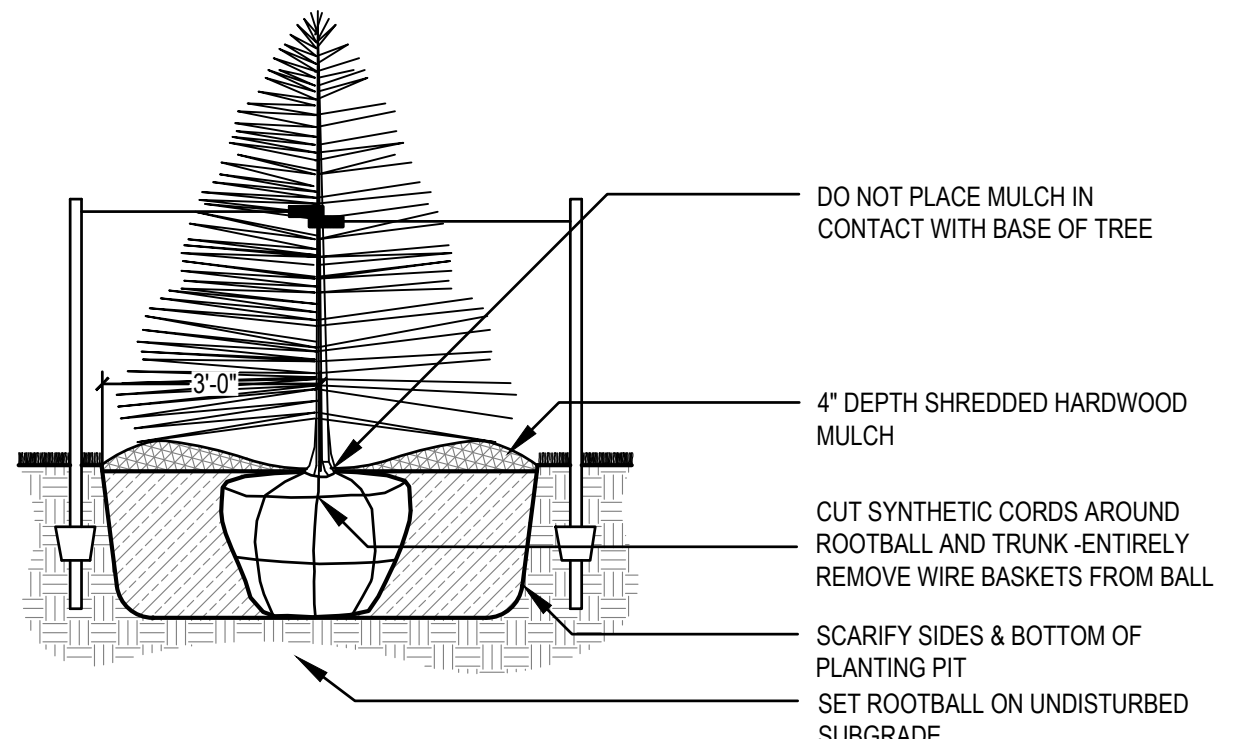
- FOR BIDDING PURPOSES, THIS PROJECT DOES NOT INCLUDE A SITE IRRIGATION SYSTEM.
- CONTRACTOR SHALL SUBMIT TO THE OWNER OR OWNER'S REPRESENTATIVE A SEPARATE PROPOSAL FOR A SITE IRRIGATION SYSTEM. PROPOSAL SHALL BE DESIGN/BUILD FOR A COMPLETE OPERATIONAL IRRIGATION SYSTEM APPROPRIATE FOR THE SITE. IRRIGATION CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DESIGN, COORDINATION, TESTING, PERMITS, INSPECTIONS, ETC.

GENERAL LANDSCAPE REQUIREMENTS

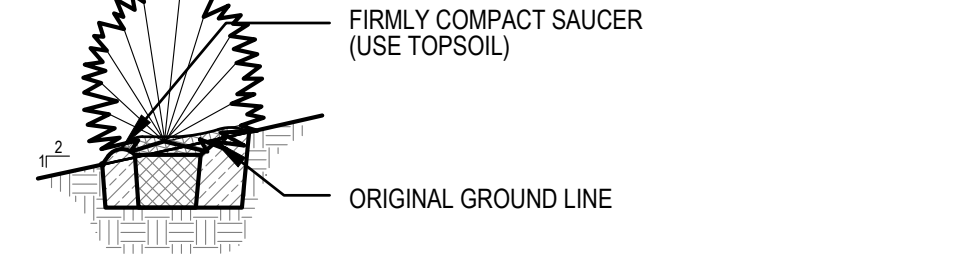
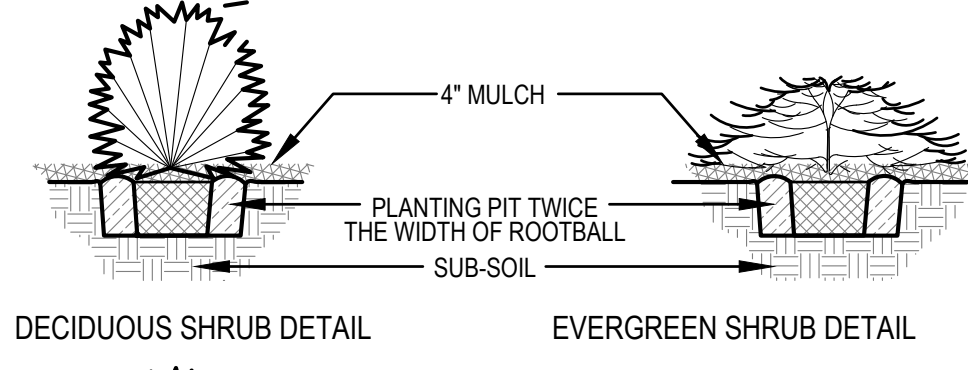
TOTAL SQUARE FOOTAGE OF PROJECT AREA	107,837 SF
OPEN SPACE REQUIRED (15%)	16,175 SF
OPEN SPACE PROVIDED	45,287 SF
GENERAL OPEN SPACE REQUIREMENT	
TOTAL REQUIRED TREES (1 / 1,000 SF REQ. OPEN SPACE)	17
TOTAL REQUIRED SHRUBS (1 / 1,000 SF REQ. OPEN SPACE)	17
TOTAL PROPOSED OVERSTORY	
TOTAL PROPOSED EVERGREEN	37
TOTAL PROPOSED SHRUBS	233
PARKING PERIMETER REQUIREMENTS	
TOTAL LENGTH OF PARKING PERIMETER ADJACENT TO NW 17TH	190 LF
REQUIRED OVERSTORY TREES (1 / 40 LF)	5 TREES
REQUIRED SHRUBS (3 / 30 LF)	19 SHRUBS
TOTAL LENGTH OF PARKING PERIMETER ADJACENT TO VICKSBURG	117 LF
REQUIRED OVERSTORY TREES (1 / 40 LF)	3 TREES
REQUIRED SHRUBS (3 / 30 LF)	12 SHRUBS
INTERIOR PARKING LOT REQUIREMENTS	
TOTAL PARKING STALLS ON SITE	80
REQUIRED OVERSTORY TREES (1 / 20 STALLS)	4 TREES
REQUIRED SHRUBS (3 / 20 STALLS)	12 SHRUBS
BUFFERYARD (40' WIDE - SOUTH PROPERTY LINE)	
TOTAL LENGTH OF BUFFER	441 LF
REQUIRED OVERSTORY TREES (2 / 50 LF)	18
REQUIRED EVERGREEN TREES (4 / 50 LF)	36
REQUIRED UNDERSTORY TREES (3 / 50 LF)	27
OVERSTORY TREES PROVIDED	18
EVERGREEN TREES PROVIDED	36
UNDERSTORY TREES PROVIDED	27



