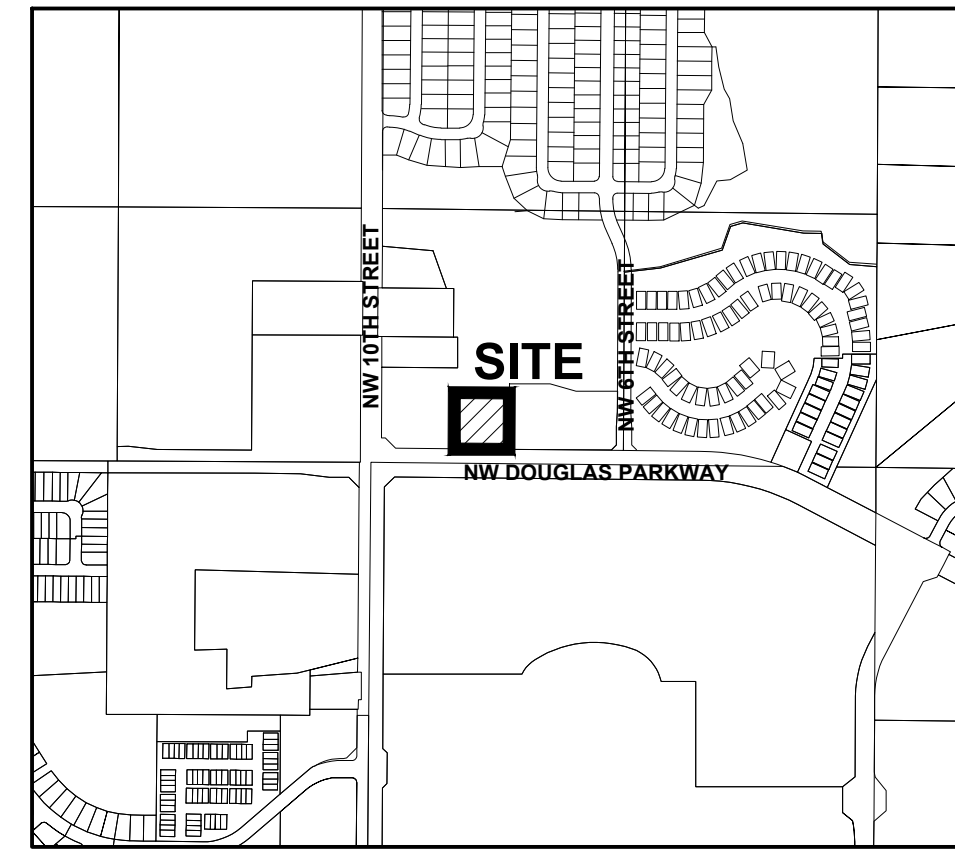


PRELIMINARY PLAT/SITE PLAN FOR: NEW HORIZON ACADEMY

WAUKEE, IOWA

VICINITY MAP

NOT TO SCALE



WAUKEE, IOWA

LEGAL DESCRIPTION

A PART OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 21, TOWNSHIP 79 NORTH, RANGE 26 WEST OF THE FIFTH PRINCIPAL MERIDIAN IN THE CITY OF WAUKEE, DALLAS COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTHWEST CORNER OF PARKSIDE PROPER PLAT 1, AN OFFICIAL PLAT; THENCE NORTH 89°46'00" WEST ALONG THE NORTH RIGHT OF WAY LINE OF NW DOUGLAS PARKWAY, 286.21 FEET; THENCE NORTH 00°14'00" EAST, 294.09 FEET; THENCE SOUTH 89°46'00" EAST, 286.21 FEET TO THE WEST LINE OF SAID PARKSIDE PROPER PLAT 1; THENCE SOUTH 00°14'00" WEST ALONG SAID WEST LINE, 294.09 FEET TO THE POINT OF BEGINNING.

ZONING

C-1 (COMMUNITY AND HIGHWAY SERVICE COMMERCIAL DISTRICT)

EXISTING/ PROPOSED USE

EXISTING: UNDEVELOPED
PROPOSED: DAY CARE FACILITY

DEVELOPMENT SUMMARY

AREA: 1.93 ACRES (84,173 SF)

BUILDING HEIGHT: 24'-3"

SETBACKS
FRONT: 30'
SIDE: NONE, UNLESS ADJACENT TO R DISTRICT, 30'
REAR: 30'

IMPERVIOUS SURFACE
BUILDING: 12,603 SF
PAVING: 18,844 SF
SIDEWALK: 8,438 SF
39,885 SF

OPEN SPACE
REQUIRED: 16,835 SF (20%)
PROVIDED: 44,288 SF (53%)

PARKING
REQUIRED (1/6 CHILDREN): 33 SPACES (194 CHILDREN)
PROVIDED
STANDARD: 34 SPACES
ACCESSIBLE: 2 SPACES
36 SPACES

DATE OF SURVEY

08/18/2023

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = SPRING 2024
ANTICIPATED FINISH DATE = SPRING 2025

INDEX OF SHEETS

NO.	DESCRIPTION
C0.0	COVER SHEET
C1.1	TOPOGRAPHIC SURVEY/DEMOLITION PLAN
C2.1	PRELIMINARY PLAT
C3.1	DIMENSION PLAN
C4.1-C4.2	GRADING PLAN
C4.3	EROSION AND SEDIMENT CONTROL PLAN
C5.1	UTILITY PLAN
C6.1-C6.2	DETAILS
L1.1	LANDSCAPE PLAN

ADDRESS

905 NW DOUGLAS PARKWAY

ZONING & BULK REGULATIONS

EXISTING ZONING: C-1 (COMMUNITY AND HIGHWAY SERVICE COMMERCIAL DISTRICT)

BULK REGULATIONS (C-1):
LOT AREA: NO MINIMUM
LOT WIDTH: NO MINIMUM
MINIMUM FRONT YARD: 30 FEET
MINIMUM REAR YARD: 30 FEET
MINIMUM SIDE YARD: NO MINIMUM, EXCEPT WHEN ADJACENT TO ANY R DISTRICT, THE MINIMUM SIDE YARD SETBACK SHALL BE 30 FEET

MAXIMUM HEIGHT:
PRINCIPAL BUILDING: NO MINIMUM EXCEPT WHEN ADJACENT TO AN R-1, R-2 OR R-4 DISTRICT, THE MAXIMUM SHALL BE 2 STORIES OR 40 FEET 1 STORY OR 14 FEET

ACCESSORY BUILDING:

GENERAL LEGEND

PROPOSED	EXISTING
PROPERTY BOUNDARY	SANITARY MANHOLE
SECTION LINE	WATER VALVE BOX
CENTER LINE	FIRE HYDRANT
RIGHT OF WAY	WATER CURB STOP
BUILDING SETBACK	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-502 STORM INTAKE	FLARED END SECTION
TYPE SW-503 STORM INTAKE	DECIDUOUS TREE
TYPE SW-505 STORM INTAKE	CONIFEROUS TREE
TYPE SW-506 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-512 STORM INTAKE	CONIFEROUS SHRUB
TYPE SW-513 STORM INTAKE	ELECTRIC POWER POLE
TYPE SW-401 STORM MANHOLE	GUY ANCHOR
TYPE SW-402 STORM MANHOLE	STREET LIGHT
FLARED END SECTION	POWER POLE W/ TRANSFORMER
TYPE SW-301 SANITARY MANHOLE	UTILITY POLE W/ LIGHT
STORM/SANITARY CLEANOUT	ELECTRIC BOX
WATER VALVE	ELECTRIC TRANSFORMER
FIRE HYDRANT ASSEMBLY	ELECTRIC MANHOLE OR VAULT
SIGN	TRAFFIC SIGN
DETECTABLE WARNING PANEL	TELEPHONE JUNCTION BOX
WATER CURB STOP	TELEPHONE MANHOLE/VAULT
SANITARY SEWER	TELEPHONE POLE
STORM SEWER	GAS VALVE BOX
WATERMAIN WITH SIZE	CABLE TV JUNCTION BOX
WATER SERVICE	CABLE TV MANHOLE/VAULT
SAWCUT (FULL DEPTH)	MAIL BOX
SILT FENCE	BENCHMARK
USE AS CONSTRUCTED	SOIL BORING
MINIMUM PROTECTION ELEVATION	UNDERGROUND TV CABLE
	GAS MAIN
	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

OWNER

PARKSIDE WAUKEE, LLC
2400 86TH STREET, SUITE 24
URBANDALE, IOWA 50322

APPLICANT

NEW HORIZON ACADEMY
3405 ANNAPOLIS LANE N, SUITE 100
PLYMOUTH, MN 55447
CONTACT: HEIDI PROSS
EMAIL: HPROSS@NHACADEMY.NET
PH: (763) 557-1111

ENGINEER

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: NIKKI NEAL
EMAIL: NICOLEN@CDA-ENG.COM
PH: (515) 369-4400

SURVEYOR

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: CHARLIE MCGLOTHLEN
EMAIL: CHARLIE@CDA-ENG.COM
PH: (515) 369-4400

ARCHITECT

SIMONSON & ASSOCIATES, LLC
1717 INGERSOLL AVE, SUITE 117
DES MOINES, IOWA 50309
CONTACT: STEPHANIE POOLE
EMAIL: SPOOLE@SIMONSONASSOC.COM
PH: (515) 440-5626

SUBMITTAL DATES

FIRST SUBMITTAL: 02/06/2024
SECOND SUBMITTAL: 03/06/2024
THIRD SUBMITTAL: 03/26/2024



1-800-292-8989
www.iowaonecall.com

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.



CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE, URBANDALE, IA 50322

PH: (515) 369-4400
PROJECT NO. 2308.573

REFER TO GEOTECH ENGINEERING REPORT NO. 231297 DATED SEPTEMBER 22, 2023 BY ALLENDER BUTZKE ENGINEERS INC FOR GEOTECHNICAL REQUIREMENTS.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND COSECO PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

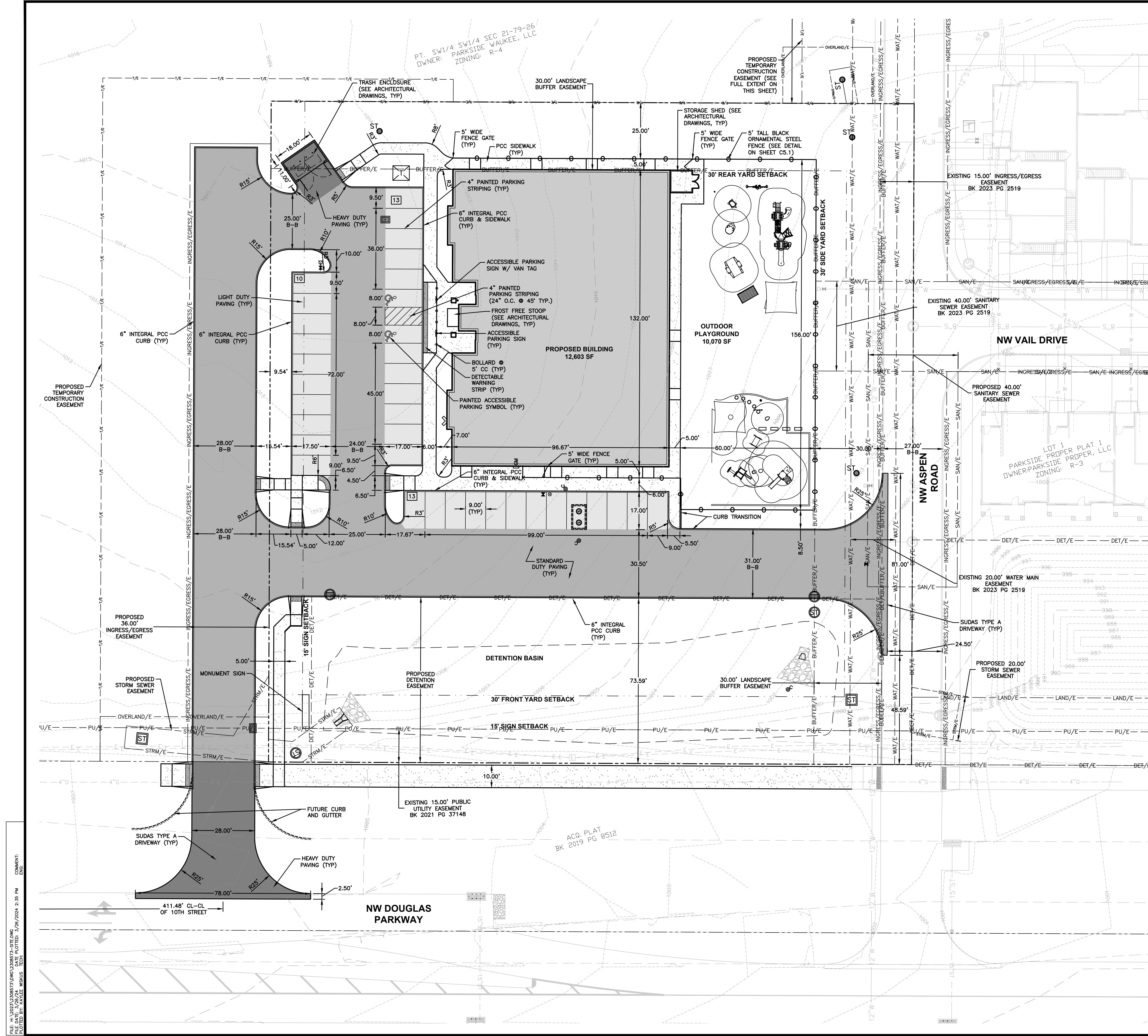
THE 2023 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE 2024 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

