

VICINITY SKETCH
NO SCALE

NOTES (GENERAL)

- ONE WEEK PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL NOTIFY:
 - CITY OF WAUKEE ENGINEERING DEPARTMENT
 - NEXT PHASE DEVELOPMENT
 - COOPER CRAWFORD & ASSOCIATES, L.L.C.
- ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
- THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH 2024 WAUKEE STANDARD SPECIFICATIONS AND 2024 SUDAS.
- SIDEWALK AND DRIVE APPROACH INSTALLATIONS TO BE INSPECTED BY CITY OF WAUKEE ENGINEERING DEPARTMENT, MINIMUM 24 HOUR NOTICE.
- PROVIDE 2' CONCRETE BOXOUT AROUND ALL INTAKES AND MANHOLES WITHIN PAVED AREAS.
- ALL DEBRIS SPILLED ON CITY R.O.W. AND ADJOINING PROPERTY SHALL BE REMOVED BY OWNER/CONTRACTOR BY THE END OF THE WORK DAY AND PRIOR TO RAIN EVENT. VERIFY COORDINATES AND BUILDING CORNERS WITH ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION.
- ALL SITE WORK, SODDING AND LANDSCAPING SHALL BE IN ACCORDANCE WITH 2024 WAUKEE STANDARD SPECIFICATIONS AND 2024 SUDAS.
- PAVING SHALL BE A MINIMUM OF 8-INCH P.C.C. IN PUBLIC RIGHT-OF-WAY OR MATCH EXISTING STREET THICKNESS, WHICHEVER IS LESS AND 6-INCH P.C.C. IN PRIVATE DRIVES AND PARKING LOTS.
- EXISTING TREES WILL BE SAVED TO THE EXTENT POSSIBLE TO ACCOMMODATE GRADING, UTILITY AND STREET CONSTRUCTION.
- ALL LIGHTING MUST COMPLY WITH THE CITY OF WAUKEE LIGHTING REQUIREMENTS.
- ALL MECHANICAL UNITS THAT ARE ROOFTOP UNITS MUST BE SCREENED FROM STREET LEVEL VIEW.
- ALL EXTERIOR PARKING LOT AND BUILDING MOUNTED LIGHT FIXTURES MUST BE LOW GLARE, "CUT OFF" FIXTURES.
- ANY PROPOSED CHANGES TO THE PLAN SET SHALL BE APPROVED IN WRITING BY THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR ANY CHANGES MADE DURING CONSTRUCTION THAT HAVE NOT BEEN GRANTED APPROVAL IN WRITING BY THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT.
- PAVEMENT AND/OR RETAINING WALL REPLACEMENT WILL BE THE OWNER'S EXPENSE SHOULD THE CITY NEED TO PERFORM MAINTENANCE WITHIN THE EASEMENT.
- ALL WORK DONE SHALL BE IN CONFORMANCE WITH CURRENT EDITIONS OF THE 2024 WAUKEE STANDARD SPECIFICATIONS AND 2024 SUDAS.
- THERE SHALL BE ACCESS ROADS PROVIDED WITHIN 100 FEET OF THE BUILDING THAT CAN SUPPORT A FIRE APPARATUS AND MAINTAINED IN ALL WEATHER CONDITIONS IN PLACE WHEN BUILDING WALLS BEING GOING UP.
- CONTRACTOR WILL BE RESPONSIBLE FOR LANE CLOSURE AND NECESSARY TRAFFIC.
- ALL TRASH WILL BE KEPT INSIDE BY THE INDIVIDUAL UNIT OWNER. TRASH WILL BE BROUGHT OUT FOR PICK UP AND IT WILL BE NOTED IN THE BYLAWS THAT NO OUTSIDE TRASH CAN BE STORED.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES. IF PAVING IS NOT INSTALLED PRIOR TO BUILDING CONSTRUCTION COMMENCING AFTER FOOTING INSTALLED, AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING TO EXTEND WITHIN 100 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS SHALL BE PROVIDED AND COMPLY WITH THE REQUIREMENTS OF SECTION 503.2 OF THE IFC.
- ANY FUTURE TENANT IMPROVEMENTS / BUILDS OUT OF EACH TENANT SPACE REQUIRES PERMIT PRIOR TO START WORKING.

PARKING CALCULATIONS

1 SPACE / 20,000 S.F. STORAGE
 16,168 / 20,000 = 1
 1 SPACES REQUIRED
 16 SPACES PROVIDED INCLUDING 1 HANDICAP STALLS

SITE PLAN
WBP STORAGE

1035 SE FRONTIER AVENUE, WAUKEE
OWNER / APPLICANT

NEXT PHASE DEVELOPMENT LLC
 REID TAMISIEA
 1690 ALL STATE COURT #120
 WDM, IA 50265
 PH. 515-721-9115 Reid@nextphasedev.com

ZONING

EXISTING: M-1 / PD-1

SETBACKS

FRONT -30'
 SIDE -0'
 REAR -35'

BUILDING HEIGHT

MAX BUILDING HEIGHT 40'
 20.5 FEET PROPOSED

BUILDING USE

OFFICE / STORAGE UNITS

LEGAL DESCRIPTION

LOT 21 WESTGATE BUSINESS PARK PLAT 2, AN OFFICIAL PLAT, CITY OF WAUKEE, DALLAS COUNTY, IOWA.

SAID TRACT OF LAND CONTAINS 0.915 ACRES MORE OR LESS.

SAID TRACT OF LAND SUBJECT ALL EASEMENTS OF RECORD.

SITE AREAS

BUILDINGS	16,168 S.F.	40.5%
PAVING	16,469 S.F.	41.3%
OPEN SPACE	7,259 S.F.	18.2%
TOTAL	39,896 S.F.	100%

TOTAL IMPERVIOUS AREA (BUILDINGS, PAVING, & WALKS) 32,637 S.F. 81.8%
 REQUIRED OPEN SPACE = 3,990 S.F. (39,896 * 10%)
 ESTIMATED DISTURBED AREA = 39,800 S.F.

LEGEND

- EXISTING/PROPOSED
- PLAT BOUNDARY
 - W 8" WATER MAIN & SIZE
 - SAN 8" SANITARY SEWER & SIZE
 - ST 8" STORM SEWER & SIZE
 - UGE UNDERGROUND ELECTRIC CABLE
 - UGT UNDERGROUND TELEPHONE CABLE
 - CTV UNDERGROUND CABLE TV
 - G 4" GAS MAIN & SIZE
 - MANHOLE
 - INTAKE
 - ▽ HYDRANT
 - P.P./P. POWER POLE/LIGHT POLE
 - P.P./P. UTILITY BOX/TELEPHONE RISER
 - - - EXISTING CONTOURS
 - - - PROPOSED CONTOURS
 - * * * SILT FENCE OR APPROVED FILTRATION SOCK
 - ☁ TREES

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

KEVEN J. CRAWFORD, P.E. IOWA LICENSE NO: 13156
 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2026
 PAGES OR SHEETS COVERED BY THIS SEAL:
 (SHEETS 1-5)

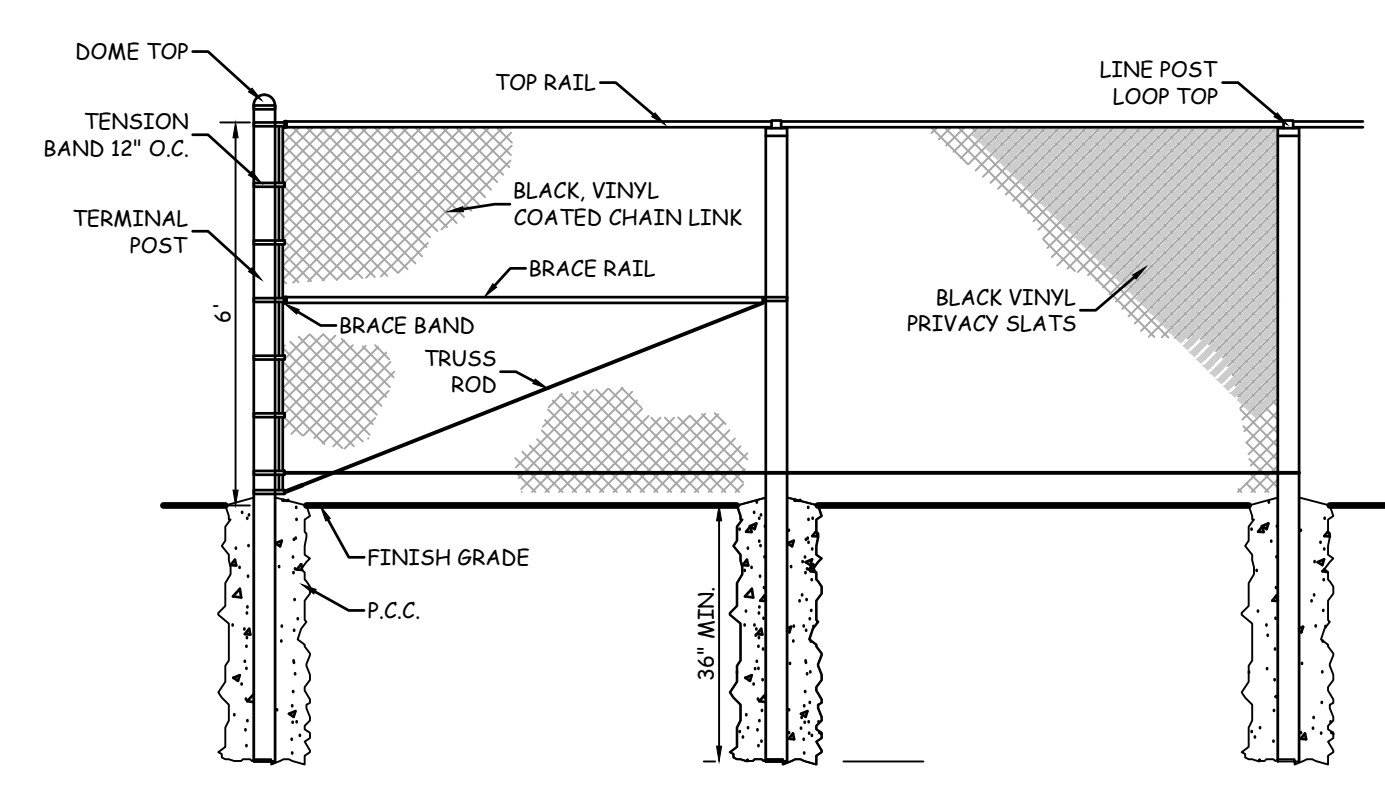
COOPER CRAWFORD & Associates
 Civil Engineers & Land Surveyors
 475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
 PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 6-25-2024
 REVISIONS: 7-10-2024
 8-6-2024
 9-5-2024
 9-26-2024
 12-13-2024
 1-23-2025