DECIDUOUS TREE PLANTING (TYP.)
SCALE: NOT TO SCALE



EVERGREEN TREE PLANTING (B&B)
SCALE: NOT TO SCALE



SHRUB PLANTING (TYP.)
SCALE: NOT TO SCALE

PLANTING SCHEDULE

CODE	QUAN	COMMON NAME	LATIN NAME	OVERSTORY TREES	SIZE	MIN HGT.	ROOT	NOTES
AN	8	AMERICAN HORNBEAM	COENGONIA HORNEANA	OVERSTORY TREES	22' CAL.	8' MIN.	B&B	BAR CHED SPECIMENS
OB	4	SNOWDROPS	SNOWDROPS	OVERSTORY TREES	22' CAL.	8' MIN.	B&B	BAR CHED SPECIMENS
SH	4	SHRUBS	SHRUBS	OVERSTORY TREES	22' CAL.	8' MIN.	B&B	BAR CHED SPECIMENS
LP	6	LONDON PLANET TREES	PLATANUS ACERIFOLIA	OVERSTORY TREES	22' CAL.	8' MIN.	B&B	BAR CHED SPECIMENS
NS	3	NORWAY SPRUCE	PICEA MARMILA	OVERSTORY TREES	22' CAL.	8' MIN.	B&B	BAR CHED SPECIMENS
ST	7	STRAWBERRY TREE	ARJUNIA INDICA	OVERSTORY TREES	22' CAL.	8' MIN.	B&B	BAR CHED SPECIMENS
ER	3	EMERALD RED CEDAR	LIBODENDRON STRACHANII	OVERSTORY TREES	22' CAL.	8' MIN.	B&B	BAR CHED SPECIMENS
WO	4	WINTER OAK	QUERCUS ALBA	OVERSTORY TREES	22' CAL.	8' MIN.	B&B	BAR CHED SPECIMENS
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ER	3	EMERALD RED CEDAR	LIBODENDRON STRACHANII	OVERSTORY TREES	22' CAL.	8'		

The modified soil layer should be 18-30 inches deep and consist of a uniform mixture of 75-90% washed concrete sand, 0-10% approved organic material, 0-25% soil with a soil texture that includes A-horizon characteristics and meets specifications.

- The greater depths of modified soil (24-30 inches) are usually considered when trees or shrubs are planned within the bioretention cell or extended filtration time is required to remove certain types of pollutants are determined to be necessary. This would be determined by a known pollutant source or watershed based removal goal.

The aggregate layer is recommended to be at least 12 inches deep. Material should be 1-2 inch clean aggregate. The aggregate layer should have a porosity of 35-40%.

- The depth of the aggregate layer can be increased to provide for additional storage, or to enhance infiltration to subsoil layers. However, it is desired that the aggregate layer should drain out within 48 hours after a storm event. Percolation rates of virgin subsoils or the capacity of the subdrain system may limit the depth of storage that can be provided below a subdrain outlet. For example, subsoils with percolation rates of 0.50 inch/hour may be able to drain down 24 inches of water stored in the aggregate layer below the subdrain over the 48 hour drawdown period.

BIORETENTION MAINTENANCE NOTES (I.S.W.M. CH. 5 SEC 4)

Maintenance. Bioretention cells require seasonal maintenance. It is imperative that they be maintained to function properly and provide continuous visual aesthetics.

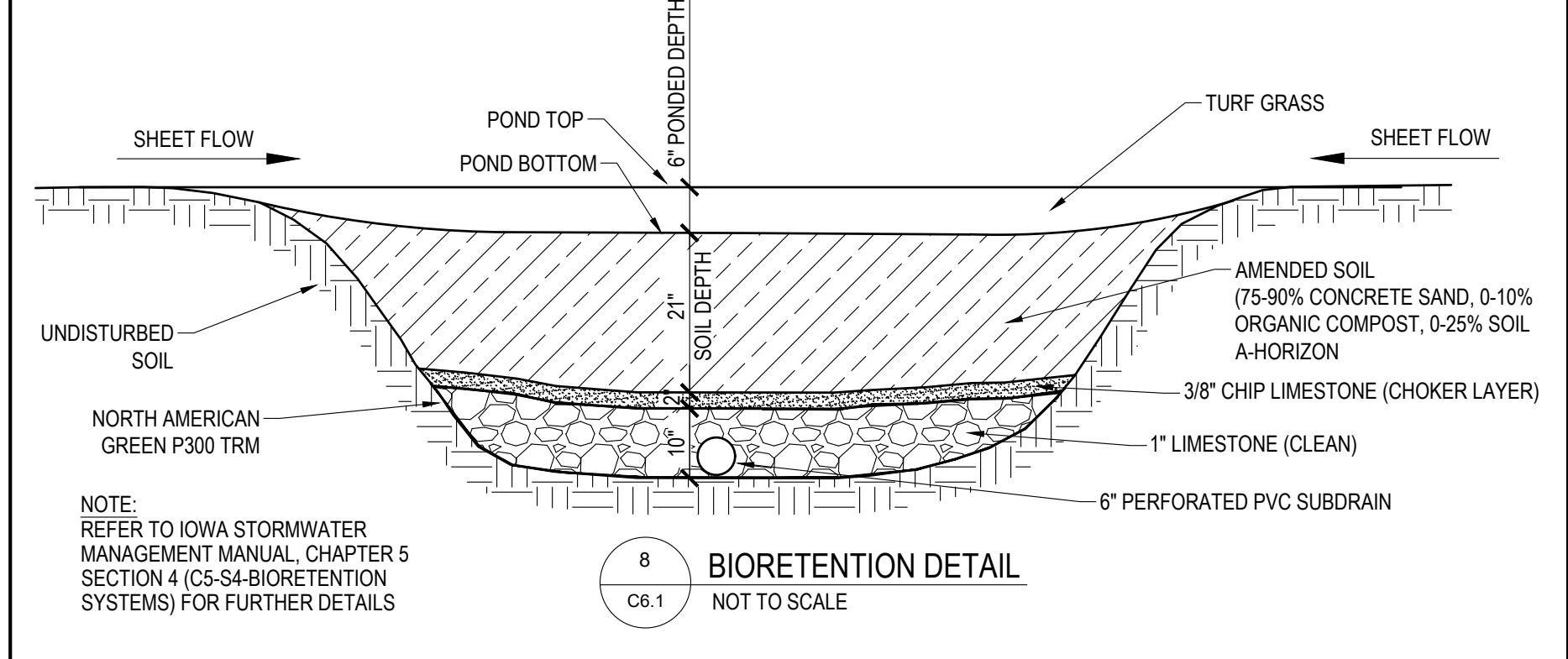
Table C5-54.8: Bioretention cell maintenance requirements

Activity	Schedule
<ul style="list-style-type: none"> Prune and thin out plants when needed. Remove weeds throughout the growing season, preferably by pulling or tilling. Replace plants when needed. Replace mulch when erosion is evident and/or weed growth is excessive. Remove trash and debris from pretreatment area and bioretention cell. Inspect siltflow points for clogging (offline systems). Remove any sediment. Inspect filter strip grass channel for erosion or gullying. Re-seed or sod as necessary. Trees and shrubs should be inspected to evaluate their health and remove any dead or severely diseased vegetation. 	<p>Fall, spring, as needed</p> <p>Semi-annually</p> <p>Annually</p> <p>As necessary</p>
<ul style="list-style-type: none"> Look for evidence of standing water in the observation port. This may be a sign of hydraulic failure. Replace gas gravel diaphragm when necessary. Replace modified soil layer when ponding greatly exceeds the design drainage time. 	As necessary

