

# PRELIMINARY PLAT/ SITE PLAN FOR EDGELAND WAUKEE PLAT 1 CITY OF WAUKEE, DALLAS COUNTY, IOWA

**OWNER**  
INDI RUN WEST, LLC  
1040 SE FRONTIER AVE STE 160  
WAUKEE, IOWA 50263

**DEVELOPER**  
ERICKSON BALMER CONSTRUCTION  
2453 106TH ST  
URBANDALE, IOWA 50322  
CONTACT: BRIAN BALMER  
PHONE: (515) 252-1510

**ENGINEER**  
SNYDER & ASSOCIATES, INC.  
2727 SW SNYDER BOULEVARD  
ANKENY, IOWA 50023  
CONTACT: KOREY MARSH, PE  
PHONE: (515) 964-2020



VICINITY MAP

SCALE: 1" = 500'



**INDEX OF SHEETS**

- C100 TITLE SHEET
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- C400 GRADING AND EROSION CONTROL PLAN
- C401 DETAILED GRADING PLAN
- C402 GRADING SPOT DETAILS
- C500 PLANTING PLAN

License Expires:  
June 30, 2026

I hereby certify that the portion of this technical submission described below was prepared by me or under my direct supervision and responsible charge. I am a duly licensed Professional Landscape Architect under the laws of the State of Iowa.

Nicholas L. Huss, PLA Date

License Number 835

Pages or sheets covered by this seal:  
C500

I hereby certify that this engineering document was prepared by me or under my direct personal supervision and that I am a duly licensed Professional Engineer under the laws of the State of Iowa.

Korey M. Marsh, P.E. Date

License Number P25347

My License Renewal Date is December 31, 2026

Pages or sheets covered by this seal:  
C100-C402

**EDGELAND WAUKEE PLAT 1**

**TITLE SHEET**

**SNYDER & ASSOCIATES, INC.**

**WAUKEE, IOWA**

2727 S.W. SNYDER BLVD  
ANKENY, IOWA 50023  
515-964-2020 | www.snyder-associates.com



Project No: 124.1054.01  
Sheet C100

MARK	REVISION	DATE	BY
3	AS PER CITY COMMENTS	01-14-25	KS
2	AS PER CITY COMMENTS	12-31-24	LJM
1	AS PER CITY COMMENTS	12-10-24	LJM

Engineer: KS	Checked By: KMM	Scale: 1" = 500'
Technician: LJM	Date: 11-26-2024	T-R-S: TTN-RRW-SS

Project No: 124.1054.01  
Sheet C100

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LEGEND

FEATURES

- Section Corner
1/2" Rebar, Cap # 11579
(Unless Otherwise Noted)
ROW Marker
ROW Rail
Control Point
Bench Mark
Platted Distance
Measured Bearing & Distance
Recorded As
Deed Distance
Calculated Distance
Minimum Protection Elevation
Centerline
Section Line
1/4 Section Line
1/4 1/4 Section Line
Easement Line

FOUND

- Spot Elevation
Contour Elevation
Fence (Barbed, Field, Hog)
Fence (Chain Link)
Fence (Wood)
Fence (Silt)
Tree Line
Tree Stump
Deciduous Tree \\ Shrub
Coniferous Tree \\ Shrub

SET

- Communication
Overhead Communication
Fiber Optic
Underground Electric
Overhead Electric
Gas Main with Size
High Pressure Gas Main with Size
Water Main with Size
Sanitary Sewer with Size
Duct Bank
Test Hole Location for SUE w/ID

FEATURES

- Spot Elevation
Contour Elevation
Fence (Barbed, Field, Hog)
Fence (Chain Link)
Fence (Wood)
Fence (Silt)
Tree Line
Tree Stump
Deciduous Tree \\ Shrub
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EXISTING

- Communication
Overhead Communication
Fiber Optic
Underground Electric
Overhead Electric
Gas Main with Size
High Pressure Gas Main with Size
Water Main with Size
Sanitary Sewer with Size
Duct Bank
Test Hole Location for SUE w/ID

PROPOSED

- Communication
Overhead Communication
Fiber Optic
Underground Electric
Overhead Electric
Gas Main with Size
High Pressure Gas Main with Size
Water Main with Size
Sanitary Sewer with Size
Duct Bank
Test Hole Location for SUE w/ID

(\*) Denotes the survey quality service level for utilities

- Sanitary Manhole
Storm Sewer with Size
Storm Manhole
Single Storm Sewer Intake
Double Storm Sewer Intake
Fire Hydrant
Fire Hydrant on Building
Water Main Valve
Water Service Valve
Well
Utility Pole
Guy Anchor
Utility Pole with Light
Utility Pole with Transformer
Street Light
Yard Light
Electric Box
Electric Transformer
Traffic Sign
Communication Pedestal
Communication Manhole
Communication Handhole
Fiber Optic Manhole
Fiber Optic Handhole
Gas Valve
Gas Manhole
Gas Apparatus
Fence Post or Guard Post
Underground Storage Tank
Above Ground Storage Tank
Sign
Satellite Dish
Mailbox
Sprinkler Head
Irrigation Control Valve

UTILITY QUALITY SERVICE LEVELS

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE CI / ASCE 38-02 STANDARD. QUALITY LEVEL (D) INFORMATION IS DERIVED FROM EXISTING UTILITY RECORDS OR ORAL RECOLLECTIONS. QUALITY LEVEL (C) INFORMATION IS OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION WITH QUALITY D INFORMATION. QUALITY LEVEL (B) INFORMATION IS OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES. QUALITY LEVEL (A) IS HORIZONTAL AND VERTICAL POSITION OF UNDERGROUND UTILITIES OBTAINED BY ACTUAL EXPOSURE OR VERIFICATION OF PREVIOUSLY EXPOSED SUBSURFACE UTILITIES, AS WELL AS THE TYPE, SIZE, CONDITION, MATERIAL, AND OTHER CHARACTERISTICS.

UTILITY WARNING

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.

PROPERTY DESCRIPTION

PARCEL 22-20 S1/2 /EX PARCEL 22-57 & EX INDI RUN PLATS 4, 5, & 6 & EX PARCELS 23-102 & 23-103/

PARKING REQUIREMENTS

TOWNHOMES:
PARKING REQUIRED:
2 STALL PER UNIT PLUS 1 STALL PER 5 UNITS
24 UNITS X 2 STALLS = 48 STALLS
24 UNITS / 5 = 5 STALLS
TOTAL STALL REQUIRED = 53 STALLS

PARKING PROVIDED:
GARAGE STALL = 24 STALLS (1 PER UNIT)
DRIVEWAY STALL = 24 STALLS (1 PER UNIT)
OPEN STALL = 5 STALLS
TOTAL STALLS PROVIDED = 53 STALLS
(INCLUDING 1 HANDICAP ACCESSIBLE STALL)

BULK REGULATIONS

DENSITY = 12 DWELLING UNITS/ACRE MAXIMUM
MINIMUM FLOOR AREA = 800 SQUARE FEET PER UNIT
LOT WIDTH = 20 FEET PER UNIT, 75 FEET OVERALL
SIDE YARD = 15 FEET BETWEEN PRINCIPLE BUILDINGS
REAR YARD = 30 FEET
NUMBER OF STORIES = MINIMUM 2, MAXIMUM 3
NUMBER OF CONNECTED UNITS = MINIMUM 2, MAXIMUM 6.
MINIMUM OPEN SPACE = 20%

OPEN SPACE REQUIREMENTS

MINIMUM OF 20% OPEN SPACE REQUIRED
TOTAL AREA 156,251 SF
IMPERVIOUS AREA 59,911 SF
MIN OPEN SPACE REQUIRED 31,252 SF (20.0%)
OPEN SPACE PROVIDED 96,350 SF (61.6%)

CONTROL POINTS

IOWA SOUTH STATE PLANE COORDINATE SYSTEM
NAD83(2011)(EPOCH 2010.00) IARTN DERIVED - US SURVEY FEET

- CP100 N=589771.58 E=1536069.37 Z=1016.91
FOUND CUT "X" ON TOP CURB LOCATED WEST SIDE OF NW 2ND ST., +30' SOUTH OF EAST DRIVE TO FIRESIDE AT WAUKEE APARTMENTS. (AS SHOWN ON SURVEY)
CP101 N=589490.96 E=1536276.92 Z=1015.84
SET CUT "X" ON EAST SIDE SIDEWALK LOCATED WEST SIDE NW 2ND ST. ACROSS FROM 3RD HYDRANT SOUTH OF EAST DRIVE TO FIRESIDE AT WAUKEE APARTMENTS. (AS SHOWN ON SURVEY)
CP102 N=589295.32 E=1536628.11 Z=1013.96
SET CUT "X" ON NORTH SIDE OF SIDEWALK LOCATED SOUTH SIDE OF NW 2ND ST. SOUTH WEST FACE OF UNIT 278 ON NW COMMON PLACE. (AS SHOWN ON SURVEY)
CP103 N=590063.78 E=1536603.32 Z=1006.30
FOUND 1/2" REBAR WITH RED PLASTIC CAP #19968 LOCATED +80' NW OF 282 NW GREENWOOD PLACE, NE CORNER SITE. (AS SHOWN ON SURVEY)

BENCHMARKS

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A)
IARTN DERIVED - US SURVEY FEET

- BM500 N=589774. E=1536134. Z=1019.21
BURY BOLT ON HYDRANT LOCATED EAST SIDE OF NW 2ND ST., 1ST HYDRANT SOUTH OF EAST DRIVE TO FIRESIDE AT WAUKEE APARTMENTS. (AS SHOWN ON SURVEY)
BM501 N=589393. E=1536583. Z=1015.19
BURY BOLT ON HYDRANT LOCATED NORTH SIDE NW 2ND ST. +40' SW OF TOWNHOME AT 278 NW COMMON PLACE. (AS SHOWN ON SURVEY)

UTILITY CONTACT INFORMATION

UTILITY CONTACT FOR MAPPING INFORMATION SHOWN AS RECEIVED FROM THE IOWA ONE CALL DESIGN REQUEST SYSTEM, TICKET NUMBER 552405265.

- FO1-FIBER OPTIC CENTURYLINK
SADIE HULL
918-547-0147
SADIE.HULL@LUMEN.COM
NO RESPONSE MEDIACOM
JERRY BROUGHTON
845-587-2521
JBROUGHTON@MEDIACOMCC.COM
CLEAR PER MAP INTERNET CONSULTING SERVICES
ADAM WOODARD
515-268-4045
LOCATES@ICS-LLC.NET
UE1-UNDERGROUND ELECTRIC MIDAMER-ELEC
JAMIE NEER
515-252-6972
MECDSDMESIGNLOCATES@MIDAMERICAN.COM
NO RESPONSE MI-FIBER
JUSTIN MILLER
515-897-8802
JMILLER@MI-FIBER.NET

- G1-GAS MAIN WAUKEE, CITY OF
S1-SANITARY SEWER TIM ROYER
S11-STORM SEWER 515-987-4363
W1-WATER MAIN TROYER@WAUKEE.ORG
FO19-FIBER OPTIC

GENERAL USE

TOWNHOMES

ZONING

R-4 - ROW DWELLING AND TOWNHOME DISTRICT

PROJECT TIMELINE

CONSTRUCTION START: SPRING 2025
EARTHWORK: SPRING 2025
UTILITIES: SPRING 2025
PAVING: SUMMER 2025
BUILDING CONSTRUCTION: REQUIRED 2025