JOB NUMBER
CC 2845

AS-BUILT:
DIMENSION PLAN
WBP WAREHOUSE

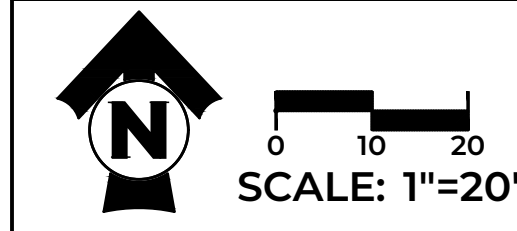
SHEET
1 OF 5



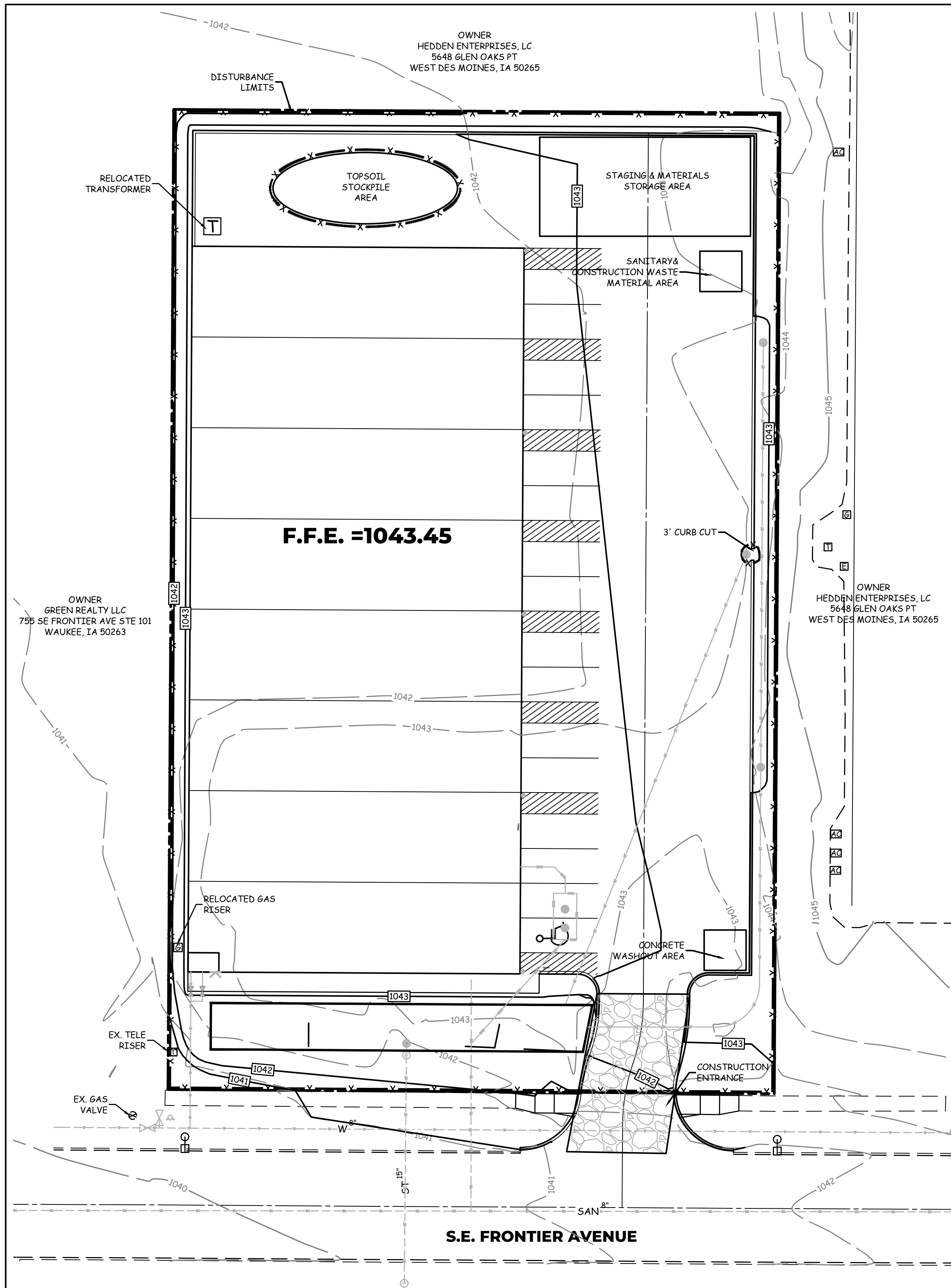
CHAIN LINK FENCE DETAIL
NO SCALE

SHEET INDEX

- DIMENSION PLAN
- GRADING & DEMOLITION PLAN
- EROSION & SEDIMENT CONTROL
- UTILITY PLAN
- LANDSCAPE PLAN



SCALE: 1"=20'



DISTURBED AREA CALCULATIONS

TOTAL SITE AREA = 39,896 S.F.
 DISTURBED AREA = 39,896 S.F. (78.8%)

EROSION CONTROL QUANTITIES

15 L.F.	INLET PROTECTION
970 L.F.	SILT FENCE
1,025 S.F.	CONSTRUCTION ENTRANCE
115 S.F.	CONCRETE WASHOUT
7,310 S.F.	SOD

**SITE PLAN
 WBP STORAGE**

**1035 SE FRONTIER AVENUE, WAUKEE
 NOTES (EROSION & POLLUTION CONTROL)**

1. THE SUBCONTRACTOR RESPONSIBLE FOR EROSION AND POLLUTION CONTROL SHALL CARRY OUT THE MEASURES DETAILED ON THIS SITE PLAN. CONTROLS MUST BE IN GOOD OPERATING CONDITION UNTIL THE CONSTRUCTION ACTIVITY IS COMPLETE AND FINAL STABILIZATION HAS BEEN REACHED.
2. AFTER INITIAL GRADING PRIOR TO UTILITY CONSTRUCTION - ALL DISTURBED AREAS OUTSIDE OF THE PROPOSED R.O.W.'S ARE TO HAVE TEMPORARY SEEDING AND MULCHING (TYPE 4 SEED MIXTURE PER SUDAS TABLE 9010.09). CONTRACTOR AND SUBS ARE TO TRY TO MINIMIZE DISTURBANCE TO THESE SEEDING AREAS THROUGH THE USE OF SPECIFIC ACCESS ROUTES WITHIN THE SITE.
3. DURING CONSTRUCTION, IF IT BECOMES EVIDENT THAT A DISTURBED AREA WILL NOT BE DISTURBED FOR 14 DAYS, IT SHALL BE STABILIZED IMMEDIATELY. SODDING TO BE DONE IMMEDIATELY AFTER FINAL GRADING.
4. ANY FAILED AREAS OF SEEDING/MULCHING SHALL BE REAPPLIED.
5. ANY SOIL OR SPILL WASHED, TRACKED OR DROPPED ONTO ADJOINING RIGHT-OF-WAYS AND PROPERTY WILL BE CLEANED UP BY THE END OF THE WORKING DAY AND PRIOR TO A RAIN EVENT.
6. FILTER SOCKS ARE TO BE INSPECTED ONCE A WEEK AND AFTER EACH RAINSTORM. LOOK FOR UNDERCUTTING AND FAILURES IN FABRIC. REPLACE/REPAIR AS NECESSARY.
7. ADDITIONAL FILTER SOCKS (TO THAT SHOWN ON THIS PLAN) MAY BE REQUIRED IN AREAS WHERE EROSION IS EVIDENT.
8. FILTER SOCKS ARE TO BE CLEANED UP WHEN THEY HAVE LOST 50% OF THEIR CAPACITY.
9. ALL INTAKES SHALL HAVE FILTER SOCKS PRIOR TO PAVING AND INLET FILTERS AFTER PAVING. THESE FILTERS REMAIN IN PLACE UNTIL THE SITE HAS A PERMANENT PERENNIAL GROUND COVER.
10. ALL INTAKES SHALL BE COVERED DURING CONSTRUCTION TO PREVENT SEDIMENTATION DEPOSITS WITHIN THE STORM SEWER.
11. IN THE EVENT THAT SEEDING/MULCHING DOES NOT OCCUR PRIOR TO WINTER, ALL DISTURBED AREAS WILL BE MULCHED.
12. NO BORROW/SPOILS SITES ARE ANTICIPATED.
13. EROSION CONTROL CONTACT NEXT PHASE DEVELOPMENT.
14. CONTRACTOR WILL PROVIDE SAWCUTTING / GRINDING SLURRY CONTAINMENT AND DISPOSAL.