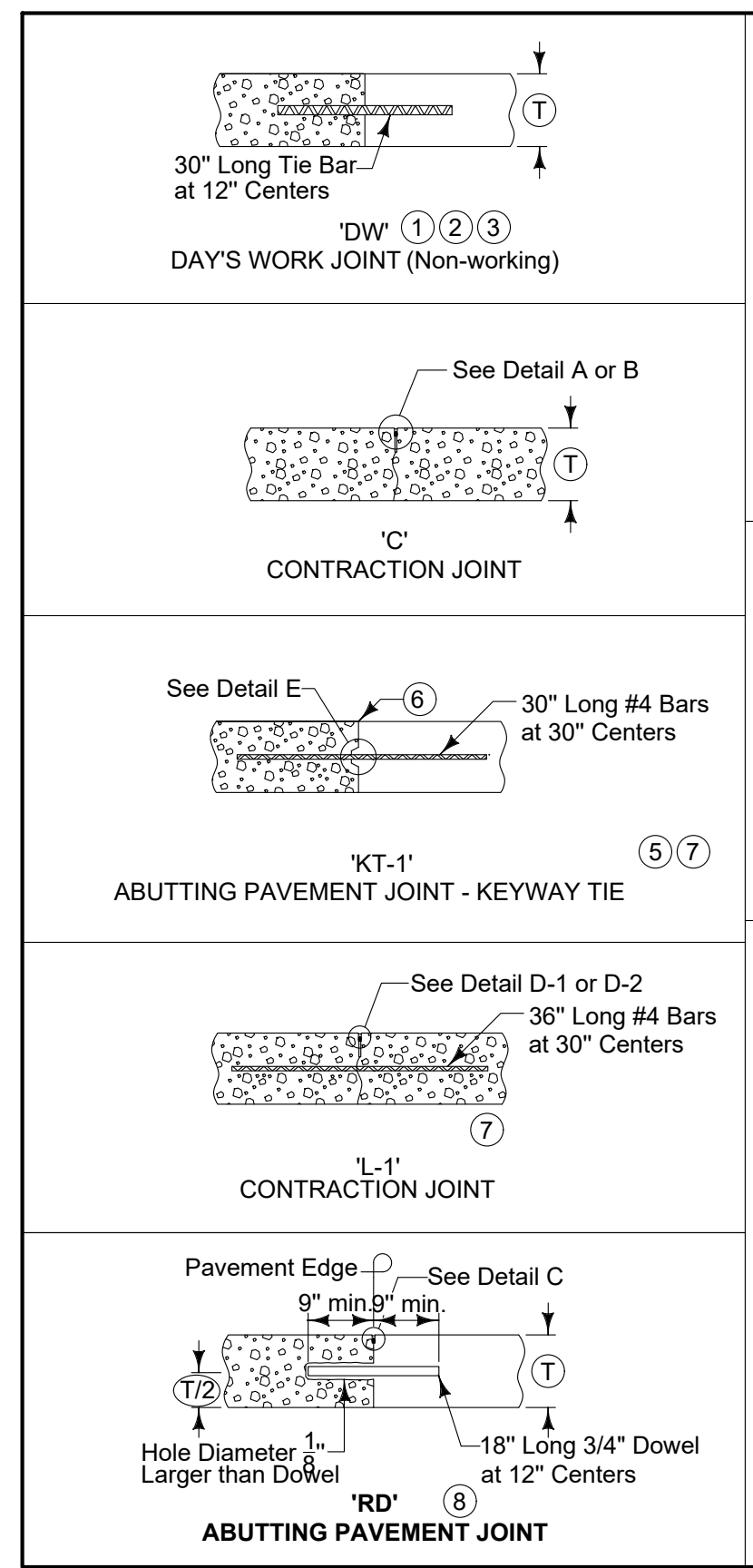
GENERAL NOTES:

- FURTHER DETAILS AND DESCRIPTIONS OF BIORETENTION SYSTEMS CAN BE FOUND IN THE IOWA STORM WATER MANAGEMENT MANUAL, CHAPTER 5, SECTION 4.
- CONTRACTOR TO CONTACT BISHOP ENGINEERING (515-276-0467) WITH 10 BUSINESS DAY LEAD TIME FOR THE AS-BUILT SURVEY OF THE ABOVE GROUND BIORETENTION AREA. THE CONTRACTOR IS TO VERIFY WITH THE CITY THAT THE BIORETENTION CELL WAS INSTALLED PER REQUIREMENTS LAID OUT IN THE IOWA STORM WATER MANAGEMENT MANUAL, CHAPTER 5 SECTION 4.

