



PROJECT REQUIREMENTS

GENERAL CONSTRUCTION/CONTRACTOR REGULATIONS:

ALL CONTRACTORS SHALL VISIT JOB SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE SUBMITTING BIDS. THE DESIGNER IS TO BE NOTIFIED FOR RE-EVALUATION IF ANY CONDITIONS DO NOT CORRESPOND TO THOSE SHOWN IN THESE DOCUMENTS. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS.

CONTRACTORS SHALL NOT SCALE ANY DRAWINGS. THE DIMENSIONS SHOWN ARE TO TAKE PRECEDENCE OVER SCALING THE DOCUMENTS. THE GENERAL CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY INCOMPLETE WORK AND ANY REPAIR OF SAID WORK AS A RESULT OF SCALING THE DOCUMENTS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.

THE CONTRACTOR/OWNER SHALL THOROUGHLY REVIEW AND BECOME FAMILIAR WITH THESE DOCUMENTS. UPON REVIEW THE CONTRACTOR SHALL DOCUMENT AND NOTIFY THE DESIGNER OF ANY ERRORS, OMISSIONS, DISCREPANCIES, AND/OR INCONSISTENCIES PRIOR TO THE START OF ANY PORTION OF THE PROPOSED WORK. THE DESIGNER SHALL REVIEW THE PROPOSED CORRECTIONS AFTER THE RECEIPT OF NOTIFICATION. NO CHANGE SHALL BE MADE WITHOUT REVIEW OF THE DESIGNER AND APPROVAL OF THE OWNER. THE DISCOVERY OF DISCREPANCIES AND/OR CONFLICTS AFTER THE START OF WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY ERRORS, OMISSIONS, DISCREPANCIES, AND/OR INCONSISTENCIES WHICH HAVE NOT BEEN BROUGHT TO THE DESIGNER'S ATTENTION. DETAILS NOT SPECIFICALLY SHOWN SHALL BE SIMILAR IN CHARACTER TO COMPARABLE CONDITIONS DETAILED. ANY CLARIFICATIONS NECESSARY TO ENSURE ACCURATE CONSTRUCTION AND COMPLETION OF THE PROJECT SHALL BE ADDRESSED BY THE CONTRACTOR PRIOR TO SUBMISSION OF PROJECT.

DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF THE WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR/OWNER.

ALL WORK PERFORMED BY THE CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES, REGULATIONS, AND ALL OTHER AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REQUIREMENTS AND GOVERNING REGULATIONS.

THE CONTRACTOR/OWNER SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, PRECAUTIONS, TECHNIQUES, SEQUENCES, PROCEDURES, AND COORDINATION OF ALL PORTION OF THE WORK.

ALL WORK SHALL BE DONE IN A WORKMANSHIP-LIKE MANNER.

CONTRACTORS/TRADES ARE TO REMOVE THEIR DEBRIS AND LEAVE JOB-SITE BROOM SWEEP AT THE END OF EACH DAY.

THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED, REVISED, OR RE-USED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER.

TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE CONSTRUCTION DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. IT IS THE INTENT OF THE DESIGNER TO DELINEATE THESE DOCUMENTS AS ACCURATE AS POSSIBLE FOR THE PURPOSE OF GRAPHIC REPRESENTATION. ALL LOCAL AND STATE CODES TO SUPERSEDE THESE CONSTRUCTION DOCUMENTS. IN CASE OF A CONFLICT BETWEEN THESE DOCUMENTS AND LOCAL OR STATE CODES THE CONTRACTOR SHALL INFORM THE DESIGNER.

THE OWNER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOL REPORTS), ON THE STUDY OF THE PROPOSED SITE TO THE DESIGNER, STRUCTURAL ENGINEER, AND CONTRACTOR. IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOIL CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. CONTRACTOR SHALL VERIFY THE SOIL CONDITIONS MEET OR EXCEED THIS CRITERIA.

SHOP DRAWING REVIEW AND DISTRIBUTION ALONG WITH PRODUCT SUBMITTALS REQUESTED IN THE CONSTRUCTION DOCUMENTS SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT. THE DESIGNER SHALL NOT ACCEPT OR REVIEW ANY REQUEST FOR SHOP DRAWING REVIEW WITHOUT THE REVIEW OF THE CONTRACTOR.

GENERAL NOTES

ALL WORK TO CONFORM TO 2018 IRC.

- I. SITEWORK
 A. BUILDER SHALL BE RESPONSIBLE FOR GRADING OF SITE AND LOTS.
 B. PERFORM DIGITATION ACCORDING TO GOOD COMMON CONSTRUCTION PRACTICES TO THE LINES, GRADES, AND ELEVATIONS INDICATED ON DRAWINGS.
 C. PROVIDE FOUNDATION DRAINAGE AS SPECIFIED BY GOVERNING CODES.
 D. PROVIDE SOIL POISONING TO CONTROL TERMITES AS REQ BY GOVERNING CODES.

II. CONCRETE

- A. ALL CONCRETE SHALL BE DESIGNED AND SPECIFIED BY OTHERS.

III. MASONRY

- A. A. BRICK VENEER
 1. PROVIDE MODULAR SIZE BRICK VENEER UNITS COMPLYING WITH GOVERNING CODES. BRICK TYPE SHALL BE SPECIFIED BY BUILDER.
 2. PROVIDE MORTAR IN ACCORDANCE WITH GOVERNING CODES.

IV. METALS

- A. ALL STRUCTURAL STEEL SHALL COMPLY WITH APPROPRIATE GOVERNING CODES.

V. WOOD AND PLASTICS

- A. LUMBER AND MANUFACTURED/ENGINEERED WOOD PRODUCTS SHALL, IN ADDITION TO COMPLYING WITH GOVERNING CODES, COMPLY WITH:
 C. ROOFING SHALL BE SPECIFIED BY BUILDER AND AS SHOWN ON DRAWINGS.
 D. SIDING SHALL BE SPECIFIED BY BUILDER AND AS SHOWN ON DRAWINGS.
 E. FLASHING AND SHEET METAL REQUIRED TO PREVENT PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING, IN ADDITION TO COMPLYING WITH GOVERNING CODES, COMPLY WITH PERTINENT RECOMMENDATIONS CONTAINED IN CURRENT EDITION OF "ARCHITECTURAL SHEET METAL MANUAL" PUBLISHED BY SMACNA. ALL IRON SHEET METAL FLASHING SHALL BE HOT-DIP GALVANIZED COMPLYING WITH ASTM A93.
 F. GUTTER AND DOWN SPOUTS AS SPECIFIED BY BUILDER. DOWN SPOUT AND SPLASH LOCATIONS SHALL BE DETERMINED BY SUB CONTRACTOR AND APPROVED BY BUILDER SO AS TO PROVIDE POSITIVE ROOF AND SITE DRAINAGE.
 G. ATTIC AND ROOF VENTILATION AS REQUIRED BY GOVERNING CODES AND AS SHOWN ON DRAWINGS. PROVIDE APPROPRIATE SOFFIT AND ROOF VENTS AS SPECIFIED/APPROVED BY BUILDER.
 H. FOUNDATION MOISTURE PROTECTION:
 1. WATERPROOF FOUNDATION WALLS AS SPECIFIED BY BUILDER.
 2. SUMP PIT AND PUMP AS SPECIFIED BY BUILDER AND AS SHOWN ON DRAWINGS.
 3. PERFORATED FOUNDATION DRAIN TILE AS SPECIFIED BY BUILDER.

VI. DOORS & WINDOWS

- A. DOORS:
 1. DOORS AS FOLLOWS AND AS SPECIFIED BY BUILDER:
 a. ENTRY DOORS AND SIDELIGHTS: AS SPECIFIED BY BUILDER.
 b. HOUSE/GARAGE DOORS: **20 MIN FIRE RATED** INSULATED STEEL DOOR, FLUSH WITH CLOSER.
 c. OVERHEAD GARAGE DOORS: INSULATED, AS SPECIFIED BY BUILDER.
 d. PATIO DOORS (HINGED): FULL GLASS AS SPECIFIED BY BUILDER.
 e. SLIDING GLASS DOORS: AS SPECIFIED BY BUILDER.
 f. INTERIOR DOORS: AS SPECIFIED BY BUILDER.
 B. WINDOWS:
 1. WINDOWS AS FOLLOWS AND AS SPECIFIED BY BUILDER:
 a. LIVING LEVELS (INCLUDING WALKOUT BASEMENTS): POLYVINYL OR METAL CLAD.
 b. BASEMENT: ALUMINUM.
 2. UNITS OF THE SIZE, STYLE AND QUANTITY SHOWN ON DRAWINGS.
 3. GLAZING SHALL BE DOUBLE-PANE INSULATING GLASS IN LIVING AREAS.
 4. TEMPERED GLASS IN ALL WINDOWS AS REQUIRED BY GOVERNING CODES.
 5. INSTALL EMERGENCY EGRESS UNITS AS REQUIRED BY GOVERNING CODES.
 C. FINISH HARDWARE SHALL BE SPECIFIED BY BUILDER. INSTALL ALL HARDWARE REQUIRED BY GOVERNING CODES.
 D. STAIR CONSTRUCTION SHALL CONSIST OF 3-2X12 STRINGERS, 3/4" THICK TREAD AND 1/2" THICK RISERS, UNLESS NOTED OTHERWISE.
 E. ALL WOOD PLATED BEARING ON CONCRETE OR MASONRY SHALL BE OF DECAY-RESISTANT MATERIAL AS REQ BY GOVERNING CODES.
 F. INTERIOR TRIM SHALL BE SELECTED BY BUILDER.
 G. ALL EXTERIOR FRAMING AND DECKING SHALL BE CONSTRUCTED OF DECAY-RESISTANT LUMBER CCA 40 OR EQUAL.

VII. THERMAL & MOISTURE PROTECTION

- A. THERMAL BUILDING INSULATION AT ASSEMBLIES ADJACENT TO EXTERIOR OR UNHEATED SPACES MEETING THE REQUIREMENTS OF GOVERNING CODES AND, UNLESS OTHERWISE NOTES, MEETING THE FOLLOWING MINIMUM REQUIREMENTS:
 1. FOUNDATION WALLS:
 a. BASEMENT: GLASS FIBER, VINYL FACED BLANKETS, R-15, UNLESS NOTED OTHERWISE ON PLANS.
 b. CRAWL SPACE: GLASS FIBER, UNFACED BLANKETS, R-15, UNLESS NOTED OTHERWISE ON PLANS.
 2. EXTERIOR FRAME WALLS:
 a. 2X4: GLASS FIBER, BATTS, R-15, UNLESS NOTED OTHERWISE ON PLANS.
 b. 2X6: GLASS FIBER, BATTS, R-20 (MIN.), UNLESS NOTED OTHERWISE ON PLANS.
 3. CEILINGS:
 a. ATTIC AREAS: GLASS FIBER, BLOWN, R-49, UNLESS NOTED OTHERWISE ON PLANS.
 b. VAULTED RAFTERS: GLASS FIBER, BATTS, R-49, UNLESS NOTED OTHERWISE ON PLANS.
 4. FRAMED FLOORS OVER UNHEATED AREAS: GLASS FIBER BATTS, R-20 (MIN.), UNLESS NOTED OTHERWISE.

VIII. FINISHES

- A. GYPSUM PANELS, UNLESS OTHERWISE NOTED SHALL BE PROVIDED AS FOLLOWS:
 1. EXTERIOR WALLS: 1-LAYER 1/2" REGULAR PANELS TO INTERIOR FACE.
 b. INTERIOR PARTITIONS: 1-LAYER 1/2" REGULAR PANELS EACH SIDE.
 c. CEILING: 1-LAYER 5/8" REGULAR PANELS.
 d. GARAGE: PROVIDE 5/8" TYPE "X" PANELS AS REQUIRED BY CODE.
 e. SHOWERS: CONCRETE BOARD BEHIND TILE SHOWERS.
 2. PROVIDE METAL CORNER BEAD AND TRIM AT ALL LOCATIONS SHOWN ON DRAWINGS AND AS RECOMMENDED BY GYPSUM WALLBOARD MANUFACTURER.
 3. TAPE, FLOAT AND SAND JOINTS AND FASTENERS OF GYPSUM WALLBOARD WITH 3-COATS OF JOINT COMPOUND AS REQUIRED.
 B. FINISHES SHOWN ON DRAWINGS SHALL BE SPECIFIED BY BUILDER.

IX. SPECIALTIES

- A. FIREPLACES SHALL BE AS FOLLOWS:
 1. GAS AND/OR ELECTRIC FIREPLACE MANUFACTURER AND MODEL SHALL BE SPECIFIED BY BUILDER.
 2. PRE-MANUFACTURED GAS (NON-WOOD BURNING) UNITS OF THE STYLE AND SIZE SHOWN ON DRAWINGS.
 3. SUB CONTRACTOR(S) SHALL BE RESPONSIBLE FOR PROPER INSULATION OF FIREPLACE UNIT, VENTING, HEARTH, MANTLE AND RELATED COMPONENTS AS RECOMMENDED BY MANUFACTURER AND AS REQUIRED BY GOVERNING CODES.
 B. SHOWER, TUB AND TUB/SHOWER ENCLOSURES SHALL BE CONSTRUCTED OF APPROVED SAFETY GLAZING AS SPECIFIED BY BUILDER.
 C. GUARDRAILS SHALL BE PROVIDED AS SHOWN ON DRAWINGS AND AT ENCLOSED FLOOR OPENINGS, OPEN SIDES OF STAIRWAYS, LANDINGS AND RAMP, BALCONIES, PORCHES OR DECKS WHICH ARE MORE THAN 36 INCHES ABOVE GRADE OR FLOOR BELOW. THE TOP OF GUARDRAILS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH.
 D. MECHANICAL:
 A. GENERAL:
 1. INFORMATION AND LAYOUTS SHOWN ON DRAWINGS ARE ONLY SCHEMATIC IN DESIGN, AND SHALL BE REVIEWED BY SUB CONTRACTORS, SUPPLIERS AND BUILDING OFFICIALS FOR COMPLIANCE WITH GOVERNING CODES AND GOOD COMMON CONSTRUCTION PRACTICES.
 2. EQUIPMENT AND FIXTURES SHALL BE SPECIFIED BY BUILDER.
 3. DESIGN AND INSTALLATION OF EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE APPROPRIATE LICENSED CONTRACTORS.
 B. PLUMBING:
 1. PLUMBING ROUGH-IN SHALL BE PROVIDED TO WASHER BOX FOR CLOTHES WASHER.
 2. GAS LINES AND VALVES TO ALL GAS APPLIANCES AS SPECIFIED BY BUILDER.
 C. HEATING, VENTILATING & AIR CONDITIONING:
 1. FURNACE: GAS, FORCED AIR AS SPECIFIED BY BUILDER.
 2. ALL HVAC EQUIPMENT SHALL BE INDIVIDUALLY SWITCHED.
 3. DRYER VENT SHALL EXHAUST TO EXTERIOR.
 4. MECHANICAL EXHAUST VENTILATION WHERE INDICATED IN BATHROOMS, WATER CLOSET, COMPARTMENTS AND LAUNDRY ROOMS SHALL EXHAUST TO EXTERIOR AND PROVIDE A MINIMUM OF 5 AIR CHANGES PER HOUR.

X. ELECTRICAL

- A. GENERAL:
 1. INFORMATION AND LAYOUTS SHOWN ON DRAWINGS ARE ONLY SCHEMATIC IN DESIGN, AND SHALL BE REVIEWED BY SUB CONTRACTORS, SUPPLIERS AND BUILDING OFFICIALS FOR COMPLIANCE WITH GOVERNING CODES AND GOOD COMMON CONSTRUCTION PRACTICES.
 2. EQUIPMENT AND FIXTURES SHALL BE SPECIFIED BY BUILDER.
 3. DESIGN AND INSTALLATION OF EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE APPROPRIATE LICENSED CONTRACTORS.
 B. INSTALL GROUND-FAULT CIRCUIT INTERRUPTERS (GFI OR GFCI) MEETING THE REQUIREMENTS OF ALL GOVERNING CODES. ALL OUTDOOR, BEDROOM(S), BATH AND GARAGE WALL RECEPTACLES SHALL BE PROVIDED WITH GROUND-FAULT CIRCUIT PROTECTION.
 C. INSTALL LOCALLY CERTIFIED SMOKE DETECTORS MEETING THE REQUIREMENTS OF ALL GOVERNING CODES. SMOKE DETECTORS SHALL BE 110 VOLT POWERED, EQUIPPED WITH A BATTERY BACKUP AND SOUND AND ALARM AUDIBLE IN ALL SLEEPING AREAS.

DESIGN DATA

IRC 2018 BUILDING PLANNING - CHAPTER 3

LIVE LOADS	
ROOF (SNOW)	30 PSF
WIND DESIGN	
115 MPH (SEISMIC DESIGN CATEGORY - A)	
WEATHERING - SEVERE	
SOIL TEST (LOAD BEARING PRESSURE)	
SAND, SILTY SAND, CLAYEY SAND, SILT GRAVEL AND CLAYEY GRAVEL	2000 PSF
CLAYEY SANDY, SILTY CLAY, CLAYEY SILT, SILT AND SANDY SILT CLAY	1500 PSF
BUILDING MATERIALS	
STRUCTURAL STEEL	$F_y = 36 \text{ KSI}$
REINFORCING STEEL	$F_y = 60 \text{ KSI}$
CONCRETE	
BASEMENT WALLS, FOUNDATION AND OTHER CONCRETE NOT EXPOSED TO WEATHER	$F_c = 2500 \text{ PSI}$
BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS	$F_c = 2500 \text{ PSI}$
BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO WEATHER	$F_c = 3000 \text{ PSI}$
PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER AND GARAGE FLOOR SLABS	$F_c = 3500 \text{ PSI}$
FRAMING LUMBER	
2x6 AND LARGER	$F_b = 1200 \text{ PSI}$ $E = 1700 \text{ KSI}$ $F_c = 625 \text{ PSI}$ $F_t = 625 \text{ PSI}$ $F_b = 1400 \text{ PSI}$ $E = 1700 \text{ KSI}$ $F_c = 1000 \text{ PSI}$ $F_t = 725 \text{ PSI}$
2x4 AND MISC.	$F_b = 800 \text{ PSI}$ $E = 1500 \text{ KSI}$ $F_c = 675 \text{ PSI}$ $F_t = 600 \text{ PSI}$ $E = 2000 \text{ KSI}$
2x6 STUDS	$F_b = 800 \text{ PSI}$ $E = 1500 \text{ KSI}$ $F_c = 675 \text{ PSI}$ $F_t = 600 \text{ PSI}$ $E = 2000 \text{ KSI}$
2x4 STUDS	$F_b = 800 \text{ PSI}$ $E = 1500 \text{ KSI}$ $F_c = 675 \text{ PSI}$ $F_t = 600 \text{ PSI}$ $E = 2000 \text{ KSI}$
MICRO-LAWS (1/2")	$E = 2000 \text{ KSI}$

RESIDENTIAL CONVENTIONAL FOOTING DIMENSIONS:

ASSUMING 2,000 P.S.F. IS REQUIRED FOR THE FOOTING, THE FOLLOWING ADJUSTED FOOTING DIMENSIONS MAY BE USED FOR THE SOIL CONDITIONS SPECIFIED IN THE TABLE BELOW, UNLESS SPECIFIC ENGINEERING PROBLEMS EXIST.

SOL BEARING PRESSURE	CONVENTIONAL FOOTING DIMENSIONS & REINFORCEMENT
2,000 P.S.F.	8" x 16" WITH TWO #4 REINFORCEMENT BAR
1,850 P.S.F.	9" x 20" WITH TWO #4 REINFORCEMENT BARS
1,500 P.S.F.	10" x 24" WITH TWO #5 REINFORCEMENT BARS
1,250 P.S.F.	11" x 28" WITH THREE #5 REINFORCEMENT BARS
1,000 P.S.F.	12" x 32" WITH THREE #5 REINFORCEMENT BARS

THE DIMENSIONS SPECIFIED IN THIS TABLE ARE TYPICALLY ACCEPTED DIMENSIONS FOR CONVENTIONALLY DESIGNED SINGLE FAMILY DWELING STRUCTURES OF ONE OR TWO STORES IN HEIGHT INTENDED TO BE CONSTRUCTED ON UNDISTURBED, NON-EXPANSIVE SOILS.