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 - ☁ TREES

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	AS-BUILT: EROSION & SEDIMENT CONTROL PLAN WBP WAREHOUSE	SHEET 2 OF 5

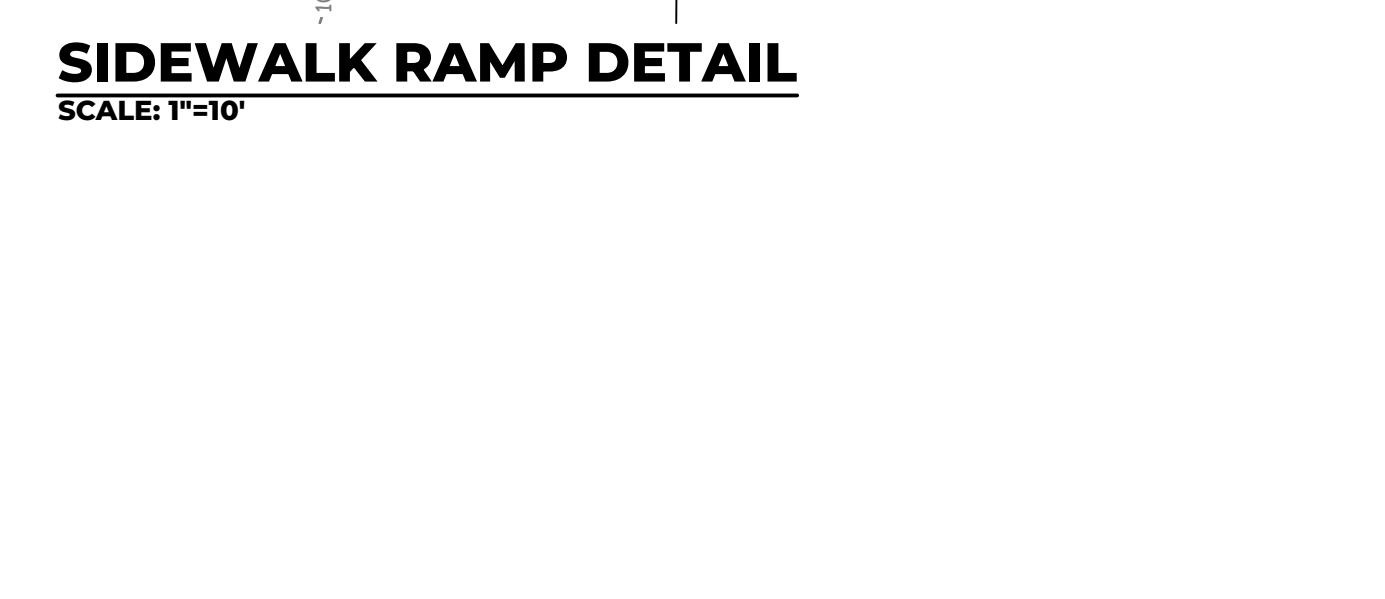
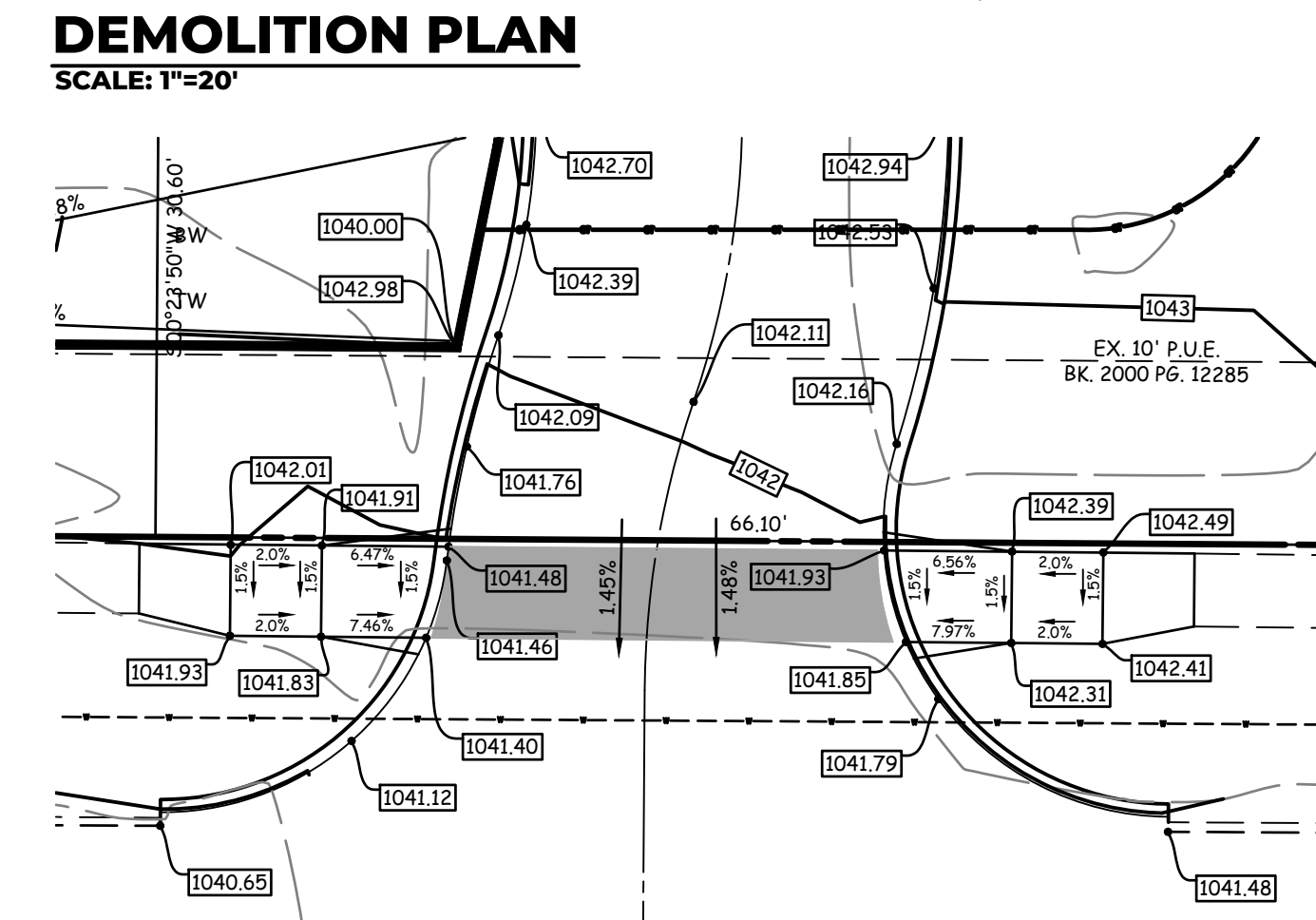
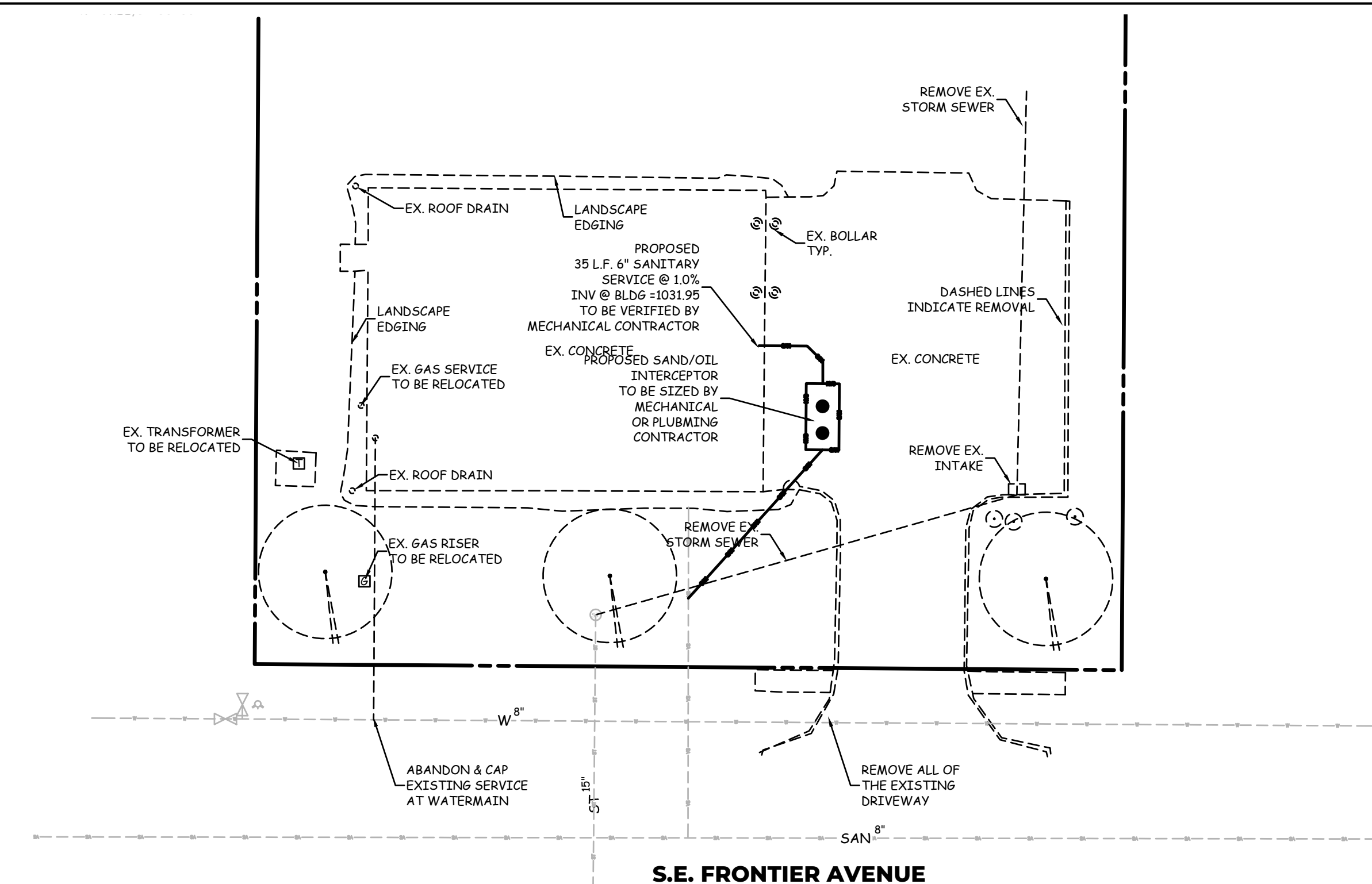
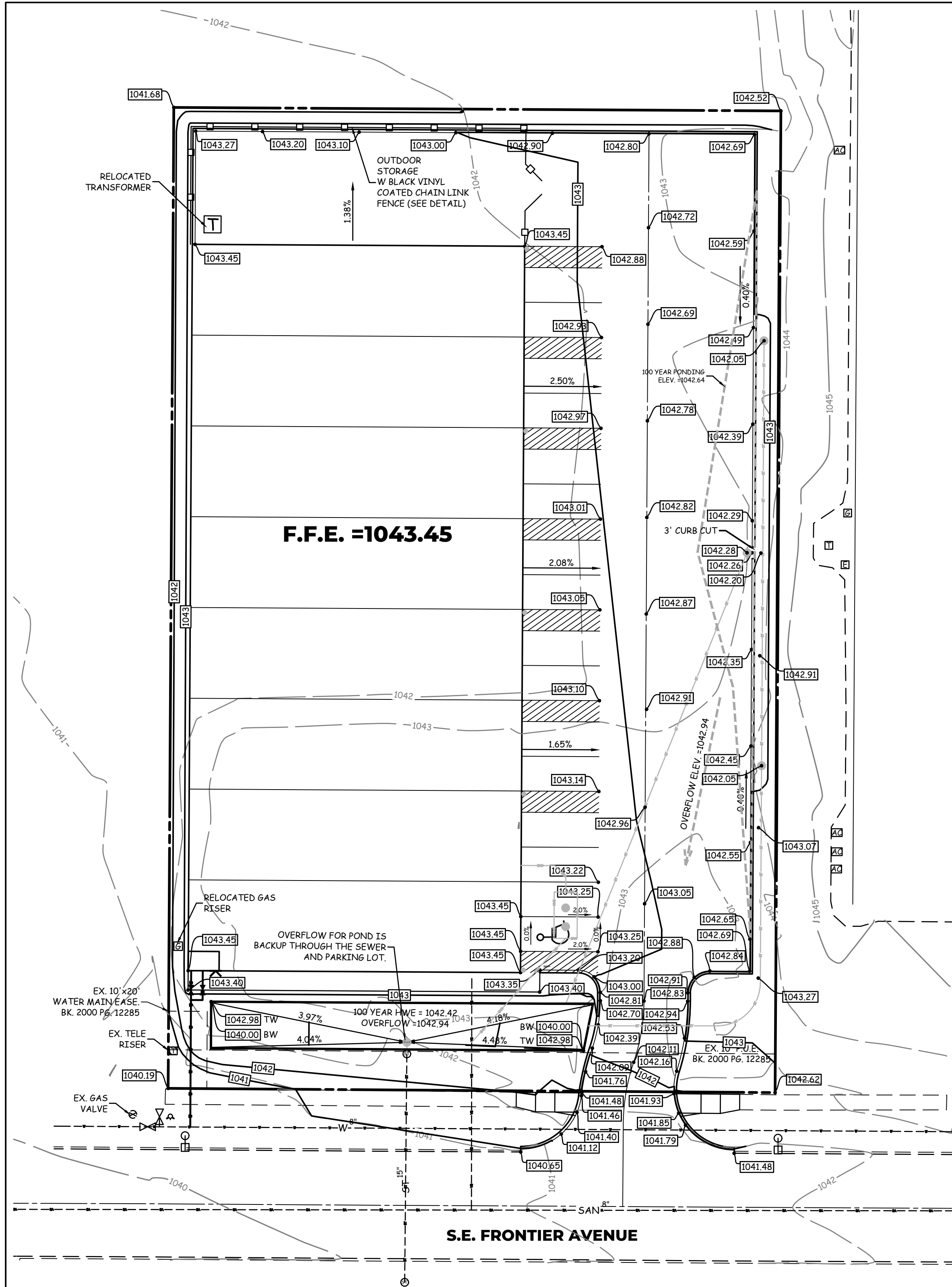