NOT TO BE CONSTRUCTED UNTIL ALL UPSTREAM AREAS ARE STABILIZED



8 BIORETENTION DETAIL
C6.1 NOT TO SCALE

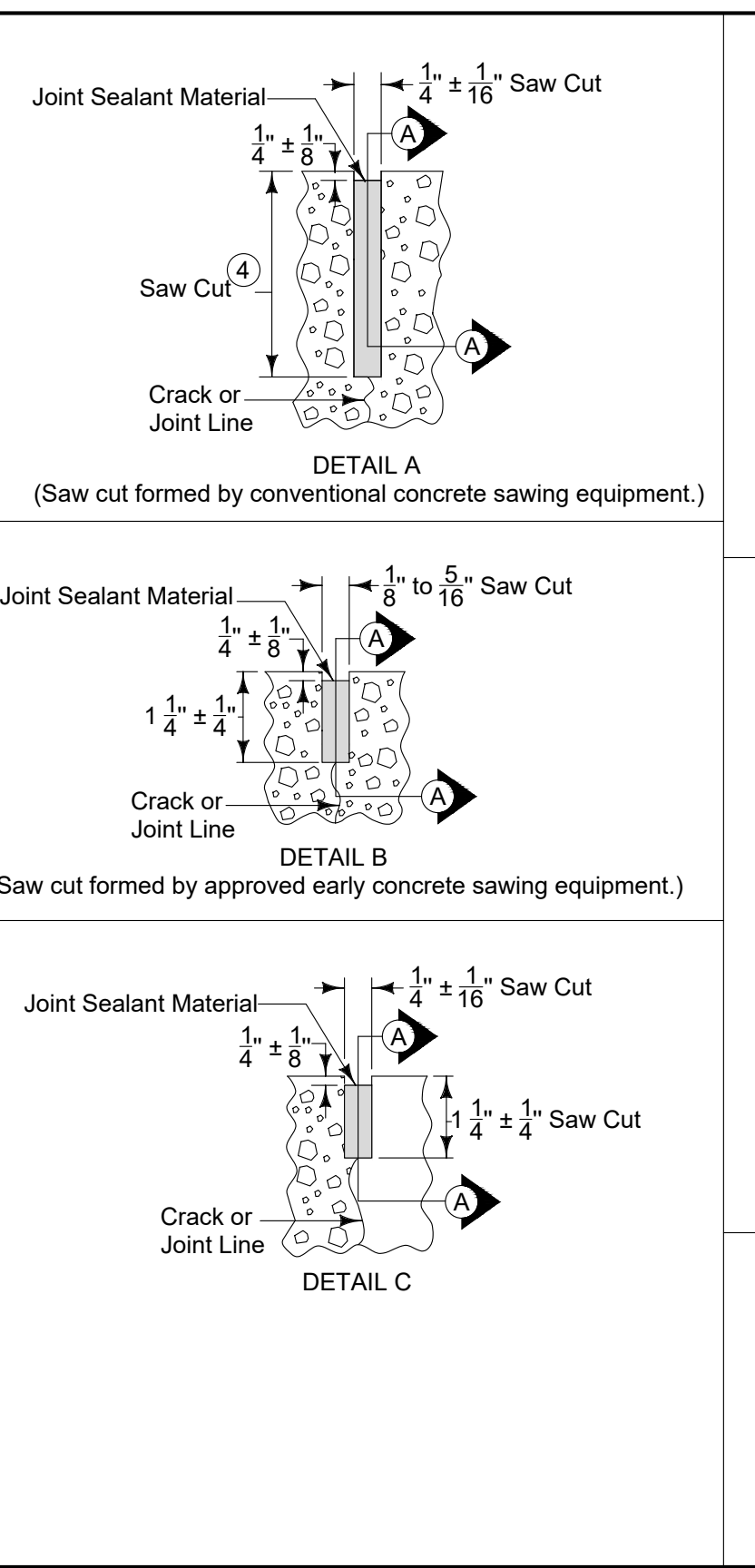


C' CONTRACTION JOINT

KT-1' ABUTTING PAVEMENT JOINT - KEYWAY TIE

L-1' CONTRACTION JOINT

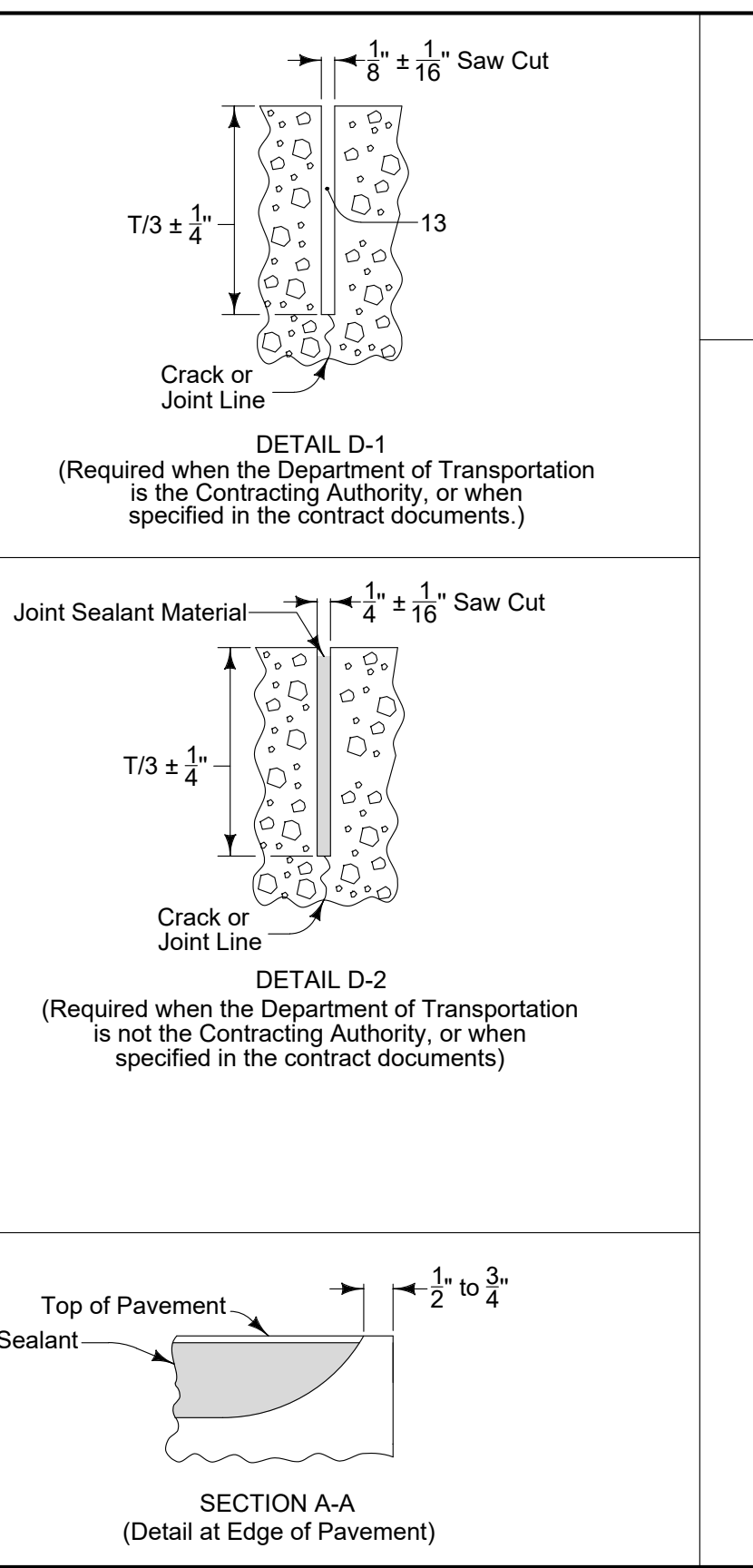
RD' ABUTTING PAVEMENT JOINT



DETAIL A (Saw cut formed by conventional concrete sawing equipment.)

DETAIL B (Saw cut formed by approved early concrete sawing equipment.)

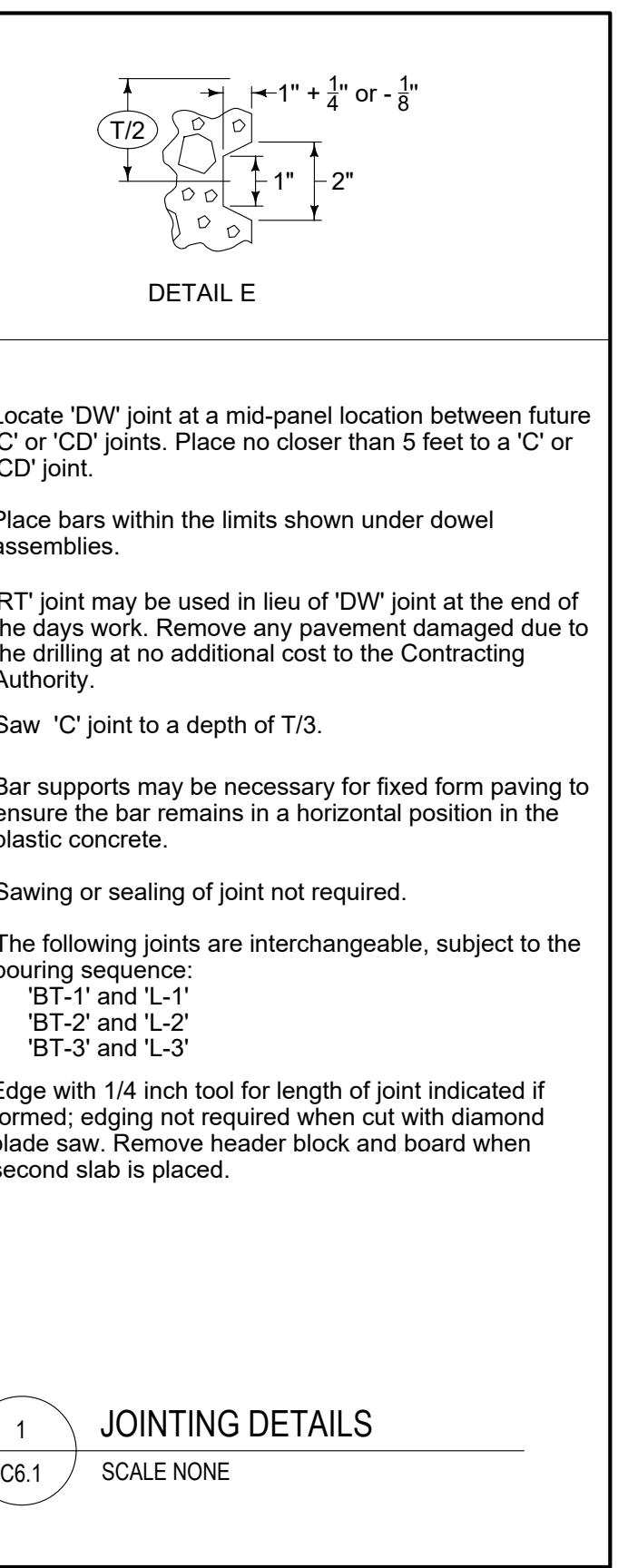
DETAIL C



DETAIL D-1 (Required when the Department of Transportation is the Contracting Authority, or when specified in the contract documents.)

DETAIL D-2 (Required when the Department of Transportation is not the Contracting Authority, or when specified in the contract documents.)