JOHN PATRICK BECKER, P.E.
LICENSE NUMBER: 25523
DATE: _____
MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024
PAGES OR SHEETS COVERED BY THIS SEAL:
SHEET C0.0, C1.1-C1.2, C2.1, C3.1, C4.1-C4.3, C5.1, AND C6.1-C6.2

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

KEITH D. WELLS, AIA
LICENSE NUMBER: 00442
DATE: _____
MY LICENSE RENEWAL DATE IS JUNE 30, 2024
PAGES OR SHEETS COVERED BY THIS SEAL:
SHEET L1.1

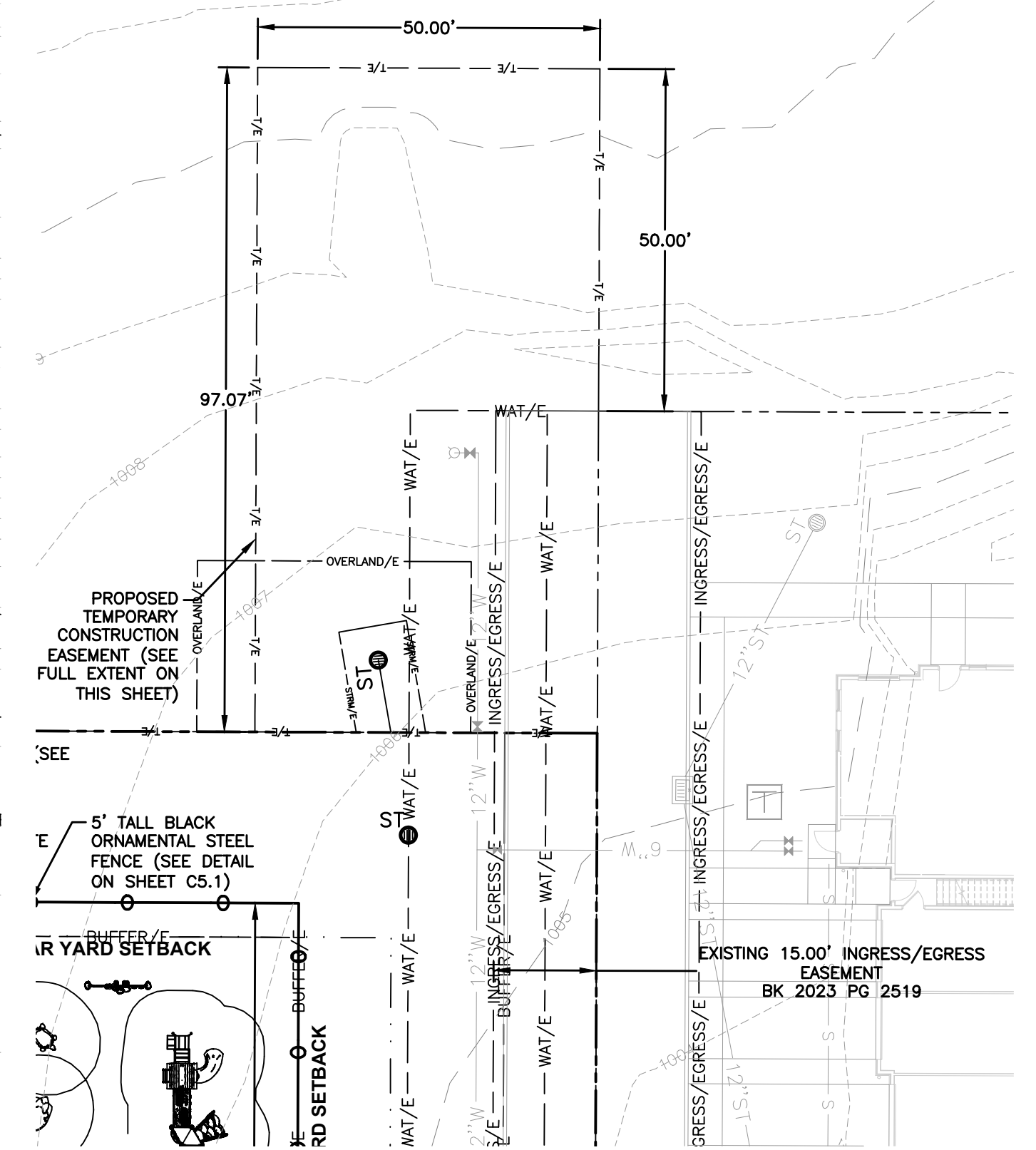


GENERAL NOTES

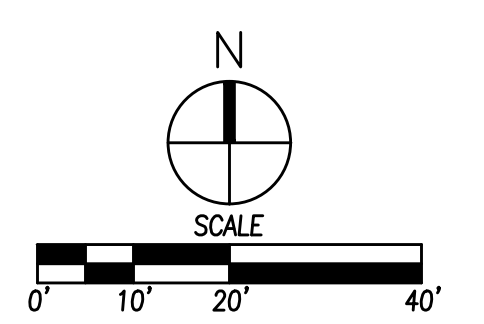
1. THE 2023 WAUKEE STANDARD SPECS AND 2024 SUDAS STANDARD SPECS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
19. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES. IF PAVING IS NOT INSTALLED PRIOR TO BUILDING CONSTRUCTION COMMENCING AFTER FOOTING INSTALLED, AN APPROVED ROUTE AROUND THE EXTERIOR WALLS SHALL BE PROVIDED AND COMPLY WITH THE REQUIREMENTS OF SECTION 503.2 OF THE IFC.

PAVEMENT THICKNESS

1. SIDEWALKS	4" P.C.C.
2. LIGHT DUTY	6" P.C.C.
3. STANDARD DUTY	7" P.C.C.
4. HEAVY DUTY	8" P.C.C.

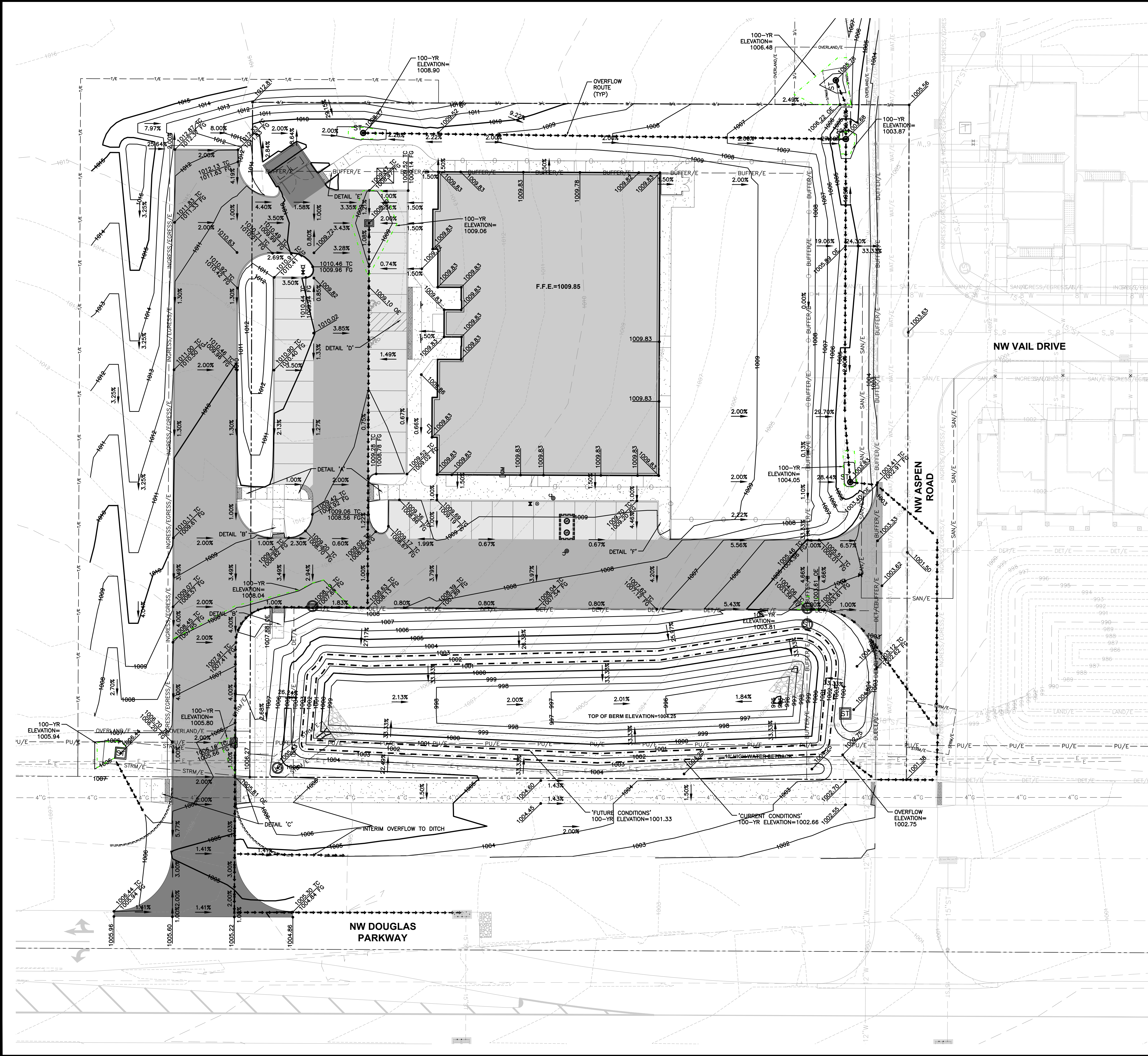


COMMENTS:
 ENG.
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 PLOTTED BY: KAVIJE



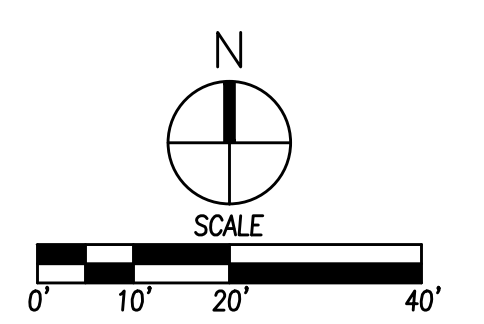
DATE: _____
 REVISIONS: _____
 4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 DRAFTED: _____
 ENGINEER: _____
NEW HORIZON ACADEMY
 CIVIL DESIGN ADVANTAGE
 DIMENSION PLAN
 WAUKEE, IOWA
 DATE: 03/26/2024
 SHEET NUMBER:
C3.1
 2308.573

COMMENTS:
 1. ALL NOTES SHALL BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND THE 2024 SUDAS STANDARD SPECIFICATIONS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
 3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2023 WAUKEE SPECIFICATIONS AND THE 2024 SUDAS STANDARD SPECIFICATIONS.
 4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
 5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
 6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
 7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
 8. THE CONTRACTOR SHALL CONFINED HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
 10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
 11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
 12. SIDEWALKS:
 MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
 13. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORIFICE PLATE (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS PRACTICAL.