SHEET LIST	
A0.0	COVER SHEET
A1.1	BASEMENT FLOOR - UNFINISHED
A1.2	BASEMENT FLOOR - OPT.1, BASEMENT FLOOR - OPT.2
A2.1	MAIN FLOOR, UPPER FLOOR
A3.1	EXTERIOR ELEVATIONS
A3.2	3D VIEWS
A3.3	AREA PLANS
A4.1	ROOF PLAN, STAIR SECTION, FIREPLACE DETAIL
D1	DETAILS
D2	DETAILS
D3	DETAILS
E1	ELECTRICAL PLAN - BASEMENT UNFINISHED, UNFINISHED OPT.1, UNFINISHED OPT. 2
E2	ELECTRICAL PLAN - MAIN FLOOR, UPPER FLOOR

AREA SCHEDULE - UNFINISHED BASEMENT	
MAIN FLOOR	667 SF
UPPER FLOOR	867 SF
LIVING AREA TOTAL:	1534 SF
BASEMENT - FINISHED	0 SF
BASEMENT - UNFINISHED	674 SF
GARAGE	435 SF
OTHER AREA TOTAL:	1108 SF
BUILDING AREA TOTAL:	2642 SF

AREA SCHEDULE - BASEMENT FINISH 1	
MAIN FLOOR	667 SF
UPPER FLOOR	867 SF
LIVING AREA TOTAL:	1534 SF
BASEMENT - FINISHED	508 SF
BASEMENT - UNFINISHED	166 SF
GARAGE	435 SF
OTHER AREA TOTAL:	1108 SF
BUILDING AREA TOTAL:	2642 SF

AREA SCHEDULE - BASEMENT FINISH 2	
MAIN FLOOR	667 SF
UPPER FLOOR	867 SF
LIVING AREA TOTAL:	1534 SF
BASEMENT - FINISHED	508 SF
BASEMENT - UNFINISHED	166 SF
GARAGE	435 SF
OTHER AREA TOTAL:	1108 SF
BUILDING AREA TOTAL:	2642 SF

AREA SCHEDULE - BASEMENT FINISH 3	
MAIN FLOOR	667 SF
UPPER FLOOR	867 SF
LIVING AREA TOTAL:	1534 SF
BASEMENT - FINISHED	586 SF
BASEMENT - UNFINISHED	88 SF
GARAGE	435 SF
OTHER AREA TOTAL:	1108 SF
BUILDING AREA TOTAL:	2642 SF

FRAMING NOTES

- EXTERIOR HEADERS:** ALL HEADERS TO BE SIZED BY OTHERS. ALL WINDOW HEAD HEIGHTS NOTED ON PLANS TO BE VERIFIED AND ADJUSTED AS REQUIRED BY BUILDER.
- INTERIOR HEADERS:** IN NON BEARING PARTITION WALLS - 2x4
- CAP STOOP:** 3/4" OSB 2X6 FRAMING TAP CON OR RAMSET AND BRACED TO FOUNDATION TIES; SB TO HANG EXTEND OVER FOUNDATION HALF WAY
- NO BRIDGING:** SOLID BLOCKING AS REQUIRED BY CODES.
- BASEMENT STAIRS:** 3/4" AWAY FROM FRAMED OR FURRED WALLS.
- MAIN STAIRS:** 1/2" RISERS, 3/4" TREADS WITH 1" OVERHANG ON FRONT, GLED AND NAILED; TREADS HANG OVER ENDS 1 1/2" OR 2 1/4" WITH SKIRT BOARD. (USE SCRAP'S WHERE POSSIBLE.)
- UPPER FLOOR BALCONIES:** OSB FLUSH FOR 1X6 BAULSTER PLATE UNLESS SPECIFIED ON PLANS.
- TUB/SHOWERS:** 5", 4" AND 3" EXACT OPENINGS AS NOTED ON PLAN.
- EXTERIOR DOORS:** 3/4" OSB SPACER BETWEEN DOOR SILL AND FLOOR DECK, SLIDING GLASS DOORS INSTALL DIRECTLY TO FLOOR DECK.
- TRUSSES:** 24" OC WITH BRACING AS SPECIFIED BY TRUSS MANUFACTURER.
- RAFTERS:** 24" OC WITH BRACING AS SHOWN ON PLANS. VAULT 2X10 16" OC/2X6 SUB FASCIA, LOOKOUTS AS REQUIRED.
- EXTERIOR WALLS:** OSB SHEATHING ON ALL EXTERIOR WALLS AND EXTERIOR FACE OF ALL GABLES. SHEATHING IS ALSO REQUIRED ON THE OUTSIDE FACE OF ANY/ALL WALLS THAT ADJON ENCLOSED UNHEATED SPACES SUCH AS PORCH ROOFS OR ATTIC SPACES, UNLESS NOTED OTHERWISE ON PLANS.
- SIDING:** CAULK BEHIND WINDOWS AND DOORS. HOUSE WRAP OVER ALL EXTERIOR WALLS AND GABLES, INSTALLED TO BE WATER TIGHT PER MFG'S SPECIFICATIONS.
- FLASHING:** 2X4 UNDER RIDGE ON ALL GABLES. RUBBER FLASHING 18" WIDE UNDER ALUMINUM FLASHING. CONTINUOUS FLASHING ALONG SHED ROOFS AND STOOPS.
- FRAMER SHALL PROVIDE CLEAR CHASES FOR PLUMBING AND MECHANICAL SYSTEMS.**
- THE FRAMER SHALL ADJUST LAYOUT OR PLACEMENT OF FRAMING MEMBERS TO PROVIDE REQUIRED CLEARANCES FOR ALL MECHANICAL AND PLUMBING SYSTEMS WHILE MAINTAINING STRUCTURAL INTEGRITY.
- ALL SCHEDULES SHOWN ARE TO BE VERIFIED BY BUILDER, SUB-CONTRACTORS, VENDORS, AND/OR OTHERS AND ADJUSTED AS REQUIRED. DOOR, WINDOW, AND MATERIAL TAKEOFFS NOTED ARE ESTIMATED ONLY FROM MATERIALS SHOWN ON PLANS AND DO NOT TAKE IN ACCOUNT FOR WASTE.
- ALL STRUCTURE, INCLUDING FOOTINGS, FOUNDATION WALLS, PIER PADS, HEADERS, AND BEAMS IS SCHEMATIC ONLY AND TO BE SIZED BY OTHERS. ANY STRUCTURAL SIZES NOTED WAS NOT ENGINEERED AND/OR SIZED BY ALLER DESIGN GROUP LLC, ITS OWNERS, AND/OR EMPLOYEES BUT WAS PROVIDED BY OTHERS AND IS THE RESPONSIBILITY OF THE BUILDER.

THE OWNER AND/OR CONTRACTOR OF THIS PLANS RELEASES ALLER DESIGN GROUP LLC, ITS OFFICERS, OWNERS, AND EMPLOYEES FROM ANY CLAIMS OR LAWSUITS AGAINST THAT MAY ARISE DURING THE CONSTRUCTION OF THIS STRUCTURE OR ANY THEREAFTER. ADDITIONALLY, ALLER DESIGN GROUP LLC, ITS OFFICERS, OWNERS, AND EMPLOYEES DO NOT ACCEPT ANY LIABILITY FOR THE ACCURACY OR OVERALL INTEGRITY OF THESE DOCUMENTS. THEREFORE THE OWNER AND/OR CONTRACTOR MUST CAREFULLY INSPECT ALL DIMENSIONS, STRUCTURE, AND DETAILS IN THESE DOCUMENTS PRIOR TO CONSTRUCTION AND ASSUMES RESPONSIBILITY FOR THE SAME.

ALL STRUCTURE, INCLUDING FOOTINGS, FOUNDATION WALLS, PIER PADS, HEADERS, AND BEAMS IS SCHEMATIC ONLY AND TO BE SIZED BY OTHERS. ANY STRUCTURAL SIZES NOTED WAS NOT ENGINEERED AND/OR SIZED BY ALLER DESIGN GROUP LLC, ITS OWNERS, AND/OR EMPLOYEES BUT WAS PROVIDED BY OTHERS AND IS THE RESPONSIBILITY OF THE BUILDER.

ALLER DESIGN GROUP
 1840 NW 18th St., Suite 100
 Clive, IA 50325
 515.254.1181
 ALLERDESIGN.COM

THESE DOCUMENTS, AND THE INFORMATION CONTAINED HEREIN, ARE EXCLUSIVE PROPERTY OF ALLER DESIGN GROUP LLC. ANY USE OR DUPLICATION OR TRANSFER OF THESE DOCUMENTS WITHOUT THE EXPRESSED WRITTEN CONSENT OF ALLER DESIGN GROUP LLC IS STRICTLY PROHIBITED. ALLER DESIGN GROUP LLC RETAIN COPYRIGHT TO AND OWNERSHIP OF THESE DOCUMENTS.

PROJECT PHASE:
PHASE 3

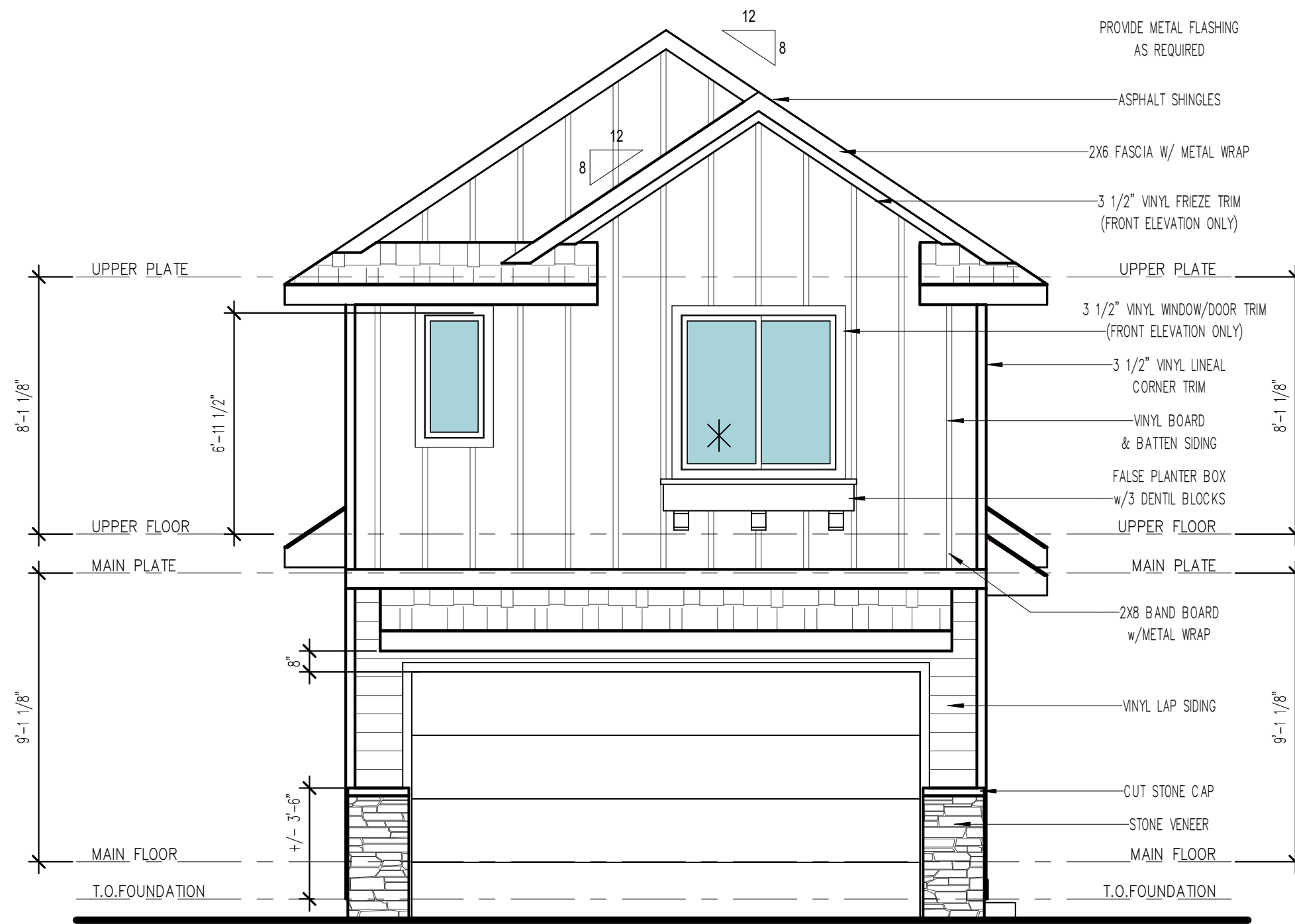
1314 Plan - Upper Opt. 4
 PROJECT ADDRESS REQUIRED FOR PERMIT

BUILDER
 DESTINY HOMES
PROJECT NO.
 30219823
ISSUE DATE
 09.25.23
DRAWN
 LM / SP / NT
REVISION DATE

SHEET NAME
 COVER SHEET

SHEET NO.
A0.0

Review Set - Not for Permit and Not for Construction 09.25.23

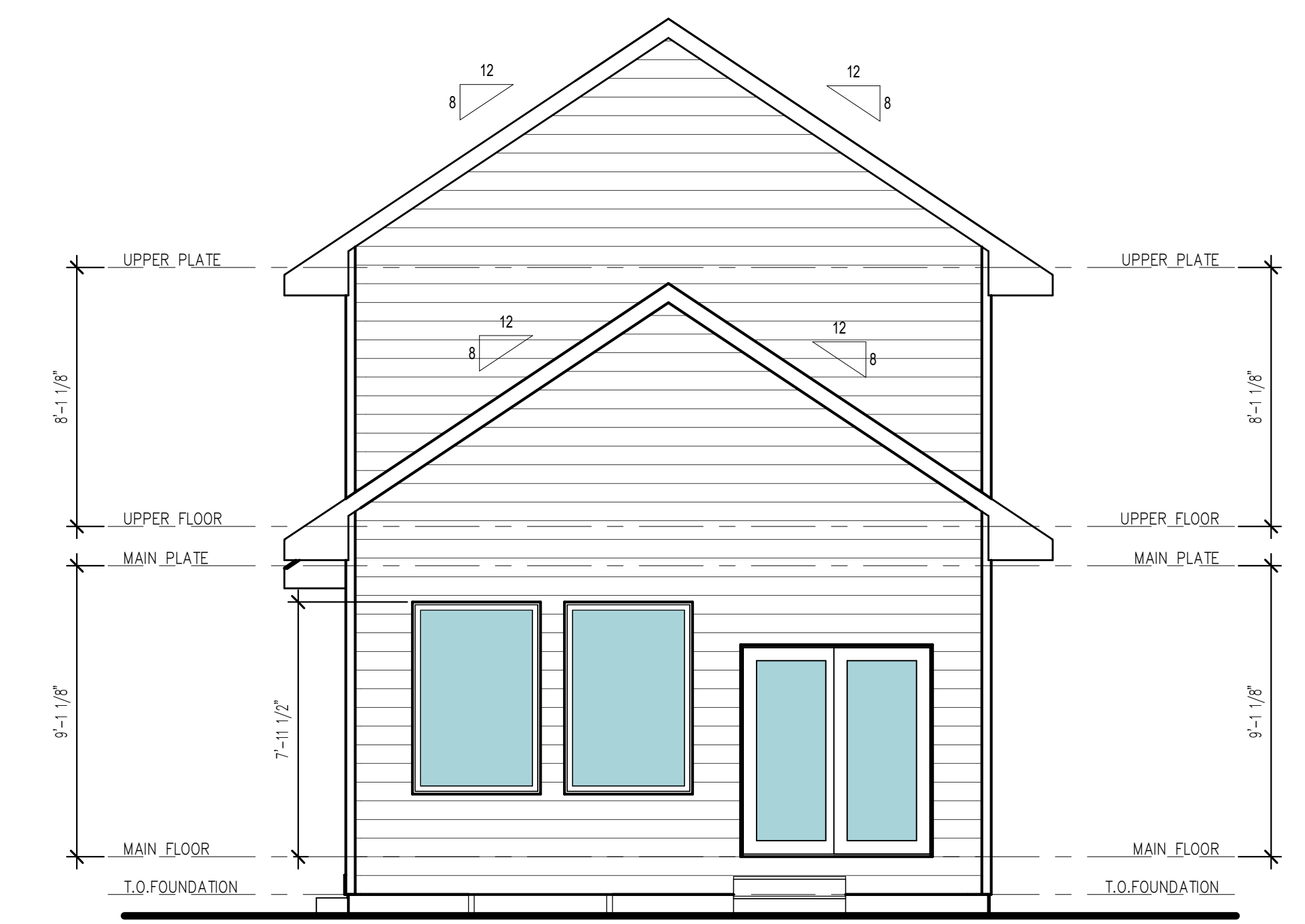


1 FRONT ELEVATION
1/4" = 1'-0"

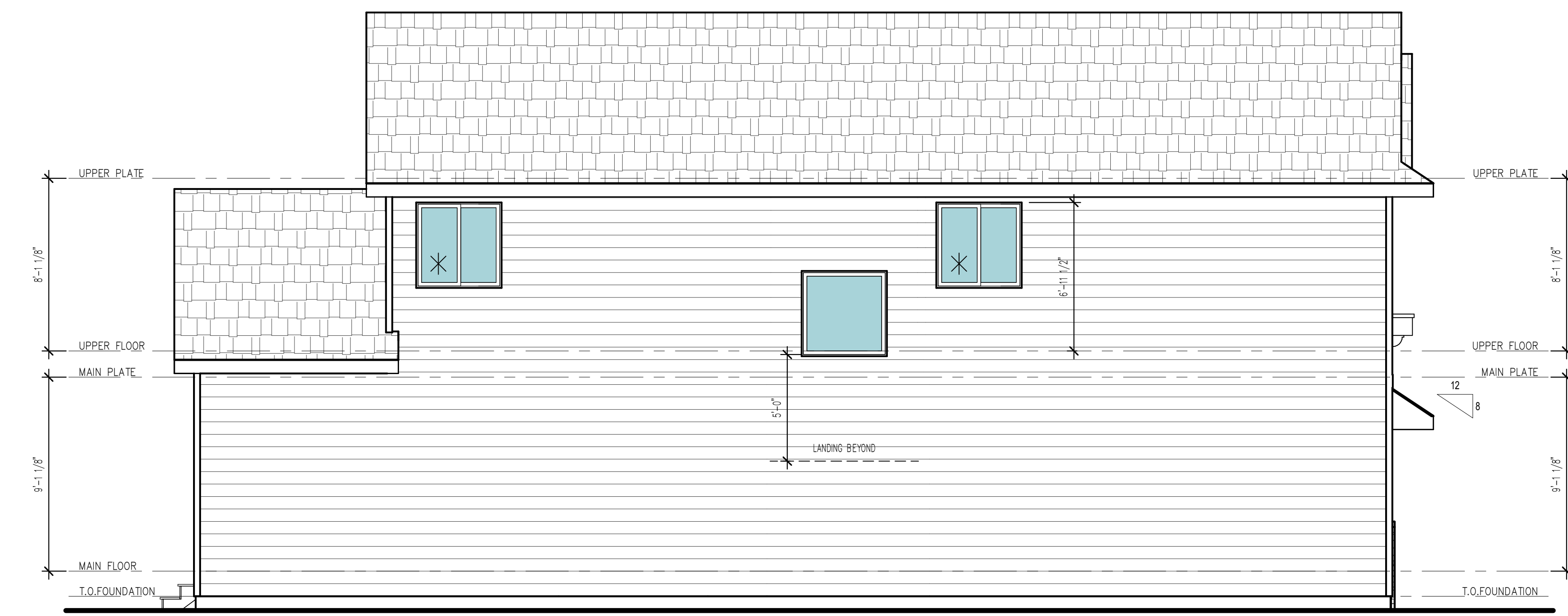


2 RIGHT ELEVATION
1/4" = 1'-0"

ESTIMATED AREA - MATERIAL			
MATERIAL TYPE	MATERIAL SF	MATERIAL %	MATERIAL ELEVATION
Lap Siding - 8"	2445 SF	100.0%	
18" Board & Batten	228 SF	80.6%	Front
Lap Siding - 8"	35 SF	12.5%	Front
Stone Veneer	20 SF	6.9%	Front



3 REAR ELEVATION
1/4" = 1'-0"



4 LEFT ELEVATION
1/4" = 1'-0"

- TYPICAL NOTES:**
- ROOF CONSTRUCTION ASSEMBLIES:**
 - ROOF CONSTRUCTION:**
COMPOSITION ROOF SHINGLES ON 30# FELT (U.O.N.)
1/2" OSB ROOF SHEATHING ON ROOF FRAMING MEMBERS
AS NOTED ON FLOOR PLANS.
 - CEILING:**
FRAMING 16" O.C. = 1/2" GYPSUM WALL BOARD
FRAMING 24" O.C. = 5/8" GYPSUM WALL BOARD
 - EXTERIOR SIDING WALL CONSTRUCTION:**
SIDING (AS NOTED ON ELEVATIONS) ON HOUSE WRAP
ON EXTERIOR WALL SHEATHING AS NOTED BELOW:
1/2" OSB SHEATHING ON ALL ELEVATIONS
INTERIOR: 1/2" GYPSUM WALL BOARD
STONE VENEER w/ HOUSE WRAP ON
1/2" PLYWOOD WALL SHEATHING
 - BASINMENT AND GARAGE FLOOR CONSTRUCTION:**
4" CONCRETE SLAB (MIN) ON COMPACTED STRUCTURAL FILL
FRAME FLOOR CONSTRUCTION
FINISH FLOOR (AS NOTED ON FLOOR PLANS) ON 3/4" 1/0
FLOOR SHEATHING ON 11/8" F-JOIST, U.O.N. (SPACING AS
NOTED ON FLOOR PLANS) MAIN FLOOR
CEILING: 5/8" GYPSUM WALL BOARD
FRAMING 24" O.C. : 5/8" GYPSUM WALL BOARD
FRAMING 16" O.C. : 1/2" GYPSUM WALL BOARD
 - WINDOWS:**
ROUGH OPENING OF WINDOWS TO BE NOTED IN FT./IN. ON FLOOR
PLANS, U.O.N. (BUILDER TO DETERMINE R.O. SIZES FROM
MANUFACTURE)
 - CASING WINDOWS:**
WINDOW HINGE NOTED ON EXTERIOR ELEVATION
NOTED ON PLANS AS C/M/T
 - SLIDING WINDOWS:**
NOTED ON PLANS AS S/L
 - SINGLE HUNG WINDOWS:**
NOTED ON PLANS AS SH
 - DOUBLE HUNG WINDOWS:**
NOTED ON PLANS AS DH
 - FIXED WINDOWS:**
NOTED ON PLANS AS FX
 - DOORS:**
DOOR SIZES NOTED ON FLOOR PLANS IN FT./IN.
TYPICAL HEAD HEIGHT FOR DOORS TO BE 6'-11" (U.O.N.)
 - WOOD JAMBS AND CASING:**
HINGED DOOR ROUGH OPENING TO BE MIN. 2" WIDER
DOOR SIZE NOTED ON PLANS.
BI-FOLD DOOR (BF) ROUGH OPENING TO BE MIN. 2"
WIDER THAN DOOR SIZE NOTED ON PLANS.
BI-PASS DOOR (BP) ROUGH OPENING TO BE 1"
WIDER THAN DOOR SIZE NOTED ON PLANS.
BARN (BN) SEE MANUFACTURER FOR ROUGH OPENING
 - GYPSUM WALL BOARD OPENINGS:**
ROUGH OPENING FOR BI-PASS DOORS TO BE SAME AS DOOR
SIZE NOTED ON PLANS.
ROUGH OPENING FOR BI-FOLD DOORS TO BE
1 1/4" WIDER THAN DOOR SIZE NOTED ON PLANS.