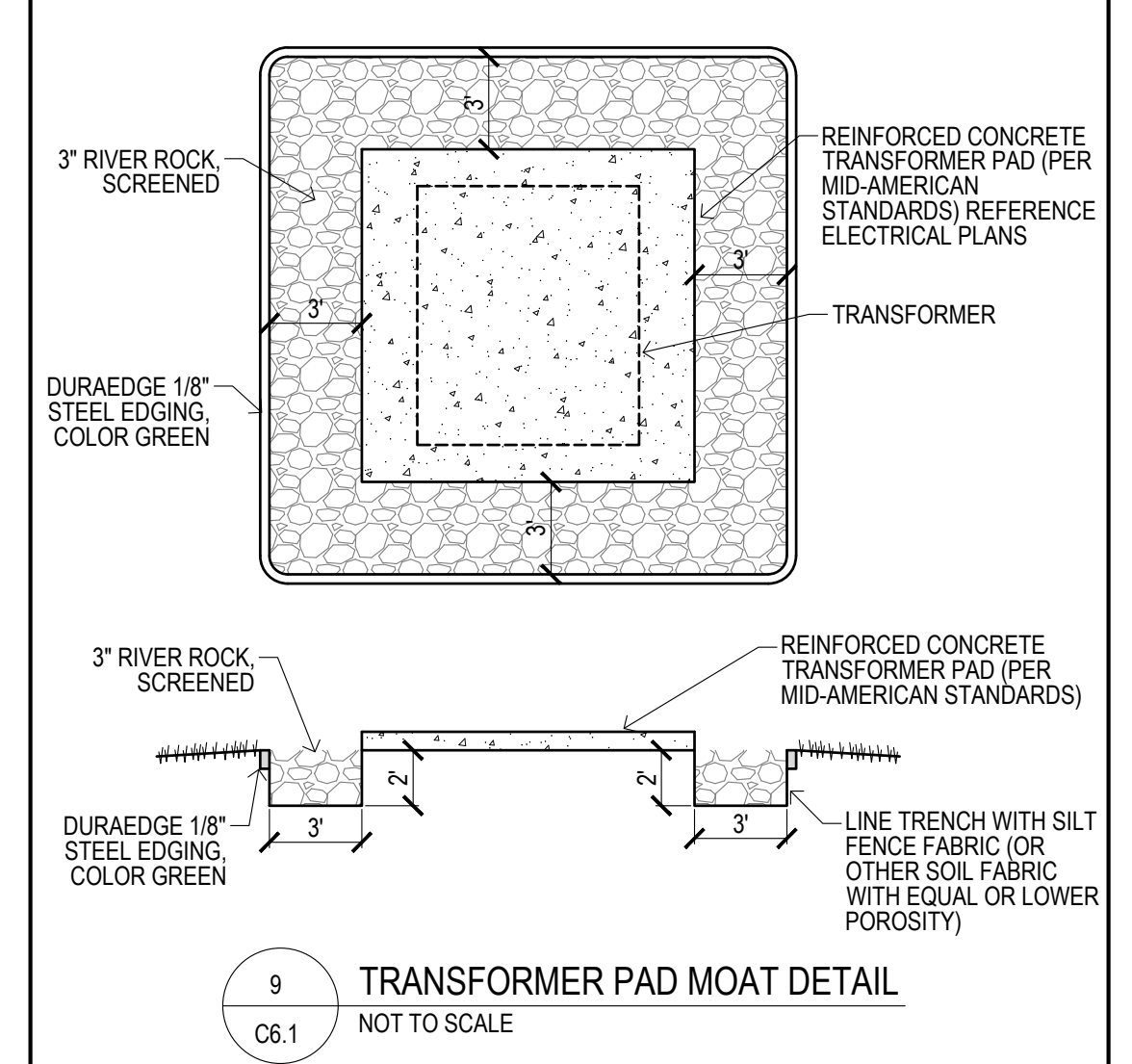
SECTION A-A (Detail at Edge of Pavement)



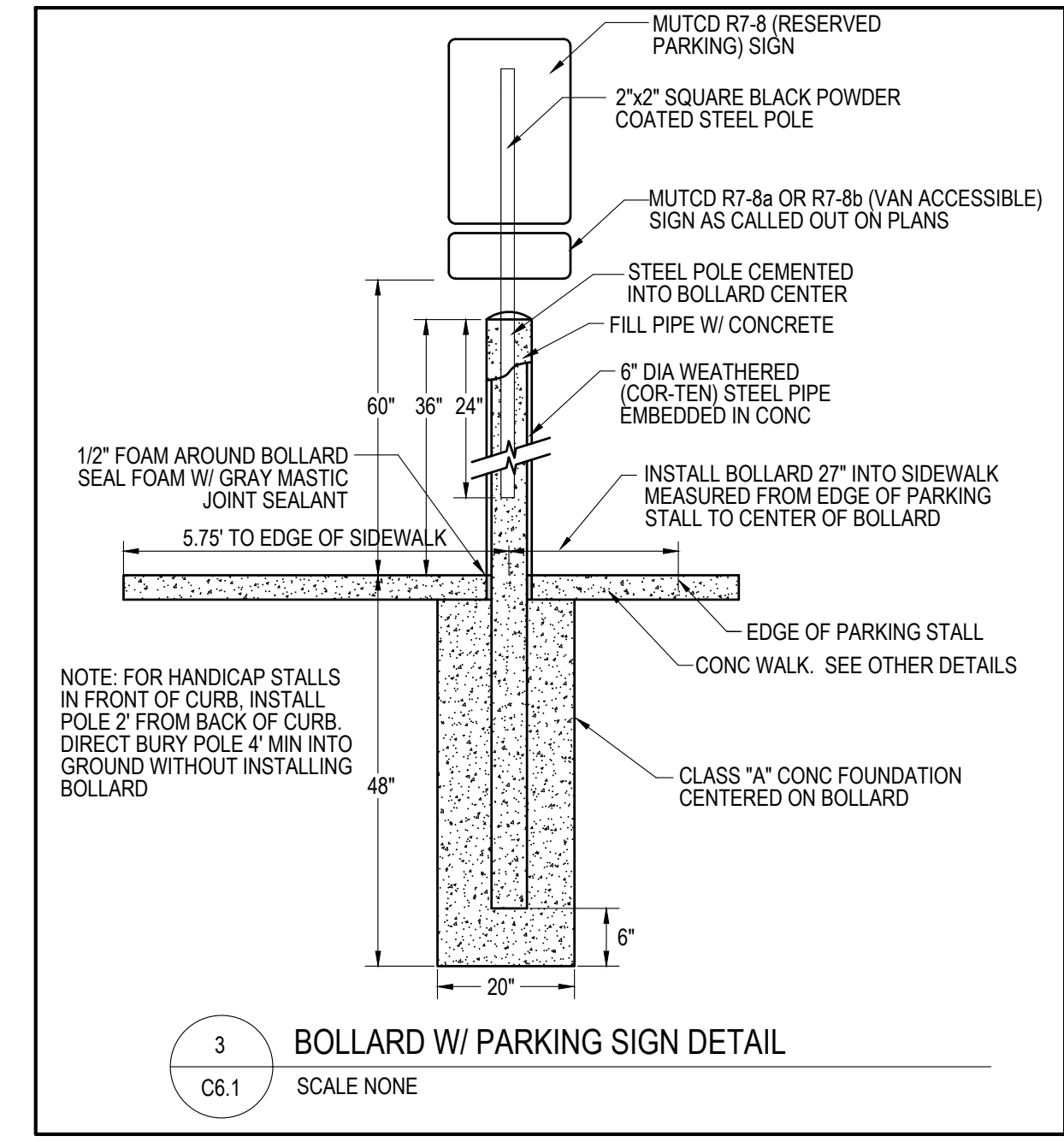
DETAIL E

- Locate 'DW' joint at a mid-panel location between future 'C' or 'CD' joints. Place no closer than 5 feet to a 'C' or 'CD' joint.
- Place bars within the limits shown under dowel assemblies.
- 'RT' joint may be used in lieu of 'DW' joint at the end of the days work. Remove any pavement damaged due to the drilling at no additional cost to the Contracting Authority.
- Saw 'C' joint to a depth of T/3.
- Bar supports may be necessary for fixed form paving to ensure the bar remains in a horizontal position in the plastic concrete.
- Sawing or sealing of joint not required.
- The following joints are interchangeable, subject to the pouring sequence:
 - 'BT-1' and 'L-1'
 - 'BT-2' and 'L-2'
 - 'BT-3' and 'L-3'
- Edge with 1/4 inch tool for length of joint indicated if formed; edging not required when cut with diamond blade saw. Remove header block and board when second slab is placed.