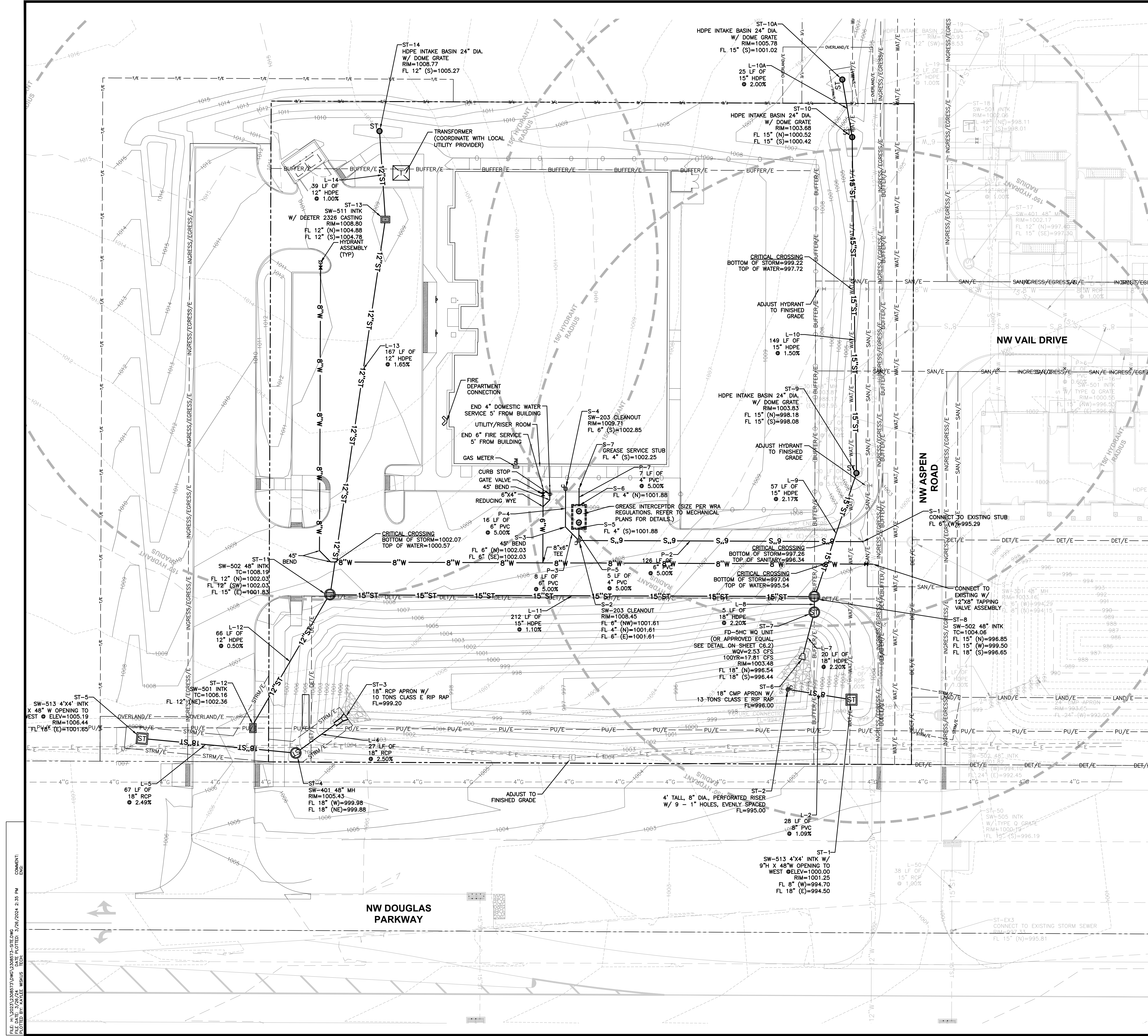


GRADING NOTES

1. THE COMPLETION AND APPROVAL OF THE COSECO PERMIT SHALL BE PROVIDED TO THE CITY OF WAUKEE BUILDING DIVISION AND STORM WATER DEPARTMENT PRIOR TO ANY GRADING ACTIVITIES.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 8" OF TOPSOIL IS TO BE STOCKPILED AND RESPAVED AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2023 WAUKEE SPECIFICATIONS AND THE 2024 SUDAS STANDARD SPECIFICATIONS.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINED HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS:
 MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
13. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORIFICE PLATE (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS PRACTICAL.



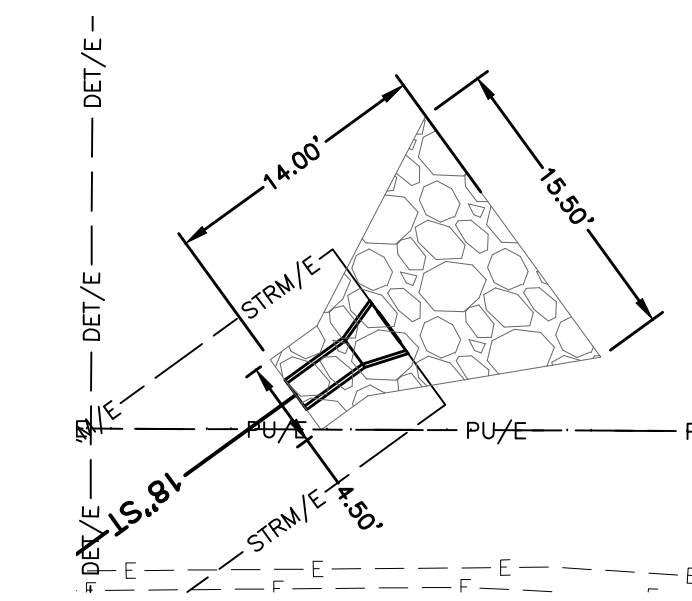
DATE	03/26/2024
REVISIONS	
ENGINEER	NEW HORIZON ACADEMY
ENGINEER	WAUKEE, IOWA
PROJECT	4121 NW URBANDALE DRIVE URBANDALE, IA 50322
PHONE	(515) 369-4400
FAX	(515) 369-4410
DRAFTED	
CIVIL DESIGN ADVANTAGE	
NEW HORIZON ACADEMY	
GRADING PLAN	
SHEET NUMBER	C4.1
	2308.573



UTILITY NOTES

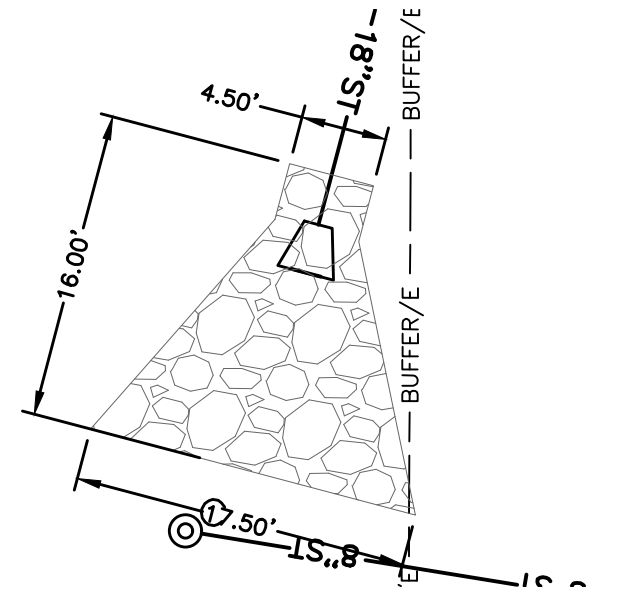
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
- BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2023 WAUKEE SPECIFICATIONS AND THE 2024 SUDAS STANDARD SPECIFICATIONS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMANS.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES, UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE 2023 WAUKEE SPECIFICATIONS AND THE 2024 SUDAS STANDARD SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.

ST-3 REVETMENT



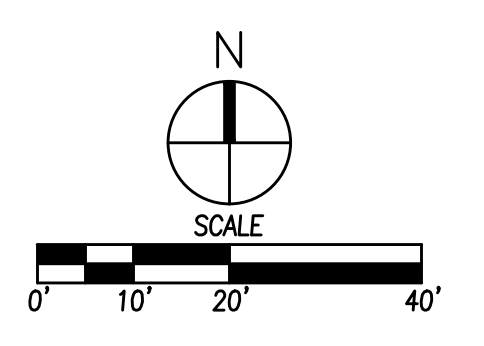
- NOTE:**
- REVETMENT DEPTH SHALL BE NO LESS THAN 1.5' DEEP.
 - REVETMENT SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.

ST-6 REVETMENT

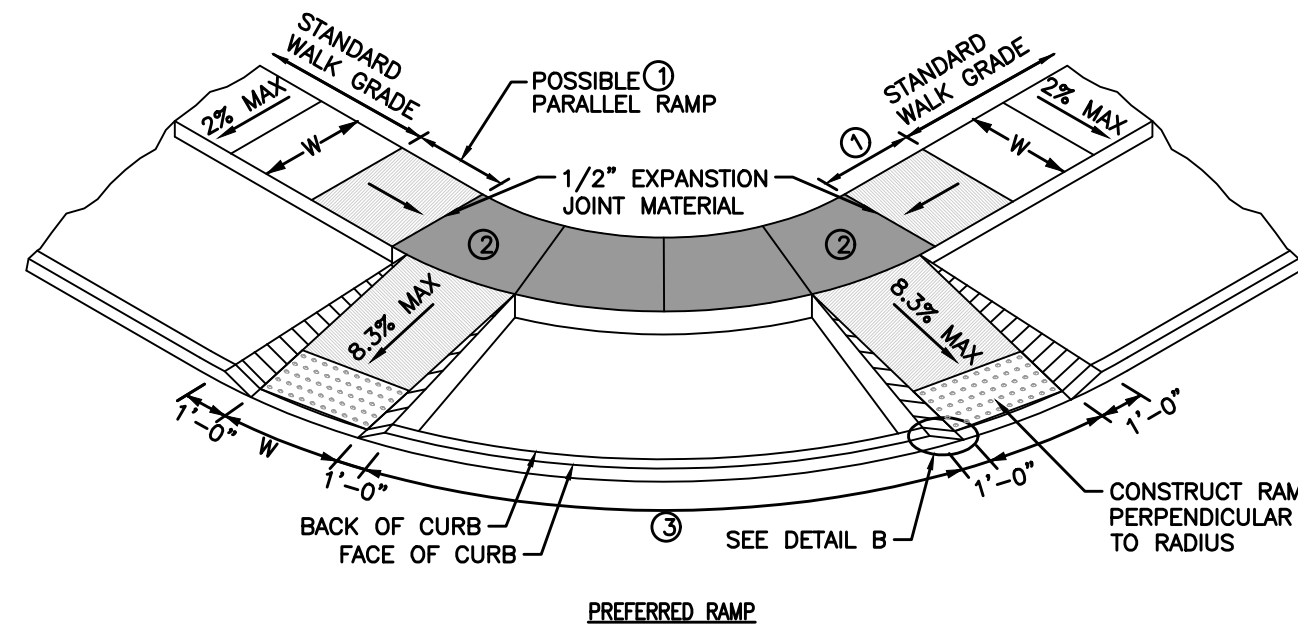


- NOTE:**
- REVETMENT DEPTH SHALL BE NO LESS THAN 1.5' DEEP.
 - REVETMENT SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
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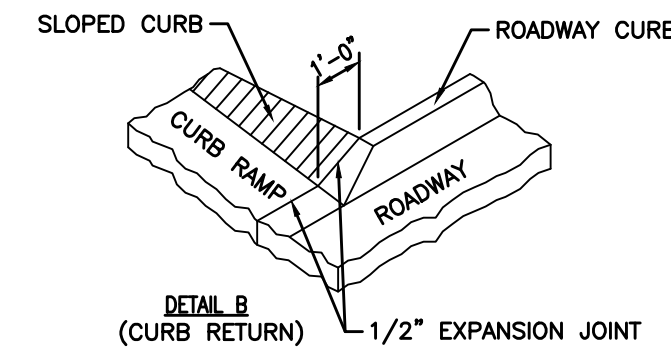
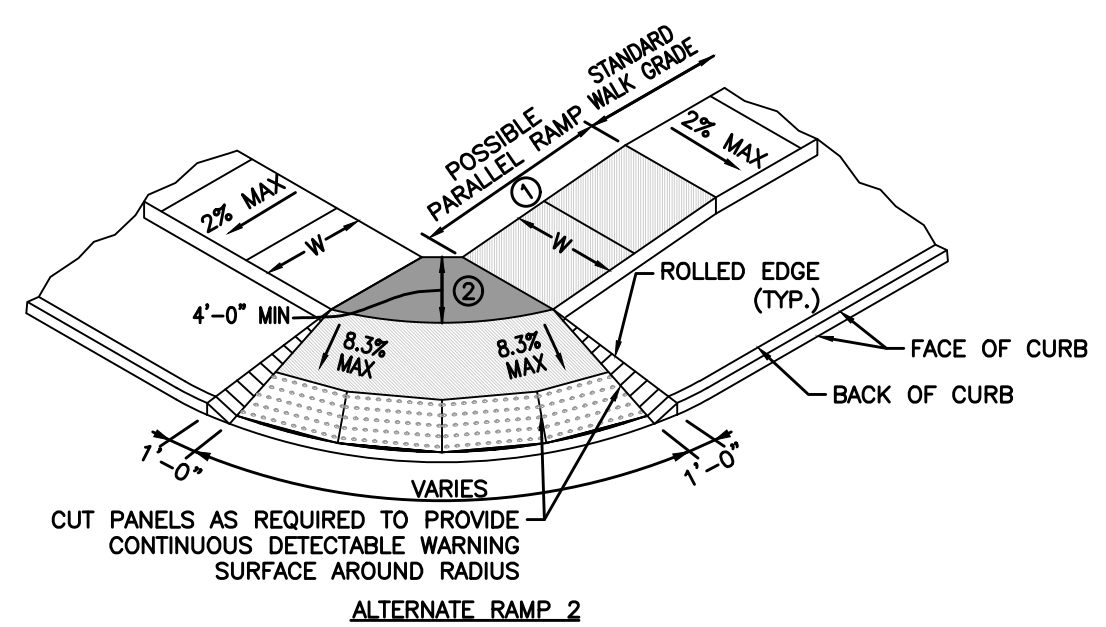
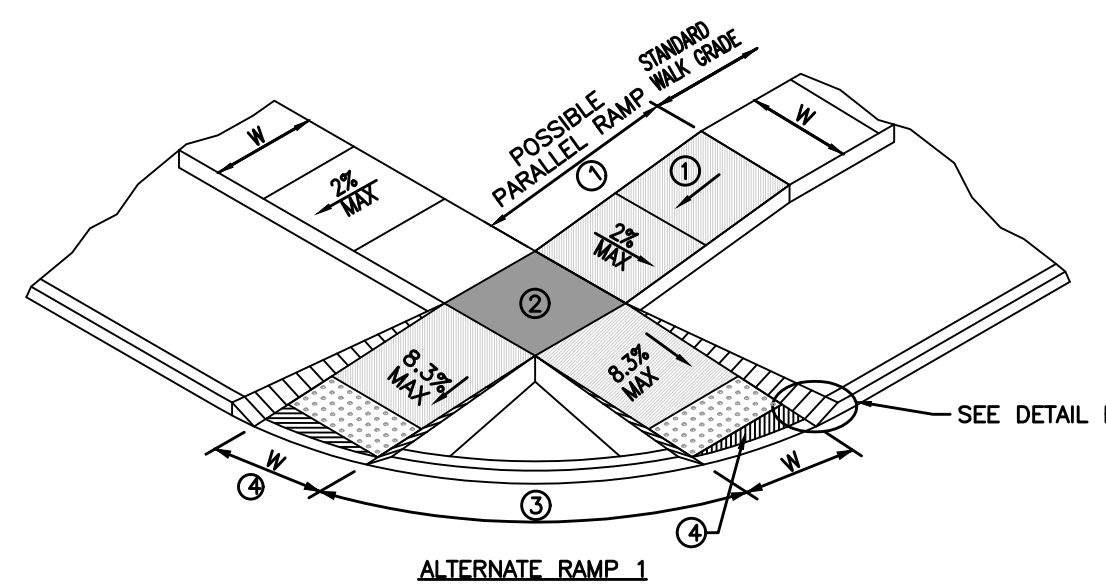
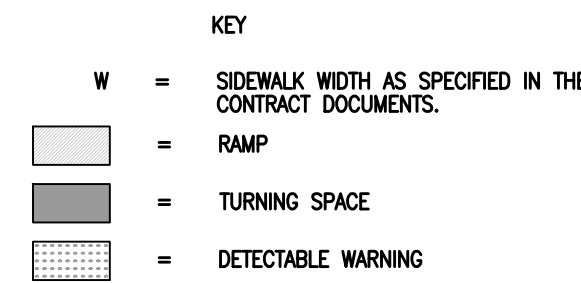
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 DATE: 03/26/2024
 FILE: 2/20/2024
 PLOTTED BY: KAVIJE