UNIT DESCRIPTION

4 BEDROOM UNITS
AREA= 1,585 SF

GENERAL NOTES

- A. NOTIFY UTILITY PROVIDERS PRIOR TO BEGINNING ANY CONSTRUCTION ACTIVITIES AND COORDINATE WITH UTILITY PROVIDERS AS NECESSARY DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION, AND DEPTH OF ALL UTILITIES. PROTECT ALL UTILITY LINES AND STRUCTURES NOT SHOWN FOR REMOVAL OR MODIFICATION. ANY DAMAGES TO UTILITY ITEMS NOT SHOWN FOR REMOVAL OR MODIFICATION SHALL BE REPAIRED TO THE UTILITY OWNER'S SPECIFICATIONS AT THE CONTRACTOR'S EXPENSE.
B. CONSTRUCTION OF ALL STREET AND UTILITY IMPROVEMENTS SHALL CONFORM TO THE CURRENT WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, 2024 STATEWIDE URBAN DESIGN AND SPECIFICATIONS AND THE SOILS REPORTS PREPARED BY OTHERS.
C. LENGTH OF UTILITIES SHOWN ON PLANS ARE DIMENSIONED FROM CENTERLINE OF STRUCTURE TO CENTERLINE OF STRUCTURE.
D. ALL TRAFFIC CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). WHEN CONSTRUCTION ACTIVITIES OBSTRUCT PORTIONS OF THE ROADWAY, FLAGGERS SHALL BE PROVIDED. FLAGGERS SHALL CONFORM TO THE MUTCD IN APPEARANCE, EQUIPMENT AND ACTIONS. THE CONTRACTOR SHALL NOTIFY THE CITY OF WAUKEE AT LEAST ONE WEEK PRIOR TO ANY ANTICIPATED LANE CLOSURE.
E. NOTIFY OWNER, ENGINEER, CITY OF WAUKEE AT LEAST 48 HOURS PRIOR TO BEGINNING WORK. CONTRACTOR SHALL ALSO NOTIFY THE CITY OF WAUKEE ENGINEERING DEPARTMENT AT LEAST 48 HOURS PRIOR TO ANY PLANNED WEEKEND OR HOLIDAY WORK.
F. CONSTRUCT MANHOLES AND APPURTENANCES AS WORK PROGRESSES. BACKFILL WITH SUITABLE MATERIAL AND COMPACT TO 95% MAXIMUM DENSITY.
G. IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
H. ALL FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE RECONNECTED OR REPAIRED AND NOTED ACCORDINGLY ON THE AS-BUILT DOCUMENTS.
I. DIMENSIONS, BUILDING LOCATION, UTILITIES AND GRADING OF THIS SITE ARE BASED ON AVAILABLE INFORMATION AT THE TIME OF DESIGN. DEVIATIONS MAY BE NECESSARY IN THE FIELD. ANY SUCH CHANGES OR CONFLICTS BETWEEN THIS PLAN AND FIELD CONDITIONS ARE TO BE REPORTED TO THE ARCHITECT/ENGINEER PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LAYOUT VERIFICATION OF ALL SITE IMPROVEMENTS PRIOR TO CONSTRUCTION. CONTACT CITY OF WAUKEE FOR APPROVAL OF ANY CHANGES AND THAT ANY CHANGES COMPLETED WITHOUT APPROVAL ARE SUBJECT TO REMOVAL IN ORDER TO MEET THE CITY OF WAUKEE STANDARDS.
J. CONTRACTOR TO LOAD AND TRANSPORT ALL MATERIALS CONSIDERED TO BE UNDESIRABLE TO BE INCORPORATED INTO THE PROJECT TO AN APPROVED OFF-SITE WASTE SITE.
K. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MEET SUDAS SPECIFICATION SECTION 2010 FOR TOPSOIL.
L. ALL PROPOSED CONTOURS AND SPOT ELEVATIONS SHOWN ARE FINISHED GRADES AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.
M. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM NEIGHBORING STREETS, DRIVEWAYS, AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
N. THE ADJUSTMENT OF ANY EXISTING UTILITY APPURTENANCES TO FINAL GRADE IS CONSIDERED INCIDENTAL TO THE SITE WORK.
O. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING EROSION AND SEDIMENT CONTROL MEASURES AS NECESSARY. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR MAINTAINING ANY EXISTING EROSION CONTROL MEASURES ON SITE AT THE TIME OF CONSTRUCTION. GRADING AND SOIL EROSION CONTROL CODE REQUIREMENTS SHALL BE MET BY CONTRACTOR. A COSECO PERMIT IS REQUIRED FOR THIS PROJECT.
P. CONTRACTOR TO COORDINATE NATURAL GAS, ELECTRICAL, TELEPHONE AND ANY OTHER FRANCHISE UTILITY SERVICES WITH UTILITY SERVICE PROVIDER, CITY OF WAUKEE, AND THE OWNER PRIOR TO CONSTRUCTION.
Q. IF STORM SEWER CROSSES ABOVE WATER MAIN OR CROSSES LESS THAN 18" BELOW A WATER MAIN THEN STORM SEWER SHALL BE CONSTRUCTED OF REINFORCED CONCRETE WITH A FLEXIBLE O-RING GASKET RATED AT 13 PSI OR GREATER. O-RING GASKET JOINTS SHALL BE INSTALLED ON EACH SIDE OF THE CROSSING UNTIL THE NORMAL DISTANCE FROM THE WATER MAIN TO THE STORM SEWER IS AT LEAST TEN FEET.
R. A PRE-CONSTRUCTION MEETING WITH THE CITY OF WAUKEE WILL BE REQUIRED A MINIMUM OF ONE WEEK PRIOR TO CONSTRUCTION ACTIVITIES BEGINNING.
S. ALL STAKING SHALL BE DONE UNDER THE DIRECTION OF A LICENSED ENGINEER OR LAND SURVEYOR INCLUDING PEDESTRIAN FACILITIES.
T. ANY CHANGES PROPOSED TO THE DRAWINGS DURING CONSTRUCTION SHALL BE APPROVED IN WRITING BY THE CITY OF WAUKEE COMMUNITY DEVELOPMENT PRIOR TO CONSTRUCTION.
U. THE CONTRACTOR IS RESPONSIBLE FOR ANY CHANGES MADE DURING CONSTRUCTION THAT HAVE NOT BEEN GRANTED APPROVAL IN WRITING BY THE CITY OF WAUKEE.
V. ALL SANITARY SEWER AND STORM SEWER SHALL BE CLEANED AND TELEVIEWED PRIOR TO PAVING. THE CITY OF WAUKEE SHALL WITNESS ALL CLEANING AND TELEVIEWING. COPIES OF THE REPORT AND VIDEO SHALL BE PROVIDED TO THE CITY OF WAUKEE. ALL SANITARY SEWER MANHOLES SHALL BE VACUUM TESTED.
W. ALL CONNECTIONS TO EXISTING SANITARY MANHOLES SHALL BE CORE DRILL WITH A LINK SEAL.
X. PLACE 3/4" EXPANSION JOINT BETWEEN ALL PCC PAVEMENT/SIDEWALKS AND BUILDINGS. PLACE 1/2" EXPANSION JOINT BETWEEN SIDEWALKS AND PCC PAVEMENT. THE PCC RAMP JOINT LOCATED AT THE BACK OF CURB AND ALL EXPANSION JOINTS SHALL BE SEALED.
Y. AS-BUILTS SHALL BE PROVIDED TO THE WAUKEE ENGINEERING DEPARTMENT INCLUDING ALL PUBLIC ACCESSIBLE RAMPS, DETENTION FACILITIES AND DETENTION OVERFLOW GRADES. THE CONTRACTOR SHALL PROVIDE INFORMATION TO THE DESIGN ENGINEER FOR INCLUSION ON THE RECORD AS-BUILT DRAWINGS.
Z. ALL UTILITIES INCLUDING PRIVATE UTILITIES SHALL BE CONSTRUCTED TO THE CITY OF WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND ALL UTILITIES SHALL BE TESTED TO CITY STANDARDS. THE CITY SHALL WITNESS ALL TESTING.
AA. CONTRACTOR SHALL PROTECT STORM SEWERS AND DRAINAGE WAYS FROM ALLOWING CONCRETE SLURRY FROM CONCRETE OPERATIONS TO DISCHARGE OFFSITE.
BB. CONTRACTOR SHALL COORDINATE ALL TIE-IN TO UTILITIES WITH THE CITY OF WAUKEE PUBLIC WORKS DEPARTMENT AND CITY OF WAUKEE PUBLIC WORKS SHALL WITNESS ALL TIE-INS.
CC. ALL FIRE HYDRANTS TO HAVE 5 INCH STORZ FITTINGS.
DD. CONTRACTOR IS RESPONSIBLE TO OBTAIN WRITTEN APPROVAL FOR ANY PLAN CHANGES DURING CONSTRUCTION FROM THE COMMUNITY DEVELOPMENT DEPARTMENT. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR ANY CHANGES THAT HAVE NOT RECEIVED WRITTEN APPROVAL FROM THE COMMUNITY DEVELOPMENT DEPARTMENT.