- * WINDOWS SO NOTED MEET OR EXCEED APPLICABLE EGRESS REQUIREMENTS
- ALL WINDOW HEAD HEIGHTS ARE 7' - 11 1/2" UNO.
- WALL SHEATHING ON ALL ELEVATIONS SHALL BE EXTENDED TO GRADE 1/2" OSB, UNO.
- VERIFY ALL EXTERIOR DOOR STYLES WITH BUILDER.
- GUTTERS AND DOWNSPOUTS NOT SHOWN FOR CLARITY.
- ALL EXTERIOR FRAME DIMENSIONS INCLUDES 1/2" THICK WALL SHEATHING
- ADJUST PLACEMENT OF FRAMING MEMBERS AS REQUIRED TO PROVIDE REQUIRED CLEARANCE FOR PLUMBING AND MECHANICAL SYSTEM
- HOLD ALL DOORS AND WINDOWS ROUGH OPENINGS 5" (MIN) FROM INTERSECTING WALLS TO ALLOW FOR TRIM
- ALL STRUCTURE, INCLUDING FOOTINGS, FOUNDATION WALLS, PIER PADS, HEADERS, AND BEAMS IS SCHEMATIC ONLY AND TO BE SIZED BY OTHERS. ANY STRUCTURAL SIZE NOTES WERE NOT ENGINEERED OR SIZED BY ALLER DESIGN GROUP LLC, ITS OWNER, OR EMPLOYEES BUT WAS PROVIDED BY OTHERS AND IS THE RESPONSIBILITY OF THE BUILDER.
- THE OWNER AND/OR CONTRACTOR OF THIS PLANS RELEASES ALLER DESIGN GROUP LLC, ITS OFFICERS, OWNERS, AND EMPLOYEES FROM ANY CLAIMS OR LAWSUITS AGAINST THAT MAY ARISE DURING THE CONSTRUCTION OF THIS STRUCTURE OR ANY THEREAFTER. ADDITIONALLY, ALLER DESIGN GROUP LLC, ITS OFFICERS, OWNERS, AND EMPLOYEES DO NOT ACCEPT ANY LIABILITY FOR THE ACCURACY OR OVERALL INTEGRITY OF THESE DOCUMENTS. THEREFORE THE OWNER AND/OR CONTRACTOR MUST CAREFULLY INSPECT ALL DIMENSIONS, STRUCTURE AND DETAILS IN THESE DOCUMENTS PRIOR TO CONSTRUCTION AND ASSUMES RESPONSIBILITY FOR THE SAME.

ALLER DESIGN GROUP
 1840 NW 18TH ST. Suite 100
 CLIVE, IA 50325
 515.254.1181
 ALLERDESIGN.COM

PROJECT PHASE:
 PHASE 3

1314 Plan - Upper Opt. 4
 PROJECT ADDRESS REQUIRED FOR PERMIT

Review Set - Not for Permit and Not for Construction 09.25.23

BUILDER
 DESTINY HOMES

PROJECT NO.
 30219823

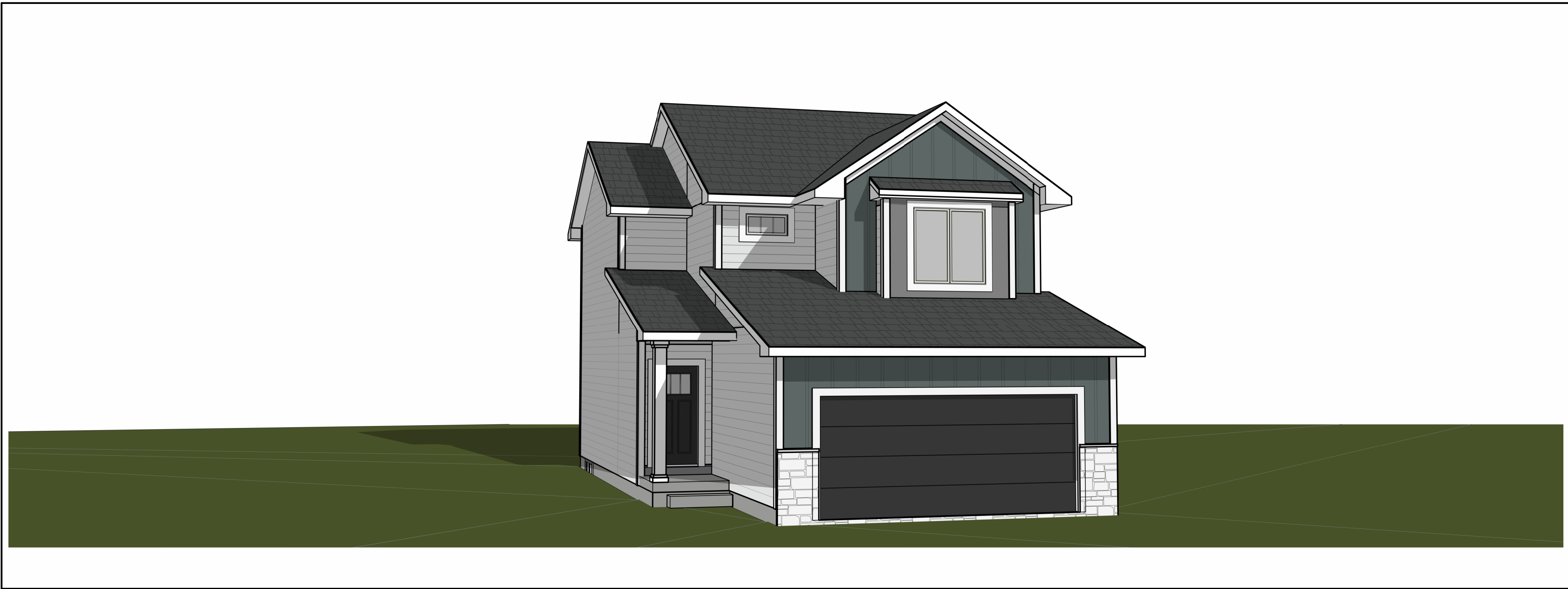
ISSUE DATE
 09.25.23

DRAWN
 LM / SP / NT

REVISION DATE

SHEET NAME
 EXTERIOR ELEVATIONS

SHEET NO.
A3.1



GENERAL NOTES

- I. SITEWORK
- BUILDER SHALL BE RESPONSIBLE FOR GRADING OF SITE AND LOTS.
 - PERFORM EXCAVATION ACCORDING TO GOOD COMMON CONSTRUCTION PRACTICES TO THE LINES, GRADES AND ELEVATIONS INDICATED ON DRAWINGS.
 - PROVIDE FOUNDATION DRAINAGE AS SPECIFIED BY GOVERNING CODES.
 - PROVIDE SOIL POISONING TO CONTROL TERMITES AS REQ. BY GOVERNING CODES.
- II. CONCRETE
- ALL CONCRETE SHALL BE DESIGNED AND SPECIFIED BY OTHERS.
- III. MASONRY
- BRICK VENEER
 - PROVIDE MODULAR SIZE BRICK VENEER UNITS COMPLYING WITH GOVERNING CODES. BRICK TYPE SHALL BE SPECIFIED BY BUILDER.
 - PROVIDE MORTAR IN ACCORDANCE WITH GOVERNING CODES.
- IV. METALS
- ALL STRUCTURAL STEEL SHALL COMPLY WITH APPROPRIATE GOVERNING CODES.
- V. WOOD AND PLASTICS
- LUMBER AND MANUFACTURED/ENGINEERED WOOD PRODUCTS SHALL, IN ADDITION TO COMPLYING WITH GOVERNING CODES, COMPLY WITH:
 - "PRODUCT USE MANUAL" OF THE WESTERN WOOD PRODUCTS ASSOCIATION FOR SELECTION AND USE OF PRODUCTS INCLUDED IN THAT MANUAL.
 - "PLYWOOD SPECIFICATION AND GRADE GUIDE" OF THE AMERICAN PLYWOOD ASSOCIATION.
 - AMERICAN WOOD PRESERVERS ASSOCIATION STANDARDS AND RECOMMENDATIONS FOR FIRE-RETARDANT AND PRESERVATIVE PRESSURE TREATED LUMBER AND PLYWOOD.
 - ALL WOOD INDICATED AS "PRESSURE TREATED" OR "TREATED" SHALL BE PRESERVATIVE PRESSURE TREATED.
 - ALL WOOD INDICATED AS "FIRE-RETARDANT" SHALL BE FIRE-RETARDANT PRESSURE TREATED.
 - FRAMING LUMBER: PROVIDE LUMBER AND MATERIALS MEETING OR EXCEEDING THE FOLLOWING STANDARDS OF QUALITY:
 - ALL ENGINEERED WOOD PRODUCTS SHALL BE HANDLED AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS/SPECIFICATIONS RECOMMENDATIONS UNLESS OTHERWISE NOTED ON DRAWINGS.
 - ALL HEADERS AND BEAMS SHALL BE FREE FROM SPLITS, CHECKS, AND SHAKES.
 - CEILING JOISTS ARE DESIGNED FOR NO ATTIC STORAGE UNLESS NOTED OTHERWISE.
 - SPECIES:
 - LOAD BEARING FRAME MEMBERS, EXCEPT PLATES: DOUG FIR LARCH #2 OR BETTER.
 - SOLE, TOP AND DOUBLE PLATES: SOUTHERN PINE FIR #2 OR BETTER.
 - EXTERIOR DECK FRAMING: SOUTHERN YELLOW PINE #2 OR BETTER CCA .40 PRESSURE TREATED.
 - EXTERIOR DECKING AND RAILINGS: PONDEROSA PINE #2 OR BETTER CCA .40 PRESSURE TREATED.
 - ROUGH HARDWARE:
 - STEEL ITEMS:
 - COMPLY WITH GOVERNING CODES.
 - USE GALVANIZED AT EXTERIOR LOCATIONS.
 - TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE STATE OF IOWA.
 - MAIN STAIR CONSTRUCTION SHALL CONSIST OF 3-2X12 STRINGERS, 3/4" THICK TREAD AND 1/2" THICK RISERS. BASEMENT STAIR CONSTRUCTION SHALL CONSIST OF 3-2X12 STRINGERS AND 2X10 TREAD, UNLESS NOTED OTHERWISE.
 - ALL WOOD PLATED BEARING ON CONCRETE OR MASONRY SHALL BE OF DECAY-RESISTANT MATERIAL AS REQ. BY GOVERNING CODES.
 - INTERIOR TRIM SHALL BE SELECTED BY BUILDER.
 - ALL EXTERIOR FRAMING AND DECKING SHALL BE CONSTRUCTED OF DECAY-RESISTANT LUMBER CCA .40 OR EQUAL.

- VI. THERMAL & MOISTURE PROTECTION
- THERMAL BUILDING INSULATION AT ASSEMBLIES ADJACENT TO EXTERIOR OR UNHEATED SPACES MEETING THE REQUIREMENTS OF GOVERNING CODES AND, UNLESS OTHERWISE NOTES, MEETING THE FOLLOWING MINIMUM REQUIREMENTS:
 - FOUNDATION WALLS:
 - BASEMENT: GLASS FIBER, VINYL FACED BLANKETS, R-11, UNLESS NOTED OTHERWISE ON PLANS.
 - CRACK SPACE: GLASS FIBER, UNFACED BLANKETS, R-11, UNLESS NOTED OTHERWISE ON PLANS.
 - EXTERIOR FRAME WALLS:
 - 2X4: GLASS FIBER, BATT, R-15, UNLESS NOTED OTHERWISE ON PLANS.
 - 2X6: GLASS FIBER, BATT, R-20 (MIN.), UNLESS NOTED OTHERWISE ON PLANS.
 - CEILING:
 - ATTIC AREAS: GLASS FIBER, BLOWN, R-40, UNLESS NOTED OTHERWISE ON PLANS.
 - VAULTED RAFTERS: GLASS FIBER, BATT, R-40, UNLESS NOTED OTHERWISE ON PLANS.
 - FRAMED FLOORS OVER UNHEATED AREAS: GLASS FIBER BATT, R-20 (MIN.), UNLESS NOTED OTHERWISE.
 - INSTALL 4 MIL POLYETHYLENE VAPOR BARRIER TO INSIDE FACE OF STUDS AT ALL EXTERIOR WALLS EXCEPT BATHROOMS, UNLESS NOTED OTHERWISE ON PLANS.
 - ROOFING SHALL BE SPECIFIED BY BUILDER AND AS SHOWN ON DRAWINGS.
 - SIDING SHALL BE SPECIFIED BY BUILDER AND AS SHOWN ON DRAWINGS.
 - FLASHING AND SHEET METAL REQUIRED TO PREVENT PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING. IN ADDITION TO COMPLYING WITH GOVERNING CODES, COMPLY WITH PERTINENT RECOMMENDATIONS CONTAINED IN CURRENT EDITION OF "ARCHITECTURAL SHEET METAL MANUAL" PUBLISHED BY SMACNA. ALL IRON SHEET METAL FLASHING SHALL BE HOT-DIP GALVANIZED COMPLYING WITH ASTM A653.
 - OUTTER AND DOWN SPOUTS AS SPECIFIED BY BUILDER. DOWN SPOUT AND SPLASH LOCATIONS SHALL BE DETERMINED BY SUB CONTRACTOR AND APPROVED BY BUILDER SO AS TO PROVIDE POSITIVE ROOF AND SITE DRAINAGE.
 - ATTIC AND ROOF VENTILATION AS REQUIRED BY GOVERNING CODES AND AS SHOWN ON DRAWINGS. PROVIDE APPROPRIATE SOFFIT AND ROOF VENTS AS SPECIFIED/APPROVED BY BUILDER.
 - FOUNDATION MOISTURE PROTECTION:
 - WATERPROOF FOUNDATION WALLS AS SPECIFIED BY BUILDER.
 - SUMP PIT AND PUMP AS SPECIFIED BY BUILDER AND AS SHOWN ON DRAWINGS.
 - PERFORATED FOUNDATION DRAIN TILE AS SPECIFIED BY BUILDER.
- VII. DOORS & WINDOWS
- DOORS AS FOLLOWS AND AS SPECIFIED BY BUILDER:
 - ENTRY DOORS AND SIDELIGHTS: AS SPECIFIED BY BUILDER.
 - HOUSE/GARAGE DOORS: INSULATED STEEL DOOR, FLUSH WITH CLOSER.
 - OVERHEAD GARAGE DOORS: INSULATED, AS SPECIFIED BY BUILDER.
 - PATIO DOORS (HINGED): FULL GLASS AS SPECIFIED BY BUILDER.
 - SLIDING GLASS DOORS: AS SPECIFIED BY BUILDER.
 - INTERIOR DOORS: AS SPECIFIED BY BUILDER.
 - WINDOWS AS FOLLOWS AND AS SPECIFIED BY BUILDER:
 - LIVING LEVELS (INCLUDING WALKOUT BASEMENT): POLYVINYL OR METAL CLAD.
 - BASEMENT: ALUMINUM.
 - UNITS OF THE SIZE, STYLE AND QUANTITY SHOWN ON DRAWINGS.
 - GLAZING SHALL BE DOUBLE-PANE INSULATING GLASS IN LIVING AREAS.
 - TEMPERED GLASS IN ALL WINDOWS AS REQUIRED BY GOVERNING CODES. 2018 IRC R308.
 - INSTALL EMERGENCY EGRESS UNITS AS REQUIRED BY GOVERNING CODES. 2018 IRC R310.
 - FINISH HARDWARE SHALL BE SPECIFIED BY BUILDER. INSTALL ALL HARDWARE REQUIRED BY GOVERNING CODES.

- VIII. FINISHES
- GYPHUM PANELS:
 - GYPHUM PANELS, UNLESS OTHERWISE NOTED SHALL BE PROVIDED AS FOLLOWS:
 - EXTERIOR WALLS: 1-LAYER 1/2" REGULAR PANELS TO INTERIOR FACE.
 - INTERIOR PARTITIONS: 1-LAYER 1/2" REGULAR PANELS EACH SIDE.
 - CEILING: 1-LAYER 5/8" REGULAR PANELS.
 - GARAGE: PROVIDE 5/8" TYPE "X" PANELS AS REQUIRED BY CODE.
 - SHOWERS: CONCRETE BOARD BEHIND TILE SHOWERS.
 - PROVIDE METAL CORNER BEAD AND TRIM AT ALL LOCATIONS SHOWN ON DRAWINGS AND AS RECOMMENDED BY GYPHUM WALLBOARD MANUFACTURER.
 - TAPE, FLOAT AND SAND JOINTS AND FASTENERS OF GYPHUM WALLBOARD WITH 3-COATS OF JOINT COMPOUND AS REQUIRED.
 - FINISHES SHOWN ON DRAWINGS SHALL BE SPECIFIED BY BUILDER.
- IX. SPECIALTIES
- FIREPLACES SHALL BE AS FOLLOWS:
 - FIRE-MANUFACTURED GAS (NON-WOOD BURNING) UNITS OF THE STYLE AND SIZE SHOWN ON DRAWINGS.
 - MANUFACTURER AND MODEL SHALL BE SPECIFIED BY BUILDER.
 - SUB CONTRACTOR(S) SHALL BE RESPONSIBLE FOR PROPER INSULATION OF FIREPLACE UNIT, VENTING, HEARTH, MANTLE AND RELATED COMPONENTS AS RECOMMENDED BY MANUFACTURER AND AS REQUIRED BY GOVERNING CODES.
 - SHOWER, TUB AND TUB/SHOWER ENCLOSURES SHALL BE CONSTRUCTED OF APPROVED SAFETY GLAZING AS SPECIFIED BY BUILDER.
 - GUARDRAILS SHALL BE PROVIDED AS SHOWN ON DRAWINGS AND AT ENCLOSED FLOOR OPENINGS, OPEN SIDES OF STAIRWAYS, LANDINGS AND RAMPS, BALCONIES, PORCHES OR DECKS WHICH ARE MORE THAN 30 INCHES ABOVE GRADE OR FLOOR BELOW. THE TOP OF GUARDRAILS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH.
- X. MECHANICAL
- GENERAL:
 - INFORMATION AND LAYOUTS SHOWN ON DRAWINGS ARE ONLY SCHEMATIC IN DESIGN, AND SHALL BE REVIEWED BY SUB CONTRACTORS, SUPPLIERS AND BUILDING OFFICIALS FOR COMPLIANCE WITH GOVERNING CODES AND GOOD COMMON CONSTRUCTION PRACTICES.
 - EQUIPMENT AND FIXTURES SHALL BE SPECIFIED BY BUILDER.
 - DESIGN AND INSTALLATION OF EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE APPROPRIATE LICENSED CONTRACTORS.
 - PLUMBING:
 - PLUMBING ROUGH-IN SHALL BE PROVIDED TO WASHER BOX FOR CLOTHES WASHER.
 - GAS LINES AND VALVES TO DRYER, RANGE AND FIREPLACE AS SPECIFIED BY BUILDER.
 - HEATING, VENTILATING & AIR CONDITIONING:
 - FURNACE: GAS, FORCED AIR AS SPECIFIED BY BUILDER.
 - ALL HVAC EQUIPMENT SHALL BE INDIVIDUALLY SWITCHED.
 - DRYER VENT SHALL EXHAUST TO EXTERIOR.
 - MECHANICAL EXHAUST VENTILATION WHERE INDICATED IN BATHROOMS, WATER CLOSET COMPARTMENTS AND LAUNDRY ROOMS SHALL EXHAUST TO EXTERIOR AND PROVIDE A MINIMUM OF 5 AIR CHANGES PER HOUR.
- XI. ELECTRICAL
- GENERAL:
 - INFORMATION AND LAYOUTS SHOWN ON DRAWINGS ARE ONLY SCHEMATIC IN DESIGN, AND SHALL BE REVIEWED BY SUB CONTRACTORS, SUPPLIERS AND BUILDING OFFICIALS FOR COMPLIANCE WITH GOVERNING CODES AND GOOD COMMON CONSTRUCTION PRACTICES.
 - EQUIPMENT AND FIXTURES SHALL BE SPECIFIED BY BUILDER.
 - DESIGN AND INSTALLATION OF EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE APPROPRIATE LICENSED CONTRACTORS.
 - INSTALL GROUND-FAULT CIRCUIT-INTERRUPTERS (GFI OR GFCI) MEETING THE REQUIREMENTS OF ALL GOVERNING CODES. ALL OUTDOOR, BEDROOM(S), BATH AND GARAGE WALL RECEPTACLES SHALL BE PROVIDED WITH GROUND-FAULT CIRCUIT PROTECTION.
 - INSTALL LOCALLY CERTIFIED SMOKE DETECTORS MEETING THE REQUIREMENTS OF ALL GOVERNING CODES. SMOKE DETECTORS SHALL BE 110 VOLT POWERED, EQUIPPED WITH A BATTERY BACKUP AND SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS.