SITE PLAN WBP STORAGE

1035 SE FRONTIER AVENUE, WAUKEE

NOTES (GRADING)

- ALL DIMENSIONS ARE TO BACK OF CURB, OUTSIDE OF BUILDING WALL, AND TO PROPERTY LINES.
- THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
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- STRIP TOPSOIL FROM ALL AREAS WHICH ARE TO BE FILLED OR CUT.
- STOCKPILE SUFFICIENT TOPSOIL TO ALLOW FINISH GRADING WITH A FINISHED GRADE OF 8 INCHES OF SALVAGED OR AMENDED TOPSOIL.
- ALL AREAS TO RECEIVE FILL TO BE BENCHED.
- PREPARE BOTTOM OF BENCH FOR FILL BY DISCTING TO A DEPTH OF 6-INCHES.
- ALL SITE GRADING FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR AND MEET ALL GEOTECHNICAL RECOMMENDATIONS.
- MAINTAIN ALL CUT AND FILL AREAS FOR SURFACE DRAINAGE AT ALL TIMES.
- FINAL GRADES WITHIN PAVED AREAS SHALL BE WITHIN 0.1' OF PLAN GRADE. ALL OTHER AREAS TO BE WITHIN 0.2' OF PLAN GRADE.
- A MINIMUM OF ONE FOOT OF COMPACTED COHESIVE SUBGRADE SHALL BE PROVIDED BENEATH ALL PAVEMENT.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH 2024 WAUKEE STANDARD SPECIFICATIONS AND 2024 SUBAS.
- EXISTING TREES WILL BE SAVED TO THE EXTENT POSSIBLE TO ACCOMMODATE GRADING, UTILITY AND STREET CONSTRUCTION.
- ALL WORK WITHIN PUBLIC R.O.W., CONNECTION TO PUBLIC IMPROVEMENTS, AND ALL WORK ASSOCIATED WITH PUBLIC IMPROVEMENTS SHALL COMPLY WITH THE CITY OF WAUKEE STANDARD SPECIFICATIONS.
- FOUNDATIONS SUPPORTING WOOD SHALL EXTEND AT LEAST 6" ABOVE ADJACENT GRADE AND THE CLEARANCE BETWEEN ANY SIDING MATERIAL AND THE SOIL SHALL BE A MINIMUM OF 6".
- THE GROUND IMMEDIATELY ADJACENT TO THE FOUNDATION SHALL BE SLOPED AWAY FROM THE BUILDING AT NO LESS THAN 1:12 FOR A DISTANCE OF 6'.
- THE SHOPS AT WBP STORAGE OWNER'S ASSOCIATION SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PRIVATE STORM SEWERS AND COMMON AREAS, INCLUDING THE DETENTION POND.
- ANY GRADING WITHIN PUBLIC R.O.W. WILL NEED TO CONFORM WITH THE CITY OF WAUKEE STANDARD SPECIFICATIONS.
- ALL SIDEWALK SLOPES GREATER THAN 1 UNIT VERTICAL IN 20 UNITS HORIZONTAL SHALL BE ACCOMPANIED BY A HANDRAIL.
- CROSS SLOPE ON ALL SIDEWALKS NOT TO EXCEED 2.00%.
- ALL SPOTS ARE TO TOP OF SLAB UNLESS OTHERWISE NOTED.
- ON-SITE INSPECTION SHALL BE REQUESTED WITH THE BUILDING DIVISION PRIOR TO PLACE OF ANY CONCRETE RAMPS.



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 - CTV 6" UNDERGROUND CABLE TV
 - MANHOLE
 - INTAKE
 - HYDRANT
 - PP/LP POWER POLE/LIGHT POLE
 - UTILITY BOX/TELEPHONE RISER
 - EXISTING CONTOURS
 - 990 PROPOSED CONTOURS
 - SILT FENCE OR APPROVED FILTRATION SOCK
 - TREES

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GRADING & DEMOLITION PLAN
WBP WAREHOUSE