POLLUTION PREVENTION NOTES

- A. POLLUTION PREVENTION AND EROSION PROTECTION
1. CODE COMPLIANCE: THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL POTENTIAL POLLUTION AND SOIL EROSION CONTROL REQUIREMENTS OF THE IOWA CODE, THE IOWA DEPARTMENT OF NATURAL RESOURCES (IDNR) NPDES PERMIT, THE U.S. CLEAN WATER ACT AND ANY LOCAL ORDINANCES. THE CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT AGAINST EROSION AND POLLUTION FROM THIS PROJECT SITE AND ALL OFF-SITE BORROW OR DEPOSIT AREAS DURING PERFORMANCE OR AS A RESULT OF PERFORMANCE.
2. DAMAGE CLAIMS: THE CONTRACTOR WILL HOLD THE OWNER AND ARCHITECT / ENGINEER HARMLESS FROM ANY AND ALL CLAIMS OF ANY TYPE WHATSOEVER RESULTING FROM DAMAGES TO ADJOINING PUBLIC OR PRIVATE PROPERTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY AND ALL DAMAGES INCURRED TO ADJOINING PROPERTY. IF THE CONTRACTOR FAILS TO TAKE NECESSARY STEPS TO PROMPTLY REMOVE EARTH SEDIMENTATION OR DEBRIS WHICH COMES ONTO ADJOINING PUBLIC OR PRIVATE PROPERTY, THE OWNER MAY, BUT NEED NOT, REMOVE SUCH ITEMS AND DEDUCT THE COST THEREOF FROM AMOUNTS DUE TO THE CONTRACTOR.
B. STORM WATER DISCHARGE PERMIT
1. THIS PROJECT REQUIRES COVERAGE UNDER THE NPDES GENERAL PERMIT NO. 2 FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITIES FROM THE IDNR, AS REQUIRED BY THE ENVIRONMENTAL PROTECTION AGENCY (EPA). THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS ARE RESPONSIBLE FOR COMPLIANCE WITH AND FULFILLMENT OF ALL REQUIREMENTS OF THE NPDES GENERAL PERMIT NO. 2 AS SPECIFIED IN THE CONTRACT DOCUMENTS.
2. ALL DOCUMENTS RELATED TO THE STORM WATER DISCHARGE PERMIT, INCLUDING, BUT NOT LIMITED TO, THE NOTICE OF INTENT, PROOF OF PUBLICATIONS, DISCHARGE AUTHORIZATION LETTER, CURRENT SWPPP, SITE INSPECTION LOG, AND OTHER ITEMS, SHALL BE KEPT ON SITE AT ALL TIMES AND MUST BE PRESENTED TO ANY JURISDICTIONAL AGENCIES UPON REQUEST. FAILURE TO COMPLY WITH THE NPDES PERMIT REQUIREMENTS IS A VIOLATION OF THE CLEAN WATER ACT AND THE CODE OF IOWA.
3. A "NOTICE OF DISCONTINUATION" MUST BE FILED WITH THE IDNR UPON FINAL STABILIZATION OF THE DISTURBED SITE AND REMOVAL OF ALL TEMPORARY EROSION CONTROL MEASURES. ALL PLANS, INSPECTION REPORTS, AND OTHER DOCUMENTS MUST BE RETAINED FOR A PERIOD OF THREE YEARS AFTER PROJECT COMPLETION. THE CONTRACTOR SHALL RETAIN A RECORD COPY AND PROVIDE THE ORIGINAL DOCUMENTS TO THE OWNER UPON PROJECT ACCEPTANCE AND/OR SUBMITTAL OF THE NOTICE OF DISCONTINUATION.
C. POLLUTION PREVENTION PLAN
1. THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP) IS A SEPARATE DOCUMENT IN ADDITION TO THESE PLAN DRAWINGS. THE CONTRACTOR SHOULD REFER TO THE SWPPP FOR ADDITIONAL REQUIREMENTS AND MODIFICATIONS TO THE POLLUTION PREVENTION PLAN MADE DURING CONSTRUCTION.
2. THE SWPPP ILLUSTRATES GENERAL MEASURES AND BEST MANAGEMENT PRACTICES (BMP) FOR COMPLIANCE WITH THE PROJECT'S NPDES PERMIT COVERAGE. ALL BMP'S AND EROSION CONTROL MEASURES REQUIRED AS A RESULT OF CONSTRUCTION ACTIVITIES ARE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY, NOTE AND IMPLEMENT. ADDITIONAL BMP'S FROM THOSE SHOWN ON THE PLAN MAY BE REQUIRED.
3. THE SWPPP AND SITE MAP SHOULD BE EXPEDITIOUSLY REVISED TO REFLECT CONSTRUCTION PROGRESS AND CHANGES AT THE PROJECT SITE.
4. THE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE GENERAL PERMIT AND SWPPP, INCLUDING, BUT NOT LIMITED TO, THE FOLLOWING BMP'S UNLESS INFEASIBLE OR NOT APPLICABLE:
a. UTILIZE OUTLET STRUCTURES THAT WITHDRAW WATER FROM THE SURFACE WHEN DISCHARGING FROM BASINS. PROVIDE AND MAINTAIN NATURAL BUFFERS AROUND SURFACE WATERS, DIRECT STORM WATER TO VEGETATED AREAS TO INCREASE SEDIMENT REMOVAL AND MAXIMIZE STORM WATER INFILTRATION, AND MINIMIZE SOIL COMPACTION.
b. INSTALL PERIMETER AND FINAL SEDIMENT CONTROL MEASURES SUCH AS SILT BARRIERS, DITCH CHECKS, DIVERSION BERMS, OR SEDIMENTATION BASINS DOWNSTREAM OF SOIL DISTURBING ACTIVITIES PRIOR TO SITE CLEARING AND GRADING OPERATIONS.
c. PRESERVE EXISTING VEGETATION IN AREAS NOT NEEDED FOR CONSTRUCTION AND LIMIT TO A MINIMUM THE TOTAL AREA DISTURBED BY CONSTRUCTION OPERATIONS AT ANY TIME.
d. MAINTAIN ALL TEMPORARY AND PERMANENT EROSION CONTROL MEASURES IN WORKING ORDER, INCLUDING CLEANING, REPAIRING, REPLACEMENT, AND SEDIMENT REMOVAL THROUGHOUT THE PERMIT PERIOD. CLEAN OR REPLACE SILT CONTROL DEVICES WHEN THE MEASURES HAVE LOST 50% OF THEIR ORIGINAL CAPACITY.
e. INSPECT THE PROJECT AREA AND CONTROL DEVICES (BY QUALIFIED PERSONNEL ASSIGNED BY THE CONTRACTOR) EVERY SEVEN CALENDAR DAYS. RECORD THE FINDINGS OF THESE INSPECTIONS AND ANY RESULTING ACTIONS IN THE SWPPP WITH A COPY SUBMITTED WEEKLY TO THE OWNER OR ENGINEER DURING CONSTRUCTION. REVISE THE SWPPP AND IMPLEMENT ANY RECOMMENDED MEASURES WITHIN 7 DAYS.
f. PREVENT ACCUMULATION OF EARTH AND DEBRIS FROM CONSTRUCTION ACTIVITIES ON ADJOINING PUBLIC OR PRIVATE PROPERTIES, INCLUDING STREETS, DRIVEWAYS, SIDEWALKS, DRAINAGEWAYS, OR UNDERGROUND SEWERS. REMOVE ANY ACCUMULATION OF EARTH OR DEBRIS IMMEDIATELY AND TAKE REMEDIAL ACTIONS FOR FUTURE PREVENTION.
g. INSTALL NECESSARY CONTROL MEASURES SUCH AS SILT BARRIERS, EROSION CONTROL MATS, MULCH, DITCH CHECKS OR RIPRAP AS SOON AS AREAS REACH THEIR FINAL GRADES AND AS CONSTRUCTION OPERATIONS PROGRESS TO ENSURE CONTINUOUS RUFF CONTROL. PROVIDE INLET AND OUTLET CONTROL MEASURES AS SOON AS STORM SEWERS ARE INSTALLED.
h. RESPREAD A MINIMUM OF 8 INCHES OF TOPSOIL (INCLUDING TOPSOIL FOUND IN SOD) ON ALL DISTURBED AREAS, EXCEPT WHERE PAVEMENT, BUILDINGS OR OTHER IMPROVEMENTS ARE LOCATED.
i. STABILIZE UNDEVELOPED, DISTURBED AREAS WITH MULCH, TEMPORARY SEED MIX, PERMANENT SEED MIX, SOD, OR PAVEMENT IMMEDIATELY AS SOON AS POSSIBLE UPON COMPLETION OF GRADING OPERATIONS. INITIATE STABILIZATION MEASURES IMMEDIATELY AFTER CONSTRUCTION ACTIVITY IS FINALLY COMPLETED OR TEMPORARILY CEASED ON ANY PORTION OF THE SITE AND WHICH WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
j. COORDINATE LOCATIONS OF STAGING AREAS WITH THE OWNER AND RECORD IN THE SWPPP. UNLESS NOTED OTHERWISE, STAGING AREAS SHOULD CONTAIN THE FOLLOWING: JOB TRAILERS, FUELING / VEHICLE MAINTENANCE AREA, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, AND CONCRETE WASHOUT FACILITY. CONTROL RUNOFF FROM STAGING AREAS WITH DIVERSION BERMS AND/OR SILT BARRIERS AND DIRECT TO A SEDIMENT BASIN OR OTHER CONTROL DEVICE WHERE POSSIBLE. CONCRETE WASHOUT MUST BE CONTAINED ONSITE.
k. REMOVE ALL TEMPORARY EROSION CONTROL MEASURES AND SITE WASTE PRIOR TO FILING OF THE "NOTICE OF DISCONTINUATION".

EDGE LAND WAUKEE PLAT 1

PROJECT INFORMATION

WAUKEE, IOWA

SNYDER & ASSOCIATES, INC.



Project No: 124.1054.01

Sheet C101

2727 S.W. SNYDER BLVD ANKENY, IOWA 50023

www.snyder-associates.com

Sheet C101

\\p01b040\2024\124.1054.01\CADD\SSP\_124.1054\_124.dwg (KENAN) \$ BASIC, PROJECT INFORMATION, 2025/01/14, 2:24 PM, ANSI FULL BLEED (0.40, 0.40, 0.20, 0.20 INCHES)

**LEGEND**

**FEATURES EXISTING**

Spot Elevation  
 Contour Elevation  
 Fence (Barbed, Field, Hog)  
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 Overhead Electric  
 Gas Main with Size  
 High Pressure Gas Main with Size  
 Water Main with Size  
 Sanitary Sewer with Size  
 Duct Bank  
 Sanitary Sewer with Size  
 Sanitary Manhole  
 Storm Sewer with Size  
 Storm Manhole  
 Single Storm Sewer Intake  
 Double Storm Sewer Intake

(\*) Denotes the survey quality service level for utilities

Fire Hydrant  
 Fire Hydrant on Building  
 Water Main Valve  
 Water Service Valve  
 Well  
 Utility Pole  
 Guy Anchor  
 Utility Pole with Light  
 Utility Pole with Transformer  
 Street Light  
 Yard Light  
 Electric Box  
 Electric Transformer  
 Traffic Sign  
 Communication Pedestal  
 Communication Manhole  
 Communication Handhole  
 Fiber Optic Manhole  
 Fiber Optic Handhole  
 Gas Valve  
 Gas Manhole  
 Gas Apparatus  
 Fence Post or Guard Post  
 Underground Storage Tank  
 Above Ground Storage Tank  
 Sign  
 Satellite Dish  
 Mailbox  
 Sprinkler Head  
 Irrigation Control Valve  
 Test Hole Location for SUE w/D

**CONTROL POINTS**

IOWA SOUTH STATE PLANE COORDINATE SYSTEM  
 NAD83(2011)(EPOCH 2010.00) IARTN DERIVED - US SURVEY FEET

CP100 N=589771.58 E=1536069.37 Z=1016.91  
 FOUND CUT "X" ON TOP CURB LOCATED WEST SIDE OF NW 2ND ST. +30' SOUTH OF EAST DRIVE TO FIRESIDE AT WAUKEE APARTMENTS. (AS SHOWN ON SURVEY)

CP101 N=589490.96 E=1536276.92 Z=1015.84  
 SET CUT "X" ON EAST SIDE SIDEWALK LOCATED WEST SIDE NW 2ND ST. ACROSS FROM 3RD HYDRANT SOUTH OF EAST DRIVE TO FIRESIDE AT WAUKEE APARTMENTS. (AS SHOWN ON SURVEY)

CP102 N=589295.32 E=1536628.11 Z=1013.96  
 SET CUT "X" ON NORTH SIDE OF SIDEWALK LOCATED SOUTH SIDE OF NW 2ND ST. SOUTH OF WEST FACE OF UNIT 278 ON NW COMMON PLACE. (AS SHOWN ON SURVEY)

CP103 N=590063.78 E=1536603.32 Z=1006.30  
 FOUND 1/2" REBAR WITH RED PLASTIC CAP #19968 LOCATED +80' NW OF 282 NW GREENWOOD PLACE, NE CORNER SITE. (AS SHOWN ON SURVEY)

**BENCHMARKS**

NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88 - GEOID12A)  
 IARTN DERIVED - US SURVEY FEET

BM500 N=589774- E=1536134- Z=1019.21  
 BURY BOLT ON HYDRANT LOCATED EAST SIDE OF NW 2ND ST., 1ST HYDRANT SOUTH OF EAST DRIVE TO FIRESIDE AT WAUKEE APARTMENTS. (AS SHOWN ON SURVEY)

BM501 N=589393- E=1536583- Z=1015.19  
 BURY BOLT ON HYDRANT LOCATED NORTH SIDE NW 2ND ST. +40' SW OF TOWNHOME AT 278 NW COMMON PLACE. (AS SHOWN ON SURVEY)

**DATE OF SURVEY**

SEPTEMBER 09, 2024

**UTILITY CONTACT INFORMATION**

UTILITY CONTACT FOR MAPPING INFORMATION SHOWN AS RECEIVED FROM THE IOWA ONE CALL DESIGN REQUEST SYSTEM, TICKET NUMBER 552405265.

FO1-FIBER OPTIC	CENTURYLINK SADIE HULL 918-547-0147 SADIE.HULL@LUMEN.COM
NO RESPONSE	MEDIACOM JERRY BROUGHTON 845-587-2521 JBROUGHTON@MEDIACOMCC.COM
CLEAR PER MAP	INTERNET CONSULTING SERVICES ADAM WOODARD 515-268-4045 LOCATES@ICS-LLC.NET
UE1-UNDERGROUND ELECTRIC	MIDAMER-ELEC JAMIE NEER 515-252-6972 MECDSDDESIGNLOCATES@MIDAMERICAN.COM
NO RESPONSE	MI-FIBER JUSTIN MILLER 515-897-8802 JMILLER@MI-FIBER.NET
G1-GAS MAIN S1-SANITARY SEWER ST1-STORM SEWER W1-WATER MAIN FO19-FIBER OPTIC	WAUKEE, CITY OF TIM ROYER 515-987-4363 TROYER@WAUKEE.ORG

**NOTES**

- BUILDING LINES AND CORNERS ARE FOR USE IN PREPARING CIVIL SITE PLAN DOCUMENTS. BUILDING CORNERS AND BUILDING LINES SHOULD BE SPECIFICALLY VERIFIED, AS NECESSARY, PRIOR TO DESIGN FOR CONSTRUCTION OF ANY PROPOSED EXPANSION OR CONNECTION OF BUILDING COMPONENTS.
- FOR CLARITY PURPOSES, SURVEY SPOT ELEVATIONS ARE NOT SHOWN ON THIS SURVEY, BUT ARE CONTAINED WITHIN THE DIGITAL CADD FILES.
- FOR THE PURPOSE OF THIS SURVEY, STORM SEWER, SANITARY SEWER AND WATER MAIN LINES ARE ASSUMED TO FOLLOW A STRAIGHT LINE FROM STRUCTURE TO STRUCTURE.
- UTILITY SERVICE LINES TO BUILDINGS ARE APPROXIMATE ONLY. AN INTERNAL BUILDING INVESTIGATION, EXCAVATION AND/OR SUBSURFACE LOCATING/DESIGNATING WOULD NEED TO BE PERFORMED TO DETERMINE THE LOCATION OF SERVICES ENTERING THE BUILDING.
- UNDERGROUND PIPE MATERIALS AND SIZES ARE BASED UPON VISIBLE EVIDENCE VIEWED FROM ACCESS MANHOLES/STRUCTURES. DUE TO THE CONFIGURATION AND/OR CONSTRUCTION OF THE STRUCTURE, IT MAY BE DIFFICULT TO ACCURATELY DETERMINE THE PIPE MATERIAL AND/OR SIZE. THE SURVEYOR WILL USE THEIR JUDGMENT AND EXPERIENCE TO ATTEMPT TO DETERMINE, BUT COMPLETE ACCURACY CANNOT BE GUARANTEED.
- BOUNDARY LINES SHOWN ON THE EXISTING SITE SURVEY ARE TO FACILITATE DESIGN OR CONCEPT NEEDS AND ENABLE CREATION OF SAID CONSTRUCTION DOCUMENTS. THESE LINES DO NOT CONSTITUTE A CERTIFIED BOUNDARY SURVEY AND MISSING MONUMENTS WILL NOT BE SET.