FRAMING NOTES

- EXTERIOR HEADERS: ALL HEADERS TO BE SIZED BY OTHERS. ALL WINDOW HEAD HEIGHTS NOTED ON PLANS TO BE VERIFIED AND ADJUSTED AS REQUIRED BY BUILDER.
- INTERIOR HEADERS: IN NON BEARING PARTITION WALLS - 2x4
- CAP STOOP: 3/4" OSB 2x6 FRAMING TAP CON OR RAMSET AND BRACED TO FOUNDATION TIES. OSB TO HANG EXTEND OVER FOUNDATION HALF WAY.
- NO BRIDGING: SOLID BLOCKING AS REQUIRED BY CODES.
- BASEMENT STAIRS: 3/4" AWAY FROM FRAMED OR FURRED WALLS.
- MAIN STAIRS: 1/2" RISERS, 3/4" TREADS WITH 1" OVERHANG ON FRONT, QULID AND NAILED; TREADS HANG OVER ENDS 1 1/2" OR 2 1/4" WITH SKIRT BOARD. (USE SCRAPS WHERE POSSIBLE.)
- UPPER FLOOR BALCONIES: OSB FLUSH FOR 1x6 BALUSTER PLATE UNLESS SPECIFIED ON PLANS.
- TUB/SHOWERS: 5', 4' AND 3" EXACT OPENINGS. AS NOTED ON PLAN
- EXTERIOR DOORS: 3/4" OSB SPACER BETWEEN DOOR SILL AND FLOOR DECK, SLIDING GLASS DOORS INSTALL DIRECTLY TO FLOOR DECK.
- TRUSSES: 24" o.c. WITH BRACING AS SPECIFIED BY TRUSS MANUFACTURER.
- RAFTERS: 24" O.C. WITH BRACING AS SHOWN ON PLANS VAULT 2x10 16" o.c. / 2x6 SUB FASCIA, LOOKOUTS AS REQUIRED.
- EXTERIOR WALLS: OSB SHEATHING ON ALL EXTERIOR WALLS AND EXTERIOR FACE OF ALL GABLES. SHEATHING IS ALSO REQUIRED ON THE OUTSIDE FACE OF ANY/ALL WALLS THAT ADJOIN ENCLOSED UNHEATED SPACES AS SUCH AS PORCH ROOFS OR ATTIC SPACES, UNLESS NOTED OTHERWISE ON PLANS.
- SIDING: CAULK BEHIND WINDOWS AND DOORS. HOUSE WRAP OVER ALL EXTERIOR WALLS AND GABLES; INSTALLED TO BE WATER TIGHT PER MFG'S SPECIFICATIONS
- FLASHING: 2x4 UNDER RIDGE ON ALL GABLES. RUBBER FLASHING 18" WIDE UNDER ALUMINUM FLASHING. CONTINUOUS FLASHING ALONG SHED ROOFS AND STOOPS.

FRAMER SHALL PROVIDE CLEAR CHASES FOR PLUMBING AND MECHANICAL SYSTEMS.

THE FRAMER SHALL ADJUST LAYOUT OR PLACEMENT OF FRAMING MEMBERS TO PROVIDE REQUIRED CLEARANCES FOR ALL MECHANICAL AND PLUMBING SYSTEMS WHILE MAINTAINING STRUCTURAL INTEGRITY.

SHEET LIST	
A0.0	COVER SHEET
A1.1	BASEMENT
A2.1	MAIN FLOOR
A3.1	UPPER FLOOR
A4.1	EXTERIOR ELEVATIONS
A5.1	3D VIEWS
A6.1	ROOF PLAN, STAIR SECTION, FIREPLACE DETAIL
D1	DETAILS
D2	DETAILS
D3	DETAILS
E1	ELECTRICAL PLAN - BASEMENT
E2	ELECTRICAL PLAN - MAIN FLOOR, UPPER FLOOR

AREA SCHEDULED	
BASEMENT FINISHED	615 SF
BASEMENT UNFINISHED	133 SF
	748 SF
MAIN FLOOR	744 SF
UPPER FLOOR	839 SF
TOTAL FINISHED AREA:	1583 SF
GARAGE	502 SF
TOTAL GARAGE AREA:	502 SF
BUILDING AREA TOTAL:	2833 SF

REVISION SCHEDULE		
NUMBER	DATE	COMMENTS

THE OWNER AND/OR CONTRACTOR OF THIS PLAN RELEASES ALLER DESIGN GROUP LLC, ITS OFFICERS, OWNERS, AND EMPLOYEES FROM ANY CLAIMS OR LAWSUITS AGAINST THAT MAY ARISE DURING THE CONSTRUCTION OF THIS STRUCTURE OR ANY THEREAFTER. ADDITIONALLY, ALLER DESIGN GROUP LLC, ITS OFFICERS, OWNERS, AND EMPLOYEES DO NOT ACCEPT ANY LIABILITY FOR THE ACCURACY OR OVERALL INTEGRITY OF THESE DOCUMENTS. THEREFORE THE OWNER AND/OR CONTRACTOR MUST CAREFULLY INSPECT ALL DIMENSIONS, STRUCTURE, AND DETAILS IN THESE DOCUMENTS PRIOR TO CONSTRUCTION AND ASSUMES RESPONSIBILITY FOR THE SAME.

Review Set - Not for Permit and Not for Construction 08. 23. 24



1840 NW 138th St.
Suite 100
Clive, IA 50325
515.254.1181

ALLERDESIGN.COM

THESE DOCUMENTS, AND THE INFORMATION CONTAINED HEREIN, ARE EXCLUSIVE PROPERTY OF ALLER DESIGN GROUP LLC. ANY USE OR DUPLICATION OR TRANSFER OF THESE DOCUMENTS WITHOUT THE EXPRESSED WRITTEN CONSENT OF ALLER DESIGN GROUP LLC IS STRICTLY PROHIBITED. ALLER DESIGN GROUP LLC RETAINS COPYRIGHT TO AND OWNERSHIP OF THESE DOCUMENTS.

PROJECT PHASE:

PHASE II

1583 PLAN
PROJECT ADDRESS REQUIRED FOR PERMIT

BUILDER
DESTINY HOMES

PROJECT NO.
30207624

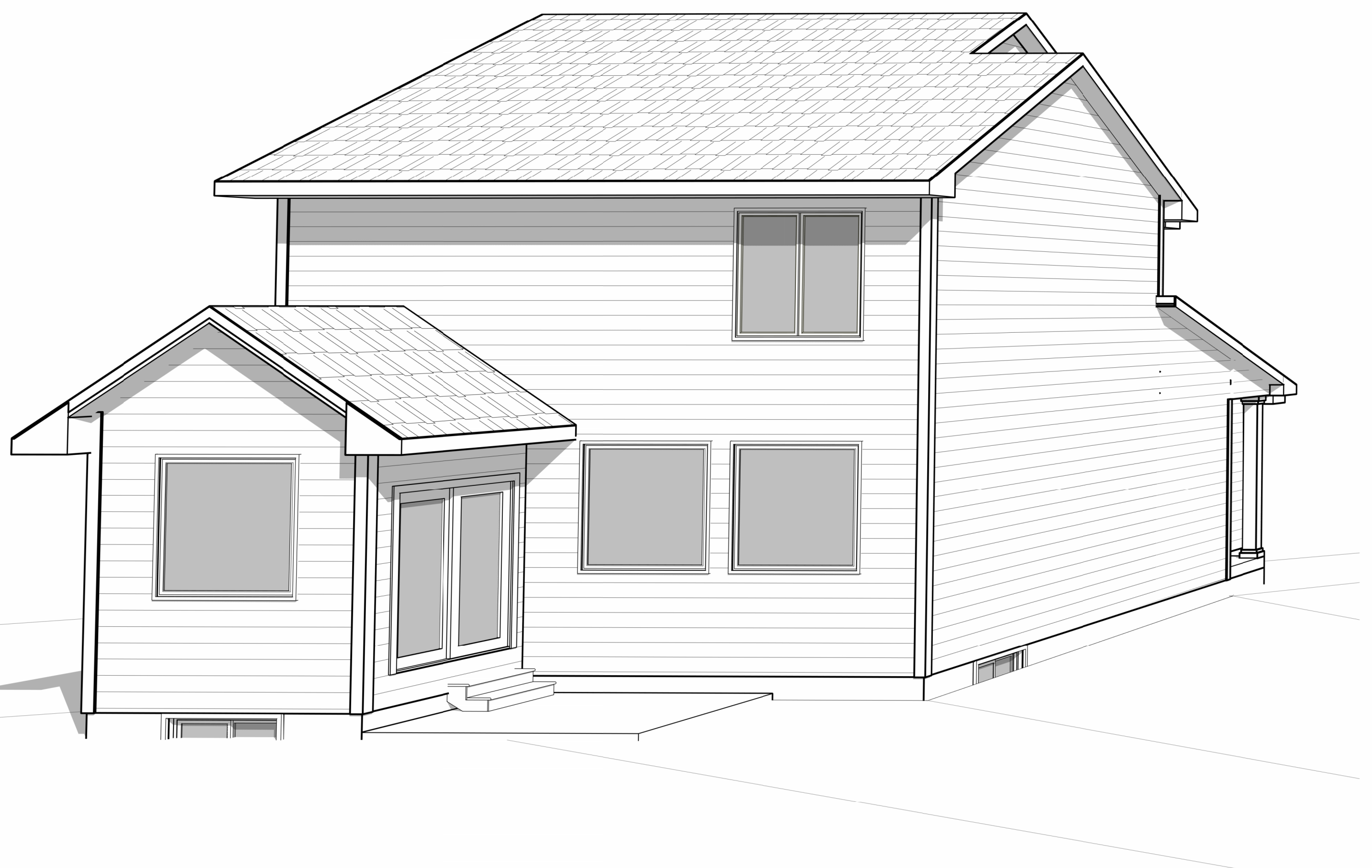
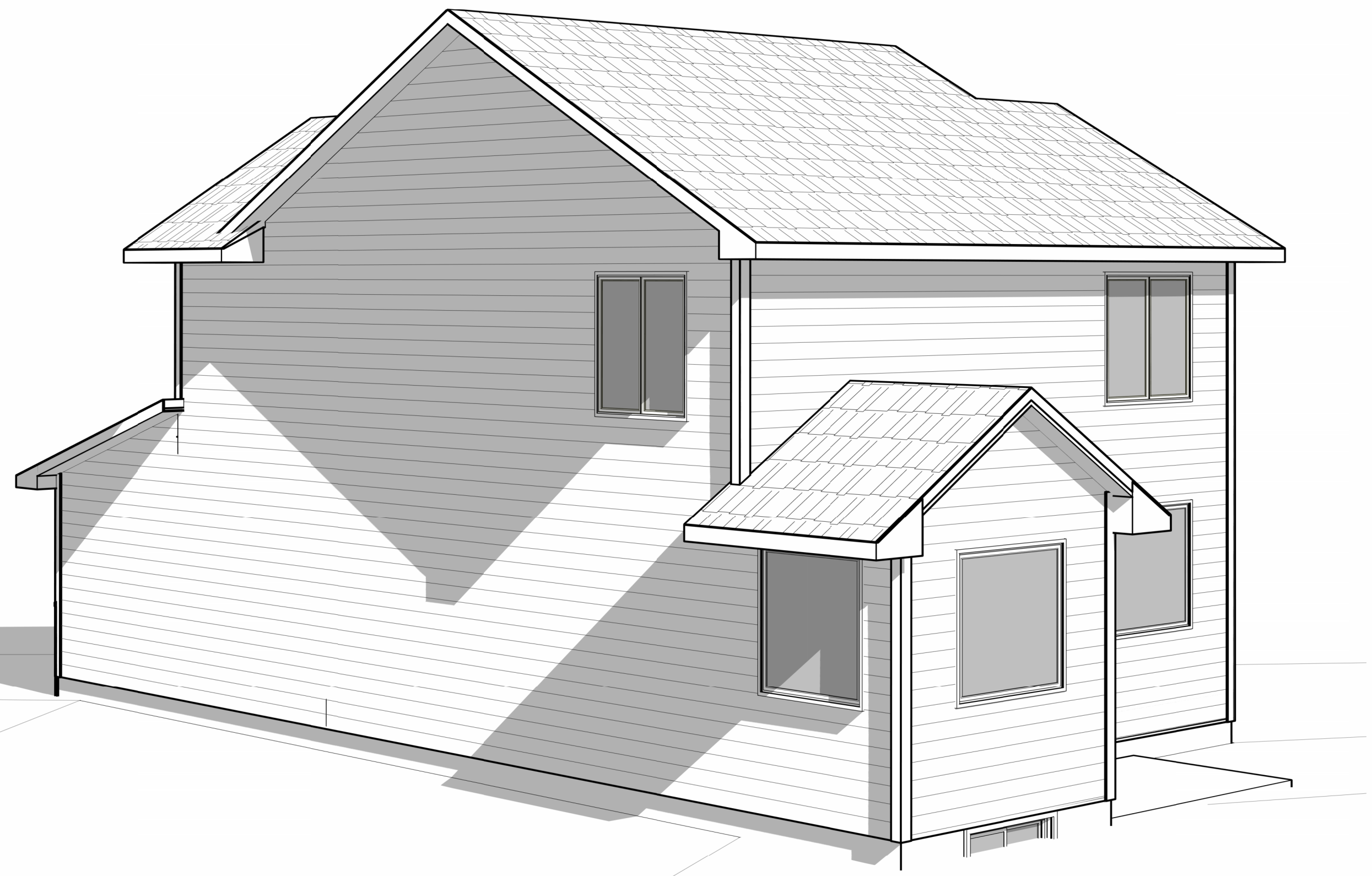
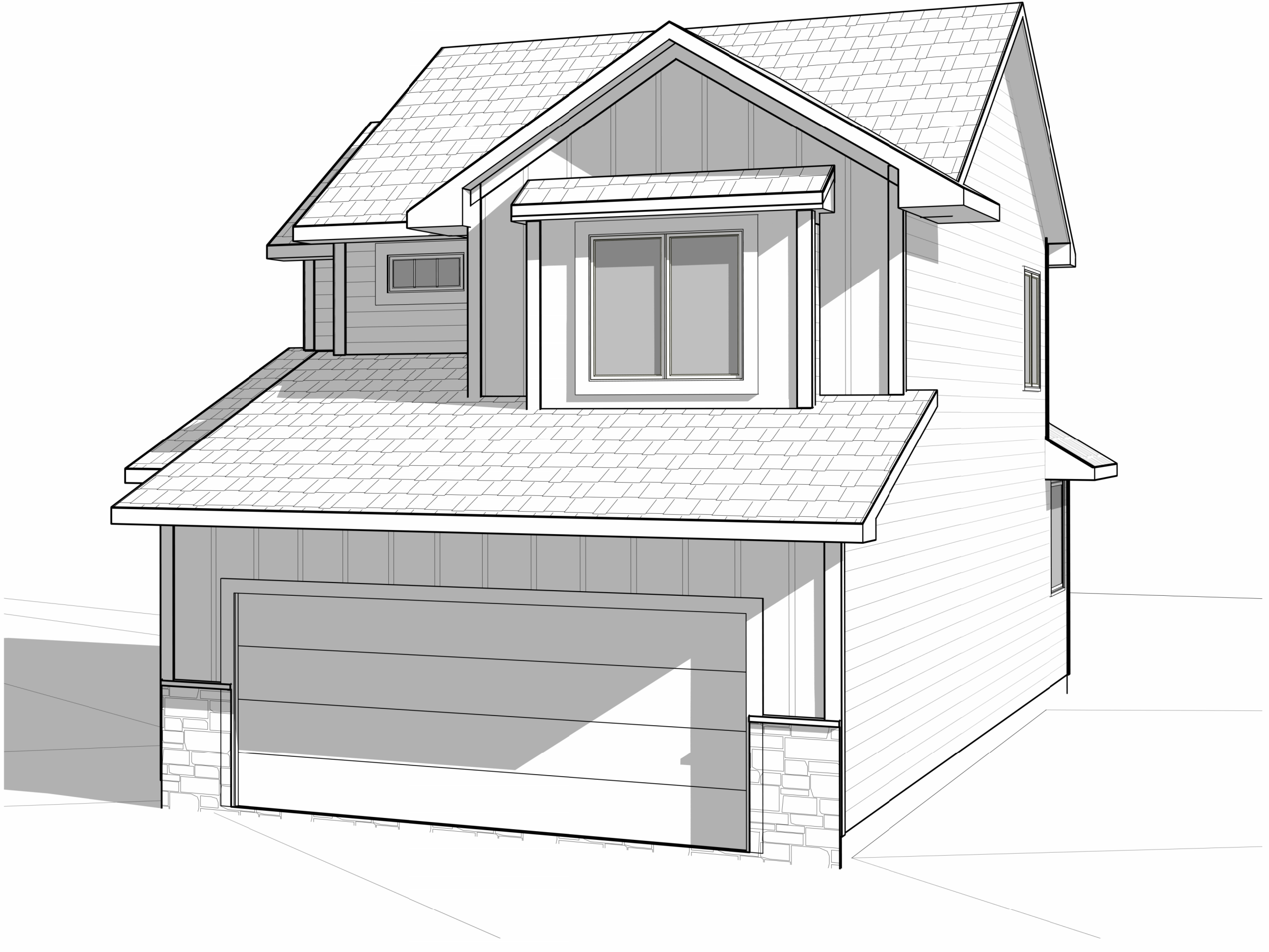
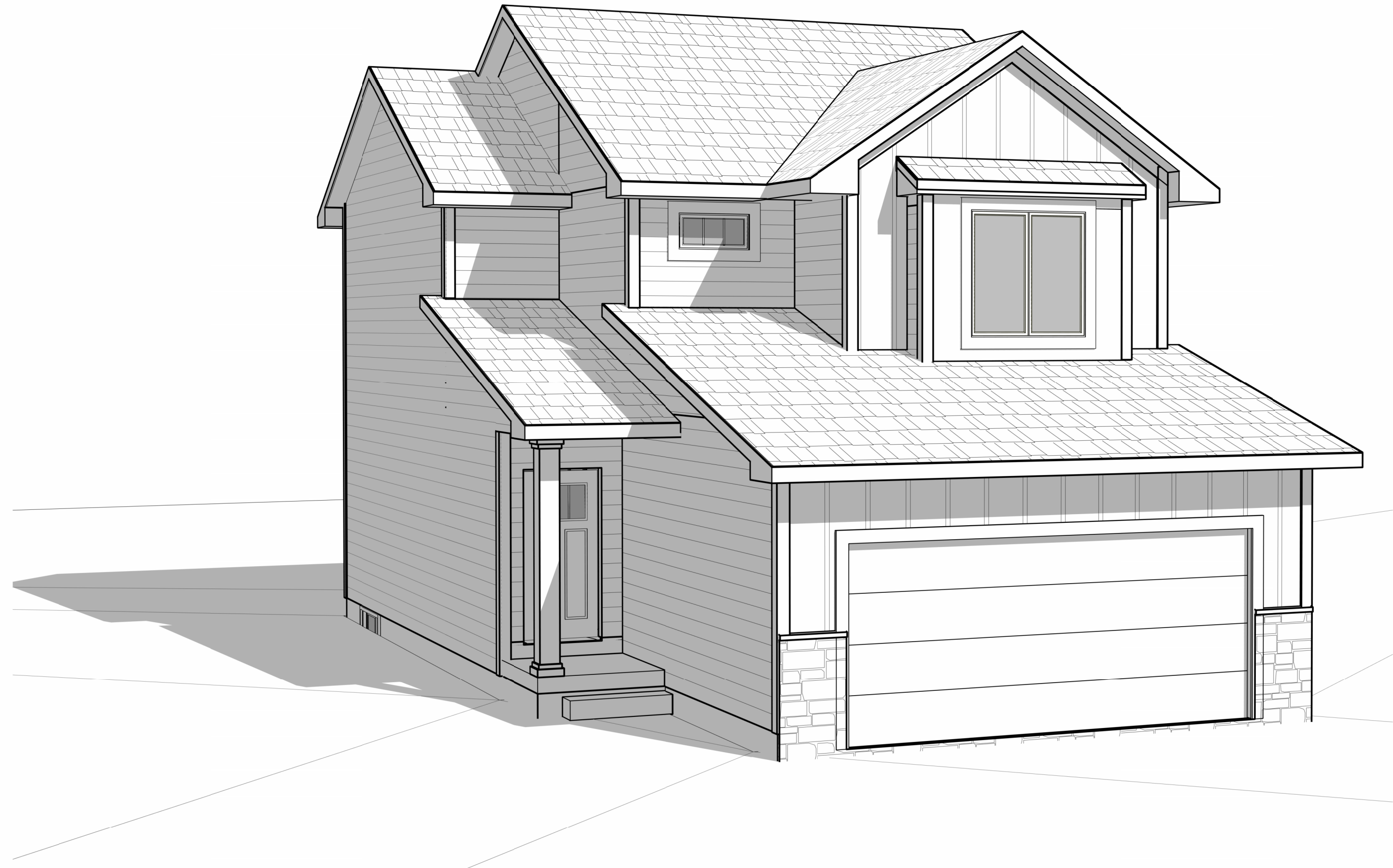
ISSUE DATE

DRAWN
SP

SHEET NAME
COVER SHEET

SHEET NO.

A0.0



Review Set - Not for Permit and Not for Construction 08. 23. 24

1583 PLAN

PROJECT ADDRESS REQUIRED FOR PERMIT

BUILDER
DESTINY HOMES

PROJECT NO.
30207624

ISSUE DATE

DRAWN
NT/MO/SI/AK

SHEET NAME
3D VIEWS

SHEET NO.

A5.1



ALLER
DESIGN GROUP
1840 NW 138th St.
Suite 100
Clive, IA 50325
515.254.1181

ALLERDESIGN.COM

THESE DOCUMENTS, AND THE INFORMATION CONTAINED HEREIN, ARE EXCLUSIVE PROPERTY OF ALLER DESIGN GROUP LLC. ANY USE OR DUPLICATION OR TRANSFER OF THESE DOCUMENTS WITHOUT THE EXPRESSED WRITTEN CONSENT OF ALLER DESIGN GROUP LLC IS STRICTLY PROHIBITED. ALLER DESIGN GROUP LLC RETAINS COPYRIGHT TO AND OWNERSHIP OF THESE DOCUMENTS.