SHEET 3 OF 5

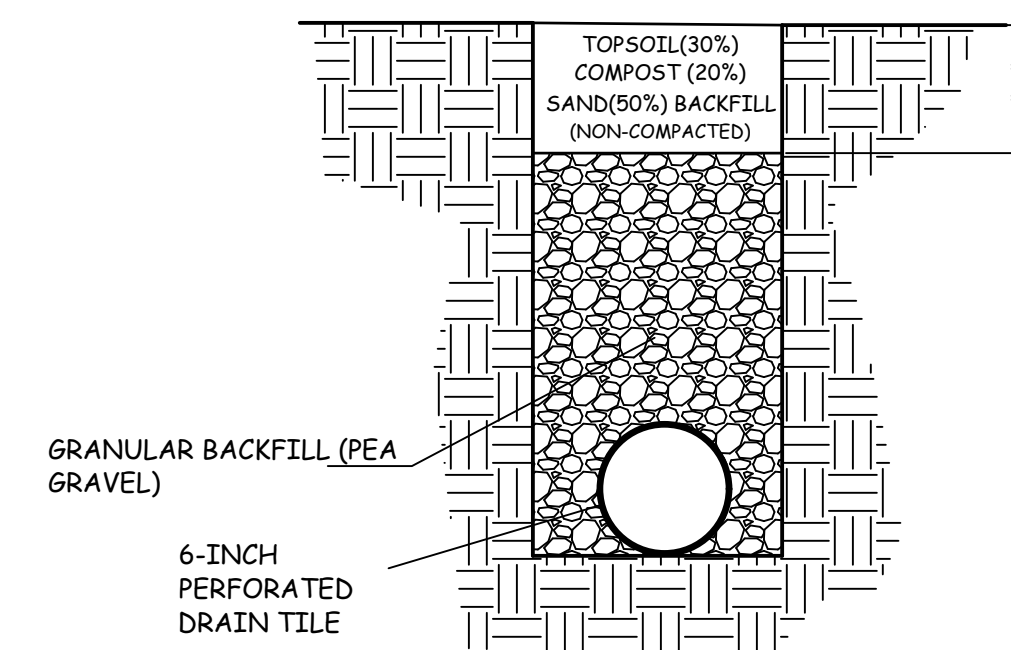


SITE PLAN WBP STORAGE

1035 SE FRONTIER AVENUE, WAUKEE

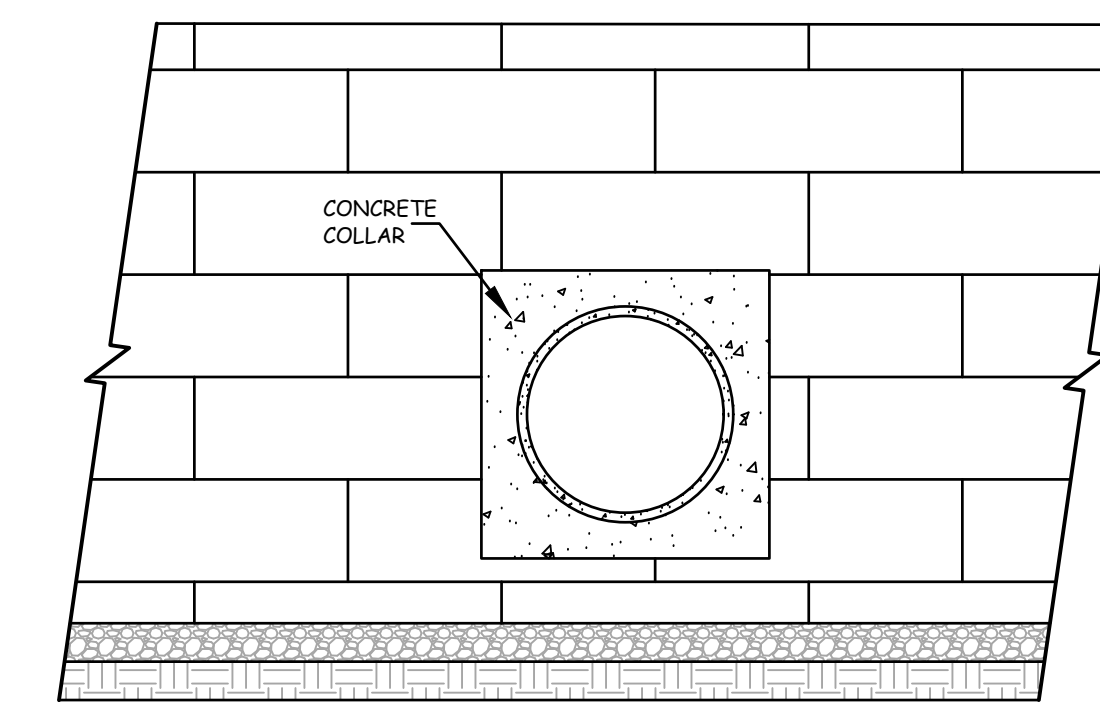
NOTES (UTILITY)

- ALL ELECTRICAL, TELEPHONE AND CABLE TELEVISION TRANSMISSION SYSTEMS SHALL BE PLACED UNDERGROUND. ANY TELEPHONE, ELECTRICAL, OR OTHER UTILITY BOXES SHALL BE PROHIBITED FROM BEING LOCATED IN THE FRONT YARD AREA AND VISIBLE FROM THE PUBLIC RIGHT-OF-WAY.
- THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING FACILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
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- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH 2024 WAUKEE STANDARD SPECIFICATIONS AND 2024 SUDAS.
- THE SITE UTILITY CONTRACTOR SHALL COORDINATE THE BUILDING SERVICE CONNECTIONS WITH THE BUILDING MECHANICAL CONTRACTOR WORK WITHIN PUBLIC R.O.W., CONNECTION TO PUBLIC IMPROVEMENTS, AND ALL WORK ASSOCIATED WITH PUBLIC IMPROVEMENTS SHALL COMPLY WITH THE CITY OF WAUKEE STANDARD SPECIFICATIONS INCLUDING ALL APPLICABLE PERMITS.
- ALL EXISTING UTILITIES ON THE PLAN ARE PUBLIC UNLESS OTHERWISE NOTED.
- ALL SIDEWALKS ARE LESS THAN 1 UNIT VERTICAL TO 20 UNITS HORIZONTAL.
- CONTACT CITY OF WAUKEE PUBLIC WORKS AT LEAST ONE WEEK PRIOR TO CONSTRUCTION.
- ALL CONNECTIONS TO EXISTING PUBLIC STRUCTURES SHALL BE CORE DRILLED.
- PROPERTY OWNER SHALL MAINTAIN PRIVATE STORM SEWER AND DETENTION BASINS.
- WATERMAIN WILL HAVE TO BE PRESSURE TESTED AND DISINFECTED BEFORE USE.
- ALL UTILITIES ARE TO BE TESTED TO CITY OF WAUKEE STANDARDS AND THE CITY OF WAUKEE IS TO WITNESS ALL TESTING.
- COORDINATE TIE-IN TO EXISTING PUBLIC UTILITIES WITH THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
- ALL HYDRANTS ARE TO HAVE 5-INCH STORZ FITTINGS.
- APRON DIMENSIONS ARE PER SUDAS FIG. 9040.110.
- ALL MECHANICAL UNITS THAT ARE ROOFTOP OR GROUND MOUNTED THE UNITS MUST BE SCREENED FROM PUBLIC VIEW.