**UTILITY QUALITY SERVICE LEVELS**

QUALITY LEVELS OF UTILITIES ARE SHOWN IN THE PARENTHESES WITH THE UTILITY TYPE AND WHEN APPLICABLE, SIZE. THE QUALITY LEVELS ARE BASED ON THE CI / ASCE 38-02 STANDARD.

QUALITY LEVEL (D) INFORMATION IS DERIVED FROM EXISTING UTILITY RECORDS OR ORAL RECOLLECTIONS.

QUALITY LEVEL (C) INFORMATION IS OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION WITH QUALITY D INFORMATION.

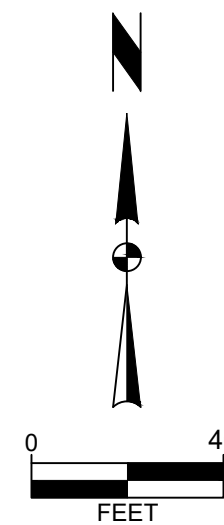
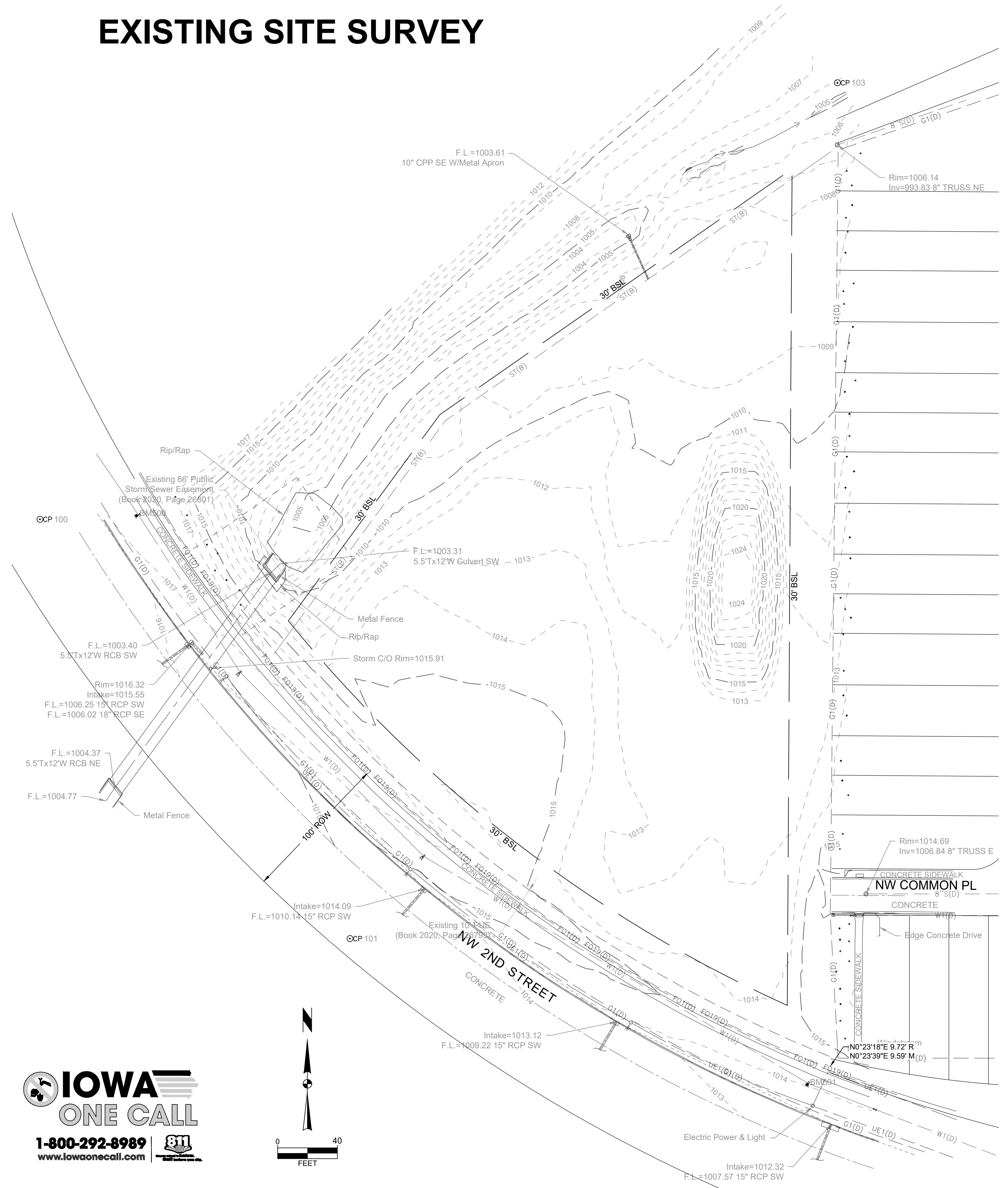
QUALITY LEVEL (B) INFORMATION IS OBTAINED THROUGH THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND APPROXIMATE HORIZONTAL POSITION OF SUBSURFACE UTILITIES.

QUALITY LEVEL (A) IS HORIZONTAL AND VERTICAL POSITION OF UNDERGROUND UTILITIES OBTAINED BY ACTUAL EXPOSURE OR VERIFICATION OF PREVIOUSLY EXPOSED SUBSURFACE UTILITIES, AS WELL AS THE TYPE, SIZE, CONDITION, MATERIAL, AND OTHER CHARACTERISTICS.

**UTILITY WARNING**

THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN COMPRISE ALL SUCH ITEMS IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES OR SUBSURFACE FEATURES SHOWN ARE IN THE EXACT LOCATION INDICATED EXCEPT WHERE NOTED AS QUALITY LEVEL A.

**EXISTING SITE SURVEY**



3	AS PER CITY COMMENTS	01-14-25	KS
2	AS PER CITY COMMENTS	12-31-24	LJM
1	AS PER CITY COMMENTS	12-10-24	LJM
MARK	REVISION	DATE	BY
Engineer: KS	Checked By: KMM	Scale: 1" = ##'	
Technician: LJM	Date: 11-26-2024	T-R-S: TTN-RRW-SS	

Project No: 124.1054.01  
 Sheet C102

**EDGELAND WAUKEE PLAT 1**

**EXISTING SITE SURVEY**

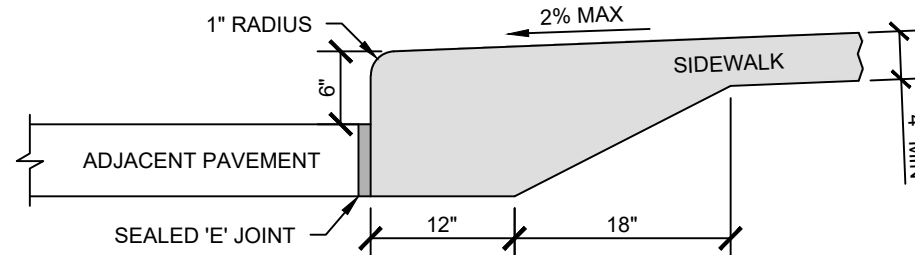
**WAUKEE, IOWA**

**SNYDER & ASSOCIATES, INC.**

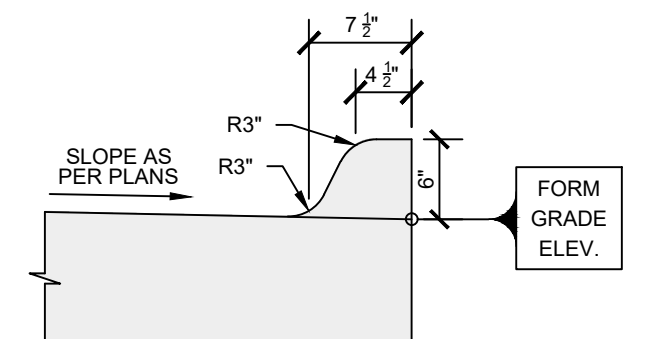
2727 S.W. SNYDER BLVD  
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 515-964-2020 | www.snyder-associates.com

Project No: 124.1054.01  
 Sheet C102

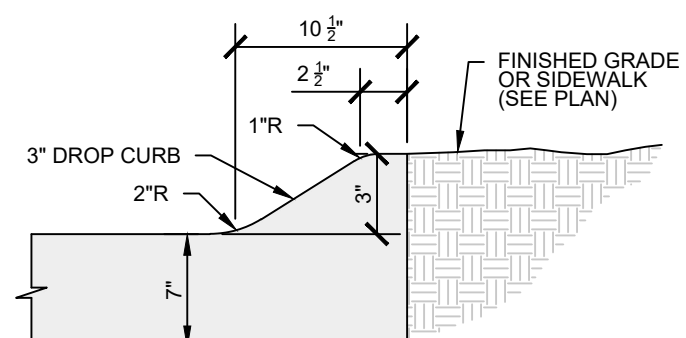
I:\Projects\2024\124.1054.01\EDGELAND\SP\_124.1054.01\SS\_Any\_KENNA\SUBASIC\_EXISTING SITE SURVEY\_20250114\_2241.PLT ANSI FULL BLEED D (34.9X) X 22.00 INCHES