DATE: 03/26/2024
 SHEET NUMBER: C5.1
 2308.573
 4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 DRAFTED: ENGINEER:
 CIVIL DESIGN ADVANTAGE
 NEW HORIZON ACADEMY
 WAUKEE, IOWA
 UTILITY PLAN

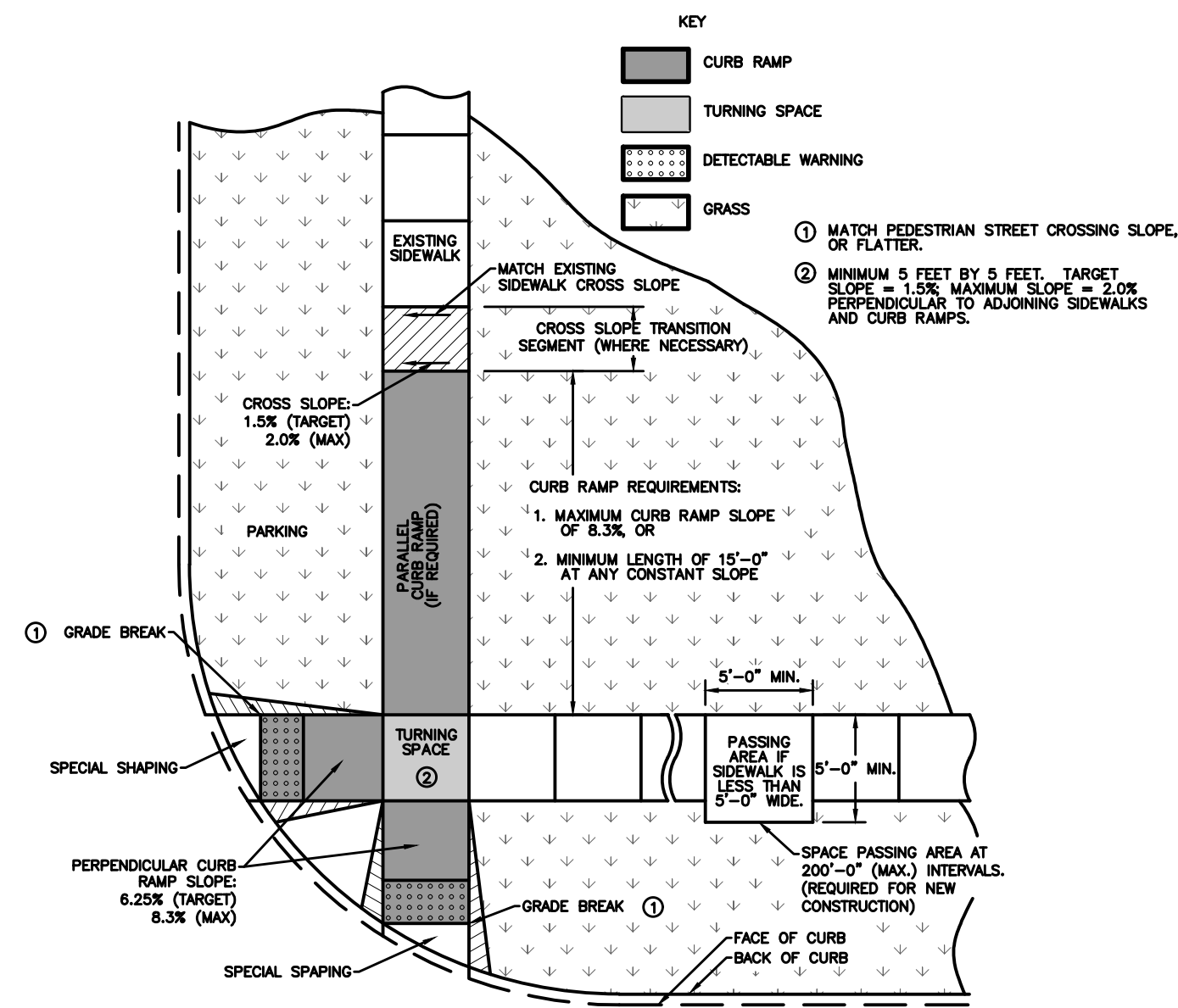


1. PARALLEL RAMP: IF NORMAL SIDEWALK ELEVATION CANNOT BE ACHIEVED WITH THE PERPENDICULAR RAMP BETWEEN THE STREET AND LANDING DUE TO LIMITED RAMP LENGTH, PROVIDE A PARALLEL RAMP TO MAKE UP THE ELEVATION DIFFERENCE BETWEEN THE LANDING AND THE STANDARD SIDEWALK. THE LENGTH OF THE PARALLEL RAMP IS NOT REQUIRED TO EXCEED 15 FEET, REGARDLESS OF THE RESULTING SLOPE. DO NOT EXCEED 8.3% SLOPE FOR PARALLEL RAMPS SHORTER THAN 15 FEET.
2. TURNING SPACE: MAXIMUM SLOPE OF 2% IN ANY DIRECTION.
3. ISLAND WIDTH: 5 FOOT MINIMUM. IF ISLAND IS LESS THAN 5 FEET, ELIMINATE ISLAND AND PROVIDE ALTERNATE 2.
4. UNLESS CURB RAMP IS ALIGNED PERPENDICULAR TO THE STREET RADIUS, PROVIDE AN AREA OF SPECIAL SHAPING AT THE BOTTOM OF THE RAMP TO PROVIDE A SMOOTH TRANSITION TO THE GUTTERLINE. 2% MAXIMUM SLOPE IN ANY DIRECTION.

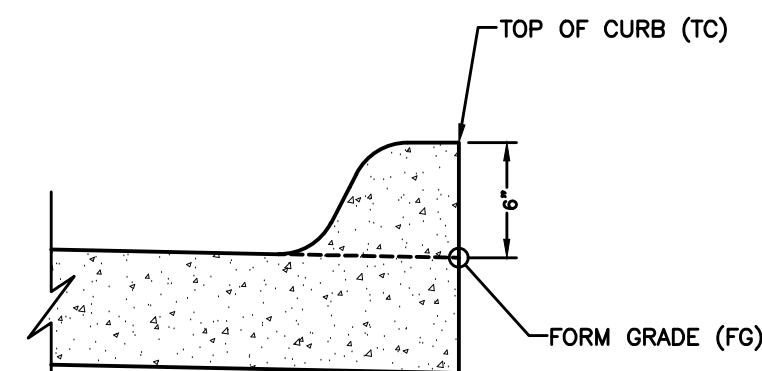


10 CURB RAMPS WITHIN INTERSECTION
NOT TO SCALE

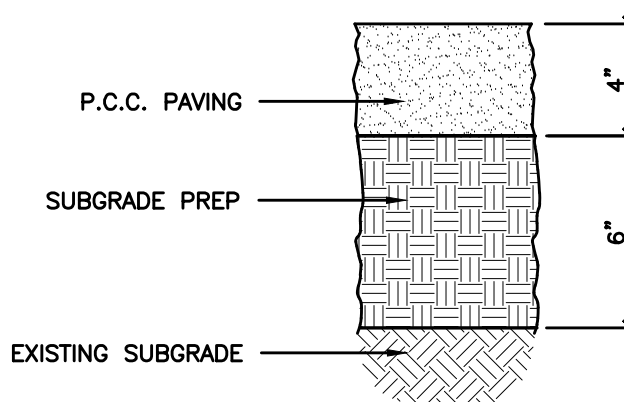
8 GENERAL FEATURES OF AN ACCESSIBLE SIDEWALK
NOT TO SCALE



7 INTEGRAL 6\"/>

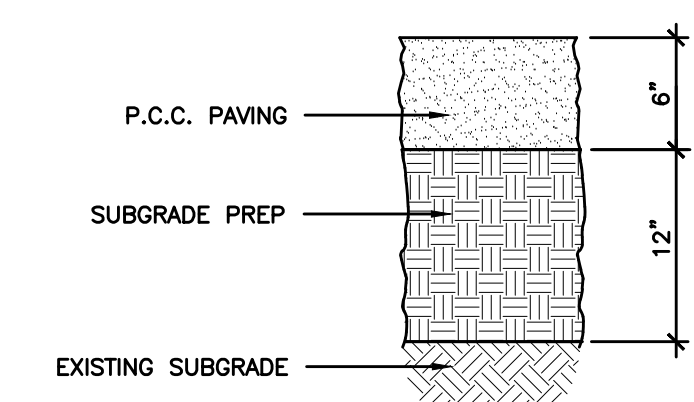


6 PCC SIDEWALK
NOT TO SCALE



- NOTE:
1. SUBGRADE PREPARATION SHALL EXTEND 12\"/>
 - 2. SUBGRADE PREPARATION SHALL BE COMPLETED IN LIFT.

5 LIGHT DUTY PCC PAVING
NOT TO SCALE



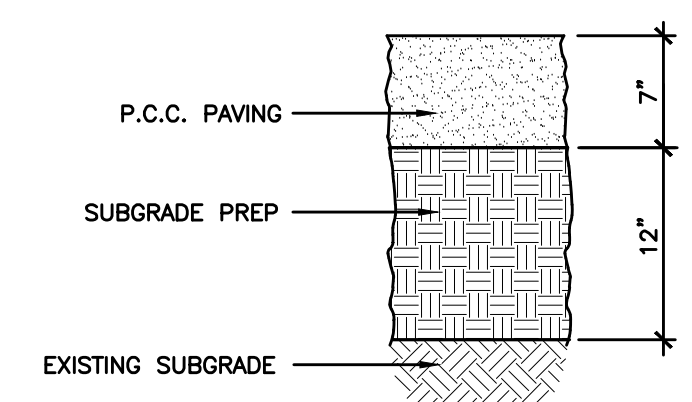
- NOTE:
1. SUBGRADE PREPARATION SHALL EXTEND 24\"/>
 - 2. SUBGRADE PREPARATION SHALL BE COMPLETED IN 2 - 6\"/>

3 6\"/>



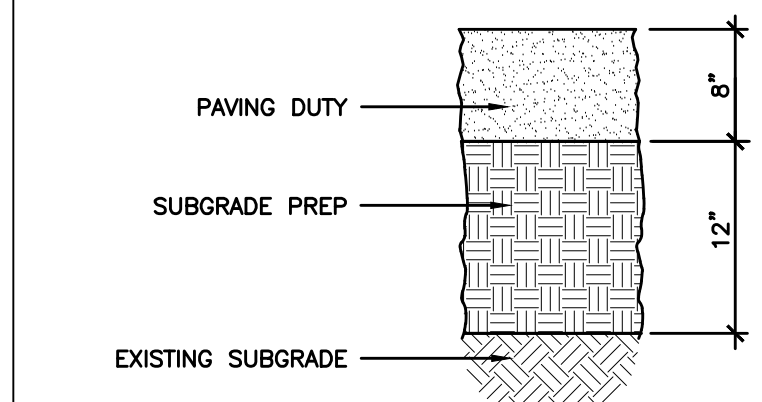
- NOTE:
1. TRANSVERSE JOINTS SHALL BE \"C\" JOINTS AT 15' MAX. SPACING.
 2. LONGITUDINAL JOINTS SHALL BE INTERCHANGEABLE, L-1 OR KT-1.