PROJECT PHASE:
PHASE II



SHEET LIST	
A0.0	COVER SHEET
A1.0	BASEMENT FLOOR
A1.1	MAIN FLOOR
A2.1	UPPER FLOOR
A3.1	EXTERIOR ELEVATIONS
A3.2	3D VIEWS
A4.1	ROOF PLAN, STAR SECTION, FIREPLACE ELEVATION
D1	DETAILS
D2	DETAILS
D3	DETAILS
E1	ELECTRICAL PLAN - BASEMENT FLOOR
E2	ELECTRICAL PLAN - MAIN FLOOR
E3	ELECTRICAL PLAN - UPPER FLOOR

AREA SCHEDULE - UNFINISHED BASEMENT	
MAIN FLOOR	695 SF
UPPER FLOOR	915 SF
LIVING AREA TOTAL	1610 SF
BASEMENT - FINISHED	496 SF
BASEMENT - UNFINISHED	202 SF
GARAGE	448 SF
OTHER AREA TOTAL	1146 SF
BUILDING AREA TOTAL	2756 SF

Review Set - Not for Permit and Not for Construction 09. 25. 23

PROJECT REQUIREMENTS

GENERAL CONSTRUCTION/CONTRACTOR REGULATIONS:

ALL CONTRACTORS SHALL VISIT JOB SITE AND BECOME FAMILIAR WITH EXISTING CONDITIONS BEFORE SUBMITTING BIDS. THE DESIGNER IS TO BE NOTIFIED FOR RE-EVALUATION IF ANY CONDITIONS DO NOT CORRESPOND TO THOSE SHOWN IN THESE DOCUMENTS. ON-SITE VERIFICATION OF ALL DIMENSIONS AND CONDITIONS SHALL BE THE RESPONSIBILITY OF THE CONTRACTORS.

CONTRACTORS SHALL NOT SCALE ANY DRAWINGS. THE DIMENSIONS SHOWN ARE TO TAKE PRECEDENCE OVER SCALING THE DOCUMENTS. THE GENERAL CONTRACTOR SHALL TAKE FULL RESPONSIBILITY FOR ANY INCORRECT WORK AND ANY REPAIR OF SAID WORK AS A RESULT OF SCALING THE DOCUMENTS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL WORK AND MATERIALS REPRESENTED ON THESE DOCUMENTS INCLUDING THE WORK AND MATERIALS FURNISHED BY SUBCONTRACTORS AND VENDORS.

THE CONTRACTOR/OWNER SHALL THOROUGHLY REVIEW AND BECOME FAMILIAR WITH THESE DOCUMENTS. UPON REVIEW THE CONTRACTOR SHALL DOCUMENT AND NOTIFY THE DESIGNER OF ANY ERRORS, OMISSIONS, DISCREPANCIES, AND/OR INCONSISTENCIES PRIOR TO THE START OF ANY PORTION OF THE PROPOSED WORK. THE DESIGNER SHALL REVIEW THE PROPOSED CORRECTIONS AFTER THE RECEIPT OF NOTIFICATION. NO CHANGE SHALL BE MADE WITHOUT REVIEW OF THE DESIGNER AND APPROVAL OF THE OWNER. THE DISCOVERY OF DISCREPANCIES AND/OR CONFLICTS AFTER THE START OF WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR TO REPAIR OR REPLACE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CORRECTION OF ANY ERRORS, OMISSIONS, DISCREPANCIES, AND/OR INCONSISTENCIES WHICH HAVE NOT BEEN BROUGHT TO THE DESIGNER'S ATTENTION. DETAILS NOT SPECIFICALLY SHOWN SHALL BE SIMILAR IN CHARACTER TO COMPARABLE CONDITIONS DETAILED. ANY CLARIFICATIONS NECESSARY TO ENSURE ACCURATE CONSTRUCTION AND COMPLETION OF THE PROJECT SHALL BE ADDRESSED BY THE CONTRACTOR PRIOR TO SUBMISSION OF PROJECT.

DEVIATIONS FROM THESE DOCUMENTS IN THE CONSTRUCTION PHASE SHALL BE REVIEWED BY THE DESIGNER AND THE OWNER PRIOR TO THE START OF THE WORK IN QUESTION. ANY DEVIATIONS FROM THESE DOCUMENTS WITHOUT PRIOR REVIEW SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR/OWNER.

ALL WORK PERFORMED BY THE CONTRACTOR SHALL COMPLY AND CONFORM WITH LOCAL AND STATE BUILDING CODES, ORDINANCES, REGULATIONS, AND ALL OTHER AUTHORITIES HAVING JURISDICTION. THE CONTRACTOR IS RESPONSIBLE TO BE AWARE OF THESE REQUIREMENTS AND GOVERNING REGULATIONS.

THE CONTRACTOR/OWNER SHALL SUPERVISE AND DIRECT THE WORK USING HIS BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, PRECAUTIONS, TECHNIQUES, SEQUENCES, PROCEDURES, AND COORDINATION OF ALL PORTION OF THE WORK.

ALL WORK SHALL BE DONE IN A WORKMANSHIP-LIKE MANNER.

CONTRACTORS/TRADES ARE TO REMOVE THEIR DEBRIS AND LEAVE JOB-SITE BROOM SWEEP AT THE END OF EACH DAY.

THESE DOCUMENTS ARE THE PROPERTY OF THE DESIGNER AND SHALL NOT BE COPIED, DUPLICATED, ALTERED, MODIFIED, REVISED, OR RE-USED IN ANY WAY WITHOUT THE EXPRESSED WRITTEN APPROVAL OF THE DESIGNER.

TO THE BEST OF THE DESIGNER'S KNOWLEDGE THESE CONSTRUCTION DOCUMENTS ARE IN CONFORMANCE WITH THE REQUIREMENTS OF THE BUILDING AUTHORITIES HAVING JURISDICTION OVER THIS TYPE OF CONSTRUCTION AND OCCUPANCY. IT IS THE INTENT OF THE DESIGNER TO DELINEATE THESE DOCUMENTS AS ACCURATE AS POSSIBLE FOR THE PURPOSE OF GRAPHIC REPRESENTATION. ALL LOCAL AND STATE CODES TO SUPERCEDE THESE CONSTRUCTION DOCUMENTS. IN CASE OF A CONFLICT BETWEEN THESE DOCUMENTS AND LOCAL OR STATE CODES THE CONTRACTOR SHALL INFORM THE DESIGNER.

THE OWNER SHALL FURNISH ANY AND ALL REPORTS RECEIVED FROM THE GEOTECHNICAL ENGINEER (SOIL REPORTS), ON THE STUDY OF THE PROPOSED SITE TO THE DESIGNER, STRUCTURAL ENGINEER, AND CONTRACTOR. IN THE EVENT THE GEOTECHNICAL REPORTS DO NOT EXIST, THE SOIL CONDITION SHALL BE ASSUMED TO BE A MINIMUM DESIGN SOIL PRESSURE STATED BY THE STRUCTURAL ENGINEER OF RECORD FOR THE PURPOSE OF STRUCTURAL DESIGN. CONTRACTOR SHALL VERIFY THE SOIL CONDITIONS MEET OR EXCEED THIS CRITERIA.

SHOP DRAWING REVIEW AND DISTRIBUTION ALONG WITH PRODUCT SUBMITTALS REQUESTED IN THE CONSTRUCTION DOCUMENTS, SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR, UNLESS DIRECTED OTHERWISE UNDER A SEPARATE AGREEMENT. THE DESIGNER SHALL NOT ACCEPT OR REVIEW ANY REQUEST FOR SHOP DRAWING REVIEW WITHOUT THE REVIEW OF THE CONTRACTOR.

GENERAL NOTES

ALL WORK TO CONFORM TO 2018 IRC.

I. SITEWORK

- BUILDER SHALL BE RESPONSIBLE FOR GRADING OF SITE AND LOTS.
- PERFORM EXCAVATION ACCORDING TO GOOD COMMON CONSTRUCTION PRACTICES TO THE LINES, GRADES, AND ELEVATIONS INDICATED ON DRAWINGS.
- PROVIDE FOUNDATION DRAINAGE AS SPECIFIED BY GOVERNING CODES.
- PROVIDE SOIL POISONING TO CONTROL TERMITES AS REQ BY GOVERNING CODES.

II. CONCRETE

- ALL CONCRETE SHALL BE DESIGNED AND SPECIFIED BY OTHERS.

III. MASONRY

- BRICK VENEER
 - PROVIDE MODULAR SIZE BRICK VENEER UNITS COMPLYING WITH GOVERNING CODES. BRICK TYPE SHALL BE SPECIFIED BY BUILDER.
 - PROVIDE MORTAR IN ACCORDANCE WITH GOVERNING CODES.

IV. METALS

- ALL STRUCTURAL STEEL SHALL COMPLY WITH APPROPRIATE GOVERNING CODES.

V. WOOD AND PLASTICS

- LUMBER AND MANUFACTURED/ENGINEERED WOOD PRODUCTS SHALL, IN ADDITION TO COMPLYING WITH GOVERNING CODES, COMPLY WITH:
 - "PRODUCT USE MANUAL" OF THE WESTERN WOOD PRODUCTS ASSOCIATION FOR SELECTION AND USE OF PRODUCTS INCLUDED IN THAT MANUAL.
 - "PLYWOOD SPECIFICATION AND GRADE GUIDE" OF THE AMERICAN PLYWOOD ASSOCIATION.
 - AMERICAN WOOD PRESERVERS ASSOCIATION STANDARDS AND RECOMMENDATIONS FOR FIRE-RETARDANT AND PRESERVATIVE PRESSURE TREATED LUMBER AND PLYWOOD.
 - ALL WOOD INDICATED AS "PRESSURE TREATED" OR "TREATED" SHALL BE PRESERVATIVE PRESSURE TREATED.
 - ALL WOOD INDICATED AS "FIRE-RETARDANT" SHALL BE FIRE-RETARDANT PRESSURE TREATED.
- FRAMING LUMBER: PROVIDE LUMBER AND MATERIALS MEETING OR EXCEEDING THE FOLLOWING STANDARDS OF QUALITY:
 - ALL ENGINEERED WOOD PRODUCTS SHALL BE HANDLED AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS/SPECIFICATIONS RECOMMENDATIONS UNLESS OTHERWISE NOTED ON DRAWINGS.
 - ALL HEADERS AND BEAMS SHALL BE FREE FROM SPLITS, CHECKS, AND SHAVES.
 - CEILING JOISTS ARE DESIGNED FOR NO ATTIC STORAGE UNLESS NOTED OTHERWISE.
 - SPECIES:
 - LOAD BEARING FRAME MEMBERS, EXCEPT PLATES: DOUGLAS FIR #2 OR BETTER.
 - SOLE, TOP AND DOUBLE PLATES: SOUTHERN YELLOW PINE #2 OR BETTER.
 - EXTERIOR DECK FRAMING: SOUTHERN YELLOW PINE #2 OR BETTER CCA 40 PRESSURE TREATED.
 - EXTERIOR DECKING AND RAILINGS: PONDEROSA PINE #2 OR BETTER CCA 40 PRESSURE TREATED.
- ROUGH HARDWARE:
 - STEEL ITEMS:
 - COMPLY WITH GOVERNING CODES.
 - USE GALVANIZED AT EXTERIOR LOCATIONS.

VI. TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE STATE OF IOWA.

D. STAIR CONSTRUCTION SHALL CONSIST OF 3-2X12 STRINGERS, 3/4" THICK TREAD AND 1/2" THICK RISERS, UNLESS NOTED OTHERWISE.

E. ALL WOOD PLATED BEARING ON CONCRETE OR MASONRY SHALL BE OF DECAY-RESISTANT MATERIAL AS REQ BY GOVERNING CODES.

F. INTERIOR TRIM SHALL BE SELECTED BY BUILDER.

G. ALL EXTERIOR FRAMING AND DECKING SHALL BE CONSTRUCTED OF DECAY-RESISTANT LUMBER CCA 40 OR EQUAL.

VI. THERMAL & MOISTURE PROTECTION

- THERMAL BUILDING INSULATION AT ASSEMBLIES ADJACENT TO EXTERIOR OR UNHEATED SPACES MEETING THE REQUIREMENTS OF GOVERNING CODES AND, UNLESS OTHERWISE NOTES, MEETING THE FOLLOWING MINIMUM REQUIREMENTS:
 - FOUNDATION WALLS:
 - BASEMENT: GLASS FIBER, VINYL FACED BLANKETS, R-15, UNLESS NOTED OTHERWISE ON PLANS.
 - CRAWL SPACE: GLASS FIBER, UNFACED BLANKETS, R-15, UNLESS NOTED OTHERWISE ON PLANS.
 - EXTERIOR FRAME WALLS:
 - 2X4: GLASS FIBER, BATT, R-15, UNLESS NOTED OTHERWISE ON PLANS.
 - 2X6: GLASS FIBER, BATT, R-20 (MIN), UNLESS NOTED OTHERWISE ON PLANS.
 - CEILING:
 - ATTIC AREAS: GLASS FIBER, BLOWN, R-49, UNLESS NOTED OTHERWISE ON PLANS.
 - VAULTED RAFTERS: GLASS FIBER, BATT, R-49, UNLESS NOTED OTHERWISE ON PLANS.
 - FRAMED FLOORS OVER UNHEATED AREAS: GLASS FIBER BATT, R-20 (MIN), UNLESS NOTED OTHERWISE.
- INSTALL 4 MIL POLYETHYLENE VAPOR BARRIER TO INSIDE FACE OF STUDS AT ALL EXTERIOR WALLS EXCEPT BATHROOMS, UNLESS NOTED OTHERWISE ON PLANS.
- SIDING SHALL BE SPECIFIED BY BUILDER AND AS SHOWN ON DRAWINGS.
- FLASHING AND SHEET METAL REQUIRED TO PREVENT PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING. IN ADDITION TO COMPLYING WITH GOVERNING CODES, COMPLY WITH PERTINENT RECOMMENDATIONS CONTAINED IN CURRENT EDITION OF "ARCHITECTURAL SHEET METAL MANUAL" PUBLISHED BY SMACNA. ALL IRON SHEET METAL FLASHING SHALL BE HOT-DIP GALVANIZED COMPLYING WITH ASTM A93.
- GUTTER AND DOWN SPOUTS AS SPECIFIED BY BUILDER. DOWN SPOUT AND SPLASH LOCATIONS SHALL BE DETERMINED BY SUB CONTRACTOR AND APPROVED BY BUILDER SO AS TO PROVIDE POSITIVE ROOF AND SITE DRAINAGE.
- ATTIC AND ROOF VENTILATION AS REQUIRED BY GOVERNING CODES AND AS SHOWN ON DRAWINGS. PROVIDE APPROPRIATE SOFFIT AND ROOF VENTS AS SPECIFIED/APPROVED BY BUILDER.
- FOUNDATION MOISTURE PROTECTION:
 - WATERPROOF FOUNDATION WALLS AS SPECIFIED BY BUILDER.
 - SUMP PIT AND PUMP AS SPECIFIED BY BUILDER AND AS SHOWN ON DRAWINGS.
 - PERFORATED FOUNDATION DRAIN TILE AS SPECIFIED BY BUILDER.

VI. DOORS & WINDOWS

- DOORS:
 - DOORS AS FOLLOWS AND AS SPECIFIED BY BUILDER:
 - ENTRY DOORS AND SIDELIGHTS: AS SPECIFIED BY BUILDER.
 - HOUSE/GARAGE DOORS: **20 MIN FIRE RATED** INSULATED STEEL DOOR, FLUSH WITH CLOSER.
 - OVERHEAD GARAGE DOORS: INSULATED, AS SPECIFIED BY BUILDER.
 - PATIO DOORS (HINGED): FULL GLASS AS SPECIFIED BY BUILDER.
 - SLIDING GLASS DOORS: AS SPECIFIED BY BUILDER.
 - INTERIOR DOORS: AS SPECIFIED BY BUILDER.
- WINDOWS:
 - WINDOWS AS FOLLOWS AND AS SPECIFIED BY BUILDER:
 - LIVING LEVELS (INCLUDING WALKOUT BASEMENT): POLYVINYL OR METAL CLAD.
 - BASEMENT: ALUMINUM.
 - UNITS OF THE SIZE, STYLE AND QUANTITY SHOWN ON DRAWINGS.
 - GLAZING SHALL BE DOUBLE-PANE INSULATING GLASS IN LIVING AREAS.
 - TEMPERED GLASS IN ALL WINDOWS AS REQUIRED BY GOVERNING CODES.
 - INSTALL EMERGENCY EGRESS UNITS AS REQUIRED BY GOVERNING CODES.
- FINISH HARDWARE SHALL BE SPECIFIED BY BUILDER. INSTALL ALL HARDWARE REQUIRED BY GOVERNING CODES.

VII. FINISHES

- GYPHUM PANELS:
 - GYPHUM PANELS, UNLESS OTHERWISE NOTED SHALL BE PROVIDED AS FOLLOWS:
 - EXTERIOR WALLS: 1-LAYER 1/2" REGULAR PANELS TO INTERIOR FACE.
 - INTERIOR PARTITIONS: 1-LAYER 1/2" REGULAR PANELS EACH SIDE.
 - CEILING: 1-LAYER 5/8" REGULAR PANELS.
 - GARAGE: PROVIDE 5/8" TYPE "X" PANELS AS REQUIRED BY CODE.
 - SHOWERS: CONCRETE BOARD BEHIND TILE SHOWERS.
 - PROVIDE METAL CORNER BEAD AND TRIM AT ALL LOCATIONS SHOWN ON DRAWINGS AND AS RECOMMENDED BY GYPHUM WALLBOARD MANUFACTURER.
 - TAPE, FLOAT AND SAND JOINTS AND FASTENERS OF GYPHUM WALLBOARD WITH 3-COATS OF JOINT COMPOUND AS REQUIRED.
 - FINISHES SHOWN ON DRAWINGS SHALL BE SPECIFIED BY BUILDER.

IX. SPECIALTIES

- FIREPLACES SHALL BE AS FOLLOWS:
 - GAS AND/OR ELECTRIC FIREPLACE MANUFACTURER AND MODEL SHALL BE SPECIFIED BY BUILDER.
 - PRE-MANUFACTURED GAS (NON-WOOD BURNING) UNITS OF THE STYLE AND SIZE SHOWN ON DRAWINGS.
 - SUB CONTRACTOR(S) SHALL BE RESPONSIBLE FOR PROPER INSULATION OF FIREPLACE UNIT, VENTING, HEARTH, MANTLE AND RELATED COMPONENTS AS RECOMMENDED BY MANUFACTURER AND AS REQUIRED BY GOVERNING CODES.
 - SHOWER, TUB AND TUB/SHOWER ENCLOSURES SHALL BE CONSTRUCTED OF APPROVED SAFETY GLAZING AS SPECIFIED BY BUILDER.
 - GUARDRAILS SHALL BE PROVIDED AS SHOWN ON DRAWINGS AND AT ENCLOSED FLOOR OPENINGS, OPEN SIDES OF STAIRWAYS, LANDINGS AND RAMP, BALCONIES, PORCHES OR DECKS WHICH ARE MORE THAN 36 INCHES ABOVE GRADE OR FLOOR BELOW. THE TOP OF GUARDRAILS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH.

X. MECHANICAL

- GENERAL:
 - INFORMATION AND LAYOUTS SHOWN ON DRAWINGS ARE ONLY SCHEMATIC IN DESIGN, AND SHALL BE REVIEWED BY SUB CONTRACTORS, SUPPLIERS, AND BUILDING OFFICIALS FOR COMPLIANCE WITH GOVERNING CODES AND GOOD COMMON CONSTRUCTION PRACTICES.
 - EQUIPMENT AND FIXTURES SHALL BE SPECIFIED BY BUILDER.
 - DESIGN AND INSTALLATION OF EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE APPROPRIATE LICENSED CONTRACTORS.
- PLUMBING:
 - ROUTING ROUGH-IN SHALL BE PROVIDED TO WASHER BOX FOR CLOTHES WASHER.
 - GAS LINES AND VALVES TO ALL GAS APPLIANCES AS SPECIFIED BY BUILDER.
 - HEATING, VENTILATING & AIR CONDITIONING:
 - FURNACE: GAS, FORCED AIR AS SPECIFIED BY BUILDER.
 - ALL HVAC EQUIPMENT SHALL BE INDIVIDUALLY SWITCHED.
 - DRYER VENT SHALL EXHAUST TO EXTERIOR.
 - MECHANICAL EXHAUST VENTILATION WHERE INDICATED IN BATHROOMS, WATER CLOSET COMPARTMENTS AND LAUNDRY ROOMS SHALL EXHAUST TO EXTERIOR AND PROVIDE A MINIMUM OF 5 AIR CHANGES PER HOUR.

XI. ELECTRICAL

- GENERAL:
 - INFORMATION AND LAYOUTS SHOWN ON DRAWINGS ARE ONLY SCHEMATIC IN DESIGN, AND SHALL BE REVIEWED BY SUB CONTRACTORS, SUPPLIERS AND BUILDING OFFICIALS FOR COMPLIANCE WITH GOVERNING CODES AND GOOD COMMON CONSTRUCTION PRACTICES.
 - EQUIPMENT AND FIXTURES SHALL BE SPECIFIED BY BUILDER.
 - DESIGN AND INSTALLATION OF EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE APPROPRIATE LICENSED CONTRACTORS.
- INSTALL GROUND-FULT CIRCUIT INTERRUPTERS (GFI OR GFCI) MEETING THE REQUIREMENTS OF ALL GOVERNING CODES, ALL OUTDOOR, BEDROOMS), BATH AND GARAGE WALL RECEPTACLES SHALL BE PROVIDED WITH GROUND-FULT CIRCUIT PROTECTION.
- INSTALL LOCALLY CERTIFIED SMOKE DETECTORS MEETING THE REQUIREMENTS OF ALL GOVERNING CODES. SMOKE DETECTORS SHALL BE 110 VOLT POWERED, EQUIPPED WITH A BATTERY BACKUP AND SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS.