1 INTEGRAL SIDEWALK AND CURB DETAIL  
C200 NO SCALE



2 6-INCH STANDARD CURB  
C200 NO SCALE

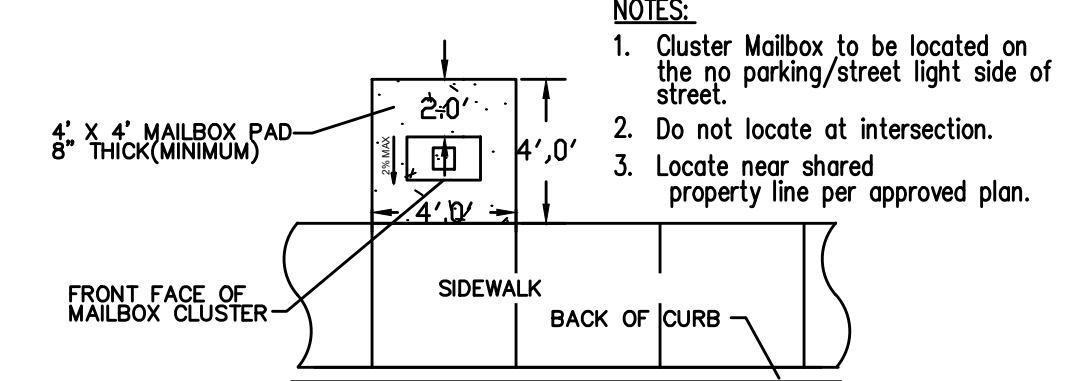


3 3-INCH ROLLED CURB  
C200 NO SCALE

DIMENSION PLAN CONSTRUCTION NOTES

- PROTECT THE FOLLOWING SITE FEATURES:
  - EXISTING UTILITY. ADJUST AS NECESSARY TO ALLOW FOR CONSTRUCTION. VERIFY LOCATION, ELEVATION AND MINIMUM COVER REQUIREMENTS PRIOR TO CONSTRUCTION.
  - EXISTING PAVEMENT.
- DEMOLITION. REMOVE THE FOLLOWING:
  - GRIND EXISTING CURB FOR PAVEMENT CONNECTION.
  - REMOVE EXISTING SIDEWALK.
- PAVEMENTS. PROVIDE THE FOLLOWING:
  - 6" DEPTH PCC PAVEMENT ON 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
  - 4" MINIMUM DEPTH PCC SIDEWALK ON 6" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
  - 8" PCC STANDARD CURB.
  - 3" PCC ROLL CURB.
  - PEDESTRIAN RAMP WITH MAXIMUM SLOPE OF 8.33%. PROVIDE DETECTABLE WARNING PANELS WHERE SHOWN.
  - CONNECT TO EXISTING PCC PAVEMENT. DOWEL WITH #5 BARS EVERY 30". SAW CUT FULL DEPTH. MATCH EXISTING ELEVATIONS. COORDINATE WITH NW 10TH STREET CONTRACTOR TO ENSURE A CURB DROP IS LEFT FOR A SUDAS TYPE A CONNECTION.
  - 5" DEPTH PCC PAVEMENT DRIVEWAYS ON 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
  - 8" PCC, 4"x4" CLUSTER MAIL BOX PAD. SEE DETAIL ON THIS SHEET.
  - INTEGRAL CURB AND 4" PCC SIDEWALK.
  - 8" DEPTH PCC ENTRANCE APPROACH ON 12" DEPTH PREPARED SUBGRADE COMPACTED TO 95% STANDARD PROCTOR DENSITY.
  - SUDAS TYPE A CONNECTION TO BE CONSTRUCTED AS PER STANDARD SPECIFICATIONS.
  - GRIND CURB AS NECESSARY FOR DRIVEWAY INSTALLATION.
  - TAPER CURB IN 3'.
- PAVEMENT MARKINGS. PROVIDE THE FOLLOWING:
  - PAINTED PARKING STALL LINE, 4" WIDE, PAINTED YELLOW.
  - PAINTED 45° STRIPING AT 3' O.C.
  - PAINTED STATE OF IOWA APPROVED DISABLED SYMBOL. AS PER ADAAG REQUIREMENTS.
- SIGNAGE PROVIDE THE FOLLOWING:
  - BLUE SIGN WITH DISABLED SYMBOL READING "PARKING ONLY" AND "\$200 FINE FOR IMPROPER USE" AS PER ADAAG STANDARDS. SECURE SIGN TO FENCE.
  - STOP SIGN. CONTRACTOR TO INSTALL.
- SITE AMENITIES. PROVIDE THE FOLLOWING:
  - PICKLEBALL COURT WITH NETS, 6" BLACK VINYL COATED FENCING, POST AND PAVEMENT MARKINGS.
- SEE ARCHITECTURAL PLANS FOR BUILDING CONSTRUCTION PLANS.

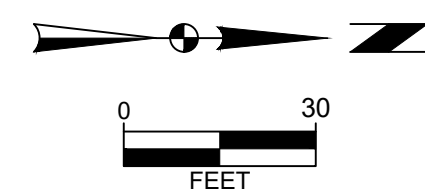
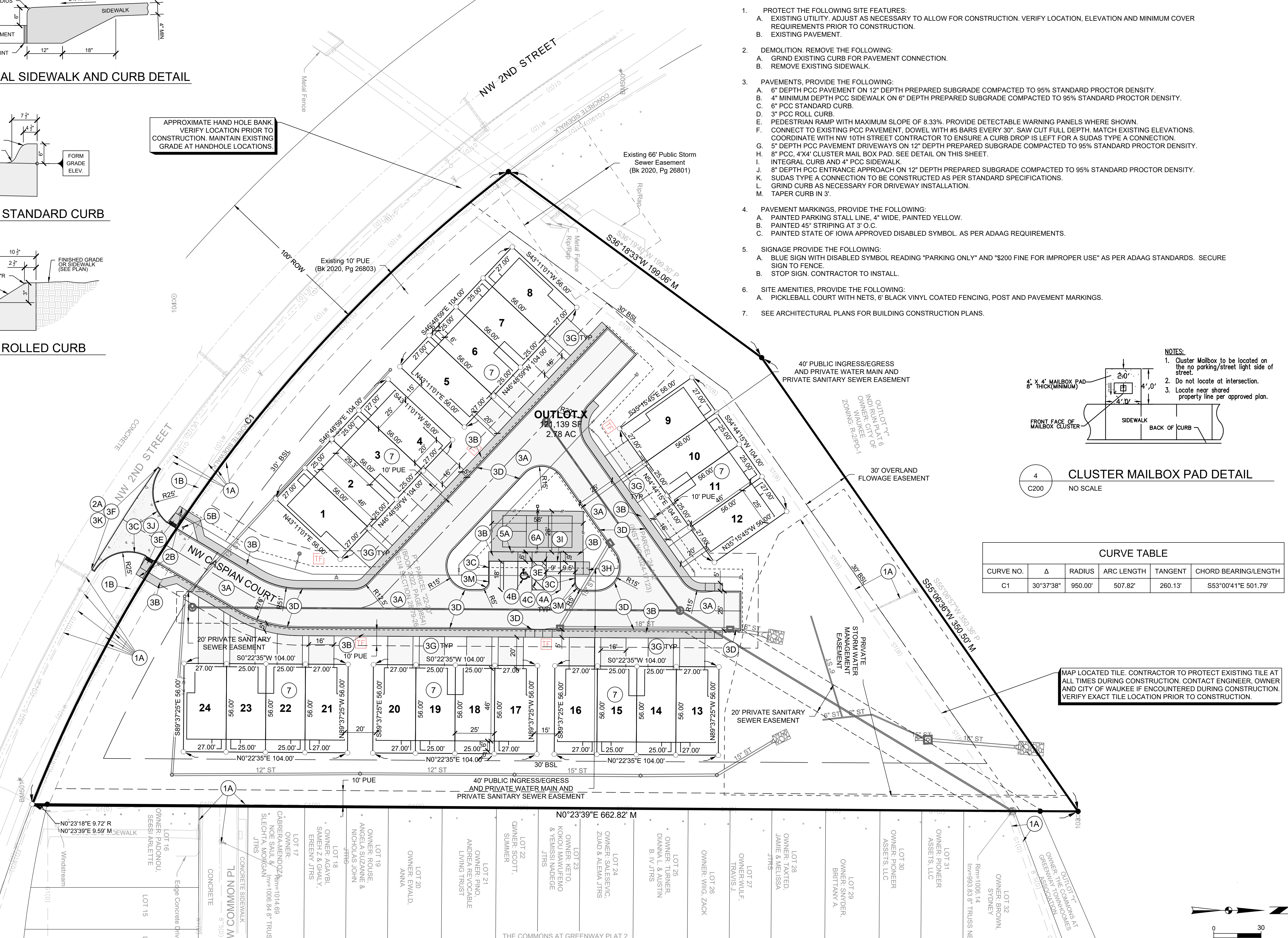
APPROXIMATE HAND HOLE BANK  
VERIFY LOCATION PRIOR TO  
CONSTRUCTION. MAINTAIN EXISTING  
GRADE AT HANDHOLE LOCATIONS.



4 CLUSTER MAILBOX PAD DETAIL  
C200 NO SCALE

CURVE TABLE				
CURVE NO.	Δ	RADIUS	ARC LENGTH	TANGENT CHORD BEARING/LENGTH
C1	30°37'38"	950.00'	507.82'	260.13' S53°00'41"E 501.79'

MAP LOCATED TILE. CONTRACTOR TO PROTECT EXISTING TILE AT ALL TIMES DURING CONSTRUCTION. CONTACT ENGINEER, OWNER AND CITY OF WAUKEE IF ENCOUNTERED DURING CONSTRUCTION. VERIFY EXACT TILE LOCATION PRIOR TO CONSTRUCTION.



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Checked By: KMM  
Engineer: KS  
Technician: LJM  
Date: 11-26-2024  
Scale: 1" = 30'  
T-R-S: TTN-RRW-SS

**EDGELAND WAUKEE PLAT 1**

**DIMENSION PLAN**

**WAUKEE, IOWA**

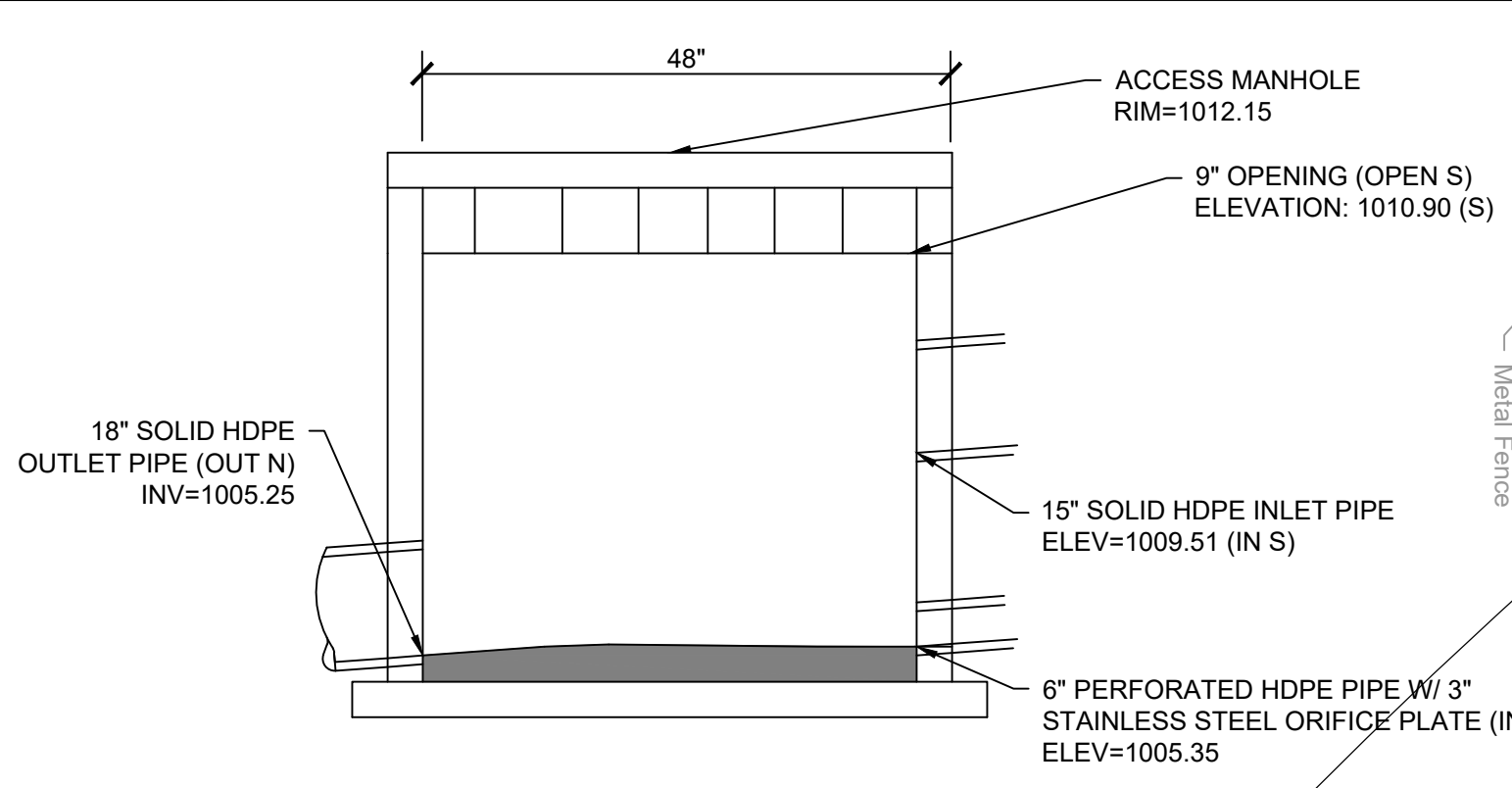
**SNYDER & ASSOCIATES, INC.**

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ANKENY, IOWA 50023  
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**SNYDER & ASSOCIATES**