2 STANDARD DUTY PCC PAVING
NOT TO SCALE



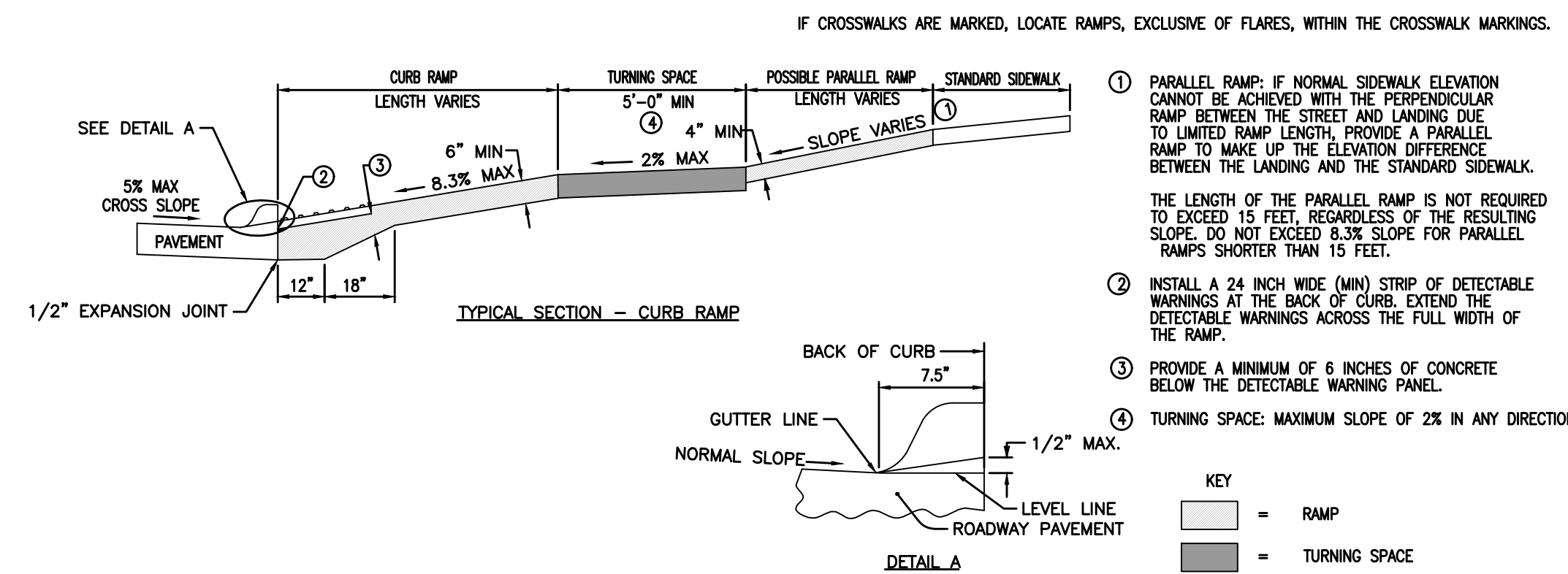
- NOTE:
1. SUBGRADE PREPARATION SHALL EXTEND 24\"/>
 - 2. SUBGRADE PREPARATION SHALL BE COMPLETED IN 2 - 6\"/>

1 HEAVY DUTY PCC PAVING
NOT TO SCALE

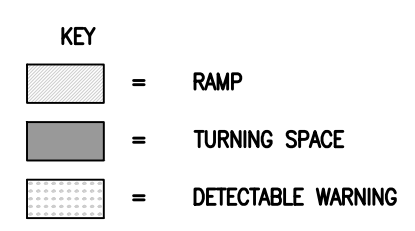


- NOTE:
1. SUBGRADE PREPARATION SHALL EXTEND 24\"/>
 - 2. SUBGRADE PREPARATION SHALL BE COMPLETED IN 2 - 6\"/>

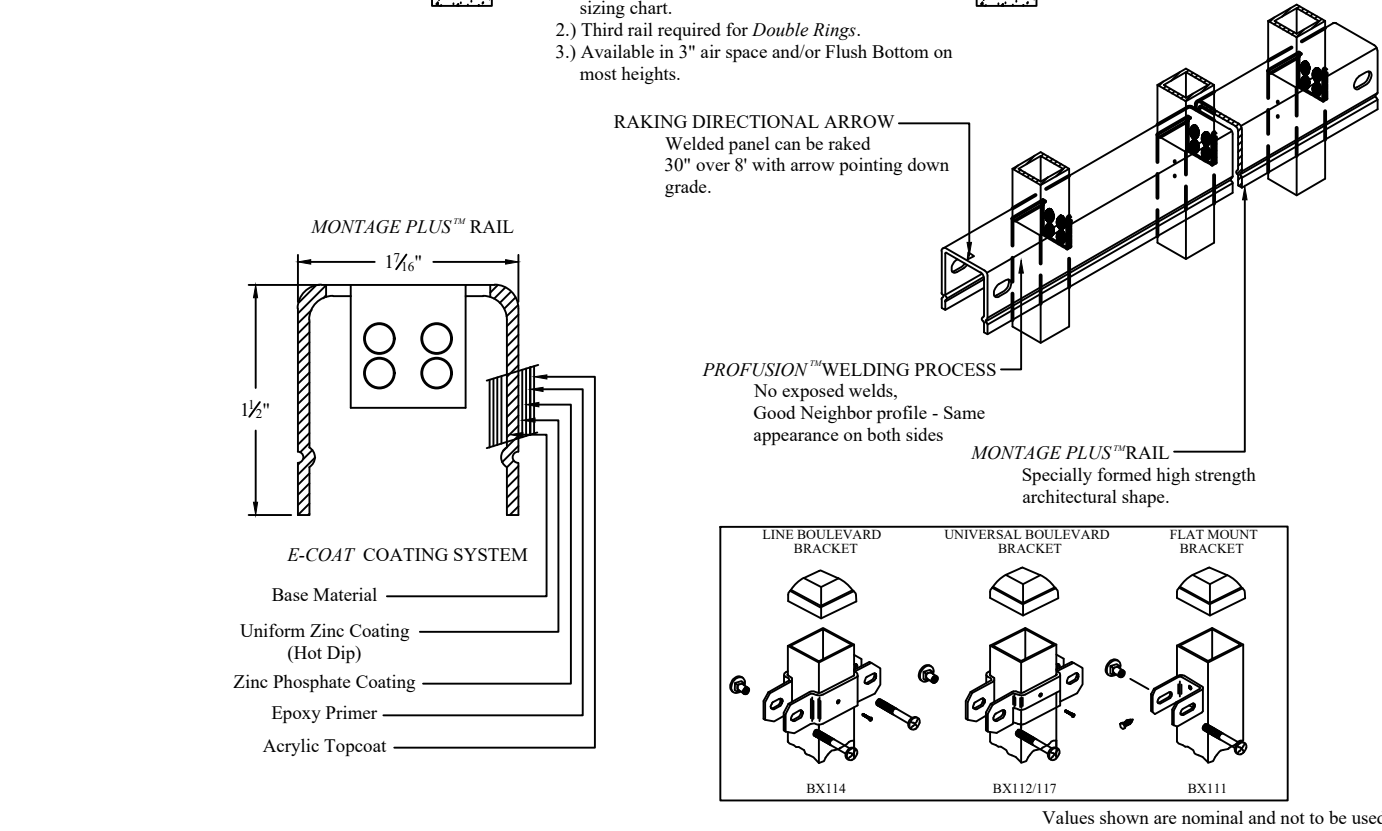
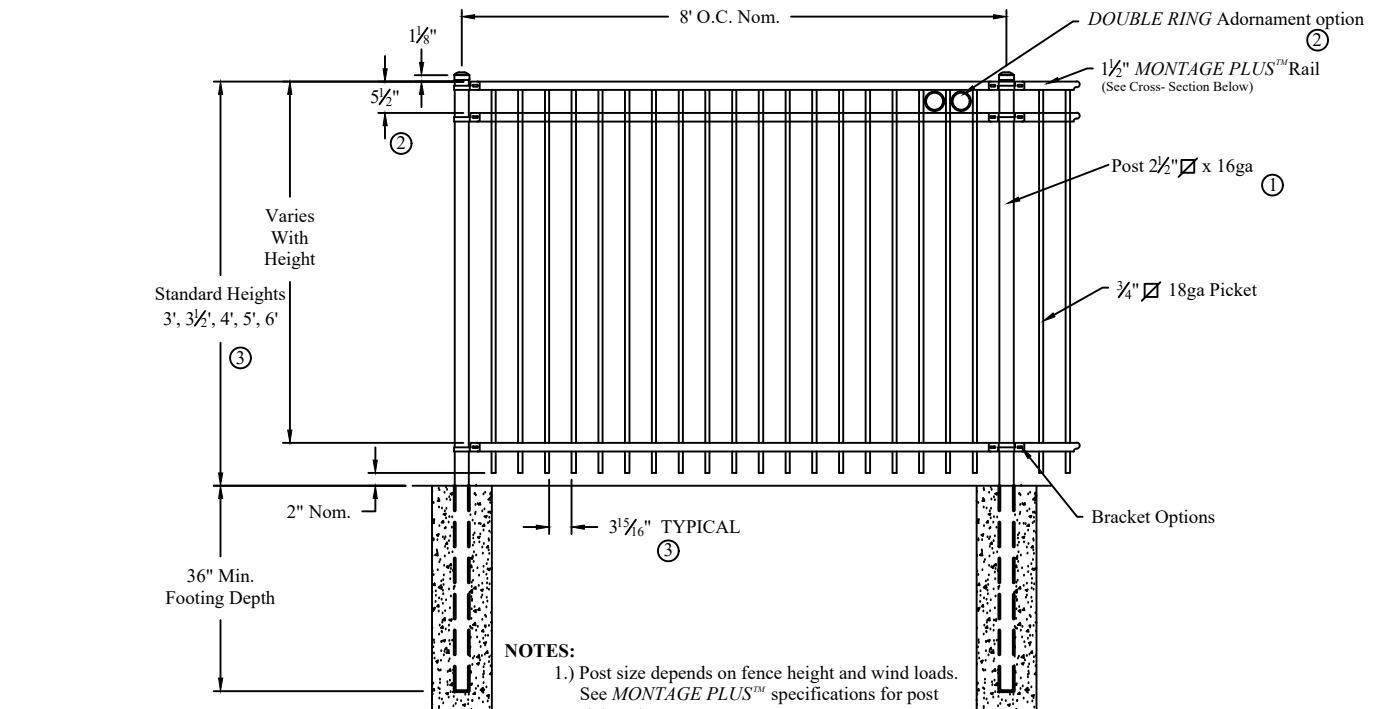
9 CURB RAMPS - GENERAL SECTION
NOT TO SCALE



1. PARALLEL RAMP: IF NORMAL SIDEWALK ELEVATION CANNOT BE ACHIEVED WITH THE PERPENDICULAR RAMP BETWEEN THE STREET AND LANDING DUE TO LIMITED RAMP LENGTH, PROVIDE A PARALLEL RAMP TO MAKE UP THE ELEVATION DIFFERENCE BETWEEN THE LANDING AND THE STANDARD SIDEWALK. THE LENGTH OF THE PARALLEL RAMP IS NOT REQUIRED TO EXCEED 15 FEET, REGARDLESS OF THE RESULTING SLOPE. DO NOT EXCEED 8.3% SLOPE FOR PARALLEL RAMPS SHORTER THAN 15 FEET.
2. INSTALL A 24 INCH WIDE (MIN) STRIP OF DETECTABLE WARNINGS AT THE BACK OF CURB. EXTEND THE DETECTABLE WARNINGS ACROSS THE FULL WIDTH OF THE RAMP.
3. PROVIDE A MINIMUM OF 6 INCHES OF CONCRETE BELOW THE DETECTABLE WARNING PANEL.
4. TURNING SPACE: MAXIMUM SLOPE OF 2% IN ANY DIRECTION.



9 CURB RAMPS - GENERAL SECTION
NOT TO SCALE



COMMERCIAL STRENGTH WELDED STEEL PANEL
PRE-ASSEMBLED

MONTAGE PLUS MAJESTIC 2/3-RAIL

DR: NJB SH: 1 of 1 SCALE: DO NOT SCALE

CK: BS Date: 09/21/11 REV: c

AMERISTAR
1555 N. Mingo
Tulsa, OK 74116
1-888-333-3422
www.ameristarfence.com

4 FENCE DETAIL
NOT TO SCALE

COMMENT: ENG.
 FILE DATE: 3/26/24
 DATE PLOTTED: 3/26/2024 2:39 PM
 PLOTTED BY: KAYLEE TECH

PARTS LIST : 5' FIRST DEFENSE HIGH CAPACITY

ITEM	SIZE (IN)	MATERIAL	DESCRIPTION
1	60	-	I.D. PRECAST MANHOLE
2	-	-	LEDGER SUPPORT
3	-	-	SEPARATION MODULE
4	18	HDPE	INLET PIPE (BY OTHERS)
5	18	HDPE	OUTLET PIPE (BY OTHERS)
6	30	-	FRAME & COVER
7	-	-	MATERIALS AND LABOR TO ACHIEVE FINAL GRADE (BY OTHERS)

NOTES:

- ENGINEER / CONTRACTOR TO CONFIRM PIPE MATERIALS.
- CONTRACTOR IS RESPONSIBLE FOR MATERIALS AND LABOR TO BRING CASTINGS TO FINISHED GRADE.
- ACTUAL DEPTH OF STRUCTURE MAY VARY DEPENDING ON AVAILABLE PRECAST FORMS. CONTRACTOR TO MEASURE HEIGHT OF STRUCTURE TO ENSURE THAT DEPTH OF EXCAVATION IS CORRECT.
- UNIT SHALL CONFORM TO HS20-44 LOAD RATINGS.