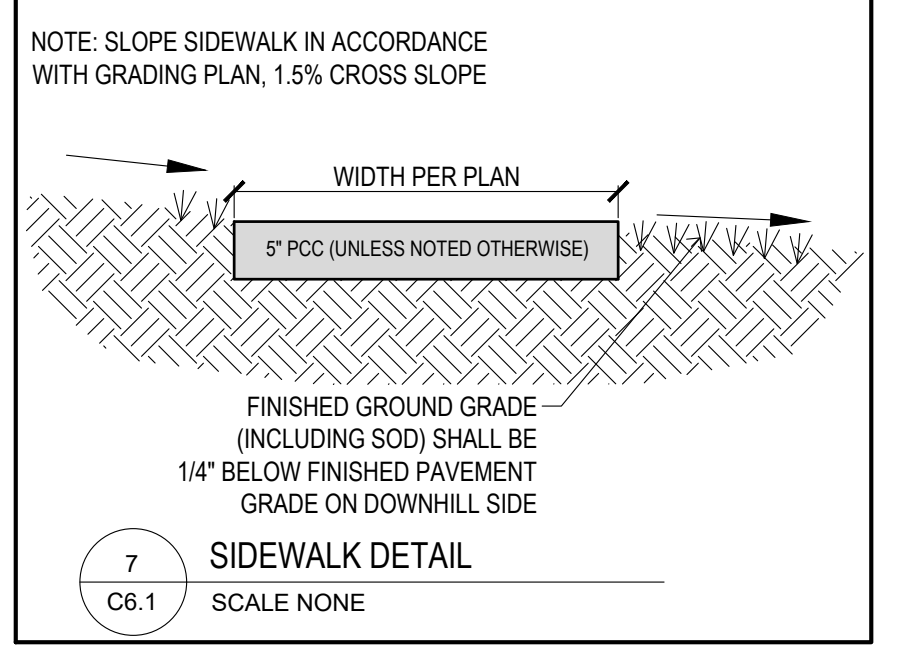
1 JOINTING DETAILS
C6.1 SCALE NONE



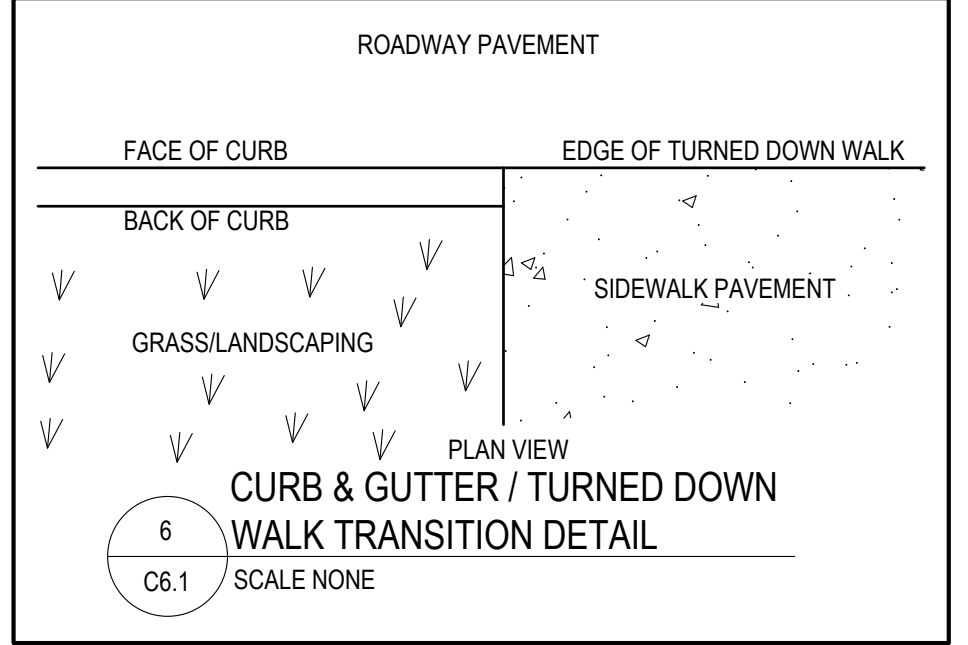
9 TRANSFORMER PAD MOAT DETAIL
C6.1 NOT TO SCALE



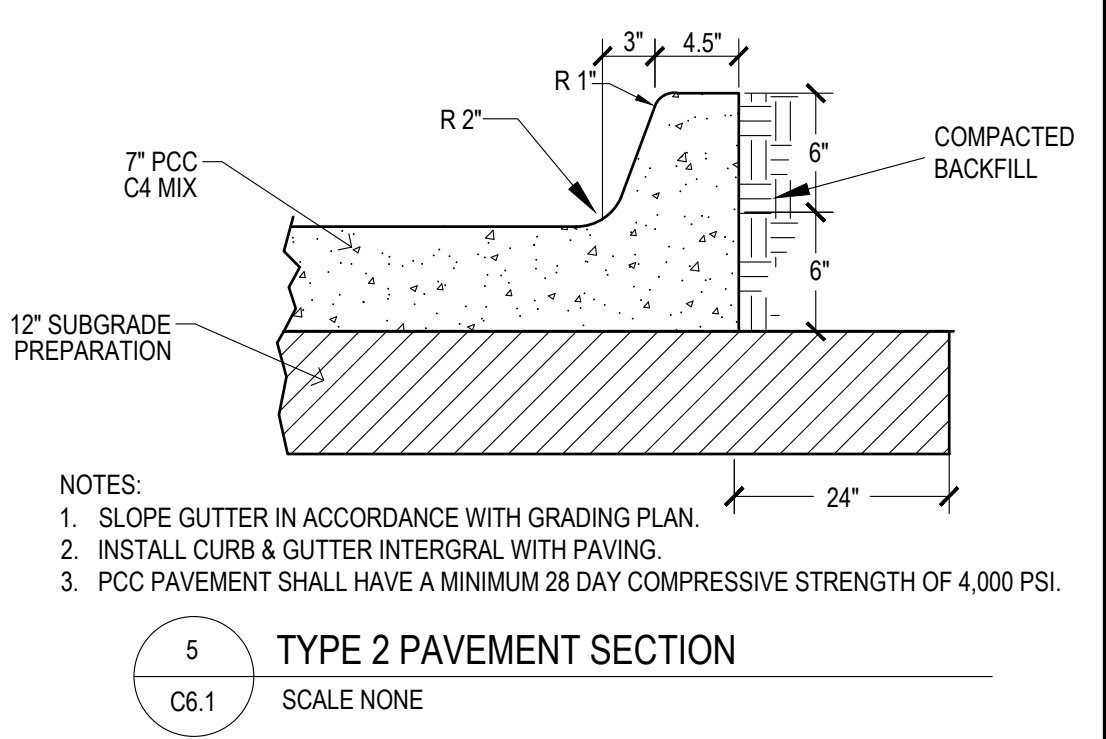
3 BOLLARD W/ PARKING SIGN DETAIL
C6.1 SCALE NONE