Project No: 124.1054.01  
Sheet C200

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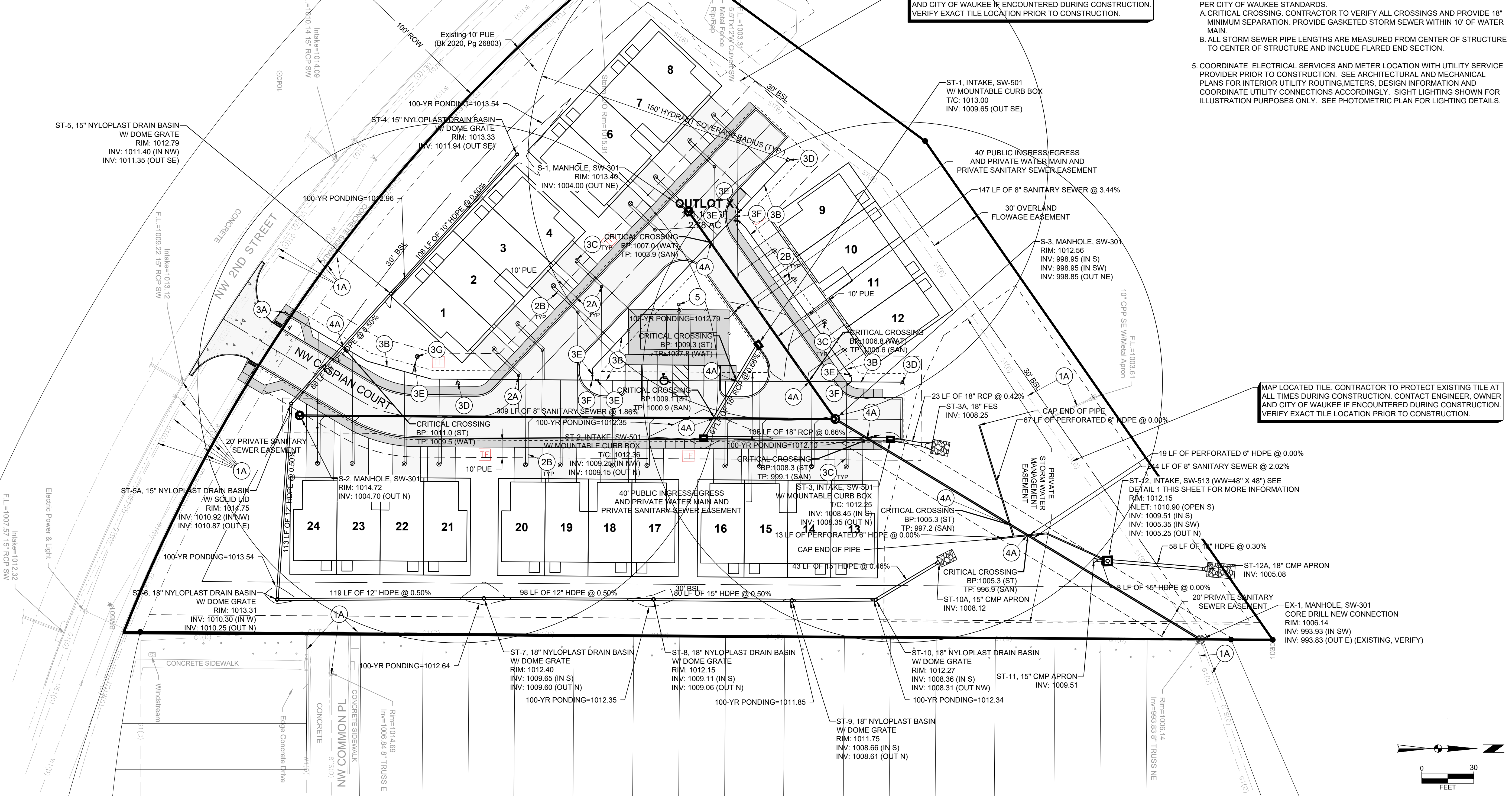
**UTILITY PLAN CONSTRUCTION NOTES**

- EXISTING FEATURES, PROTECT THE FOLLOWING:
  - EXISTING UTILITIES. ANY DAMAGES TO EXISTING UTILITIES THAT ARE NOT SCHEDULED FOR MODIFICATION OR DEMOLITION SHALL BE REMEDIATED AT THE CONTRACTOR'S EXPENSE WITH THE WORK BEING PERFORMED TO THE UTILITY OWNER'S SPECIFICATIONS.
- PRIVATE SANITARY SEWER SERVICE.
  - CLEANOUT.
  - 4" SANITARY SEWER SERVICE LINE (PVC SDR 23.50) AT MINIMUM 2.0%.
  - INSTALL SANITARY SEWER MAIN PER CITY OF WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS. MAIN SHALL BE PVC, TRUSS PIPE.
- PRIVATE WATER SERVICE. PROVIDE THE FOLLOWING AS PER CITY OF WAUKEE STANDARDS.
  - CONNECTION TO EXISTING 12" WATER MAIN WITH 12" X 8" TAPPING VALVE AND SLEEVE. VERIFY LOCATION AND ELEVATION.
  - 8" WATER LINE WITH FITTINGS AND BENDS AS NECESSARY. MINIMUM 5.5' DEEP.
  - 1" WATER SERVICE WITH CURB STOP. INSTALL WATER SERVICE AS PER CITY OF WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS. SERVICE SHALL BE TYPE "K" SEAMLESS, SOFT ANNEALED COPPER WATER TUBE.
  - HYDRANT ASSEMBLY WITH 5-INCH STORZ FITTINGS.
  - 8" VALVE.
  - 8" X 8" TEE.
  - GIRRIIGATION METER PIT WITH 2-INCH WATER LINE. METER PIT SHALL BE LOCATED WITHIN MANHOLE.
- PROVIDE PRIVATE STORM SEWER IMPROVEMENTS AS SHOWN ON THE PLANS AS PER CITY OF WAUKEE STANDARDS.
  - CRITICAL CROSSING. CONTRACTOR TO VERIFY ALL CROSSINGS AND PROVIDE 18" MINIMUM SEPARATION. PROVIDE GASKETED STORM SEWER WITHIN 10' OF WATER MAIN.
  - ALL STORM SEWER PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE AND INCLUDE FLARED END SECTION.
- COORDINATE ELECTRICAL SERVICES AND METER LOCATION WITH UTILITY SERVICE PROVIDER PRIOR TO CONSTRUCTION. SEE ARCHITECTURAL AND MECHANICAL PLANS FOR INTERIOR UTILITY ROUTING, METERS, DESIGN INFORMATION AND COORDINATE UTILITY CONNECTIONS ACCORDINGLY. SIGHT LIGHTING SHOWN FOR ILLUSTRATION PURPOSES ONLY. SEE PHOTOMETRIC PLAN FOR LIGHTING DETAILS.

MAP LOCATED TILE. CONTRACTOR TO PROTECT EXISTING TILE AT ALL TIMES DURING CONSTRUCTION. CONTACT ENGINEER, OWNER AND CITY OF WAUKEE IF ENCOUNTERED DURING CONSTRUCTION. VERIFY EXACT TILE LOCATION PRIOR TO CONSTRUCTION.

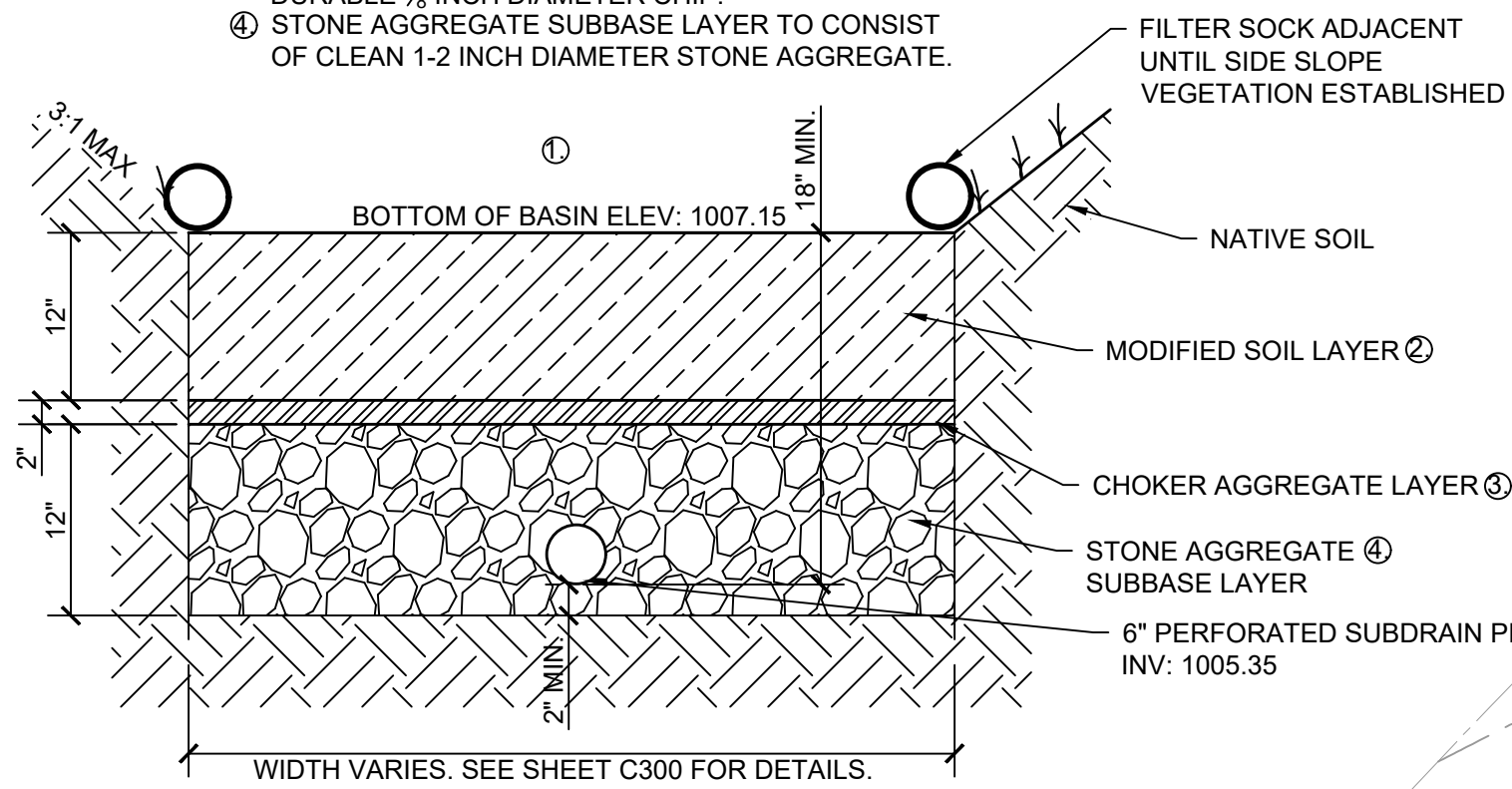
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**1**  
**C300**  
 NO SCALE



- NOTES:
- CONTRACTOR TO PROVIDE PHOTO DOCUMENTATION AS EACH MEDIA LAYER IS INSTALLED TO SUBMIT TO THE CITY FOR FINAL ACCEPTANCE.
  - MODIFIED SOIL LAYER TO CONSIST OF A UNIFORM MIXTURE OF 75-90% WASHED CONCRETE SAND, 0-10% APPROVED ORGANIC MATERIAL, 0-25% TOPSOIL.
  - CHOKER AGGREGATE LAYER TO CONSIST OF DURABLE 3/4 INCH DIAMETER CHIP.
  - STONE AGGREGATE SUBBASE LAYER TO CONSIST OF CLEAN 1-2 INCH DIAMETER STONE AGGREGATE.

NOTE: THIS FACILITY TO BE INSTALLED ONCE UPSTREAM AREAS HAVE BEEN ESTABLISHED W/ PERMANENT VEGETATION.