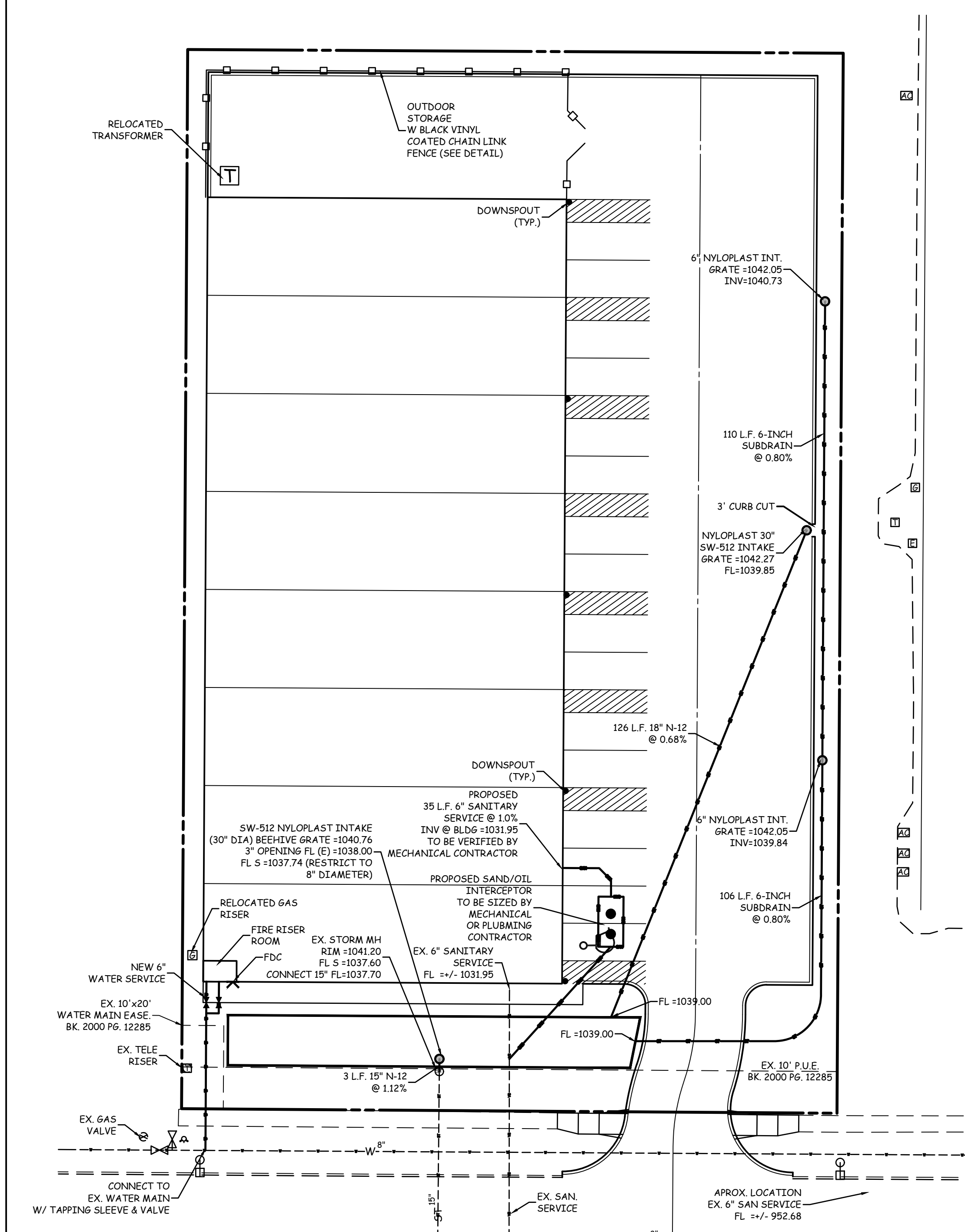
GRASS WATERWAY W/ SUBDRAIN DETAIL

NO SCALE

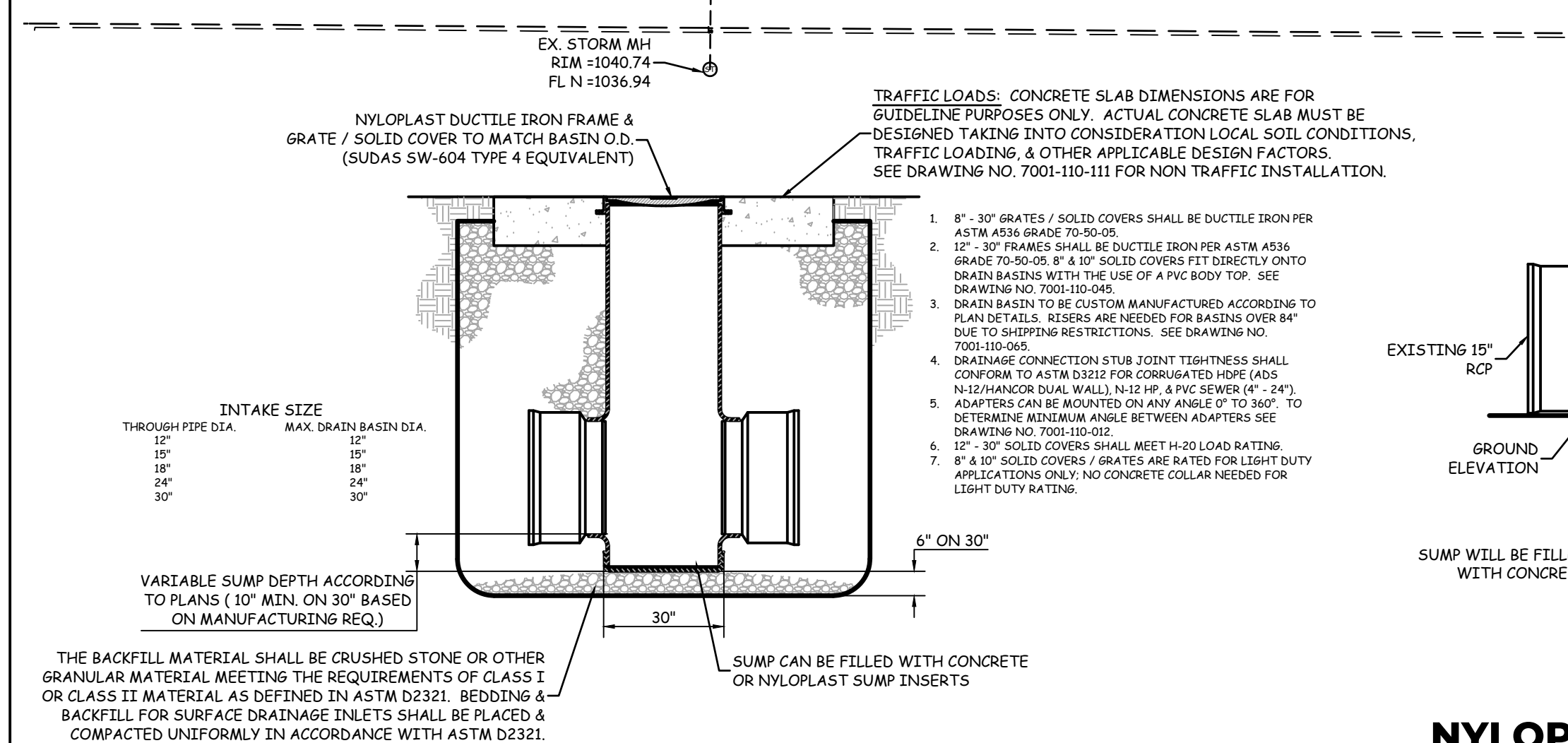


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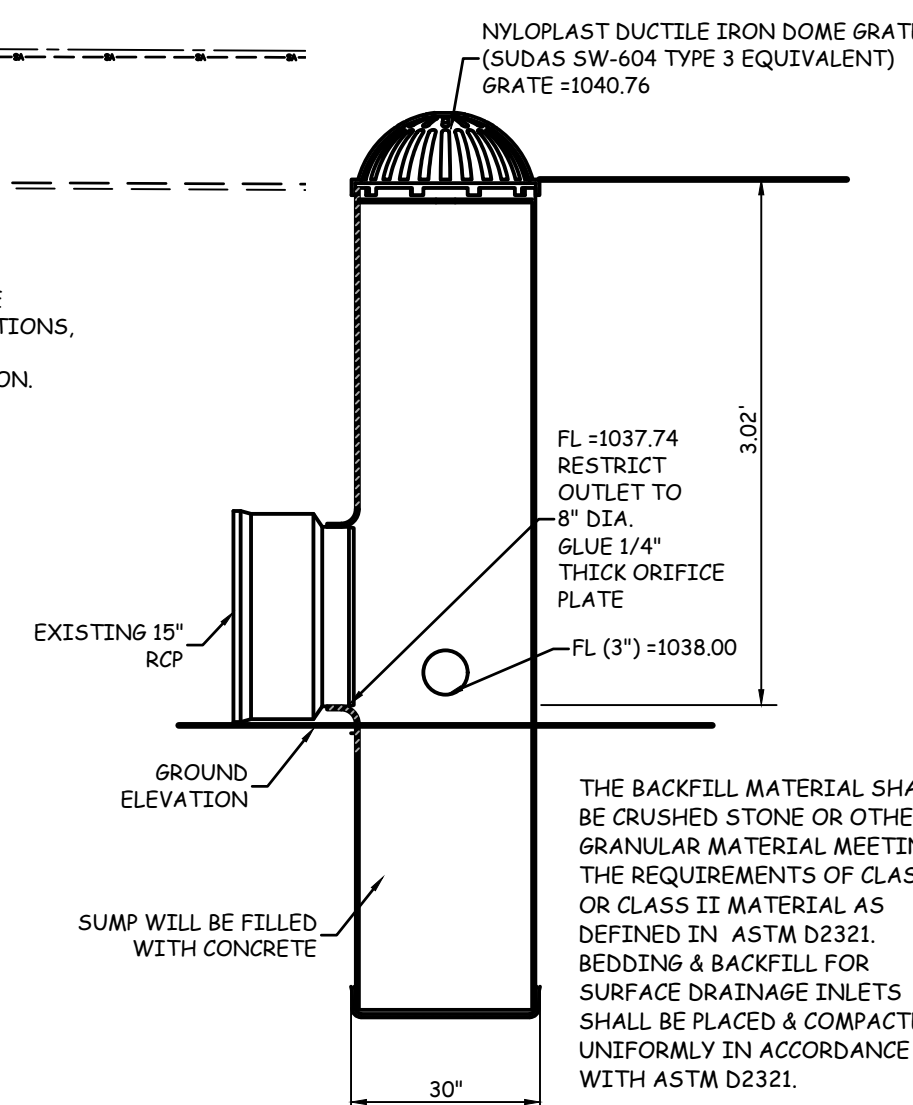