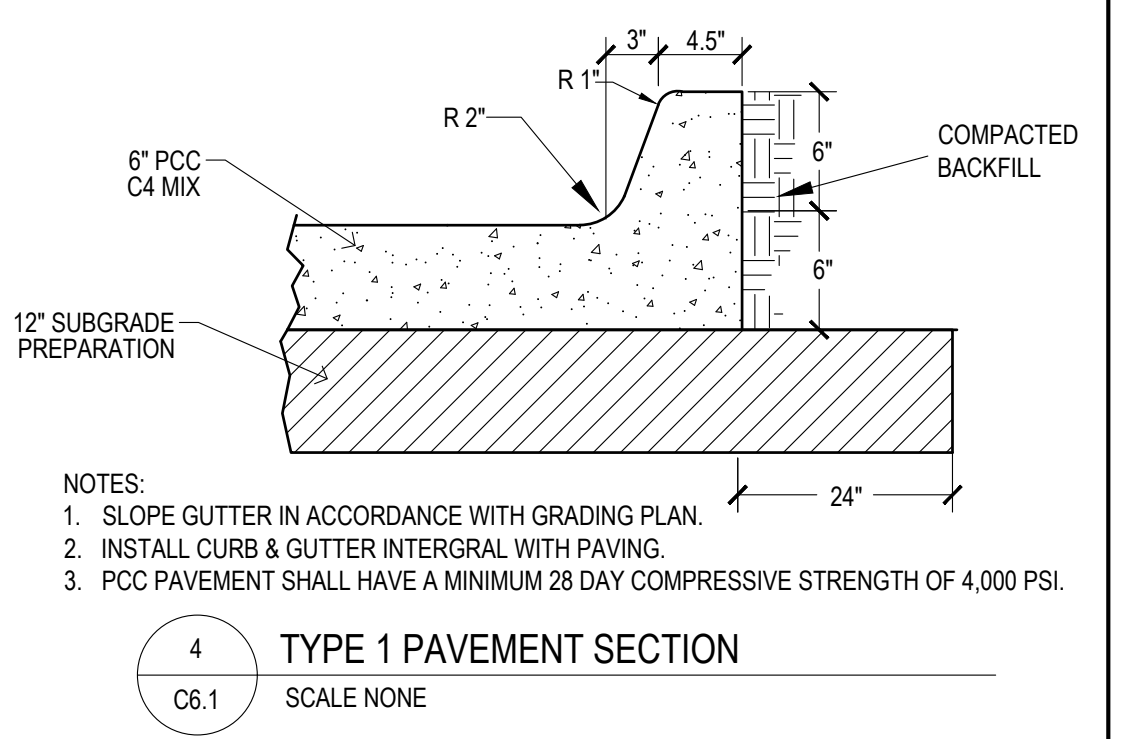
7 SIDEWALK DETAIL
C6.1 SCALE NONE



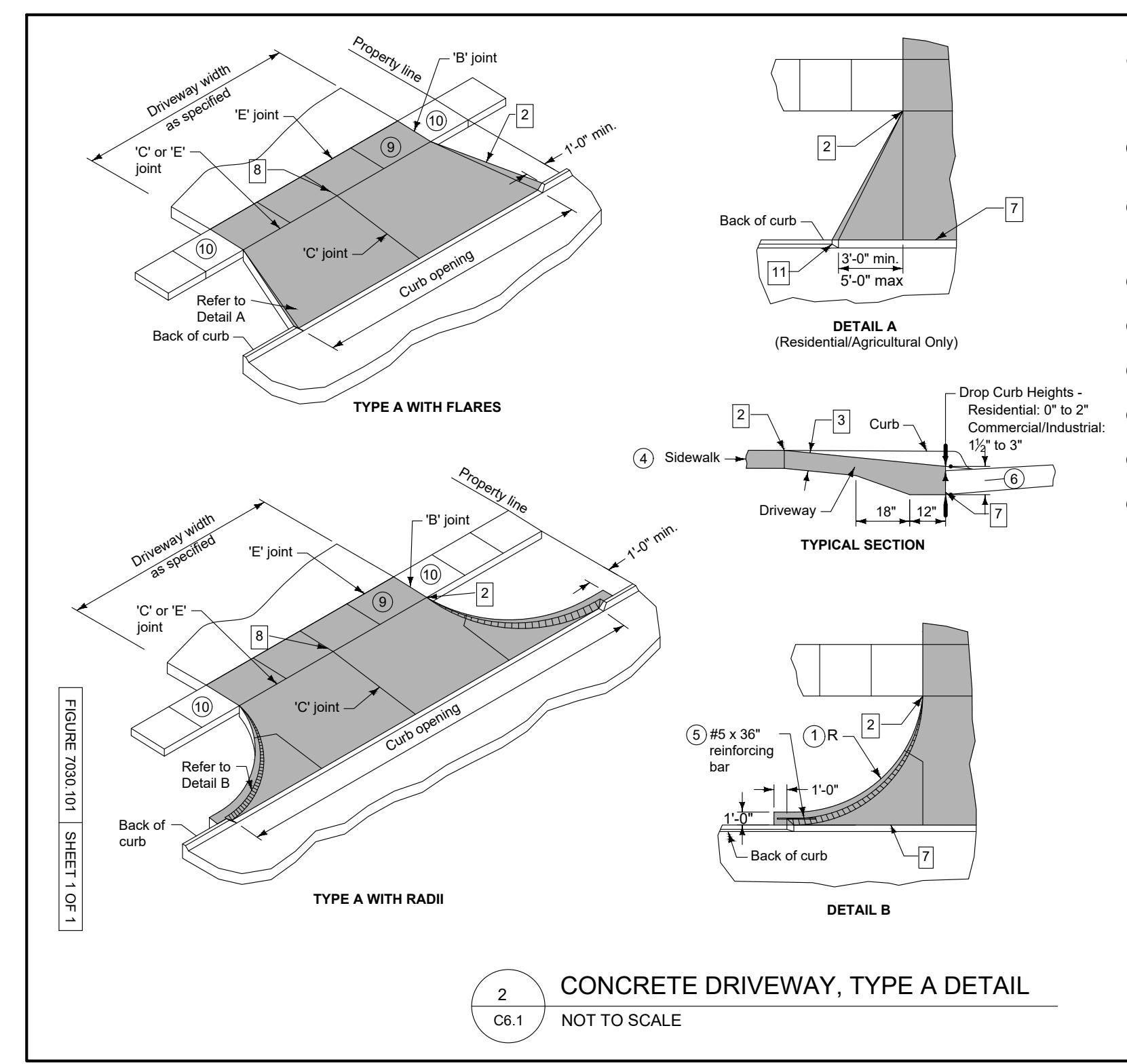
6 CURB & GUTTER / TURNED DOWN WALK TRANSITION DETAIL
C6.1 SCALE NONE



5 TYPE 2 PAVEMENT SECTION
C6.1 SCALE NONE

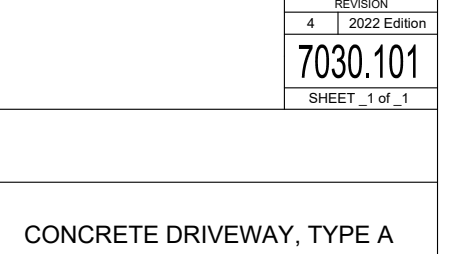


4 TYPE 1 PAVEMENT SECTION
C6.1 SCALE NONE



2 CONCRETE DRIVEWAY, TYPE A DETAIL
C6.1 NOT TO SCALE

- Driveway radius (R). Residential: 10 foot minimum, 15 foot maximum. Commercial and industrial: As specified in the contract documents.
- Transition the curb height to 0 inches at end of taper/radius or at the front edge of sidewalk. Do not extend raised curb across sidewalk.
- Pavement thickness. Residential: 6 inches minimum. Commercial and industrial: 7 inches minimum.
- Sidewalk thickness through driveway to match thickness of driveway.
- Center reinforcing bar vertically in the pavement.
- Match thickness of adjacent roadway, 8 inches minimum.
- Provide 'E' joint at back of curb unless 'B' joint is specified.
- For alleys, invert the pavement crown 2% toward center of alley.
- Target cross slope of 1.5% with a maximum cross slope of 2.0%. If specified in the contract documents, construct the sidewalk through the driveway 5 feet wide to serve as a paving space.
- If cross slope of adjacent sidewalk panel exceeds 2.0%, remove and replace to transition from existing sidewalk to sidewalk through driveway. If elevation change requires a curb ramp, comply with Figure 7030.205; verify need for detectable warning panel with Engineer.
- Transition street curb at minimum 1:1 slope to meet driveway curb.