**BASIN BIORETENTION DETAIL**

NO SCALE

**GRADING NOTES**

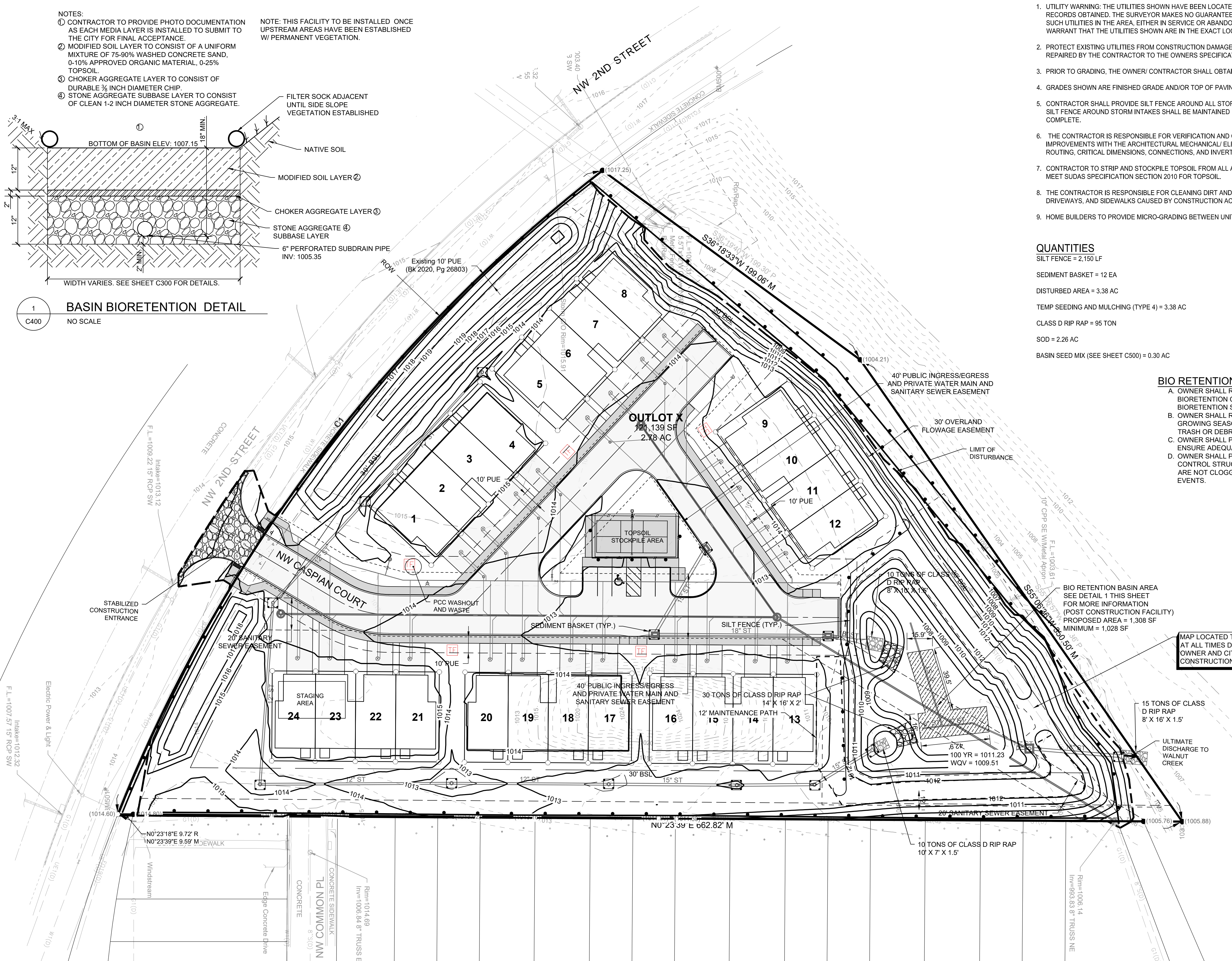
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- PROTECT EXISTING UTILITIES FROM CONSTRUCTION DAMAGE. ANY DAMAGE THAT OCCURS SHALL BE REPAIRED BY THE CONTRACTOR TO THE OWNERS SPECIFICATIONS WITHOUT ADDITIONAL COMPENSATION.
- PRIOR TO GRADING, THE OWNER/ CONTRACTOR SHALL OBTAIN A COSESCO PERMIT.
- GRADES SHOWN ARE FINISHED GRADE AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL PROVIDE SILT FENCE AROUND ALL STORM INTAKES AND WHERE SHOWN ON THE PLAN. SILT FENCE AROUND STORM INTAKES SHALL BE MAINTAINED UNTIL PAVING AND SEEDING/ SODDING ARE COMPLETE.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION AND COORDINATION OF ALL SITE UTILITIES AND IMPROVEMENTS WITH THE ARCHITECTURAL MECHANICAL/ ELECTRICAL/ PLUMBING SYSTEMS INCLUDING ROUTING, CRITICAL DIMENSIONS, CONNECTIONS, AND INVERT ELEVATIONS.
- CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MEET SUDAS SPECIFICATION SECTION 2010 FOR TOPSOIL.
- THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM NEIGHBORING STREETS, DRIVEWAYS, AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES.
- HOME BUILDERS TO PROVIDE MICRO-GRADING BETWEEN UNITS AT 2% MINIMUM TO REAR YARD SWALES.

**QUANTITIES**

- SILT FENCE = 2,150 LF
- SEDIMENT BASKET = 12 EA
- DISTURBED AREA = 3.38 AC
- TEMP SEEDING AND MULCHING (TYPE 4) = 3.38 AC
- CLASS D RIP RAP = 95 TON
- SOD = 2.26 AC
- BASIN SEED MIX (SEE SHEET C500) = 0.30 AC

**BIO RETENTION BASIN MAINTENANCE NOTES**

- OWNER SHALL REMOVE ACCUMULATED SEDIMENT FROM BIORETENTION CELLS PERIODICALLY TO PREVENT BIORETENTION SYSTEMS FROM CLOGGING.
- OWNER SHALL REMOVE ANY WEEDS THROUGHOUT THE GROWING SEASON AND SHALL REMOVE ANY OBSERVED TRASH OR DEBRIS FROM THE BASINS.
- OWNER SHALL PERIODICALLY INSPECT THE SUBRAIN TILE TO ENSURE ADEQUATE SUBSURFACE DRAINAGE IS MAINTAINED.
- OWNER SHALL PERIODICALLY INSPECT THE OUTLET CONTROL STRUCTURES, TO ENSURE THE SMALL 3" ORIFICES ARE NOT CLOGGED WITH DEBRIS FROM LARGER STORM EVENTS.



MAP LOCATED TILE. CONTRACTOR TO PROTECT EXISTING TILE AT ALL TIMES DURING CONSTRUCTION. CONTACT ENGINEER, OWNER AND CITY OF WAUKEE IF ENCOUNTERED DURING CONSTRUCTION.

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3	AS PER CITY COMMENTS	01-14-25	KS
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Engineer: KS  
Checked By: KMM  
Date: 11-26-2024  
Scale: 1" = 30'  
Technician: LJM  
T-R-S: TTN-RRW-SS

**EDGELAND WAUKEE PLAT 1**

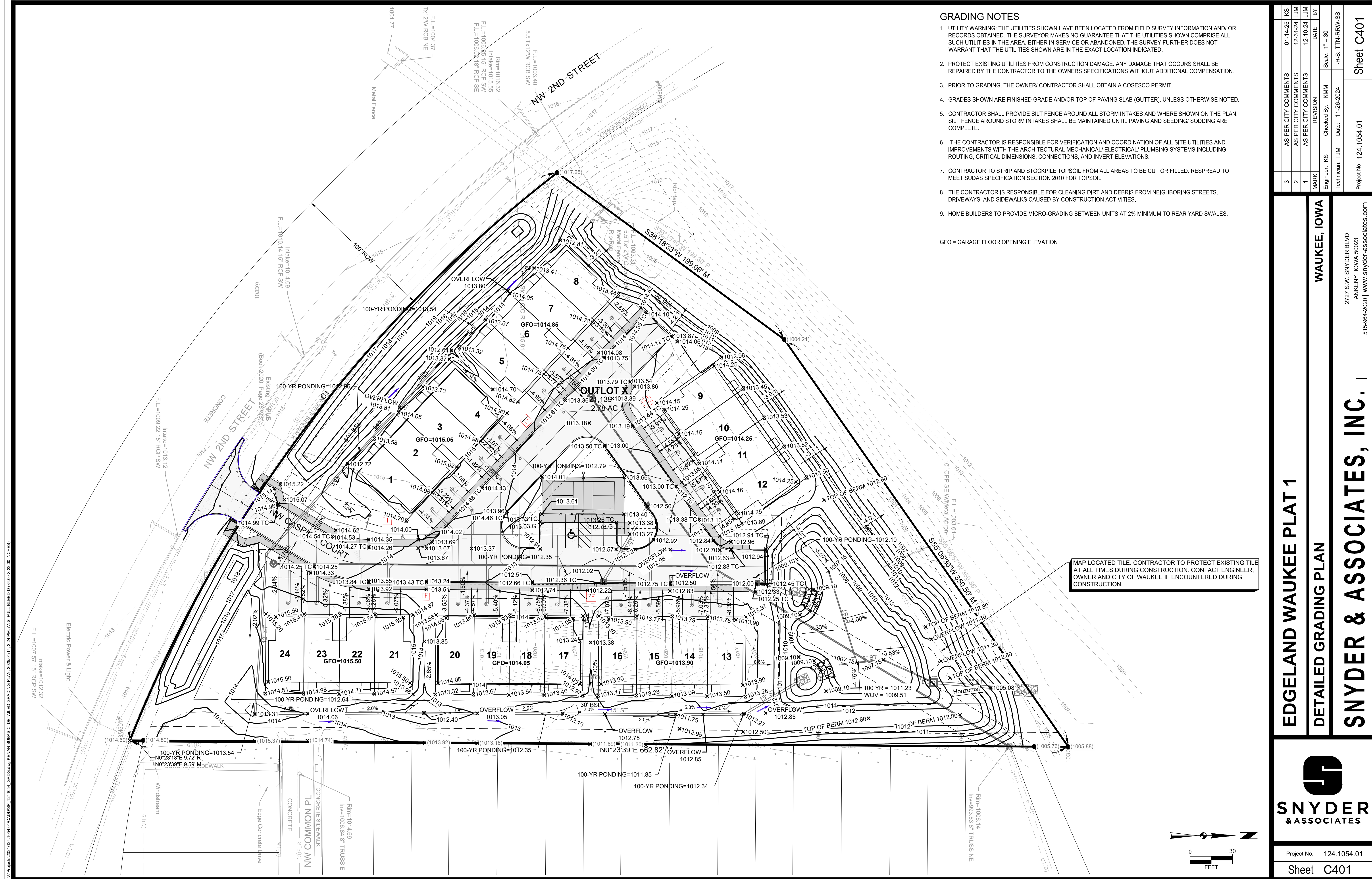
**GRADING AND EROSION CONTROL PLAN**

**WAUKEE, IOWA**

**SNYDER & ASSOCIATES, INC.**

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Sheet C400



**GRADING NOTES**

1. UTILITY WARNING: THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
2. PROTECT EXISTING UTILITIES FROM CONSTRUCTION DAMAGE. ANY DAMAGE THAT OCCURS SHALL BE REPAIRED BY THE CONTRACTOR TO THE OWNERS SPECIFICATIONS WITHOUT ADDITIONAL COMPENSATION.
3. PRIOR TO GRADING, THE OWNER/ CONTRACTOR SHALL OBTAIN A COSESCO PERMIT.
4. GRADES SHOWN ARE FINISHED GRADE AND/OR TOP OF PAVING SLAB (GUTTER), UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL PROVIDE SILT FENCE AROUND ALL STORM INTAKES AND WHERE SHOWN ON THE PLAN. SILT FENCE AROUND STORM INTAKES SHALL BE MAINTAINED UNTIL PAVING AND SEEDING/ SODDING ARE COMPLETE.
6. THE CONTRACTOR IS RESPONSIBLE FOR VERIFICATION AND COORDINATION OF ALL SITE UTILITIES AND IMPROVEMENTS WITH THE ARCHITECTURAL MECHANICAL/ ELECTRICAL/ PLUMBING SYSTEMS INCLUDING ROUTING, CRITICAL DIMENSIONS, CONNECTIONS, AND INVERT ELEVATIONS.
7. CONTRACTOR TO STRIP AND STOCKPILE TOPSOIL FROM ALL AREAS TO BE CUT OR FILLED. RESPREAD TO MEET SUDAS SPECIFICATION SECTION 2010 FOR TOPSOIL.
8. THE CONTRACTOR IS RESPONSIBLE FOR CLEANING DIRT AND DEBRIS FROM NEIGHBORING STREETS, DRIVEWAYS, AND SIDEWALKS CAUSED BY CONSTRUCTION ACTIVITIES.
9. HOME BUILDERS TO PROVIDE MICRO-GRADING BETWEEN UNITS AT 2% MINIMUM TO REAR YARD SWALES.

GFO = GARAGE FLOOR OPENING ELEVATION

MAP LOCATED TILE. CONTRACTOR TO PROTECT EXISTING TILE AT ALL TIMES DURING CONSTRUCTION. CONTACT ENGINEER, OWNER AND CITY OF WAUKEE IF ENCOUNTERED DURING CONSTRUCTION.