MAINTENANCE:

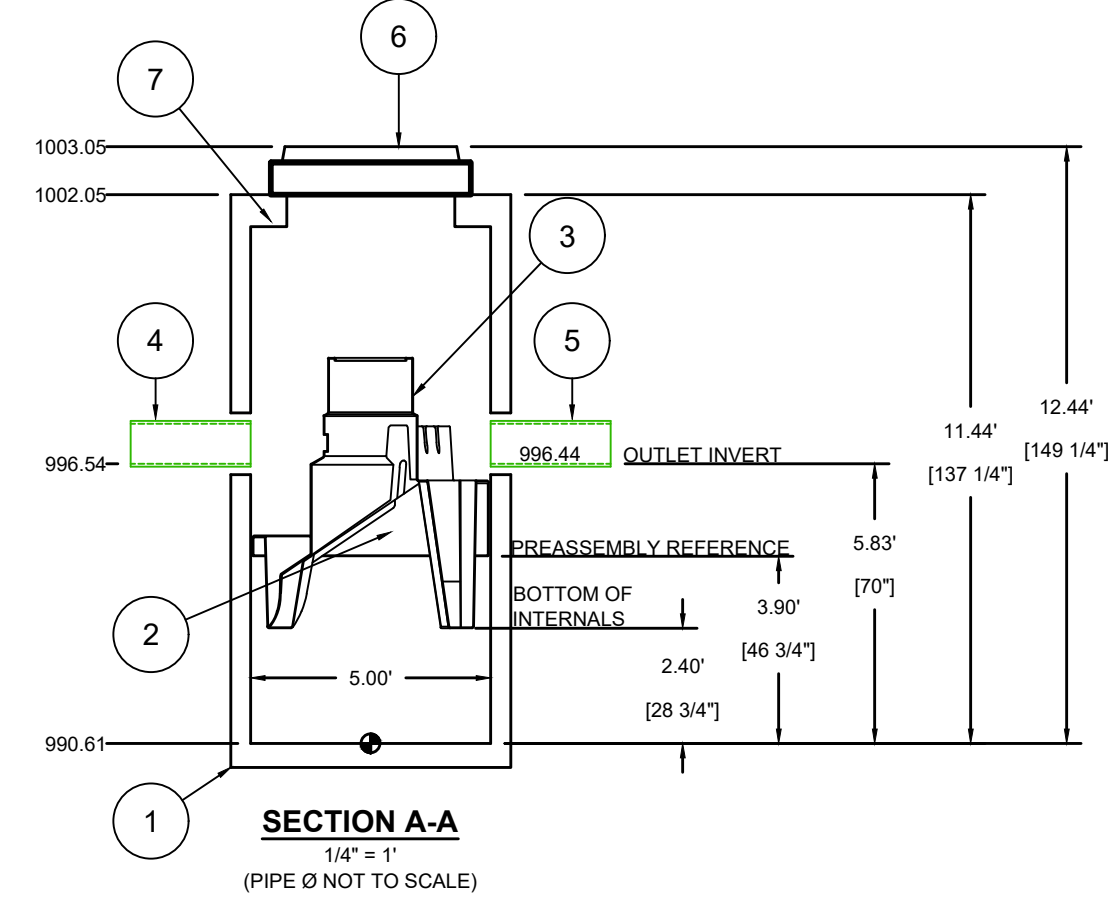
- MAINTENANCE EVENTS MAY INCLUDE INSPECTION, OIL & FLOATABLES REMOVAL, AND SEDIMENT REMOVAL. MAINTENANCE EVENTS DO NOT REQUIRE ENTRY INTO THE FIRST DEFENSE, NOR DO THEY REQUIRE THE INTERNAL COMPONENTS OF THE FIRST DEFENSE TO BE REMOVED. IN THE CASE OF INSPECTION AND FLOATABLES REMOVAL, A VACTOR TRUCK IS NOT REQUIRED. HOWEVER, A VACTOR TRUCK IS REQUIRED IF THE MAINTENANCE EVENT IS TO INCLUDE OIL REMOVAL AND/OR SEDIMENT REMOVAL.
- INSPECTIONS SHOULD BE COMPLETED REGULARLY DURING FIRST YEAR OF INSTALLATION AND EVERY 6 MONTHS AFTER THE FIRST YEAR.
- OIL AND FLOATABLES SHOULD BE REMOVED ONCE PER YEAR AND ANYTIME FOLLOWING A SPILL IN THE DRAINAGE AREA.
- SEDIMENT SHOULD BE REMOVED ONCE PER YEAR OR AS NEEDED AND ANYTIME FOLLOWING A SPILL IN THE DRAINAGE AREA.

GENERAL INSPECTION PROCEDURES:

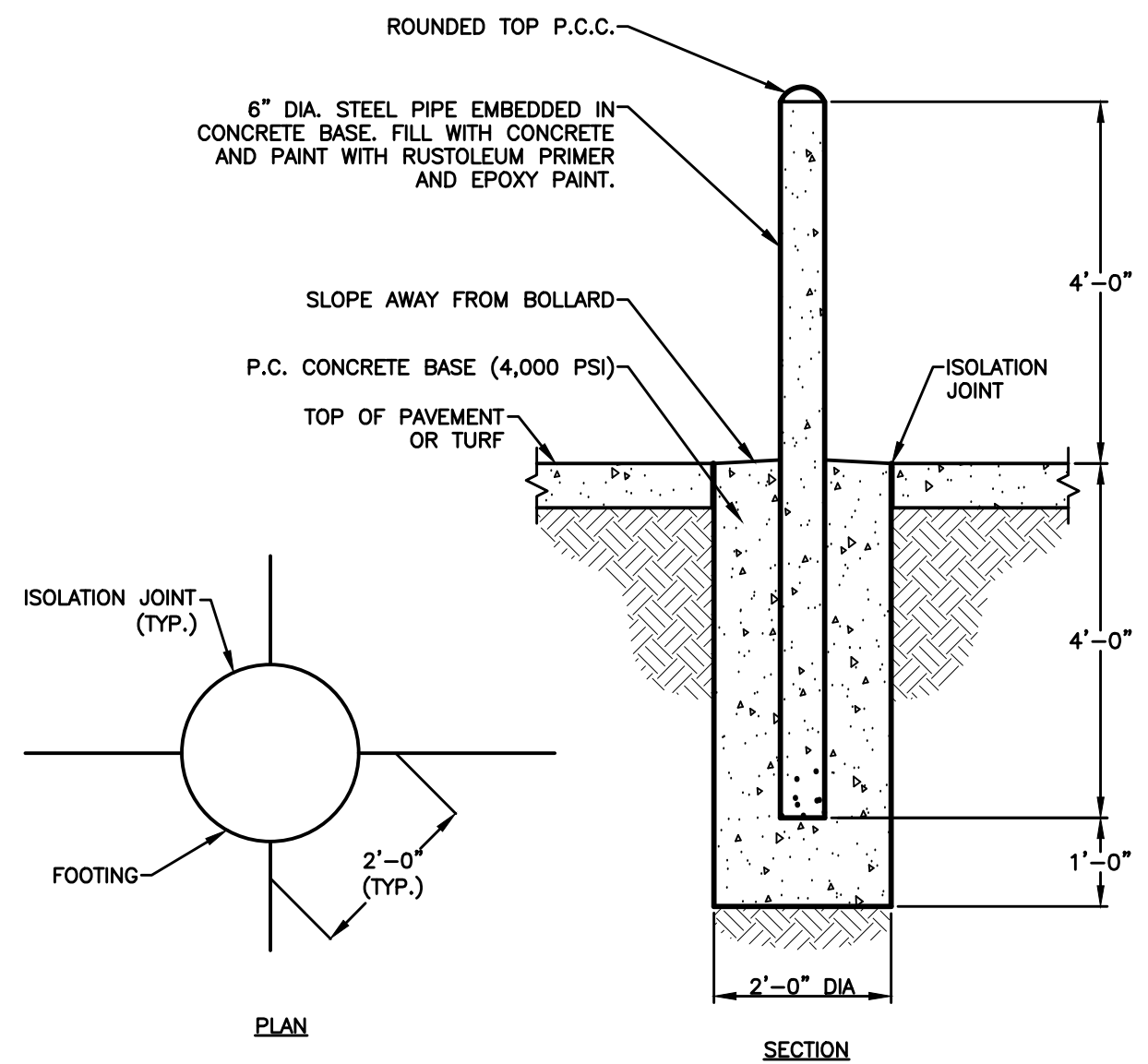
- SET UP ANY NECESSARY SAFETY EQUIPMENT AROUND THE ACCESS PORT OR GRATE OF THE FIRST DEFENSE AS STIPULATED BY LOCAL ORDINANCES. SAFETY EQUIPMENT SHOULD NOTIFY PASSING PEDESTRIAN AND ROAD TRAFFIC THAT WORK IS BEING DONE.
- REMOVE THE GRATE OR LID TO THE MANHOLE.
- WITHOUT ENTERING THE VESSEL, LOOK DOWN INTO THE CHAMBER TO INSPECT THE INSIDE. MAKE NOTE OF ANY IRREGULARITIES. STANDING WATER SHOULD BE OBSERVED.
- WITHOUT ENTERING THE VESSEL, USE THE POLE WITH THE SKIMMER NET TO REMOVE FLOATABLES AND LOOSE DEBRIS FROM THE COMPONENTS AND WATER SURFACE.
- USING A SEDIMENT PROBE SUCH AS A SLUDGE JUDGE®, MEASURE THE DEPTH OF SEDIMENT THAT HAS COLLECTED IN THE SUMP OF THE VESSEL.
- RECORD THE DATE, UNIT LOCATION, ESTIMATED VOLUME OF FLOATABLES AND GROSS DEBRIS REMOVED, AND THE DEPTH OF SEDIMENT MEASURED ON A MAINTENANCE LOG. ALSO NOTE ANY APPARENT IRREGULARITIES SUCH AS DAMAGED COMPONENTS OR BLOCKAGES.
- SECURELY REPLACE THE GRATE OR LID.
- TAKE DOWN SAFETY EQUIPMENT.
- NOTIFY HYDRO INTERNATIONAL OF ANY IRREGULARITIES NOTED DURING INSPECTION.

NOTE:

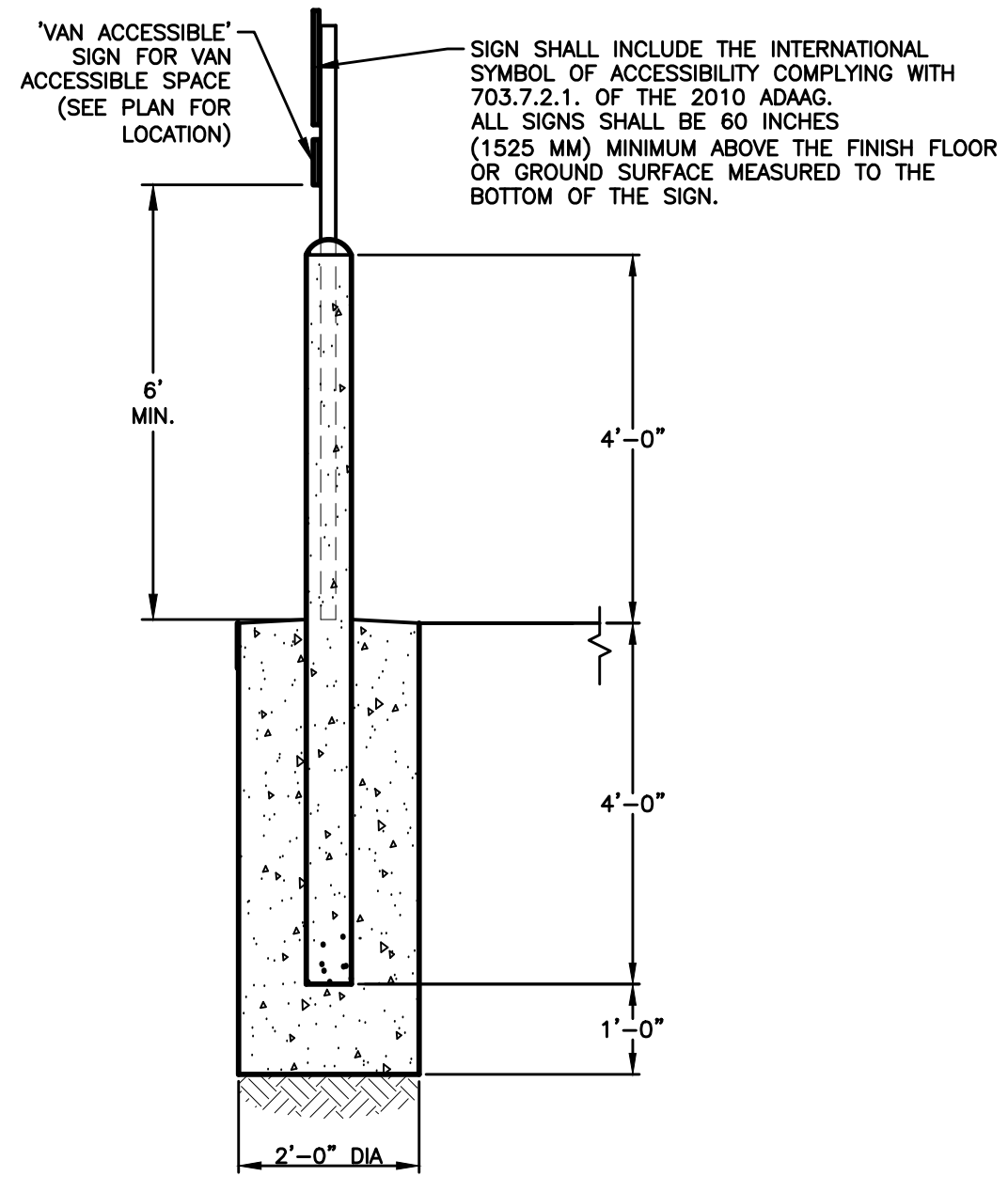
- A FULL GUIDE TO MAINTENANCE AND OPERATION CAN BE FOUND AT [HTTPS://HYDRO-INT.COM/EN/PRODUCTS/FIRST-DEFENSE](https://hydro-int.com/en/products/first-defense)