S.E. FRONTIER AVENUE



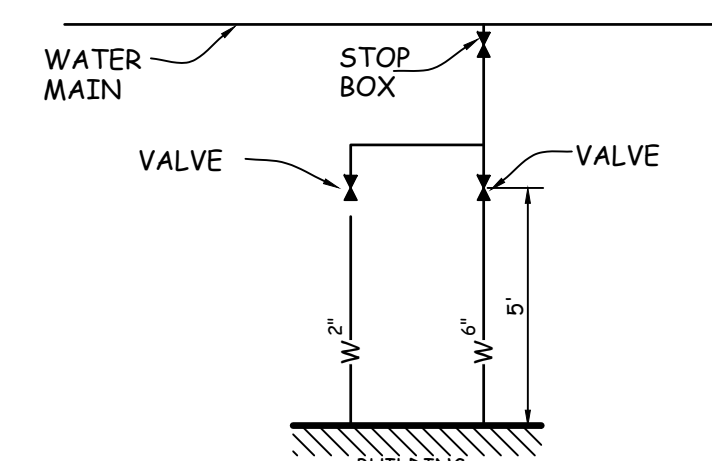
NYLOPLAST SW-512 INTAKE FLAT GRATE

NO SCALE



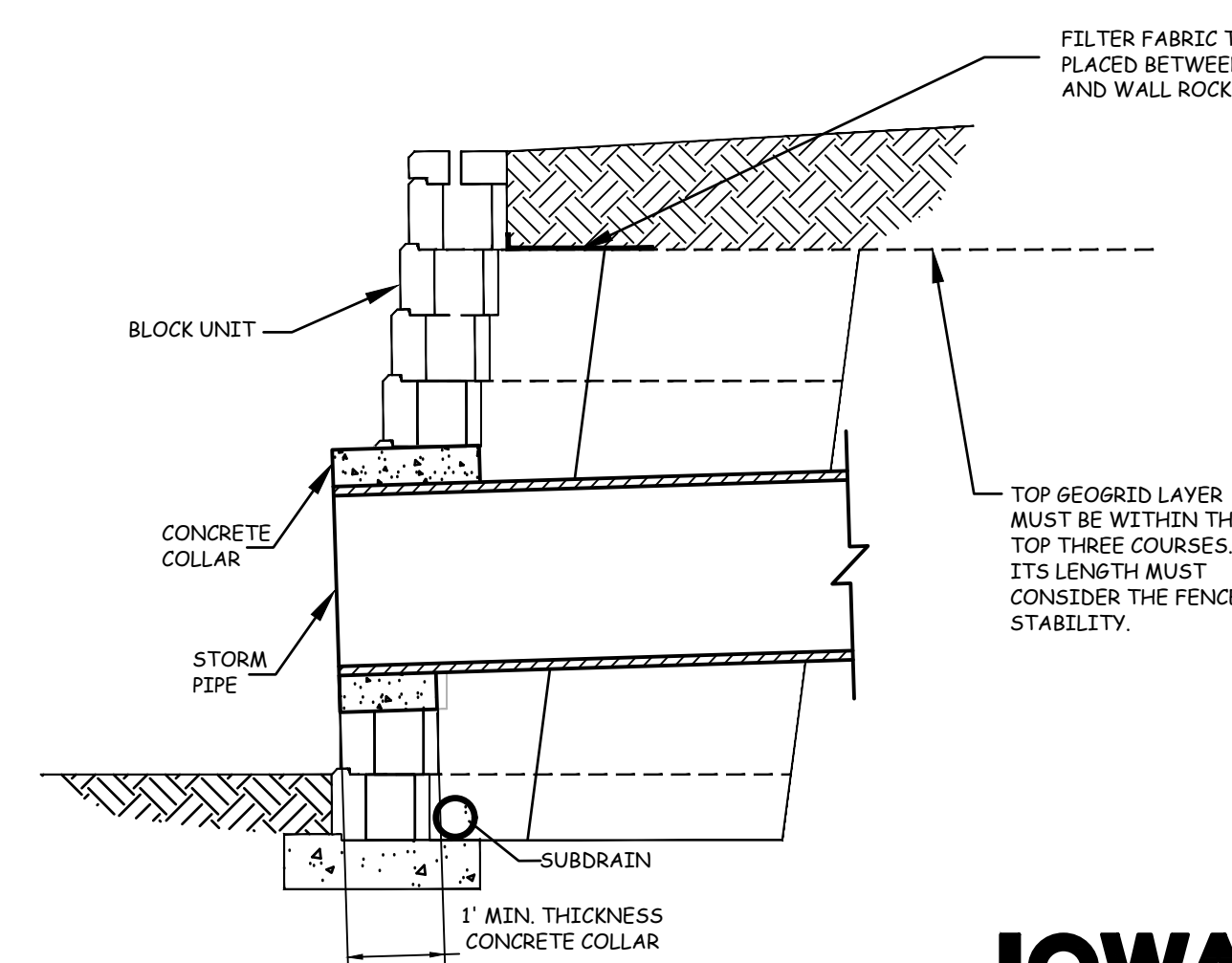
NYLOPLAST SW-512 OUTLET STRUCTURE DETAIL

NO SCALE



WATER SERVICE DETAIL

NO SCALE



PIPE THROUGH WALL DETAIL

NO SCALE



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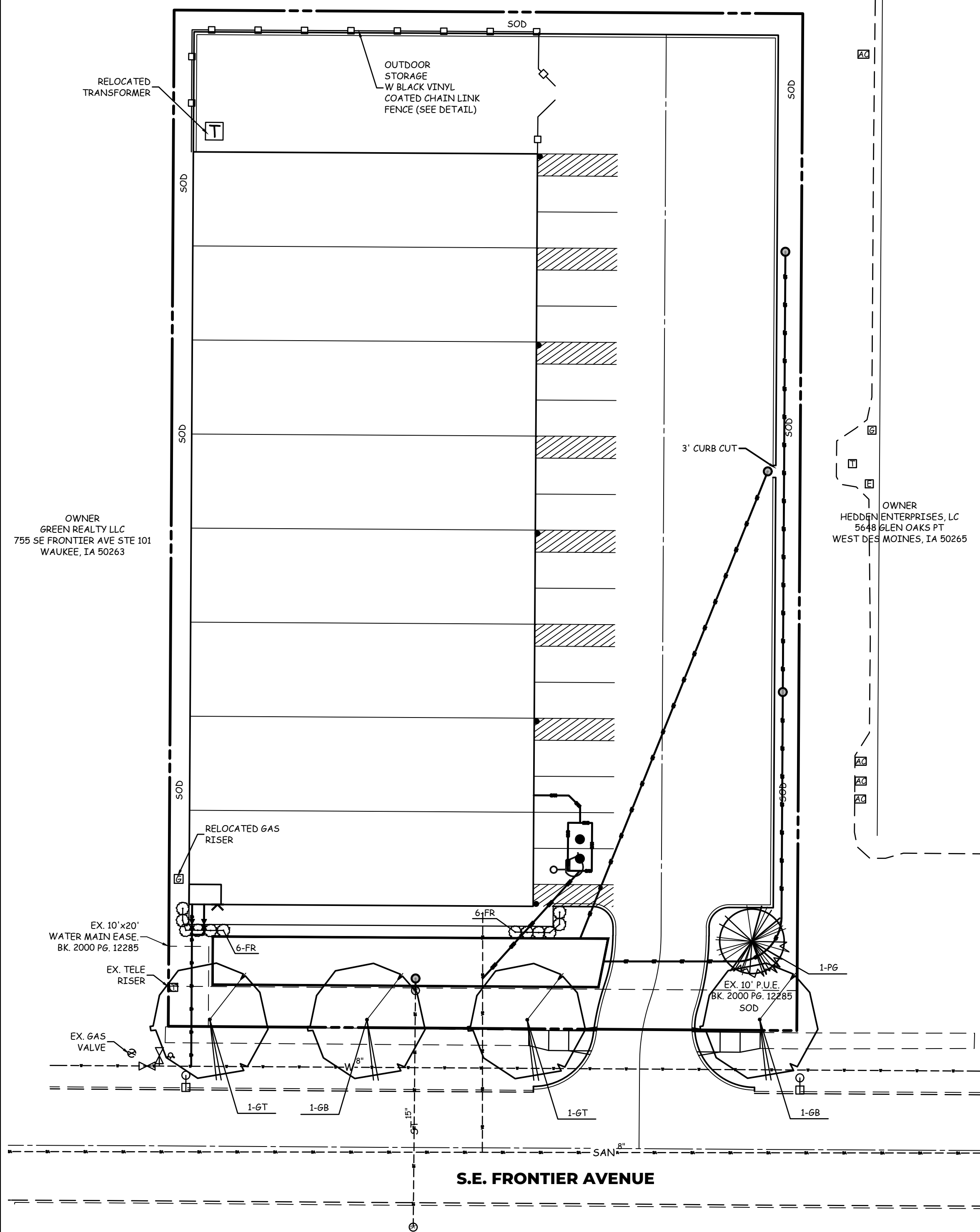
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AS-BUILT:
**UTILITY PLAN
WBP WAREHOUSE**

SHEET
4 OF 5

OWNER
HEDDEN ENTERPRISES, LC
5648 GLEN OAKS PT
WEST DES MOINES, IA 50265



OWNER
GREEN REALTY LLC
755 SE FRONTIER AVE STE 101
WAUKEE, IA 50263

OWNER
HEDDEN ENTERPRISES, LC
5648 GLEN OAKS PT
WEST DES MOINES, IA 50265

PLANTING SCHEDULE

COUNT	KEY	Botanical name/COMMON NAME	SIZE	CONDITION	REMARKS
2	GT	Gleditsia triacanthos SKYLINE HONEYLOCUST	8' min.	TS / B&B	SEE PLAN
2	GB	Ginkgo biloba GINGKO	8' min.	TS / B&B	MALE ONLY
1	PG	Picea glauca BLACK HILLS SPRUCE	8' min.	TS / B&B	SEE PLAN
12	FR	Calamagrostis acutiflora FEATHER REED GRASS	#1 cont.	CONT.	SEE PLAN

OPEN SPACE LANDSCAPE REQUIREMENTS

(1 TREES AND 1 SHRUB PER 1000 S.F. OPEN SPACE 3,990 / 1000 =4)
50% SHALL BE OVERSTORY AND 25% SHALL BE EVERGREEN

REQUIRED: 4 TREES
4 SHRUBS

PROPOSED: 3 OVERSTORY
1 EVERGREENS
12 SHRUBS

OFF STREET PARKING LANDSCAPE REQUIREMENTS

ALL ISLANDS SHALL BE PLANTED WITH AN ORNAMENTAL OR OVERSTORY TREE
50% OF ISLANDS SHALL HAVE AN OVERSTORY TREE

REQUIRED: 4 TREES ALONG R.O.W.

PROPOSED: 4 OVERSTORY ALONG R.O.W.

AREA BETWEEN PARKING AND R.O.W. SHALL BE LANDSCAPED WITH A MINIMUM OF ONE OVERSTORY TREE PER 40 L.F. OF FRONTAGE. THESE SHALL COUNT TOWARDS OPEN SPACE LANDSCAPING NUMBERS.
157 L.F. FRONTAGE (157/40 =4)

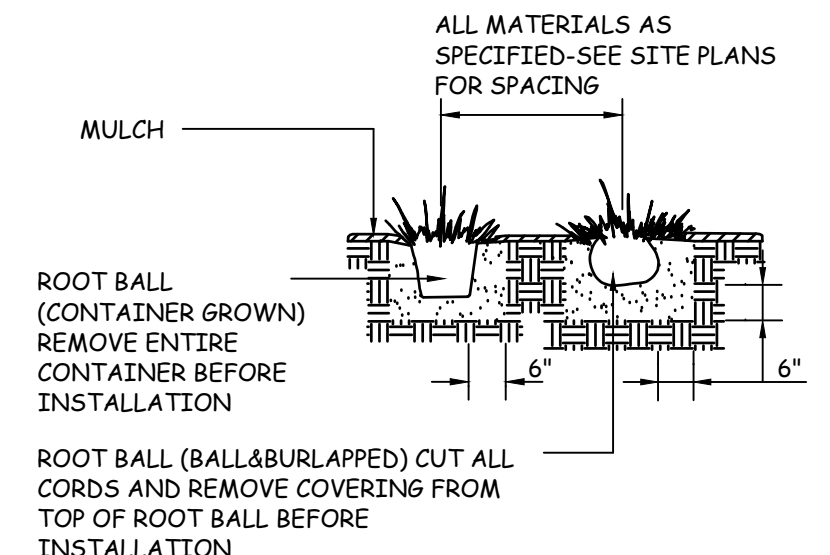
DECIDUOUS OVERSTORY TREES SHALL BE A MINIMUM OF EIGHT FEET IN HEIGHT.
EVERGREEN TREES SHALL BE A MINIMUM OF SIX FEET IN HEIGHT.
DECIDUOUS UNDERSTORY TREES SHALL BE A MINIMUM OF SIX FEET IN HEIGHT.