DESIGN DATA

IRC 2018 BUILDING PLANNING - CHAPTER 3

WIND LOADS	
ROOF (SNOW)	30 PSF

WIND DESIGN

115 MPH (SEISMIC DESIGN CATEGORY - A)
WEATHERING - SEVERE

SOIL TEST (LOAD BEARING PRESSURE)	
SAND, SILTY SAND, CLAYEY SAND, SILT GRAVEL AND CLAYEY GRAVEL	2000 PSF
CLAYEY, SANDY, SLIGHTLY CLAY, CLAYEY SILT, SILT AND SANDY SILT CLAY	1500 PSF

BUILDING MATERIALS

STRUCTURAL STEEL	F _y = 36 KSI
REINFORCING STEEL	F _y = 60 KSI

CONCRETE

BASEMENT WALLS, FOUNDATION AND OTHER CONCRETE NOT EXPOSED TO WEATHER

f_c = 2500 PSI

BASEMENT SLABS AND INTERIOR SLABS ON GRADE, EXCEPT GARAGE FLOOR SLABS

f_c = 2500 PSI

BASEMENT WALLS, FOUNDATION WALLS, EXTERIOR WALLS AND OTHER VERTICAL CONCRETE WORK EXPOSED TO WEATHER

f_c = 3000 PSI

PORCHES, CARPORT SLABS AND STEPS EXPOSED TO THE WEATHER AND GARAGE FLOOR SLABS

f_c = 3500 PSI

FRAMING LUMBER

A. GENERAL:

2x6 AND LARGER

F_b = 1200 PSI

E = 1,200 KSI

F_c = 525 PSI

F_b = 1400 PSI

E = 1,200 KSI

F_c = 1000 PSI

F_b = 725 PSI

E = 1500 KSI

F_c = 675 PSI

F_b = 800 PSI

E = 1500 KSI

F_c = 600 PSI

E = 2000 KSI

E = 2000 KSI

E = 2000 KSI

E = 2000 KSI

E = 2000 KSI

E = 2000 KSI

E = 2000 KSI

E = 2000 KSI

E = 2000 KSI

E = 2000 KSI

E = 2000 KSI

E = 2000 KSI

E = 2000 KSI

E = 2000 KSI

E = 2000 KSI

E = 2000 KSI

E = 2000 KSI

E = 2000 KSI

FRAMING NOTES

EXTERIOR HEADERS: ALL HEADERS TO BE SIZED BY OTHERS. ALL WINDOW HEAD HEIGHTS NOTED ON PLANS TO BE VERIFIED AND ADJUSTED AS REQUIRED BY BUILDER.

INTERIOR HEADERS: IN NON BEARING PARTITION WALLS - 2x4

CAP STOOD: 3/4" OSB 2X6 FRAMING TAP CON OR RAMSET AND BRACED TO FOUNDATION WEATHERING - SEVERE

NO BRIDGING: SOLID BLOCKING AS REQUIRED BY CODES.

BASEMENT STAIRS: 3/4" AWAY FROM FRAMED OR FURRED WALLS.

MAIN STAIRS: 1/2" RISERS, 3/4" TREADS WITH 1" OVERHANG ON FRONT, GLED AND NAILED; TREADS HANG OVER ENDS 1 1/2" OR 2 1/4" WITH SKIRT BOARD. (USE SCRAP'S WHERE POSSIBLE.)

UPPER FLOOR BALCONIES: OSB FLUSH FOR 1X6 BAULSTER PLATE UNLESS SPECIFIED ON PLANS.

TUB/SHOWERS: 5", 4" AND 3" EXACT OPENINGS. AS NOTED ON PLAN.

EXTERIOR DOORS: 3/4" OSB SPACER BETWEEN DOOR SILL AND FLOOR DECK, SLIDING GLASS DOORS INSTALL DIRECTLY TO FLOOR DECK.

TRUSSES: 24" OC WITH BRACING AS SPECIFIED BY TRUSS MANUFACTURER.

RAFTERS: 24" OC WITH BRACING AS SHOWN ON PLANS. VAULT 2X10 16" OC / 2X6 SUB FASCIA, LOOKOUTS AS REQUIRED.

EXTERIOR WALLS: OSB SHEATHING ON ALL EXTERIOR WALLS AND EXTERIOR FACE OF ALL GABLES. SHEATHING IS ALSO REQUIRED ON THE OUTSIDE FACE OF ANY/ALL WALLS THAT ADJOIN ENCLOSED UNHEATED SPACES AS SUCH AS PORCH ROOFS OR ATTIC SPACES, UNLESS NOTED OTHERWISE ON PLANS.

SIDING: CAULK BEHIND WINDOWS AND DOORS. HOUSE WRAP OVER ALL EXTERIOR WALLS AND GABLES. INSTALLED TO BE WATER TIGHT PER MFG'S SPECIFICATIONS.

FLASHING: 2X4 UNDER RIDGE ON ALL GABLES. RUBBER FLASHING 18" WIDE UNDER ALUMINUM FLASHING. CONTINUOUS FLASHING ALONG SHED ROOFS AND STOOPS.

FRAMER SHALL PROVIDE CLEAR CHASSES FOR PLUMBING AND MECHANICAL SYSTEMS.

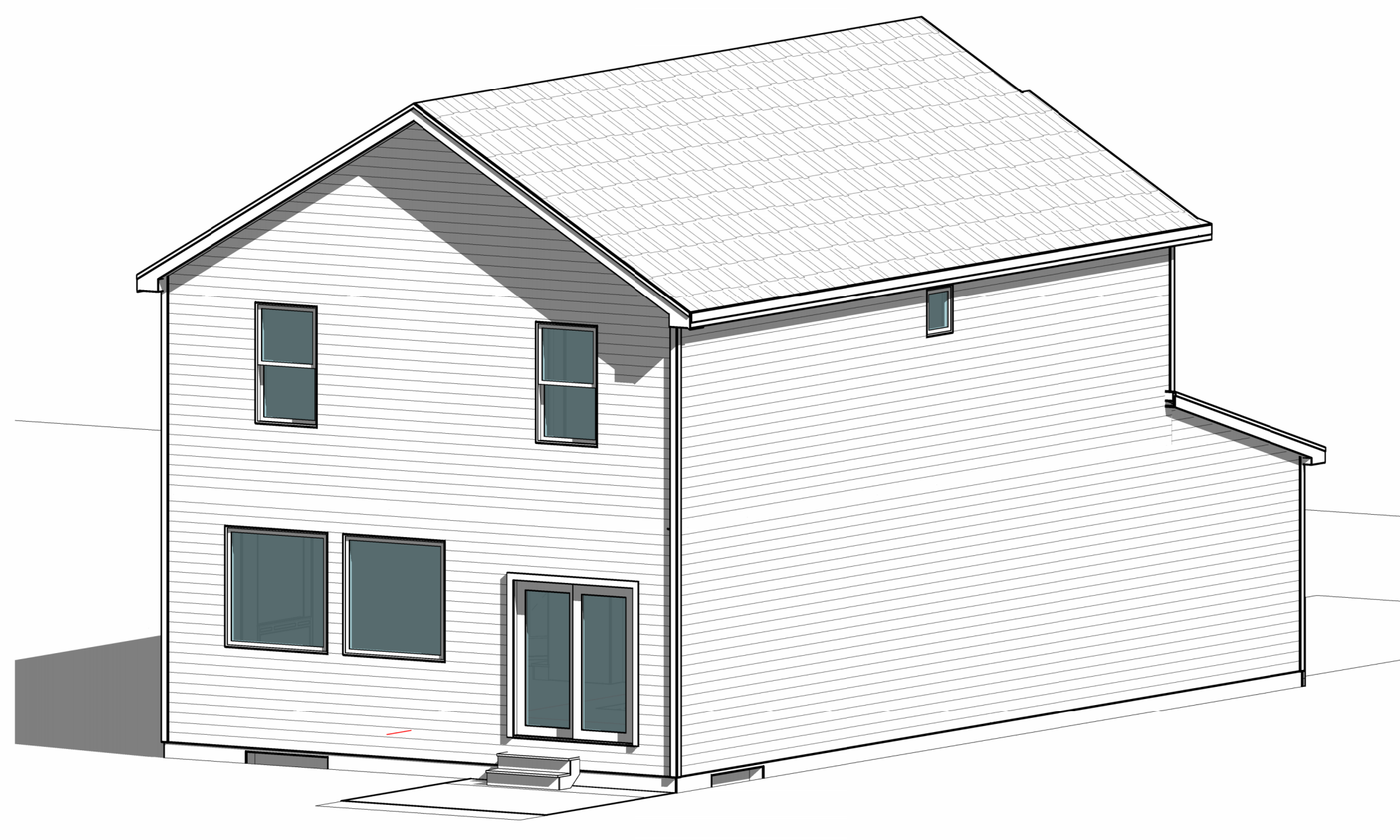
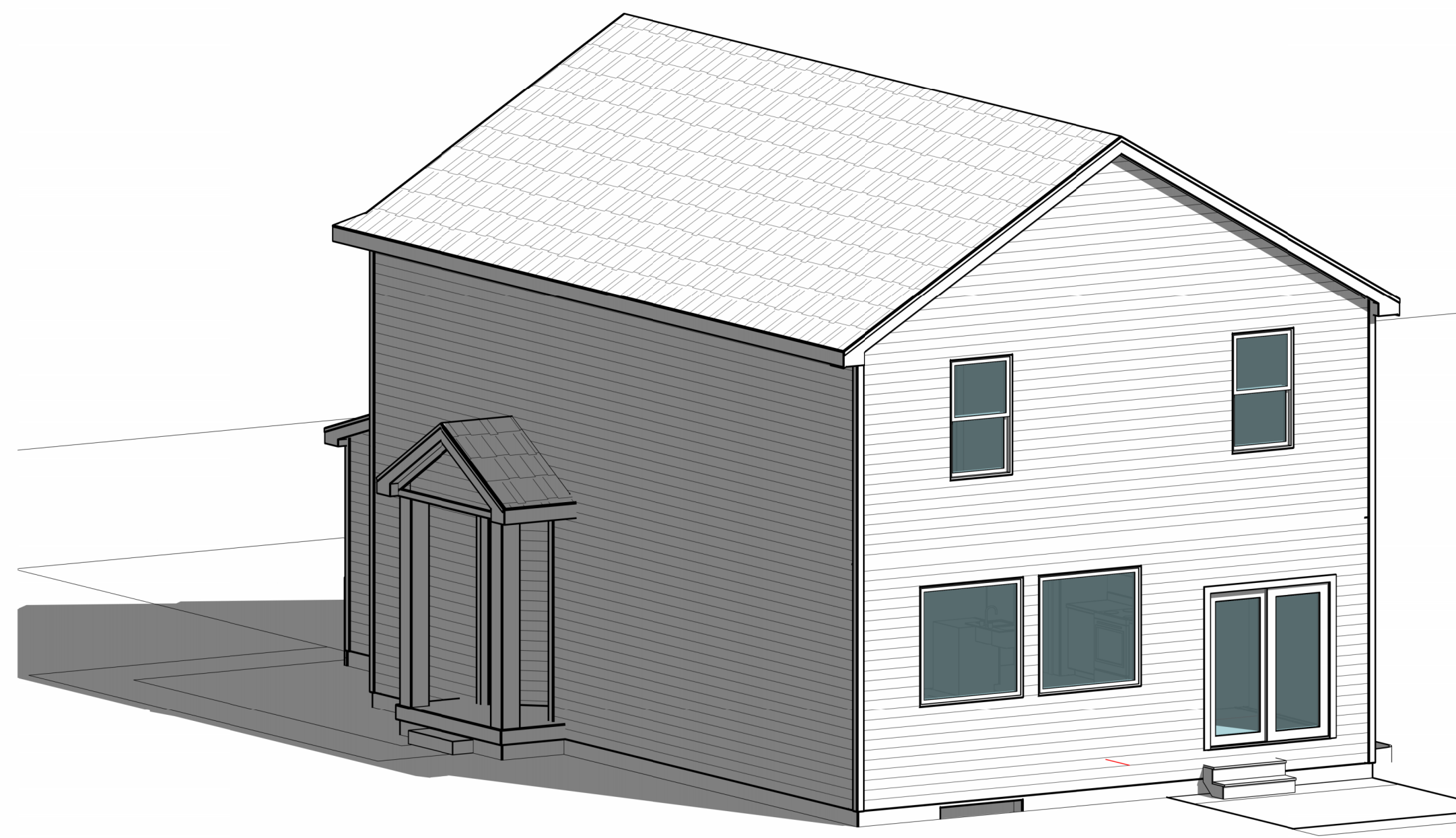
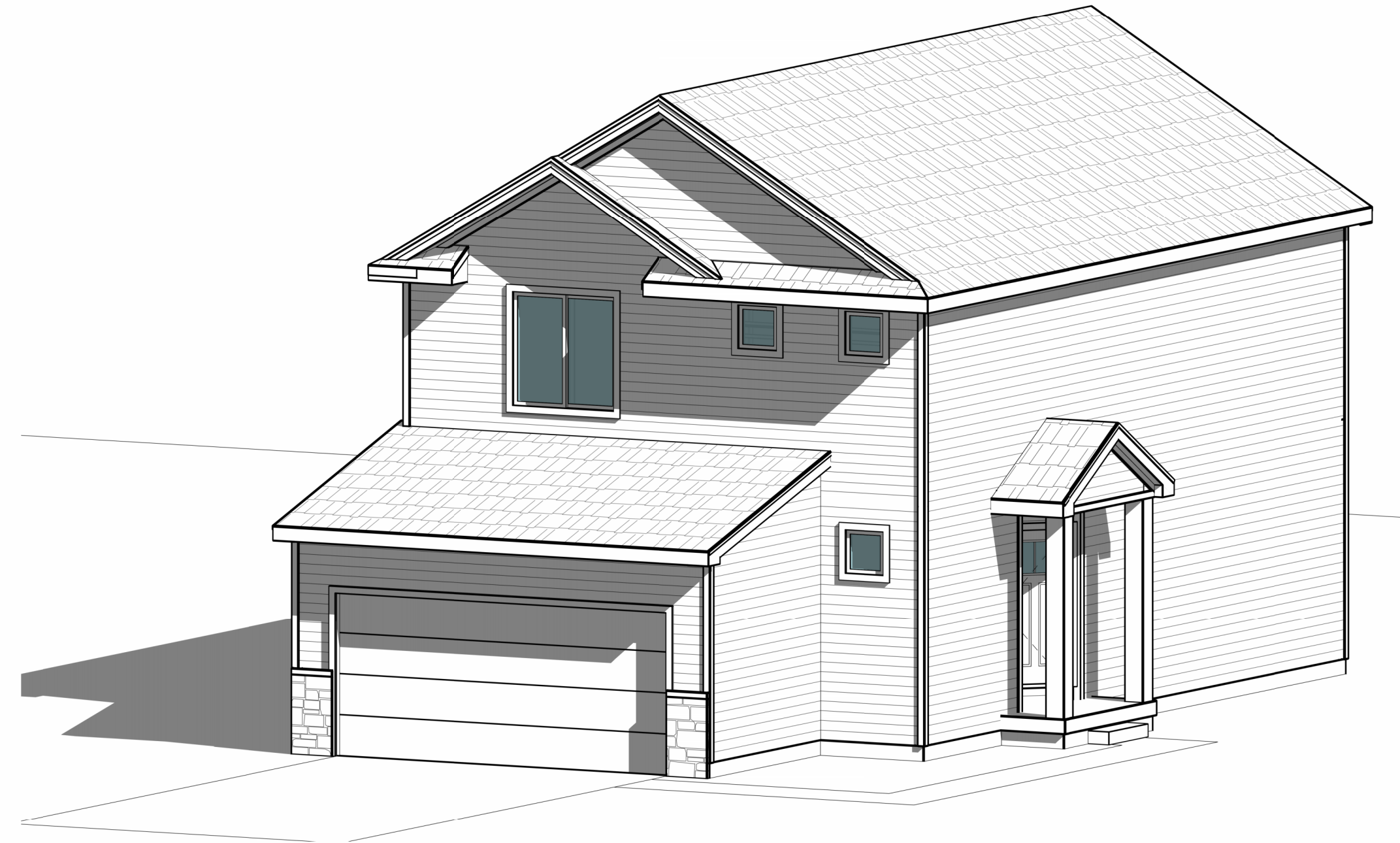
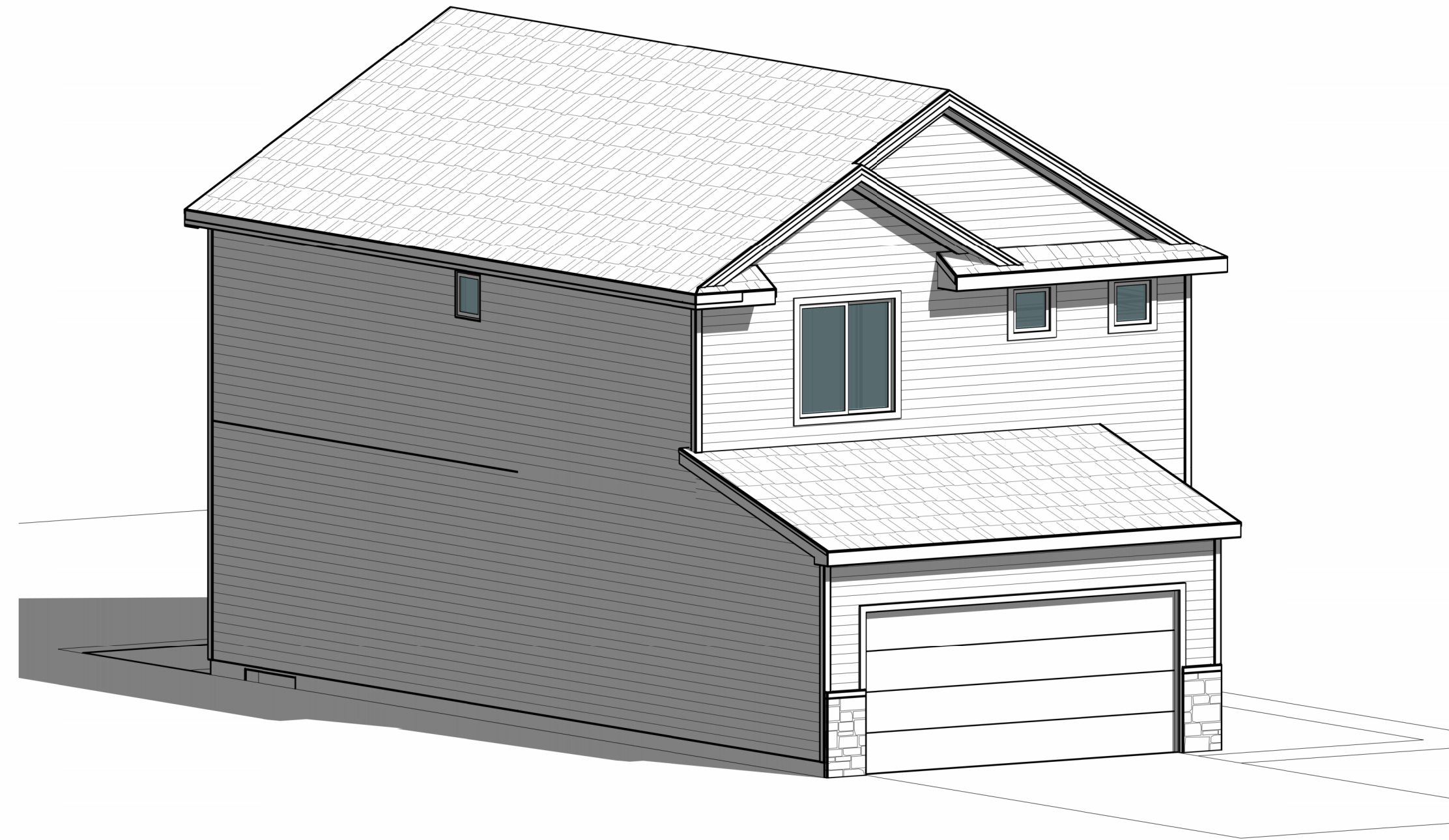
THE FRAMER SHALL ADJUST LAYOUT OR PLACEMENT OF FRAMING MEMBERS TO PROVIDE REQUIRED CLEARANCES FOR ALL MECHANICAL AND PLUMBING SYSTEMS WHILE MAINTAINING STRUCTURAL INTEGRITY.

ALL SCHEDULES SHOWN ARE TO BE VERIFIED BY BUILDER, SUB-CONTRACTORS, VENDORS, AND/OR OTHERS AND ADJUSTED AS REQUIRED. DOOR, WINDOW, AND MATERIAL TAKEOFFS NOTED ARE ESTIMATED ONLY FROM MATERIALS SHOWN ON PLANS AND DO NOT TAKE IN ACCOUNT FOR WASTE.

ALL STRUCTURE, INCLUDING FOOTINGS, FOUNDATION WALLS, PIER PADS, HEADERS, AND BEAMS IS SCHEMATIC ONLY AND TO BE SIZED BY OTHERS. ANY STRUCTURAL SIZES NOTED WAS NOT ENGINEERED AND/OR SIZED BY ALLER DESIGN GROUP LLC, ITS OWNERS, AND/OR EMPLOYEES BUT WAS PROVIDED BY OTHERS AND IS THE RESPONSIBILITY OF THE BUILDER.

THE OWNER AND/OR CONTRACTOR OF THIS PLANS RELEASES ALLER DESIGN GROUP LLC, ITS OFFICERS, OWNERS, AND EMPLOYEES FROM ANY CLAIMS OR LAWSUITS AGAINST THAT MAY ARISE DURING THE CONSTRUCTION OF THIS STRUCTURE OR ANY THEREAFTER. ADDITIONALLY, ALLER DESIGN GROUP LLC, ITS OFFICERS, OWNERS, AND EMPLOYEES DO NOT ACCEPT ANY LIABILITY FOR THE ACCURACY OR OVERALL INTEGRITY OF THESE DOCUMENTS. THEREFORE THE OWNER AND/OR CONTRACTOR MUST CAREFULLY INSPECT ALL DIMENSIONS, STRUCTURE, AND DETAILS IN THESE DOCUMENTS PRIOR TO CONSTRUCTION AND ASSUMES RESPONSIBILITY FOR THE SAME.