1 5' FIRST DEFENSE HIGH CAPACITY (ST-7)
NOT TO SCALE



4 BOLLARD
NOT TO SCALE



3 SIGN ON BOLLARD
NOT TO SCALE

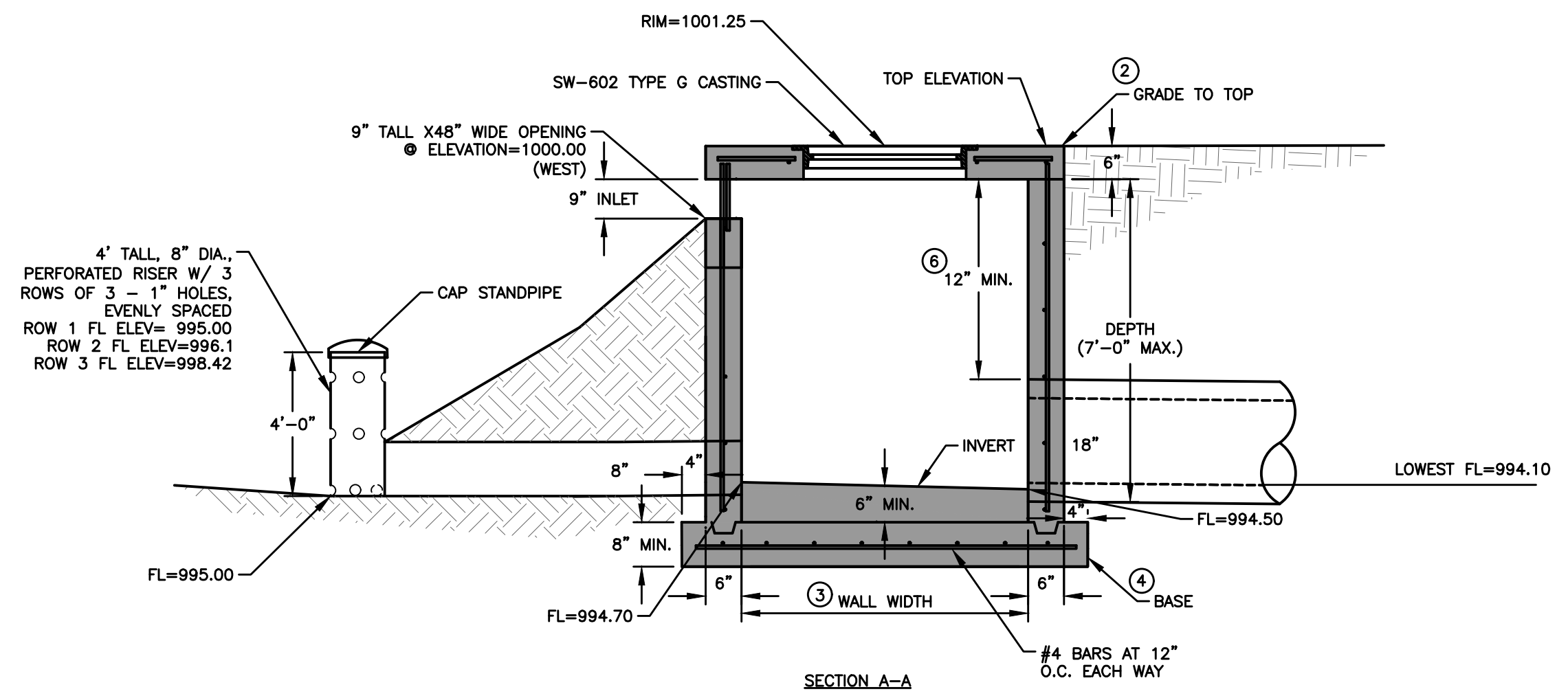
STRUCTURE MAY BE BUILT WITH OPENINGS ON ANY OR ALL SIDES. PROVIDE OPENINGS AND ORIENTATION AS SPECIFIED IN THE CONTRACT DOCUMENTS.

ADJACENT WALLS MAY HAVE DIFFERENT WIDTHS BASED UPON PIPE CONFIGURATION, BUT STRUCTURE MUST BE RECTANGULAR.

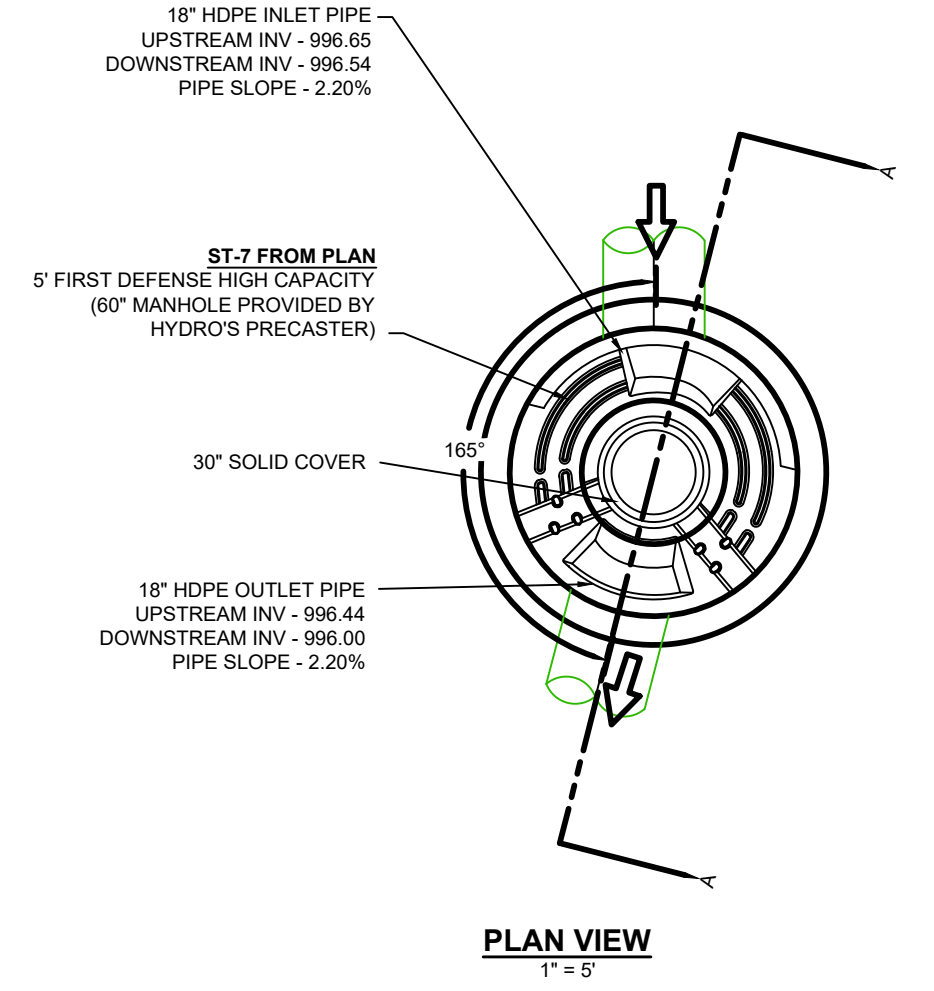
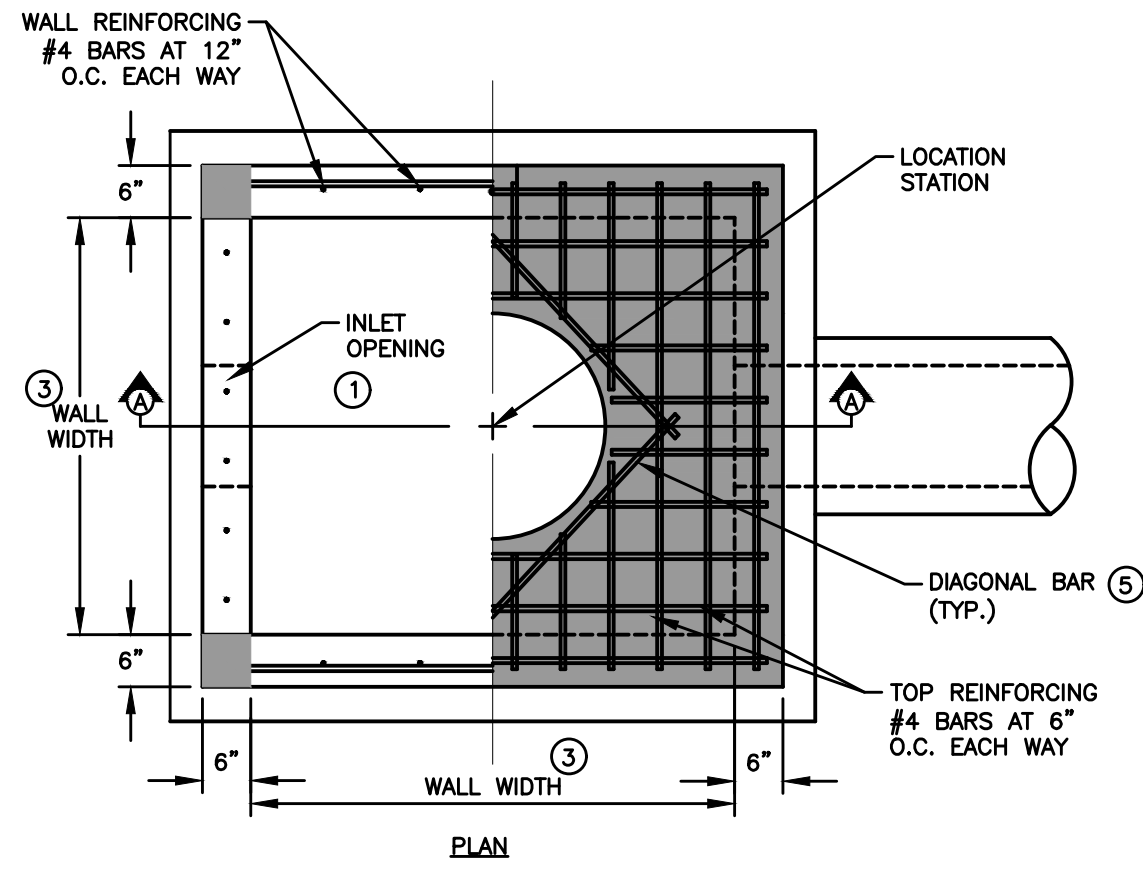
- CONSTRUCT INLET OPENINGS WITH 15-INCH #4 EPOXY-COATED BARS AT 8 INCHES ON CENTER. EMBED BARS A MINIMUM OF 3 INCHES INTO WALLS AND TOP AT ALL OPENINGS. CONSTRUCT 1 INLET OPENING 9" TALL AND 36" WIDE.
- GRADE TO INLET ELEVATION ON OPEN SIDES. GRADE TO TOP ELEVATION ON CLOSED SIDES.
- WALL WIDTHS VARY WITH PIPE DIA. PROVIDE 6 INCHES OF WALL WIDTH (MINIMUM) EACH SIDE OF PIPE OPENING. MINIMUM WALL WIDTH IS 36 INCHES. MAXIMUM WALL WIDTH IS 72 INCHES.
- CAST-IN-PLACE BASE SHOWN. IF BASE IS PRECAST INTEGRAL WITH WALLS, THE FOOTPRINT OF BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE WALLS.
- INSTALL FOUR #4 DIAGONAL BARS AT ALL PIPE OPENINGS.
- 12" MINIMUM WALL HEIGHT ABOVE ALL PIPES.
- CORNER PIER REQUIRED BETWEEN OPENINGS OF TWO ADJACENT WALLS. EXTEND WALL REINFORCING VERTICALLY THROUGH PIER. INSTALL ONE ADDITIONAL 15-INCH #4 BAR IN PIER.

TO PROTECT THE STANDPIPES DURING CONSTRUCTION INSTALL FILTER FABRIC AROUND BOTTOM HALF OF STANDPIPE AND INSTALL TEMPORARY EROSION STONE AROUND PIPE. IN ORDER TO CONVERT SEDIMENT BASIN INTO A PERMANENT FINAL CONDITION, REMOVE THE FILTER FABRIC AND EROSION STONE AROUND THE STANDPIPE AND CLEAN OUT SEDIMENT AROUND PIPE. FOR LONG TERM & POST-CONSTRUCTION MAINTENANCE, REFER TO THE IOWA STORM WATER MANAGEMENT MANUAL, SECTION 9.11-4.

ONCE ALL ALL LOTS AND ROADWAYS WITHIN NEW HORIZON AND PARKSIDE PROPER HAVE BEEN DEVELOPED, THE TSS SHALL BE CONVERTED INTO A PERMANENT DETENTION BASIN. REMOVE FABRIC AND EROSION STONE.