**SITE PLAN
WBP STORAGE**

1035 SE FRONTIER AVENUE, WAUKEE

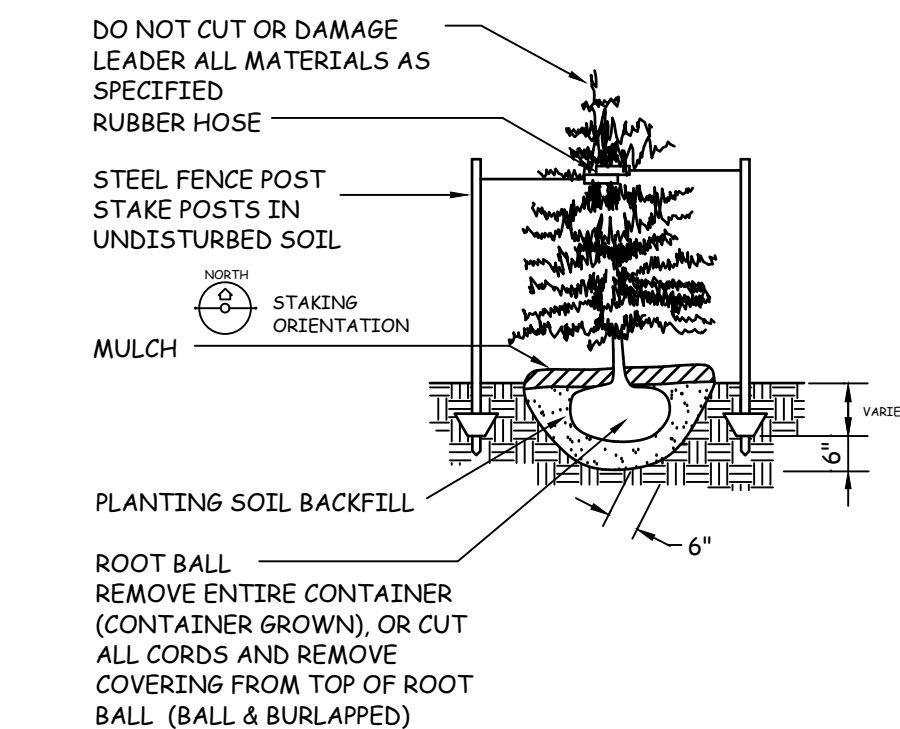
NOTES (LANDSCAPE)

- ALL SITEWORK, SODDING, & LANDSCAPING SHALL BE IN ACCORDANCE WITH 2024 WAUKEE STANDARD SPECIFICATIONS AND 2024 SUDAS.
- LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- ALL PLANT MATERIAL SHALL AT LEAST MEET MINIMUM REQUIREMENTS SHOWN IN THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI Z60.1-1986).
- NO PLANT MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION FROM THE LANDSCAPE ARCHITECT.
- ALL DECIDUOUS TREES WITH CALIPER OF 2 TO 3 INCHES SHALL BE STAKED; ALL DECIDUOUS TREES WITH CALIPER GREATER THAN 3-INCHES SHALL BE GUYED; EVERGREEN TREES GREATER THAN 8 FEET IN HEIGHT SHALL BE GUYED; STAKING AT HEIGHTS LESS THAN 8 FEET IS NOT NECESSARY. REFER TO PLAN AND DETAILS FOR SPECIFIC PLANTING INSTRUCTIONS.
- ALL TREES, SHRUBS & GROUND COVERS SHALL BE MULCHED WITH AT LEAST 3" SHREDDED BARK MULCH.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE. DRAWINGS SHALL PREVAIL WHERE CONFLICT OCCURS.
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND PROTECT ALL UTILITIES AND STRUCTURES. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.
- ONE WEEK PRIOR TO INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT AT COOPER CRAWFORD & ASSOCIATES, LLC.
- ALL DISTURBED AREAS TO BE SODDED INCLUDING R.O.W.
- DECIDUOUS TREES SHALL BE NO CLOSER THAN 5 FEET AND CONIFEROUS TREES NO CLOSER THAN 10 FEET TO STREETS OR SIDEWALKS.
- ANY PLANT SUBSTITUTIONS SHALL BE APPROVED IN WRITING BY THE WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT.
- AC UNITS ARE LOCATED ON THE ROOF AND WILL BE SCREENED FROM THE STREET PER CITY CODE.



SHRUB PLANTING DETAIL

NO SCALE

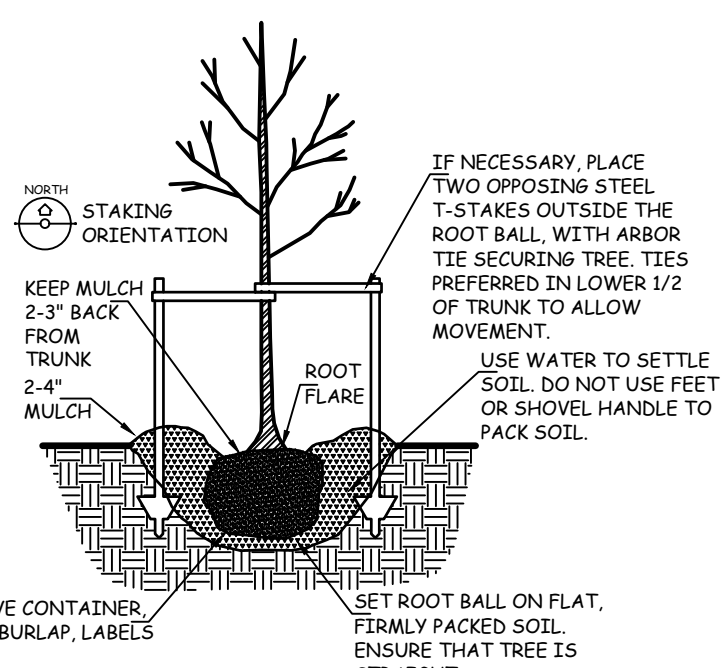


EVERGREEN TREE PLANTING & STAKING DETAIL

NO SCALE

TREE PLANTING STEPS:

- PEEL BACK/BURLAP/CAGE AND REMOVE SUFFICIENT SOIL TO EXPOSE ROOT FLARE
- MEASURE FROM ROOT FLARE TO BOTTOM OF ROOT BALL
- DIG HOLE TO DEPTH WHERE TOPMOST ROOTS ARE BURIED 1-2 INCHES AND THE ROOT FLARE SITS SLIGHTLY ABOVE THE GROUND LEVEL. DIG A HOLE 2-3 TIMES WIDER THAN THE DIAMETER OF THE ROOT BALL WITH SLOPING SIDES TO ALLOW FOR PROPER ROOT GROWTH
- REMOVE LOWER 1/3 OF WIRE CAGE
- SET TREE IN PLANTING HOLE. SUPPORT WITH SOME SOIL. ENSURE THAT IT'S STRAIGHT, THEN REMOVE ENTIRE BALANCE OF WIRE CAGE AND TOP 2/3 OF BURLAP.
- BACKFILL 2/3 OF LOOSE NATIVE SOIL (UNLESS IT'S ALL CLAY) AND USE WATER TO SETTLE. DO NOT TAMP OR STEP ON SOIL.
- BACKFILL BALANCE AND WATER AGAIN. EXCESS SOIL MAY BE USED TO CREATE A BASK / SAUCES OUTSIDE OF ROOT BALL.
- ADD 2-4" OF WOOD MULCH LEAVING A 1-2 INCH CLEARANCE BETWEEN THE MULCH AND THE TRUNK.
- WATER AT FINAL TIME.



NOTE:

- DO NOT SET TOP OF ROOT BALL AT FINISHED GRADE. IT IS ESSENTIAL THAT THE ROOT FLARE BE EXPOSED BEFORE PLANTING, SO THE TREE CAN BE SET TO SHOW ROOT FLARE AT FINISHED GRADE.

DECIDUOUS TREE PLANTING & STAKING DETAIL

NO SCALE

LEGEND

- EXISTING/PROPOSED
- PLAT BOUNDARY
 - W 8" WATER MAIN & SIZE
 - SAN 8" SANITARY SEWER & SIZE
 - ST 8" STORM SEWER & SIZE
 - UGE UNDERGROUND ELECTRIC CABLE
 - UGT UNDERGROUND TELEPHONE CABLE
 - CTV UNDERGROUND CABLE TV
 - G 4 GAS MAIN & SIZE
 - MANHOLE
 - INTAKE
 - HYDRANT
 - PP/LP POWER POLE/LIGHT POLE
 - PP/LP UTILITY BOX/TELEPHONE RISER
 - EXISTING CONTOURS
 - 990 PROPOSED CONTOURS
 - SILT FENCE OR APPROVED FILTRATION SOCK
 - TREES

COOPER CRAWFORD & Associates
Civil Engineers & Land Surveyors

475 S. 50th STREET, SUITE 800, WEST DES MOINES, IOWA 50265
PHONE: (515) 224-1344 FAX: (515) 224-1345

DATE: 6-25-2024
REVISIONS: 7-10-2024
8-6-2024
9-5-2024
9-26-2024
12-13-2024
1-23-2025

JOB NUMBER
CC 2845

AS-BUILT:
**LANDSCAPE PLAN
WBP WAREHOUSE**

SHEET 5 OF 5