ALL STRUCTURE, INCLUDING FOOTINGS, FOUNDATION WALLS, PIER PADS, HEADERS, AND BEAMS IS SCHEMATIC ONLY AND TO BE SIZED BY OTHERS. ANY STRUCTURAL SIZES NOTED WAS NOT ENGINEERED AND/OR SIZED BY ALLER DESIGN GROUP LLC, ITS OWNERS, AND/OR EMPLOYEES BUT WAS PROVIDED BY OTHERS AND IS THE RESPONSIBILITY OF THE BUILDER.



TYPICAL NOTES:

1. TYPICAL CONSTRUCTION ASSEMBLIES:
 - A. ROOF CONSTRUCTION:
 - COMPOSITION ROOF SHINGLES ON 30# FELT (U.O.N.)
 - 1/2" OSB ROOF SHEATHING ON ROOF FRAMING MEMBERS
 - AS NOTED ON FLOOR PLANS.
 - B. CEILING:
 - FRAMING 16" O.C. = 1/2" GYPSUM WALL BOARD
 - FRAMING 24" O.C. = 5/8" GYPSUM WALL BOARD
 - C. EXTERIOR SIDING WALL CONSTRUCTION:
 - SIDING (AS NOTED ON ELEVATIONS) ON HOUSE WRAP
 - ON EXTERIOR WALL SHEATHING AS NOTED BELOW:
 - 1/2" OSB SHEATHING ON ALL ELEVATIONS
 - INTERIOR: 1/2" GYPSUM WALL BOARD
 - D. EXTERIOR MASONRY WALL CONSTRUCTION:
 - STONE VENEER w/ HOUSE WRAP ON
 - 1/2" PLYWOOD WALL SHEATHING
 - INTERIOR: 1/2" GYPSUM WALL BOARD
 - E. BASEMENT AND GARAGE FLOOR CONSTRUCTION:
 - 4" CONCRETE SLAB (MIN) ON COMPACTED STRUCTURAL FILL
 - F. FRAME FLOOR CONSTRUCTION:
 - FINISH FLOOR (AS NOTED ON FLOOR PLANS) ON 3/4" 1/6"
 - FLOOR SHEATHING ON 11 7/8" I-JOIST, U.O.N. (SPACING AS
 - NOTED ON FLOOR PLANS) MAIN FLOOR
 - CEILING: 5/8" GYPSUM WALL BOARD
 - FRAMING 24" O.C. : 5/8" GYPSUM WALL BOARD
 - FRAMING 16" O.C. : 1/2" GYPSUM WALL BOARD
2. WINDOWS:
 - ROUGH OPENING OF WINDOWS TO BE NOTED IN FT./IN. ON FLOOR
 - PLANS, U.O.N. (BUILDER TO DETERMINE R.O. SIZES FROM
 - MANUFACTURE)
 - A. CASERMENT WINDOWS:
 - WINDOW HINGE NOTED ON EXTERIOR ELEVATION.
 - NOTED ON PLANS AS CSMT
 - B. SLIDING WINDOWS:
 - NOTED ON PLANS AS SL
 - C. SINGLE HUNG WINDOWS:
 - NOTED ON PLANS AS SH
 - D. DOUBLE HUNG WINDOWS:
 - NOTED ON PLANS AS DH
 - E. FIXED WINDOWS:
 - NOTED ON PLANS AS FX
3. DOORS:
 - DOOR SIZES NOTED ON FLOOR PLANS IN FT./IN.
 - TYPICAL HEAD HEIGHT FOR DOORS TO BE 6'-11" (U.O.N.)
 - A. WOOD JAMBS AND CASING:
 - HINGED DOOR ROUGH OPENING TO BE MIN. 2" WIDER THAN
 - DOOR SIZE NOTED ON PLANS.
 - BI-FOLD DOOR (BF) ROUGH OPENING TO BE MIN. 2"
 - WIDER THAN DOOR SIZE NOTED ON PLANS.
 - BI-PASS DOOR (BP) ROUGH OPENING TO BE 1" WIDER
 - THAN DOOR SIZE NOTED ON PLANS.
 - BARN (BN) SEE MANUFACTURER FOR ROUGH OPENING
 - B. GYPSUM WALL BOARD OPENINGS:
 - ROUGH OPENING FOR BI-PASS DOORS TO BE SAME AS DOOR
 - SIZE NOTED ON PLANS.
 - ROUGH OPENING FOR BI-FOLD DOORS TO BE
 - 1 1/4" WIDER THAN DOOR SIZE NOTED ON PLANS.

Review Set - Not for Permit and Not for Construction 09.25.23

1610 Plan - Elevation A - Basement - 2 Car - GL

ALLER DESIGN GROUP
 1840 NW 138th St. Suite 100
 Clive, IA 50325
 515.254.1181
 ALLERDESIGN.COM

THESE DOCUMENTS, AND THE INFORMATION CONTAINED HEREIN, ARE EXCLUSIVE PROPERTY OF ALLER DESIGN GROUP LLC. ANY USE OR DUPLICATION OR TRANSFER OF THESE DOCUMENTS WITHOUT THE EXPRESSED WRITTEN CONSENT OF ALLER DESIGN GROUP LLC IS STRICTLY PROHIBITED. ALLER DESIGN GROUP LLC RETAINS COPYRIGHT TO AND OWNERSHIP OF THESE DOCUMENTS.

PROJECT PHASE:
PHASE III

PROJECT ADDRESS REQUIRED FOR
PERMIT

ALL EXTERIOR FRAME DIMENSIONS INCLUDES 1/2" THICK WALL SHEATHING
ADJUST PLACEMENT OF FRAMING MEMBERS AS REQUIRED TO PROVIDE REQUIRED CLEARANCE FOR PLUMBING AND MECHANICAL SYSTEM
HOLD ALL DOORS AND WINDOWS ROUGH OPENINGS 5" (MIN.) FROM INTERSECTING WALLS TO ALLOW FOR TRIM
ALL STRUCTURE, INCLUDING FOOTINGS, FOUNDATION WALLS, PIER PADS, HEADERS, AND BEAMS IS SCHEMATIC ONLY AND TO BE SIZED BY OTHERS. ANY STRUCTURAL SIZE NOTES WERE NOT ENGINEERED OR SIZED BY ALLER DESIGN GROUP LLC, ITS OWNER, OR EMPLOYEES BUT WAS PROVIDED BY OTHERS, AND IS THE RESPONSIBILITY OF THE BUILDER.
THE OWNER AND/OR CONTRACTOR OF THIS PLANS RELEASES ALLER DESIGN GROUP LLC, ITS OFFICERS, OWNERS, AND EMPLOYEES FROM ANY CLAIMS OR LAWSUITS AGAINST THAT MAY ARISE DURING THE CONSTRUCTION OF THIS STRUCTURE OR ANY THEREAFTER. ADDITIONALLY, ALLER DESIGN GROUP LLC, ITS OFFICERS, OWNERS, AND EMPLOYEES DO NOT ACCEPT ANY LIABILITY FOR THE ACCURACY OR OVERALL INTEGRITY OF THESE DOCUMENTS. THEREFORE THE OWNER AND/OR CONTRACTOR MUST CAREFULLY INSPECT ALL DIMENSIONS, STRUCTURE AND DETAILS IN THESE DOCUMENTS PRIOR TO CONSTRUCTION AND ASSUMES RESPONSIBILITY FOR THE SAME.

BUILDER
Destiny Homes

PROJECT NO.
30219723

ISSUE DATE

DRAWN
LM / SP

REVISION DATE

SHEET NAME
3D VIEWS

SHEET NO.
A3.2



GENERAL NOTES

- I. SITEWORK
- BUILDER SHALL BE RESPONSIBLE FOR GRADING OF SITE AND LOTS.
 - PERFORM EXCAVATION ACCORDING TO GOOD COMMON CONSTRUCTION PRACTICES TO THE LINES, GRADES AND ELEVATIONS INDICATED ON DRAWINGS.
 - PROVIDE FOUNDATION DRAINAGE AS SPECIFIED BY GOVERNING CODES.
 - PROVIDE SOIL POISONING TO CONTROL TERMITES AS REQ. BY GOVERNING CODES.
- II. CONCRETE
- ALL CONCRETE SHALL BE DESIGNED AND SPECIFIED BY OTHERS.
- III. MASONRY
- BRICK VENEER
 - PROVIDE MODULAR SIZE BRICK VENEER UNITS COMPLYING WITH GOVERNING CODES. BRICK TYPE SHALL BE SPECIFIED BY BUILDER.
 - PROVIDE MORTAR IN ACCORDANCE WITH GOVERNING CODES.
- IV. METALS
- ALL STRUCTURAL STEEL SHALL COMPLY WITH APPROPRIATE GOVERNING CODES.
- V. WOOD AND PLASTICS
- LUMBER AND MANUFACTURED/ENGINEERED WOOD PRODUCTS SHALL, IN ADDITION TO COMPLYING WITH GOVERNING CODES, COMPLY WITH:
 - "PRODUCT USE MANUAL" OF THE WESTERN WOOD PRODUCTS ASSOCIATION FOR SELECTION AND USE OF PRODUCTS INCLUDED IN THAT MANUAL.
 - "PLYWOOD SPECIFICATION AND GRADE GUIDE" OF THE AMERICAN PLYWOOD ASSOCIATION.
 - AMERICAN WOOD PRESERVERS ASSOCIATION STANDARDS AND RECOMMENDATIONS FOR FIRE-RETARDANT AND PRESERVATIVE PRESSURE TREATED LUMBER AND PLYWOOD.
 - ALL WOOD INDICATED AS "PRESSURE TREATED" OR "TREATED" SHALL BE PRESERVATIVE PRESSURE TREATED.
 - ALL WOOD INDICATED AS "FIRE-RETARDANT" SHALL BE FIRE-RETARDANT PRESSURE TREATED.
 - FRAMING LUMBER: PROVIDE LUMBER AND MATERIALS MEETING OR EXCEEDING THE FOLLOWING STANDARDS OF QUALITY:
 - ALL ENGINEERED WOOD PRODUCTS SHALL BE HANDLED AND INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURERS/SPECIFICATIONS RECOMMENDATIONS UNLESS OTHERWISE NOTED ON DRAWINGS.
 - ALL HEADERS AND BEAMS SHALL BE FREE FROM SPLITS, CHECKS, AND SHAKES.
 - CEILING JOISTS ARE DESIGNED FOR NO ATTIC STORAGE UNLESS NOTED OTHERWISE.
 - SPECIES:
 - LOAD BEARING FRAME MEMBERS, EXCEPT PLATES: DOUG FIR LARCH #2 OR BETTER.
 - SOLE, TOP AND DOUBLE PLATES: SOUTHERN PINE FIR #2 OR BETTER.
 - EXTERIOR DECK FRAMING: SOUTHERN YELLOW PINE #2 OR BETTER CCA 40 PRESERVATIVE TREATED.
 - EXTERIOR DECKING AND RAILINGS: PONDEROSA PINE #2 OR BETTER CCA 40 PRESERVATIVE TREATED.
 - ROUGH HARDWARE:
 - STEEL TIEBARS
 - COMPLY WITH GOVERNING CODES.
 - USE GALVANIZED AT EXTERIOR LOCATIONS.
 - TRUSS LAYOUT IS SCHEMATIC ONLY. TRUSS MANUFACTURER SHALL BE RESPONSIBLE FOR THE DESIGN (INCLUDING SPACING) OF ALL TRUSSES. TRUSSES TO BE DESIGNED AND CERTIFIED BY AN ENGINEER LICENSED IN THE STATE OF IOWA.
 - MAIN STAIR CONSTRUCTION SHALL CONSIST OF 3-2X12 STRINGERS, 3/4" THICK TREAD AND 1/2" THICK RISERS. BASEMENT STAIR CONSTRUCTION SHALL CONSIST OF 3-2X12 STRINGERS AND 2X10 TREAD, UNLESS NOTED OTHERWISE.
 - ALL WOOD PLATED BEARING ON CONCRETE OR MASONRY SHALL BE OF DECAY-RESISTANT MATERIAL AS REQ. BY GOVERNING CODES.
 - INTERIOR TRIM SHALL BE SELECTED BY BUILDER.
 - ALL EXTERIOR FRAMING AND DECKING SHALL BE CONSTRUCTED OF DECAY-RESISTANT LUMBER CCA 40 OR EQUAL.

- VI. THERMAL & MOISTURE PROTECTION
- THERMAL BUILDING INSULATION AT ASSEMBLIES ADJACENT TO EXTERIOR OR UNHEATED SPACES MEETING THE REQUIREMENTS OF GOVERNING CODES AND, UNLESS OTHERWISE NOTED, MEETING THE FOLLOWING MINIMUM REQUIREMENTS:
 - FOUNDATION WALLS:
 - BASEMENT: GLASS FIBER, VINYL FACED BLANKETS, R-11, UNLESS NOTED OTHERWISE ON PLANS.
 - CRAWL SPACE: GLASS FIBER, UNFACED BLANKETS, R-11, UNLESS NOTED OTHERWISE ON PLANS.
 - EXTERIOR FRAME WALLS:
 - 2X4: GLASS FIBER, BATTS, R-15, UNLESS NOTED OTHERWISE ON PLANS.
 - 2X6: GLASS FIBER, BATTS, R-20 (MIN.), UNLESS NOTED OTHERWISE ON PLANS.
 - CEILING:
 - ATTIC AREAS: GLASS FIBER, BLOWN, R-40, UNLESS NOTED OTHERWISE ON PLANS.
 - VAULTED RAFTERS: GLASS FIBER, BATTS, R-40, UNLESS NOTED OTHERWISE ON PLANS.
 - FRAMED FLOORS OVER UNHEATED AREAS: GLASS FIBER BATTS, R-20 (MIN.), UNLESS NOTED OTHERWISE.
 - INSTALL 4 MIL POLYETHYLENE VAPOR BARRIER TO INSIDE FACE OF STUDS AT ALL EXTERIOR WALLS EXCEPT BATHROOMS, UNLESS NOTED OTHERWISE ON PLANS.
 - ROOFING SHALL BE SPECIFIED BY BUILDER AND AS SHOWN ON DRAWINGS.
 - SIDING SHALL BE SPECIFIED BY BUILDER AND AS SHOWN ON DRAWINGS.
 - FLASHING AND SHEET METAL REQUIRED TO PREVENT PENETRATION OF WATER THROUGH THE EXTERIOR SHELL OF THE BUILDING, IN ADDITION TO COMPLYING WITH GOVERNING CODES, COMPLY WITH PERTINENT RECOMMENDATIONS CONTAINED IN CURRENT EDITION OF "ARCHITECTURAL SHEET METAL MANUAL" PUBLISHED BY SMACNA. ALL IRON SHEET METAL FLASHING SHALL BE HOT-DIP GALVANIZED COMPLYING WITH ASTM A95.
 - GUTTER AND DOWN SPOUTS AS SPECIFIED BY BUILDER. DOWN SPOUT AND SPLASH LOCATIONS SHALL BE DETERMINED BY SUB CONTRACTOR AND APPROVED BY BUILDER SO AS TO PROVIDE POSITIVE ROOF AND SITE DRAINAGE.
 - ATTIC AND ROOF VENTILATION AS REQUIRED BY GOVERNING CODES AND AS SHOWN ON DRAWINGS. PROVIDE APPROPRIATE SOFFIT AND ROOF VENTS AS SPECIFIED/APPROVED BY BUILDER.
 - FOUNDATION MOISTURE PROTECTION:
 - WATERPROOF FOUNDATION WALLS AS SPECIFIED BY BUILDER.
 - SUMP PIT AND PUMP AS SPECIFIED BY BUILDER AND AS SHOWN ON DRAWINGS.
 - PERFORATED FOUNDATION DRAIN TILE AS SPECIFIED BY BUILDER.
- VII. DOORS & WINDOWS
- DOORS:
 - DOORS AS FOLLOWS AND AS SPECIFIED BY BUILDER:
 - ENTRY DOORS AND SIDELIGHTS: AS SPECIFIED BY BUILDER.
 - HOUSE/GARAGE DOORS: INSULATED STEEL DOOR, FLUSH WITH CLOSER.
 - OVERHEAD GARAGE DOORS: INSULATED, AS SPECIFIED BY BUILDER.
 - PATIO DOORS (HINGED): FULL GLASS AS SPECIFIED BY BUILDER.
 - SLIDING GLASS DOORS: AS SPECIFIED BY BUILDER.
 - INTERIOR DOORS: AS SPECIFIED BY BUILDER.
 - WINDOWS:
 - WINDOWS AS FOLLOWS AND AS SPECIFIED BY BUILDER:
 - LIVING LEVELS (INCLUDING WALKOUT BASEMENT): POLYVINYL OR METAL CLAD.
 - BASEMENT: ALUMINUM.
 - UNITS OF THE SIZE, STYLE AND QUANTITY SHOWN ON DRAWINGS.
 - GLAZING SHALL BE DOUBLE-PANE INSULATING GLASS IN LIVING AREAS.
 - TEMPERED GLASS IN ALL WINDOWS AS REQUIRED BY GOVERNING CODES. 2018 IRC R308
 - INSTALL EMERGENCY EGRESS UNITS AS REQUIRED BY GOVERNING CODES. 2018 IRC R310
 - FINISH HARDWARE SHALL BE SPECIFIED BY BUILDER. INSTALL ALL HARDWARE REQUIRED BY GOVERNING CODES.

- VIII. FINISHES
- GYPSUM PANELS:
 - GYPSUM PANELS, UNLESS OTHERWISE NOTED SHALL BE PROVIDED AS FOLLOWS:
 - EXTERIOR WALLS: 1-LAYER 1/2" REGULAR PANELS TO INTERIOR FACE.
 - INTERIOR PARTITIONS: 1-LAYER 1/2" REGULAR PANELS EACH SIDE.
 - CEILING: 1-LAYER 5/8" REGULAR PANELS.
 - GARAGE: PROVIDE 5/8" TYPE "X" PANELS AS REQUIRED BY CODE.
 - SHOWERS: CONCRETE BOARD BEHIND TILE SHOWERS.
 - PROVIDE METAL CORNER BEAD AND TRIM AT ALL LOCATIONS SHOWN ON DRAWINGS AND AS RECOMMENDED BY GYPSUM WALLBOARD MANUFACTURER.
 - TAPE, FLOAT AND SAND JOINTS AND FASTENERS OF GYPSUM WALLBOARD WITH 3-COATS OF JOINT COMPOUND AS REQUIRED.
 - FINISHES SHOWN ON DRAWINGS SHALL BE SPECIFIED BY BUILDER.
 - SPECIALTIES
 - FIREPLACES SHALL BE AS FOLLOWS:
 - PRE-MANUFACTURED GAS (NON-WOOD BURNING) UNITS OF THE STYLE AND SIZE SHOWN ON DRAWINGS.
 - MANUFACTURER AND MODEL SHALL BE SPECIFIED BY BUILDER.
 - SUB CONTRACTOR(S) SHALL BE RESPONSIBLE FOR PROPER INSULATION OF FIREPLACE UNIT, VENTING, HEARTH, MANTLE AND RELATED COMPONENTS AS RECOMMENDED BY MANUFACTURER AND AS REQUIRED BY GOVERNING CODES.
 - SHOWER, TUB AND TUB/SHOWER ENCLOSURES SHALL BE CONSTRUCTED OF APPROVED SAFETY GLAZING AS SPECIFIED BY BUILDER.
 - GUARDRAILS SHALL BE PROVIDED AS SHOWN ON DRAWINGS AND AT ENCLOSED FLOOR OPENINGS, OPEN SIDES OF STAIRWAYS, LANDINGS AND RAMPS, PORCHES OR DECKS WHICH ARE MORE THAN 30 INCHES ABOVE GRADE OR FLOOR BELOW. THE TOP OF GUARDRAILS SHALL NOT BE LESS THAN 36 INCHES IN HEIGHT. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE RAILS OR AN ORNAMENTAL PATTERN SUCH THAT SPHERE 4 INCHES IN DIAMETER CANNOT PASS THROUGH.
 - MECHANICAL
 - GENERAL:
 - INFORMATION AND LAYOUTS SHOWN ON DRAWINGS ARE ONLY SCHEMATIC IN DESIGN, AND SHALL BE REVIEWED BY SUB CONTRACTORS, SUPPLIERS, AND BUILDING OFFICIALS FOR COMPLIANCE WITH GOVERNING CODES AND GOOD COMMON CONSTRUCTION PRACTICES.
 - EQUIPMENT AND FIXTURES SHALL BE SPECIFIED BY BUILDER.
 - DESIGN AND INSTALLATION OF EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE APPROPRIATE LICENSED CONTRACTORS.
 - PLUMBING:
 - PLUMBING ROUGH-IN SHALL BE PROVIDED TO WASHER BOX FOR CLOTHES WASHER.
 - GAS LINES AND VALVES TO DRYER, RANGE AND FIREPLACE AS SPECIFIED BY BUILDER.
 - HEATING, VENTILATING & AIR CONDITIONING:
 - FURNACE: GAS, FORCED AIR AS SPECIFIED BY BUILDER.
 - ALL HVAC EQUIPMENT SHALL BE INDIVIDUALLY SWITCHED.
 - DRYER VENT SHALL EXHAUST TO EXTERIOR.
 - MECHANICAL EXHAUST VENTILATION WHERE INDICATED IN BATHROOMS, WATER CLOSET COMPARTMENTS AND LAUNDRY ROOMS SHALL EXHAUST TO EXTERIOR AND PROVIDE A MINIMUM OF 5 AIR CHANGES PER HOUR.
 - ELECTRICAL
 - GENERAL:
 - INFORMATION AND LAYOUTS SHOWN ON DRAWINGS ARE ONLY SCHEMATIC IN DESIGN, AND SHALL BE REVIEWED BY SUB CONTRACTORS, SUPPLIERS AND BUILDING OFFICIALS FOR COMPLIANCE WITH GOVERNING CODES AND GOOD COMMON CONSTRUCTION PRACTICES.
 - EQUIPMENT AND FIXTURES SHALL BE SPECIFIED BY BUILDER.
 - DESIGN AND INSTALLATION OF EQUIPMENT SHALL BE THE RESPONSIBILITY OF THE APPROPRIATE LICENSED CONTRACTORS.
 - INSTALL GROUND-FAULT CIRCUIT-INTERRUPTERS (GFI OR GFCI) MEETING THE REQUIREMENTS OF ALL GOVERNING CODES. ALL OUTDOOR, BEDROOM(S), BATH AND GARAGE WALL RECEPTACLES SHALL BE PROVIDED WITH GROUND-FAULT CIRCUIT PROTECTION.
 - INSTALL LOCALLY CERTIFIED SMOKE DETECTORS MEETING THE REQUIREMENTS OF ALL GOVERNING CODES. SMOKE DETECTORS SHALL BE 110 VOLT POWERED, EQUIPPED WITH A BATTERY BACKUP AND SOUND AN ALARM AUDIBLE IN ALL SLEEPING AREAS.