CONCRETE DRIVEWAY, TYPE A

MTG SPORTS COMPLEX
WAUKEE, IOWA

DETAILS SHEET

Bishop Engineering
 "Planning Your Successful Development"
 3501 104th Street
 Des Moines, Iowa 50322-3825
 Phone: (515)276-0467 Fax: (515)276-0217
 Civil Engineering & Land Surveying
 Established 1959

REFERENCE NUMBER:
 DRAWN BY:
 DRL
 CHECKED BY:
 DB
 REVISION DATE:
 03/30/2023 1ST CITY SET
 09/18/2023 2ND CITY SET
 10/11/2023 3RD CITY SET
 PROJECT NUMBER:
230051
 SHEET NUMBER:
C6.1

PRELIMINARY- NOT FOR CONSTRUCTION

STORM WATER POLLUTION PREVENTION PLAN

EROSION CONTROL NOTES:

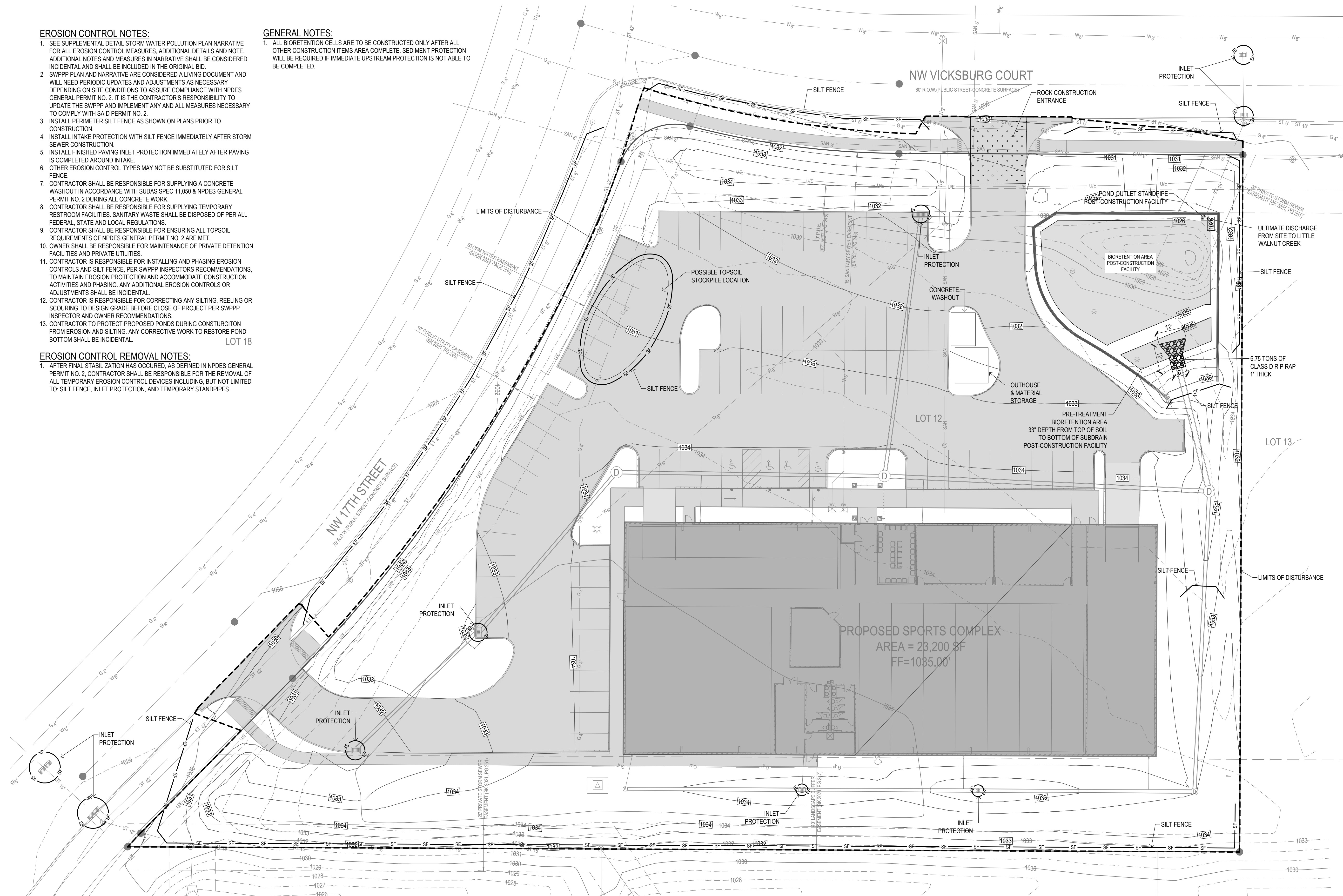
- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES. ADDITIONAL DETAILS AND NOTE, ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
- SWPPP PLAN AND NARRATIVE ARE CONSIDERED A LIVING DOCUMENT AND WILL NEED PERIODIC UPDATES AND ADJUSTMENTS AS NECESSARY DEPENDING ON SITE CONDITIONS TO ASSURE COMPLIANCE WITH NPDES GENERAL PERMIT NO. 2. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UPDATE THE SWPPP AND IMPLEMENT ANY AND ALL MEASURES NECESSARY TO COMPLY WITH SAID PERMIT NO. 2.
- INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
- INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
- INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
- OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING A CONCRETE WASHOUT IN ACCORDANCE WITH SUDAS SPEC 11,050 & NPDES GENERAL PERMIT NO. 2 DURING ALL CONCRETE WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.
- OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF PRIVATE DETENTION FACILITIES AND PRIVATE UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND PHASING EROSION CONTROLS AND SILT FENCE, PER SWPPP INSPECTOR'S RECOMMENDATIONS, TO MAINTAIN EROSION PROTECTION AND ACCOMMODATE CONSTRUCTION ACTIVITIES AND PHASING. ANY ADDITIONAL EROSION CONTROLS OR ADJUSTMENTS SHALL BE INCIDENTAL.
- CONTRACTOR IS RESPONSIBLE FOR CORRECTING ANY SILTING, REELING OR SCOURING TO DESIGN GRADE BEFORE CLOSE OF PROJECT PER SWPPP INSPECTOR AND OWNER RECOMMENDATIONS.
- CONTRACTOR TO PROTECT PROPOSED PONDS DURING CONSTRUCTION FROM EROSION AND SILTING. ANY CORRECTIVE WORK TO RESTORE POND BOTTOM SHALL BE INCIDENTAL.

EROSION CONTROL REMOVAL NOTES:

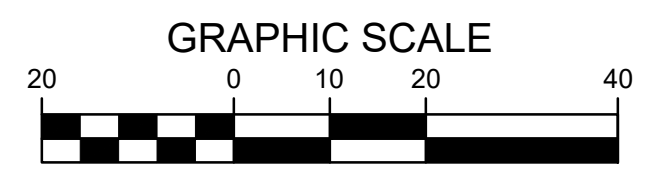
- AFTER FINAL STABILIZATION HAS OCCURED, AS DEFINED IN NPDES GENERAL PERMIT NO. 2, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.

GENERAL NOTES:

- ALL BIORETENTION CELLS ARE TO BE CONSTRUCTED ONLY AFTER ALL OTHER CONSTRUCTION ITEMS AREA COMPLETE. SEDIMENT PROTECTION WILL BE REQUIRED IF IMMEDIATE UPSTREAM PROTECTION IS NOT ABLE TO BE COMPLETED.



UTILITY NOTE:
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING PUBLIC RECORDS AND ARE APPROXIMATE LOCATIONS. THE EXACT LOCATIONS OF ALL UTILITIES MUST BE ASCERTAINED IN THE FIELD. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.



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**MTG SPORTS COMPLEX
WAUKEE, IOWA**

SWPPP

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