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Engineer: KS	Checked By: KMM	Scale: 1" = 30'
Technician: LJM	Date: 11-26-2024	T-R-S: TTN-RRW-SS

Project No: 124.1054.01  
Sheet C401

**EDGELAND WAUKEE PLAT 1**  
**DETAILED GRADING PLAN**

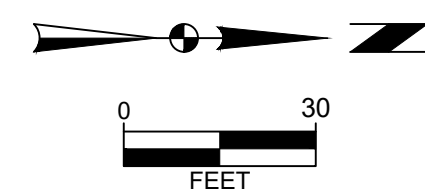
**WAUKEE, IOWA**

**SNYDER & ASSOCIATES, INC.**

2727 S.W. SNYDER BLVD  
ANKENY, IOWA 50023  
515-964-2020 | www.snyder-associates.com

**SNYDER & ASSOCIATES**

Project No: 124.1054.01  
Sheet C401



W:\Projects\2024\124.1054.01\EDGELAND WAUKEE PLAT 1\GRADES\GRADES.DWG, 12/26/24, 11:26 AM, ANS: FULL BLEED D (34.00 X 22.00 INCHES)



**PLANT SCHEDULE**

CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	TYPE
<b>ORNAMENTAL TREES</b>					
AG	21	Amelanchier x grandiflora 'Autumn Brilliance'	Autumn Brilliance Apple Serviceberry	6' Ht.	B&B
AM	8	Maackia amurensis	Amur Maackia	6' Ht.	B&B
MA	12	Malus x 'Adirondack'	Adirondack Crabapple	6' Ht.	B&B
MP	13	Malus x 'Prairifire'	Prairifire Crabapple	6' Ht.	B&B
<b>CONIFERS</b>					
PG	12	Picea glauca	White Spruce	6' Ht.	B&B
PC	14	Picea pungens	Colorado Spruce	6' Ht.	B&B
PS	6	Pinus strobus	White Pine	6' Ht.	B&B
PD	26	Pseudotsuga menziesii	Douglas Fir	6' Ht.	B&B
<b>SHADE TREES</b>					
AA	13	Acer x freemanii 'Jeffersred'	Autumn Blaze® Freeman Maple	8' Ht.	B&B
GA	10	Ginkgo biloba 'Autumn Gold'	Autumn Gold Maidenhair Tree	8' Ht.	B&B
PT	10	Populus tremuloides	Quaking Aspen	8' Ht.	B&B
QR	10	Quercus rubra	Red Oak	8' Ht.	B&B
TC	6	Tilia cordata	Littleleaf Linden	8' Ht.	B&B

NOTE: QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR TO VERIFY PLANT MATERIAL PRIOR TO BIDDING. IN THE CASE OF A DISCREPANCY, THE PLAN QUANTITY SHALL GOVERN.

**PLANTING PLAN GENERAL NOTES**

- A. UTILITY WARNING:  
THE UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND/OR RECORDS OBTAINED. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEY FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED.
- B. NOTIFY UTILITY OWNERS PRIOR TO BEGINNING ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR DETERMINING EXISTENCE, EXACT LOCATION AND DEPTH OF ALL UTILITIES. AVOID DAMAGE TO UTILITIES AND SERVICES DURING CONSTRUCTION. ANY DAMAGE DUE TO THE CONTRACTOR'S CARELESSNESS SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE. COORDINATE AND COOPERATE WITH UTILITY COMPANIES DURING CONSTRUCTION.
- C. ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1-LATEST EDITION).
- D. CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.

**PLANTING PLAN CONSTRUCTION NOTES**

- PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH IN A MIN 3-FOOT PERIMETER RING AROUND ALL TREES. PROVIDE VERTICAL CUT NATURAL EDGE TO A DEPTH OF 4-INCHES.
- PROVIDE 3-INCH DEPTH SHREDDED HARDWOOD MULCH IN PLANT BED AREAS AS INDICATED ON PLAN.
- PROVIDE 3/16" BLACK STEEL EDGER WITH STAKES.
- SOD ALL AREAS DISTURBED BY CONSTRUCTION ON SITE INCLUDING ROW UNLESS NOTED OTHERWISE.
- PROVIDE DETENTION BASIN SEED MIX AS PROVIDED BY PRAIRIE MOON NURSERY. WWW.PRAIRIEMOON.COM, 32115 PRAIRIE LANE, WINONA, MN 55987, OR APPROVED EQUAL SEEDING RATE: 11.48 LBS/ACRE. INSTALL AS PER SUDAS SPECIFICATIONS 9010 SEEDING.  
PROFILE PRODUCTS LLC., 750 LAKE COOK ROAD - SUITE 400 BUFFALO GROVE, IL 60089  
P: 1-900-366-1180  
WWW.PROFILEPRODUCTS.COM OR APPROVED EQUAL.
- PROVIDE MECHANICALLY-BONDED FIBER MATRIX IMMEDIATELY FOLLOWING SEED APPLICATION ON ALL AREAS SEEDED WITH A SLOPE OF 6:1 OR GREATER. ACCEPTABLE PRODUCTS AND MANUFACTURERS:  
PROFILE PRODUCTS LLC., 750 LAKE COOK ROAD - SUITE 400 BUFFALO GROVE, IL 60089  
P: 1-900-366-1180  
WWW.PROFILEPRODUCTS.COM OR APPROVED EQUAL.

**PLANTING PLAN REQUIREMENTS**

(LANDSCAPE CALCULATIONS BASED UPON CITY OF WAUKEE ZONING CODE REQUIREMENTS AND THE KETTLESTONE DESIGN GUIDELINES PUD)

20% OPEN SPACE REQUIRED  
156,258.57 SF (TOTAL LOT) x 20% = 31,251.71 SF REQUIRED (98,541.95 SF OR 63.06% PROVIDED)

2 TREES PER DWELLING UNIT REQUIRED. 24 DWELLING UNITS.  
2 x 24 = 48 TREES REQUIRED.

MINIMUM OF 50% OF TOTAL REQUIRED TREES SHALL BE OVERSTORY SHADE TREES.

OFF-STREET PARKING AREAS:  
50% OF PARKING LOT ISLANDS SHALL HAVE A MINIMUM OF 1 OVERSTORY TREE.

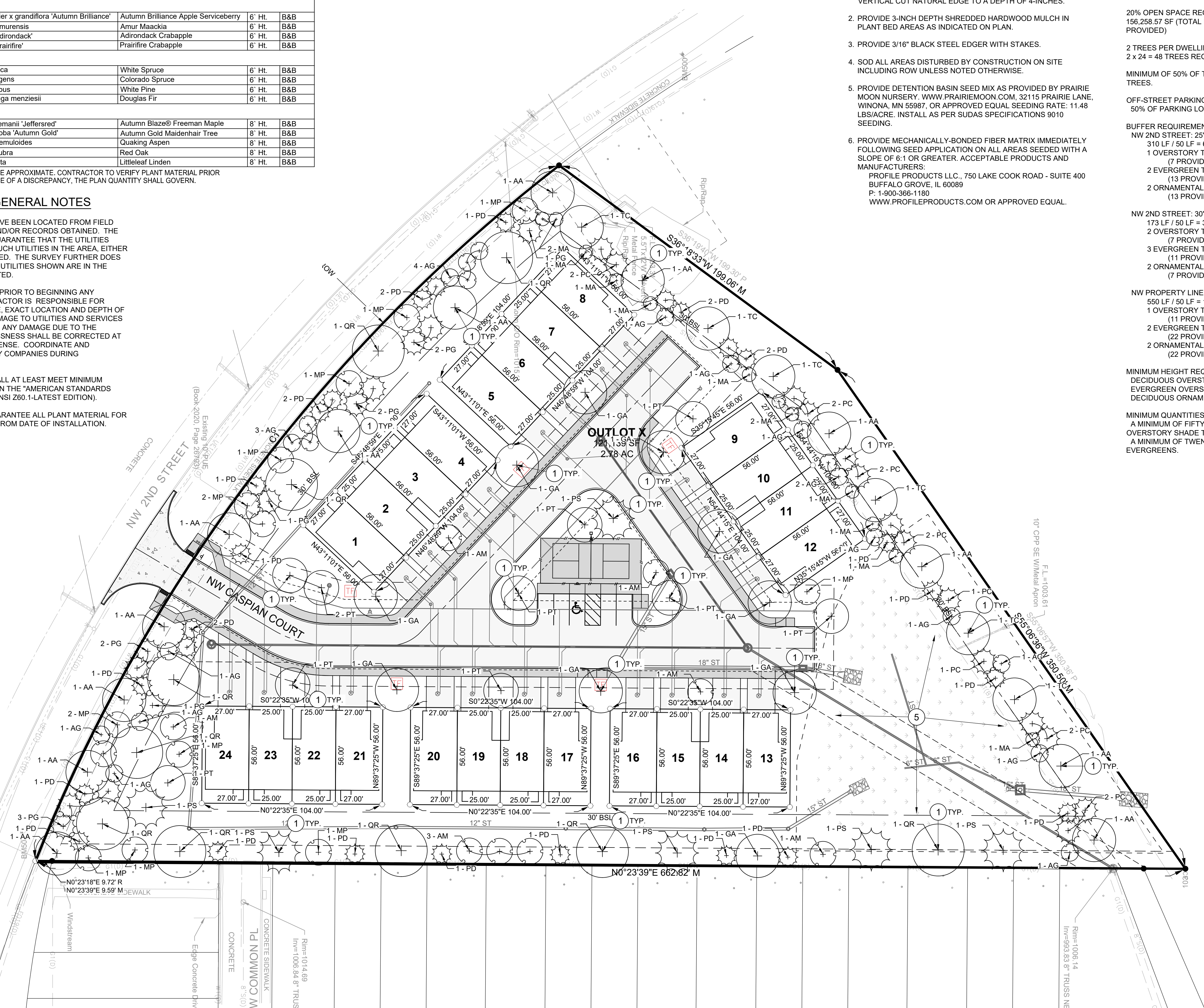
BUFFER REQUIREMENT:  
NW 2ND STREET: 25' BUFFER REQUIRED (310 LF)  
310 LF / 50 LF = 6.2 P.U.  
1 OVERSTORY TREE x 6.2 P.U. = 6.2 OVERSTORY TREES REQUIRED.  
(7 PROVIDED)  
2 EVERGREEN TREES x 6.2 P.U. = 12.4 EVERGREEN TREES REQUIRED.  
(13 PROVIDED)  
2 ORNAMENTAL TREES x 6.2 P.U. = 12.4 EVERGREEN TREES REQUIRED.  
(13 PROVIDED)

NW 2ND STREET: 30' BUFFER REQUIRED (173 LF)  
173 LF / 50 LF = 3.46 P.U.  
2 OVERSTORY TREES x 3.46 P.U. = 6.92 OVERSTORY TREES REQUIRED.  
(7 PROVIDED)  
3 EVERGREEN TREES x 3.46 P.U. = 10.38 EVERGREEN TREES REQUIRED.  
(11 PROVIDED)  
2 ORNAMENTAL TREES x 3.46 P.U. = 6.92 ORNAMENTAL TREES REQUIRED.  
(7 PROVIDED)

NW PROPERTY LINE: 25' BUFFER REQUIRED (550 LF)  
550 LF / 50 LF = 11 P.U.  
1 OVERSTORY TREE x 11 P.U. = 11 TREES REQUIRED.  
(11 PROVIDED)  
2 EVERGREEN TREES x 11 P.U. = 22 EVERGREEN TREES REQUIRED.  
(22 PROVIDED)  
2 ORNAMENTAL TREES x 11 P.U. = 22 ORNAMENTAL TREES REQUIRED.  
(22 PROVIDED)

MINIMUM HEIGHT REQUIREMENTS:  
DECIDUOUS OVERSTORY TREES SHALL BE A MINIMUM OF 8' IN HEIGHT.  
EVERGREEN OVERSTORY TREES SHALL BE A MINIMUM OF 6' IN HEIGHT.  
DECIDUOUS ORNAMENTAL TREES SHALL BE A MINIMUM OF 6' IN HEIGHT.

MINIMUM QUANTITIES:  
A MINIMUM OF FIFTY PERCENT (50%) OF ALL REQUIRED TREES SHALL BE OVERSTORY SHADE TREES.  
A MINIMUM OF TWENTY-FIVE (25%) OF ALL REQUIRED TREES SHALL BE EVERGREENS.



EDGELAND WAUKEE PLAT 1

PLANTING PLAN

SNYDER & ASSOCIATES, INC.



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MARK	REVISION	DATE	BY
3	AS PER CITY COMMENTS	01-14-25	KS
2	AS PER CITY COMMENTS	12-31-24	LJM
1	AS PER CITY COMMENTS	12-10-24	LJM

Checked By: KMM  
Date: 11-26-2024  
T-R-S: TTN-RRW-SS  
Scale: 1" = 30'

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