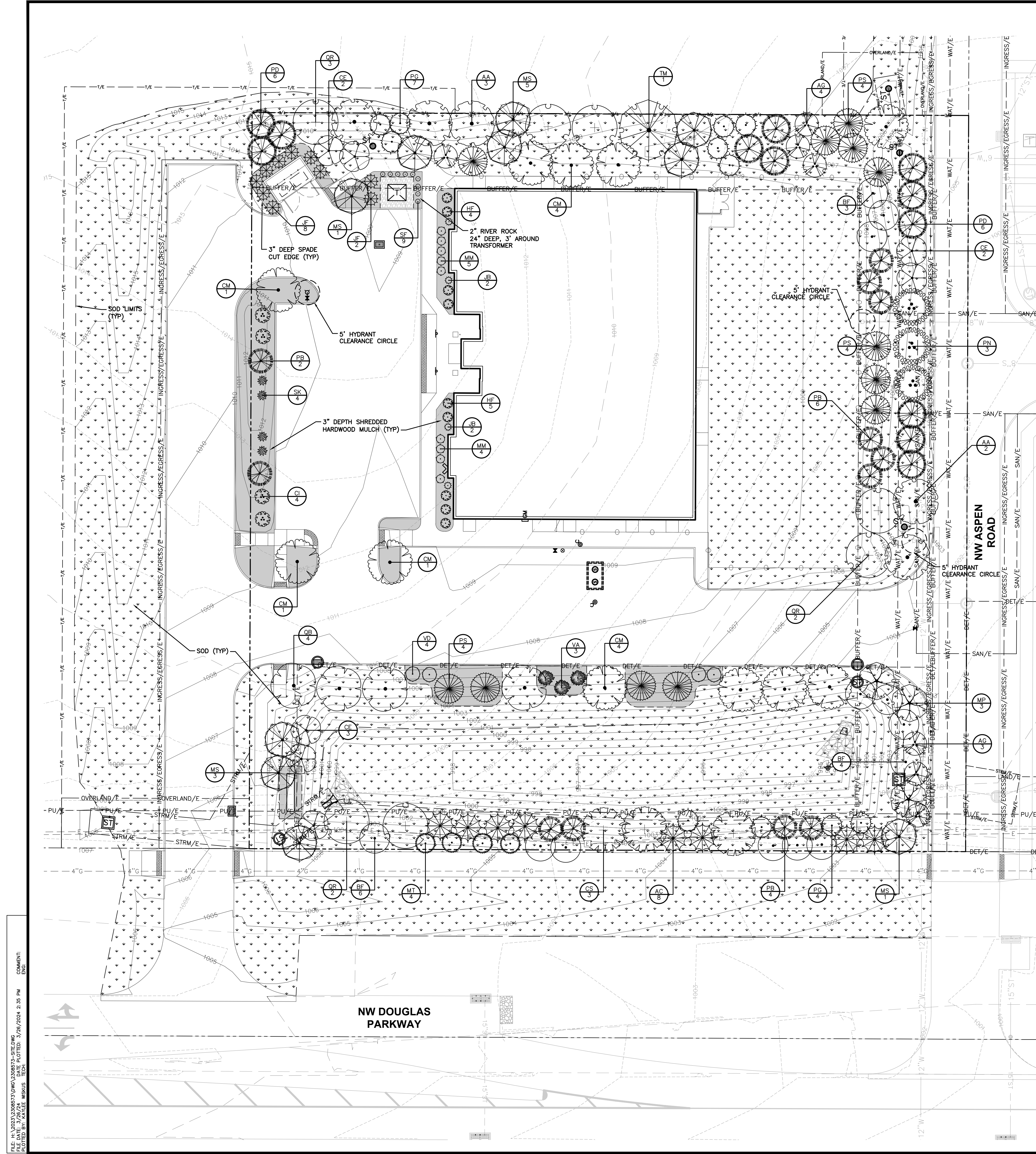


2 4' X 4' SW-513 INTAKE WITH PERMANENT STAND PIPE (ST-1)
NOT TO SCALE



1 5' FIRST DEFENSE HIGH CAPACITY (ST-7)
NOT TO SCALE

COMMENT: _____
 FILE NAME: 2308573.DWG
 FILE DATE: 3/26/24
 PLOTTED BY: KAVIEE WMSUB TECH



LANDSCAPE REQUIREMENTS

SITE AREA 1.93 ACRES (84,173 SF)

OPEN SPACE REQUIRED 16,835 SF (20%)
 PROVIDED 44,288 SF (53%)

OPEN SPACE
 1 TREE AND 1 SHRUB PER 1,000 SQUARE FEET OF REQUIRED OPEN SPACE

REQUIRED:
 TREES (16,835 / 1,000) 17
 SHRUBS (16,835 / 1,000) 17

TREES PROVIDED:
 EVERGREEN TREES 6 (35.19%)
 ORNAMENTAL TREES 2 (11.76%)
 OVERSTORY TREES 9 (52.94%)
 TOTAL 17

SHRUBS 17

BUFFERS
 2 OVERSTORY TREES, 3 EVERGREEN TREES, AND 2 ORNAMENTAL TREES PER 50 LINEAR FEET OF 30' BUFFER

NORTH BUFFER (R-3 RESIDENTIAL ZONING) 273 LF OF BUFFER
 LANDSCAPING REQUIRED
 (2 OVERSTORY TREE/ 50 LF BUFFER): 11 TREES
 (3 EVERGREEN TREE/ 50 LF BUFFER): 17 TREES
 (2 ORNAMENTAL TREE/ 50 LF BUFFER): 11 TREES

LANDSCAPING PROVIDED
 OVERSTORY TREES: 11 TREES
 EVERGREEN TREES: 17 TREES
 ORNAMENTAL TREES: 11 TREES

EAST BUFFER (R-3 RESIDENTIAL ZONING) 284 LF OF BUFFER
 LANDSCAPING REQUIRED
 (2 OVERSTORY TREE/ 50 LF BUFFER): 11 TREES
 (3 EVERGREEN TREE/ 50 LF BUFFER): 16 TREES
 (2 ORNAMENTAL TREE/ 50 LF BUFFER): 11 TREES

LANDSCAPING PROVIDED
 OVERSTORY TREES: 11 TREES
 EVERGREEN TREES: 16 TREES
 ORNAMENTAL TREES: 11 TREES

SOUTH BUFFER (DOUGLAS AVE) 273 LF OF BUFFER
 LANDSCAPING REQUIRED
 (2 OVERSTORY TREE/ 50 LF BUFFER): 11 TREES
 (3 EVERGREEN TREE/ 50 LF BUFFER): 17 TREES
 (2 ORNAMENTAL TREE/ 50 LF BUFFER): 11 TREES

LANDSCAPING PROVIDED
 OVERSTORY TREES 11 TREES
 EVERGREEN TREES 17 TREES
 ORNAMENTAL TREES 11 TREES

LANDSCAPE NOTES

- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
- THE 2023 WAUKEE SPECIFICATIONS AND THE 2024 SDAS STANDARD SPECIFICATIONS SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
- ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, Voids AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
- SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
- BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
- WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
- SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
- ALL EDGING SHALL BE SPADE CUT EDGE.
- PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
- ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.
- MINIMUM HEIGHTS FOR PLANTINGS: DECIDUOUS OVERSTORY TREES SHALL BE MINIMUM OF 8-FT IN HEIGHT, EVERGREEN OVERSTORY TREES SHALL BE MINIMUM 6-FT IN HEIGHT AND DECIDUOUS ORNAMENTAL TREES SHALL BE MINIMUM 6-FT IN HEIGHT

PLANT SCHEDULE SOUTH BUFFER

CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
EVERGREEN TREES				
AC	8	White Fir	Abies concolor	B&B, 6' HEIGHT
PB	4	Black Hills Spruce	Picea glauca densata	B&B, 6' HEIGHT
PG	4	Colorado Blue Spruce	Picea pungens 'Glauca'	B&B, 6' HEIGHT
ORNAMENTAL TREES				
CE	1	Eastern Redbud Multi-trunk	Cercis canadensis	B&B, 6' HEIGHT
MS	2	Spring Snow Crab Apple	Malus x 'Spring Snow'	B&B, 6' HEIGHT
MT	4	Tina Crabapple	Malus x 'Tina'	B&B, 6' HEIGHT
OVERSTORY TREES				
BF	6	Dakota Pinnacle Asian White Birch	Betula platyphylla 'Fargo' TM	B&B, 8' HEIGHT
CS	3	Northern Catalpa	Catalpa speciosa	B&B, 8' HEIGHT
QR	2	Red Oak	Quercus rubra	B&B, 8' HEIGHT

PLANT SCHEDULE OPEN SPACE

CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
EVERGREEN TREES				
PB	2	Black Hills Spruce	Picea glauca densata	B&B, 6' HEIGHT
PS	1	White Pine	Pinus strobus	B&B, 6' HEIGHT
ORNAMENTAL TREES				
CE	2	Eastern Redbud Multi-trunk	Cercis canadensis	B&B, 6' HEIGHT
MS	3	Spring Snow Crab Apple	Malus x 'Spring Snow'	B&B, 6' HEIGHT
OVERSTORY TREES				
CM	7	Crimson King Maple	Acer platanoides 'Crimson King'	B&B, 8' HEIGHT
QB	4	Swamp White Oak	Quercus bicolor	B&B, 8' HEIGHT
SHRUBS				
IS	14	Isanti Redosier Dogwood	Cornus sericea 'Isanti'	CONT, 3 GAL
HF	9	Sunburst St. John's Wort	Hypericum frondosum 'Sunburst'	CONT, 3 GAL
JB	4	Blue Arrow Juniper	Juniperus scopulorum 'Blue Arrow'	CONT, 3 GAL
JF	10	Sea Green Juniper	Juniperus chinensis 'Sea Green'	CONT, 3 GAL
SK	4	Miss Kim Korean Lilac	Syringa pubescens 'Miss Kim'	CONT, 3 GAL
VA	3	American Cranberrybush	Viburnum trilobum	CONT, 3 GAL
VD	4	Arrowwood Viburnum	Viburnum dentatum 'Arrowwood'	CONT, 3 GAL
GRASSES				
MM	8	Morning Light Lulalia Grass	Miscanthus sinensis 'Morning Light'	CONT, 1 GAL
SF	9	Silver Feather Lulalia Grass	Miscanthus sinensis 'Silberfeder'	CONT, 1 GAL

PLANT SCHEDULE EAST BUFFER

CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
EVERGREEN TREES				
PB	6	Black Hills Spruce	Picea glauca densata	B&B, 6' HEIGHT
PD	6	Douglas Fir	Pseudotsuga menziesii	B&B, 6' HEIGHT
PS	4	White Pine	Pinus strobus	B&B, 6' HEIGHT
ORNAMENTAL TREES				
AG	3	Amur Maple	Acer ginnala	B&B, 6' HEIGHT
CE	2	Eastern Redbud Multi-trunk	Cercis canadensis	B&B, 6' HEIGHT
MP	3	Prairie Fire Crab Apple	Malus x 'Prairie Fire'	B&B, 6' HEIGHT
PN	3	Newport Flowering Plum	Prunus cerasifera 'Newport'	B&B, 6' HEIGHT
OVERSTORY TREES				
AA	2	Autumn Blaze Red Maple	Acer rubrum 'Autumn Blaze'	B&B, 8' HEIGHT
BF	7	Dakota Pinnacle Asian White Birch	Betula platyphylla 'Fargo' TM	B&B, 8' HEIGHT
QR	2	Red Oak	Quercus rubra	B&B, 8' HEIGHT

PLANT SCHEDULE NORTH BUFFER

CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
EVERGREEN TREES				
PD	6	Douglas Fir	Pseudotsuga menziesii	B&B, 6' HEIGHT
PG	7	Colorado Blue Spruce	Picea pungens 'Glauca'	B&B, 6' HEIGHT
PS	4	White Pine	Pinus strobus	B&B, 6' HEIGHT
ORNAMENTAL TREES				
AG	4	Amur Maple	Acer ginnala	B&B, 6' HEIGHT
CE	2	Eastern Redbud Multi-trunk	Cercis canadensis	B&B, 6' HEIGHT
MS	5	Spring Snow Crab Apple	Malus x 'Spring Snow'	B&B, 6' HEIGHT
OVERSTORY TREES				
AA	2	Autumn Blaze Red Maple	Acer rubrum 'Autumn Blaze'	B&B, 8' HEIGHT
CM	4	Crimson King Maple	Acer platanoides 'Crimson King'	B&B, 8' HEIGHT
QR	3	Red Oak	Quercus rubra	B&B, 8' HEIGHT
TM	1	American Sentry Linden	Tilia americana 'McSentry'	B&B, 8' HEIGHT

FILE: N:\WORK\2024\NEW HORIZON ACADEMY\LANDSCAPE PLAN.dwg
 FILE DATE: 3/26/2024
 PLOTTED BY: KAVIEE WISNIEWSKI
 DATE PLOTTED: 3/26/2024 2:30 PM
 COMMENT: ENG.

DATE: _____
 REVISIONS: _____
 4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400 FAX: (515) 369-4410
 DRAFTED: _____
 ENGINEER: _____
 CIVIL DESIGN ADVANTAGE
 NEW HORIZON ACADEMY
 LANDSCAPE PLAN
 WAUKEE, IOWA
 DATE: 03/26/2024
 SHEET NUMBER: 1.1
 2308.573