FRAMING NOTES

- EXTERIOR HEADERS: ALL HEADERS TO BE SIZED BY OTHERS. ALL WINDOW HEAD HEIGHTS NOTED ON PLANS TO BE VERIFY AND ADJUSTED AS REQUIRED BY BUILDER.
- INTERIOR HEADERS: IN NON BEARING PARTITION WALLS - 2x4
- CAP STOOP: 3/4" OSB 2x6 FRAMING TAP CON OR RAMSET AND BRACED TO FOUNDATION TIES, OSB TO HANG EXTEND OVER FOUNDATION HALF WAY.
- NO BRIDGING: SOLID BLOCKING AS REQUIRED BY CODES.
- BASEMENT STAIRS: 3/4" AWAY FROM FRAMED OR FURRED WALLS.
- MAIN STAIRS: 1/2" RISERS, 3/4" TREADS WITH 1" OVERHANG ON FRONT, GLUED AND NAILED; TREADS HANG OVER ENDS 1 1/2" OR 2 1/4" WITH SKIRT BOARD. (USE SCRAPS WHERE POSSIBLE.)
- UPPER FLOOR BALCONIES: OSB FLUSH FOR 1x6 BALUSTER PLATE UNLESS SPECIFIED ON PLANS.
- TUB/SHOWERS: 5', 4' AND 3' EXACT OPENINGS. AS NOTED ON PLAN
- EXTERIOR DOORS: 3/4" OSB SPACER BETWEEN DOOR SILL AND FLOOR DECK, SLIDING GLASS DOORS INSTALL DIRECTLY TO FLOOR DECK.
- TRUSSES: 24" o.c. WITH BRACING AS SPECIFIED BY TRUSS MANUFACTURER.
- RAFTERS: 24" o.c. WITH BRACING AS SHOWN ON PLANS VAULT 2x10 16" o.c. / 2x6 SUB FASCIA, LOOKOUTS AS REQUIRED.
- EXTERIOR WALLS: OSB SHEATHING ON ALL EXTERIOR WALLS AND EXTERIOR FACE OF ALL GABLES. SHEATHING IS ALSO REQUIRED ON THE OUTSIDE FACE OF ANY/ALL WALLS THAT ADJOIN ENCLOSED UNHEATED SPACES AS SUCH AS PORCH ROOFS OR ATTIC SPACES. UNLESS NOTED OTHERWISE ON PLANS.
- SIDING: CAULK BEHIND WINDOWS AND DOORS. HOUSE WRAP OVER ALL EXTERIOR WALLS AND GABLES. INSTALLED TO BE WATER TIGHT PER MFG'S SPECIFICATIONS.
- FLASHING: 2x4 UNDER ROOF ON ALL GABLES. RUBBER FLASHING 18" WIDE UNDER ALUMINUM FLASHING. CONTINUOUS FLASHING ALONG SHED ROOFS AND STOOPS.
- FRAMER SHALL PROVIDE CLEAR CHASES FOR PLUMBING AND MECHANICAL SYSTEMS.

THE FRAMER SHALL ADJUST LAYOUT OR PLACEMENT OF FRAMING MEMBERS TO PROVIDE REQUIRED CLEARANCES FOR ALL MECHANICAL AND PLUMBING SYSTEMS WHILE MAINTAINING STRUCTURAL INTEGRITY.

SHEET LIST	
A0.0	COVER SHEET
A1.1	BASEMENT FLOOR
A1.2	BASEMENT FLOOR - OPTION 1
A2.1	MAIN FLOOR
A3.1	UPPER FLOOR
A4.1	EXTERIOR ELEVATIONS
A4.2	3D - VIEWS
A5.1	ROOF PLAN & STAIR SECTION, FIREPLACE DETAIL
D1	DETAILS
D2	DETAILS
D3	DETAILS
E1	ELECTRICAL PLAN - BASEMENT FLOOR, BASEMENT FLOOR OPTION 1
E2	ELECTRICAL PLAN - MAIN FLOOR
E3	ELECTRICAL PLAN - UPPER FLOOR

AREA SCHEDULE	
MAIN FLOOR	915 SF
UPPER LEVEL	1248 SF
	2163 SF
BASEMENT - FINISHED	0 SF
BASEMENT - UNFINISHED	933 SF
GARAGE	450 SF
	1384 SF
GRAND TOTAL	3546 SF

AREA SCHEDULE - OPTION 1	
MAIN FLOOR	915 SF
UPPER LEVEL	1248 SF
	2163 SF
BASEMENT OPTION 1 - FINISHED	747 SF
BASEMENT OPTION 1 - UNFINISHED	187 SF
GARAGE	450 SF
	1384 SF
GRAND TOTAL	3547 SF

REVISION SCHEDULE		
#	DATE	COMMENTS



PROJECT PHASE:

Hansbury Plan - Elevation A - Enhance - 2 Car - GL

PROJECT ADDRESS REQUIRED FOR PERMIT

BUILDER
Destiny Homes

PROJECT NO.
30212624

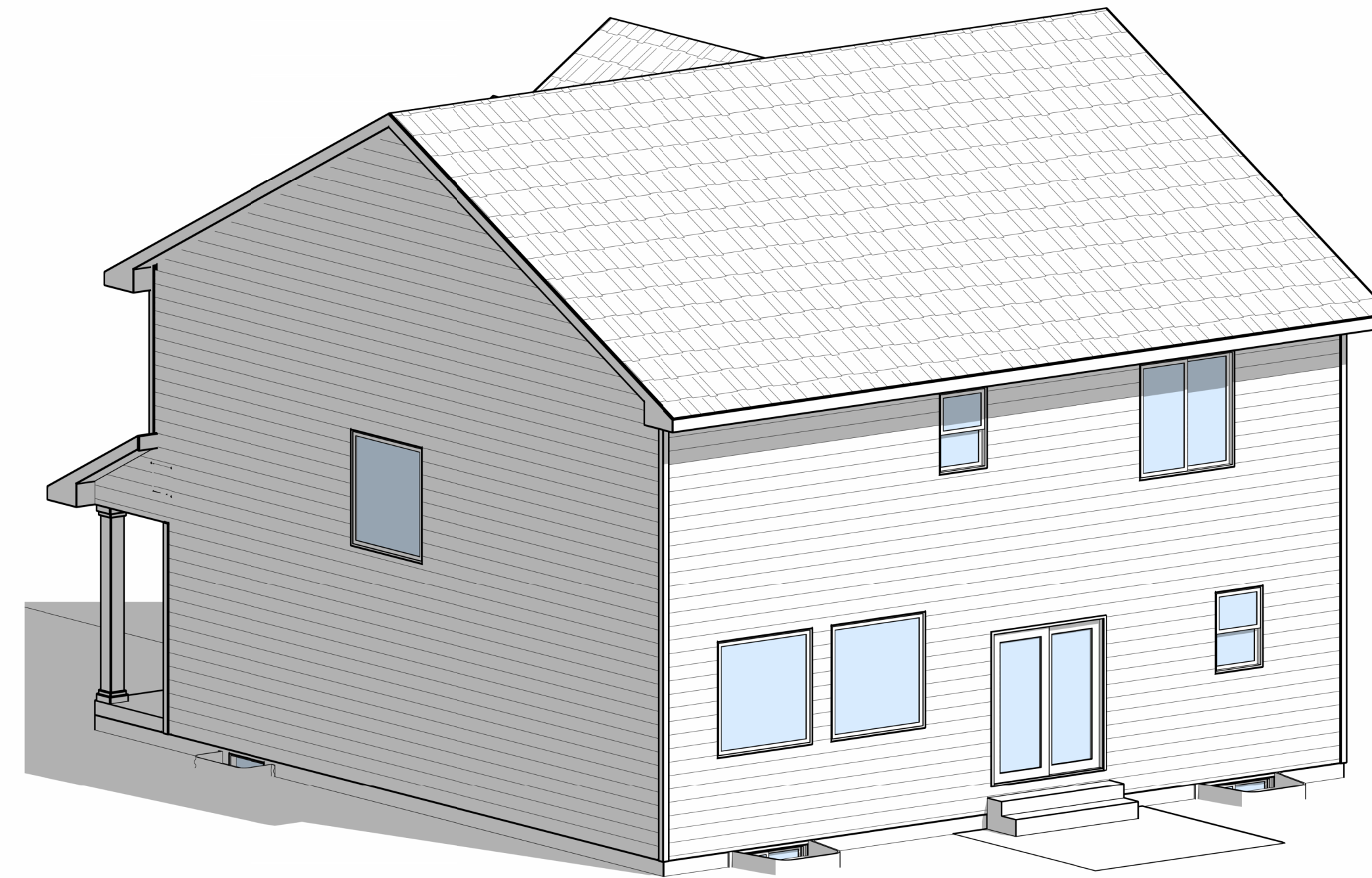
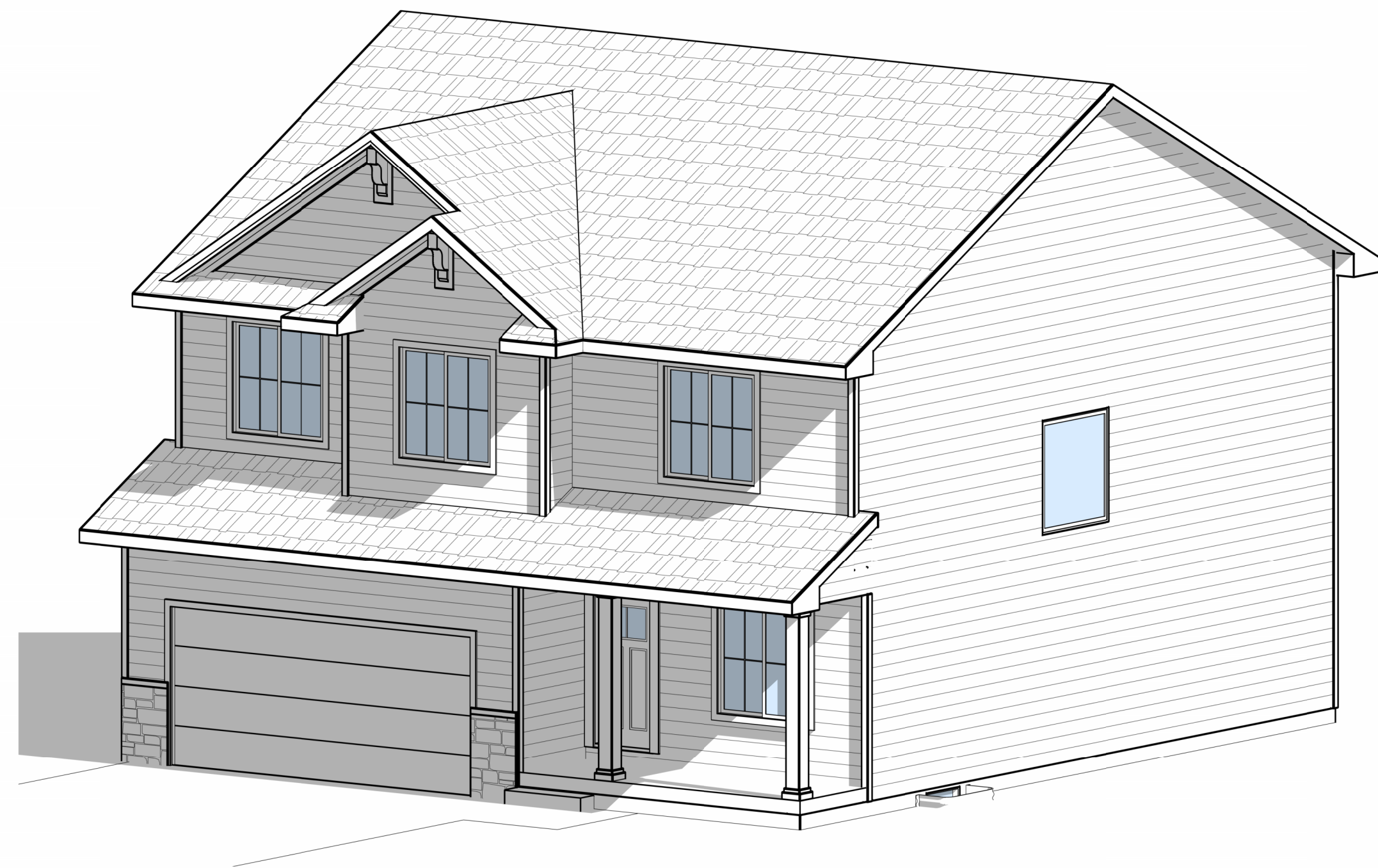
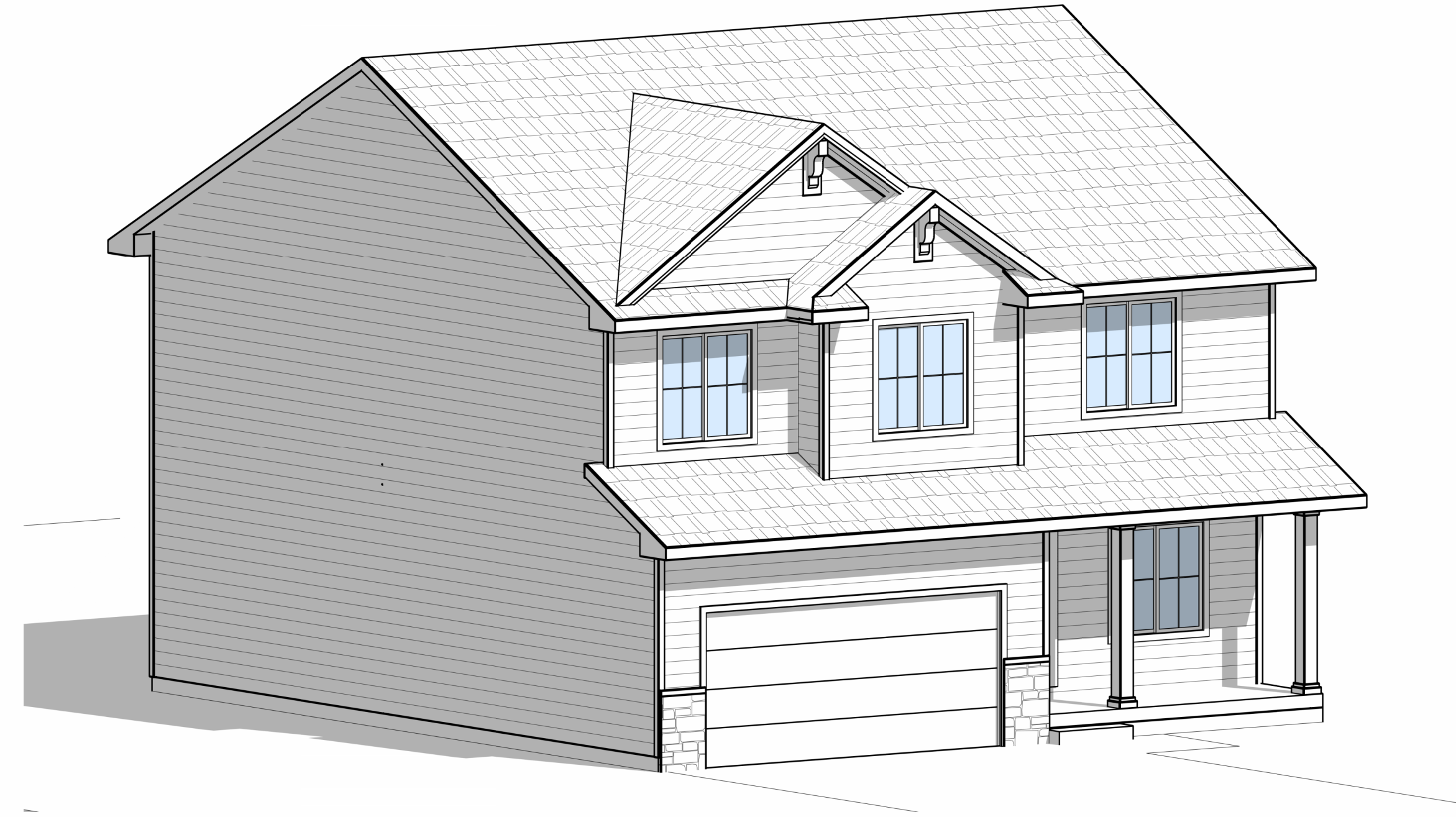
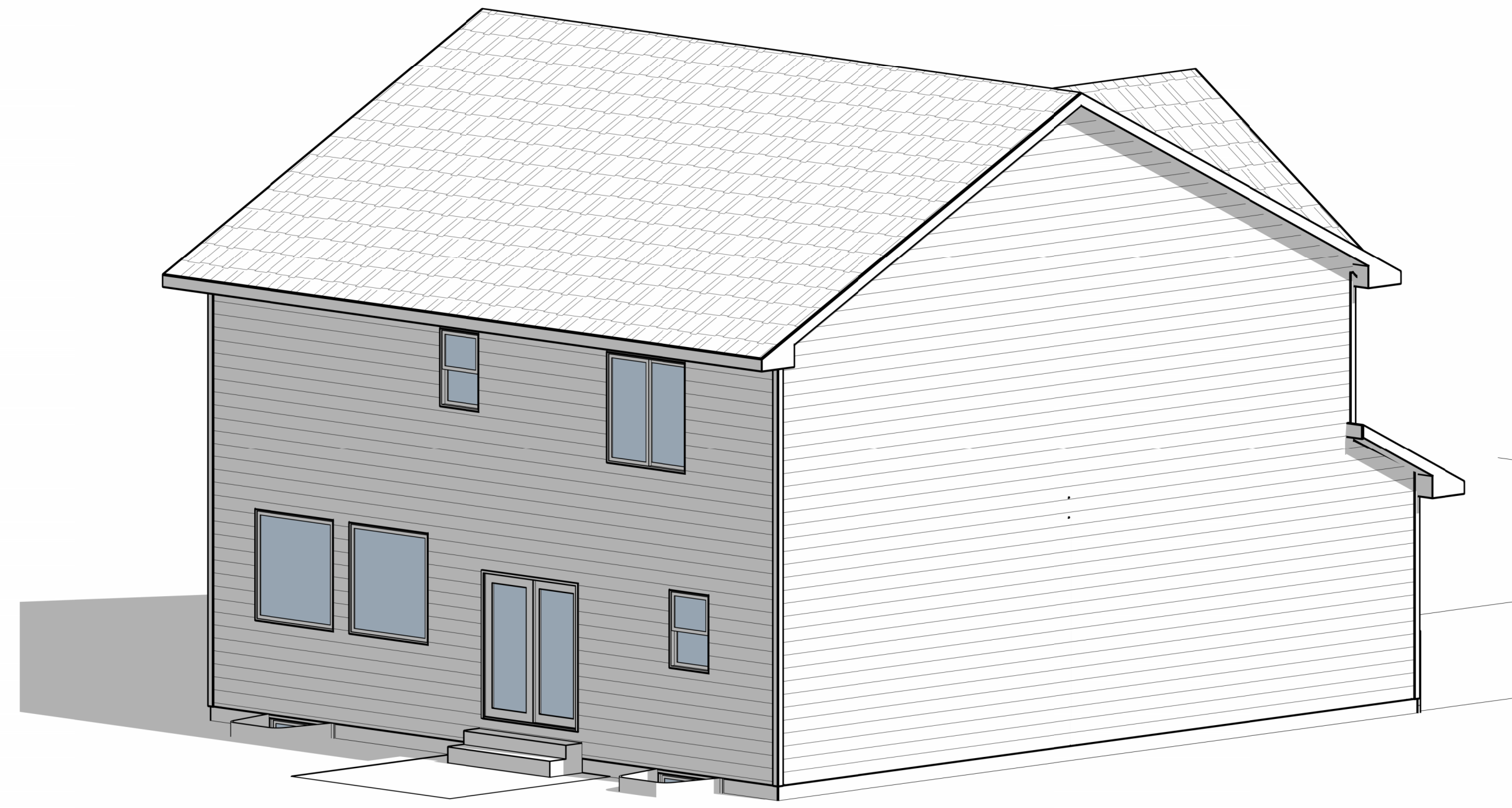
ISSUE DATE
06.07.24

DRAWN
SP

SHEET NAME
COVER SHEET

SHEET NO.

A0.0



ALLER DESIGN GROUP

1840 NW 138th St. Suite 100
Clive, IA 50325
515.254.1181

ALLERDESIGN.COM

THESE DOCUMENTS, AND THE INFORMATION CONTAINED HEREIN, ARE EXCLUSIVE PROPERTY OF ALLER DESIGN GROUP LLC. ANY USE OR DUPLICATION OR TRANSFER OF THESE DOCUMENTS WITHOUT THE EXPRESSED WRITTEN CONSENT OF ALLER DESIGN GROUP LLC IS STRICTLY PROHIBITED. ALLER DESIGN GROUP LLC RETAINS COPYRIGHT TO AND OWNERSHIP OF THESE DOCUMENTS.

PROJECT PHASE:

Hansbury Plan - Elevation A - Enhance - 2 Car - GL

PROJECT ADDRESS REQUIRED FOR PERMIT

BUILDER
Destiny Homes

PROJECT NO.
30212624

ISSUE DATE
06.07.24

DRAWN
SP

SHEET NAME
3D - VIEWS

SHEET NO.

A4.2