

KEETOWN LOOP - F4 ASHWORTH

THE QUARTER AT WAUKEE, LLC C/O HARRY COIN
2980 GRAND PRAIRIE PARKWAY
WAUKEE, IOWA

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LANDSCAPE REQUIREMENTS

STREET TREE PLANTING:

118 LF OF FRONTAGE
118 LF X 1 TREE / 40LF = **3 STREET TREES REQUIRED**
3 STREET TREES PROVIDED

OFF STREET PARKING:

PARKING LOT ISLANDS **3 OVERSTORY TREE/ISLAND REQUIRED**
3 OVERSTORY TREE/ISLAND PROVIDED

RIGHT OF WAY BUFFER

118 LF OF FRONTAGE
118 X 2 OVERSTORY TREES / 50 LF = **5 OVERSTORY TREES REQUIRED**
5 OVERSTORY TREES PROVIDED
118 LF X 8 SHRUBS / 50 LF = **19 SHRUBS REQUIRED**
20 SHRUBS PROVIDED

OPEN SPACE REQUIREMENTS:

AREA REQUIREMENT:
22,277 SF (0.51 ACRES)

20% REQUIRED OPEN SPACE (4,456 SF)
48.4% PROVIDED OPEN SPACE (10,781.50 SF)

19.2% 2,074.50 SF IMPERVIOUS OPEN SPACE
80.8% 8,707 SF PERVIOUS OPEN SPACE

OPEN SPACE PLANTING REQUIREMENTS:

1.5 OVERSTORY TREE, .5 UNDERSTORY TREE AND TWO SHRUBS PER 1,000 SF OF REQUIRED OPEN SPACE.

OPEN SPACE SHRUBS PROVIDED: 13
OPEN SPACE TREES PROVIDED: 10
DECIDUOUS OVERSTORY: 5 = 50%
UNDERSTORY: 3 = 30%
EVERGREEN: 2 = 20%
≥25% OF ALL REQUIRED TREES SHALL BE EVERGREEN
≥50% OF ALL REQUIRED TREES SHALL BE OVERSTORY

OVERSTORY TREES: 4,456 SF X 1.5/1,000 SF = **7 OVERSTORY TREES REQUIRED**
7 OVERSTORY TREES PROVIDED

UNDERSTORY TREES: 4,456 SF X .5/1,000 SF = **3 UNDERSTORY TREES REQUIRED**
3 UNDERSTORY TREES PROVIDED

SHRUBS: 4,456 SF X 2/1,000 SF = **9 SHRUBS REQUIRED**
13 SHRUBS PROVIDED

BUILDING SUMMARY

BUILDING FOOTPRINT: 5,870 SF
BUILDING HEIGHT: 20'-6", 32' FOR WALL SIGN
BUILDING STORIES: 1 STORY
PROPOSED USES: RESTAURANT, MEDICAL, OR RETAIL.
ESTIMATED NUMBER OF EMPLOYEES: 3 TENANT SPACES,
UNKNOWN EMPLOYEE NUMBER
CONSTRUCTION TYPE: V-B
OTHER CRITERIA FOR PARKING: QUICK SERVICE RESTAURANT.

PARKING REQUIREMENTS:

REQUIRED PARKING STALLS: **53 STALLS**
15 STALLS / PER 1,000 SF RESTAURANT
2,600 SF X 15 STALL/1,000 SF = **39 STALLS**

15 STALLS / PER 1,000 SF OUTDOOR EATING AREA
192 SF X 15 STALL/1,000 SF = **3 STALLS**

4 STALLS / PER 1,000 SF RETAIL
1,500 SF X 4 STALL/1,000 SF = **6 STALLS**

3 STALLS / PER 1,000 SF PROFESSIONAL/BUSINESS OFFICE
1,500 SF X 3 STALL/1,000 SF = **5 STALLS**

PARKING STALLS PROVIDED ON SITE: **6 (4+2 ADA SPACES)**
EXISTING STALLS PROVIDED ADJACENT TO SITE: **47 (45+2 ADA SPACES)**
TOTAL PARKING STALLS PROVIDED: **53 STALLS**

ACCESSIBLE STALLS REQUIRED: **3**
ACCESSIBLE STALLS PROVIDED: **4 (2 ARE VAN ACCESSIBLE)**

BICYCLE PARKING REQUIREMENTS
3% OF REQUIRED PARKING REQUIREMENTS

REQUIRED PARKING STALLS: 53
REQUIRED BICYCLE PARKING: 2

SITE SUMMARY

SITE AREA: 22,277 SF (0.51 ACRES)

IMPERVIOUS SURFACE AREA: 13,570 SF (.31 ACRES)
TOTAL BUILDING SURFACE AREA = 5,870 SF
TOTAL PAVEMENT(SIDEWALK) SURFACE AREA = 2,074.50 SF
TOTAL PARKING SPACE SURFACE AREA = 1,105 SF
TOTAL ROAD SURFACE AREA = 4,520.50 SF
PERVIOUS SURFACE AREA: 8,707 SF (0.20 ACRES)

LEGAL DESCRIPTION

KEETOWN LOOP PLAT 4 LOT 9

ZONING AND LAND USE
ZONING: K-RR / PD-I AND BOOK 2021 PAGE 27621
EXISTING LAND USE: VACANT
OPEN SPACE REQUIREMENTS: 20%

SETBACKS

PRINCIPLE BUILDING PERIMETER SETBACK FROM ADJOINING SFR: 50'
MINIMUM PRINCIPLE BUILDING SEPARATION: 25'
MINIMUM OPEN SPACE: 20%
PRINCIPLE STRUCTURE MAXIMUM HEIGHT: 8 STORIES
PROPOSED BUILDING HEIGHT: MAIN STRUCTURE IS 20'-6" WITH WALL SIGN AT 32' TALL.

FAR CALCULATION:

GROSS SF FOR F4 BUILDING: 5,870 SF
TOTAL SITE AREA: 22,277 SF
FAR: 0.26

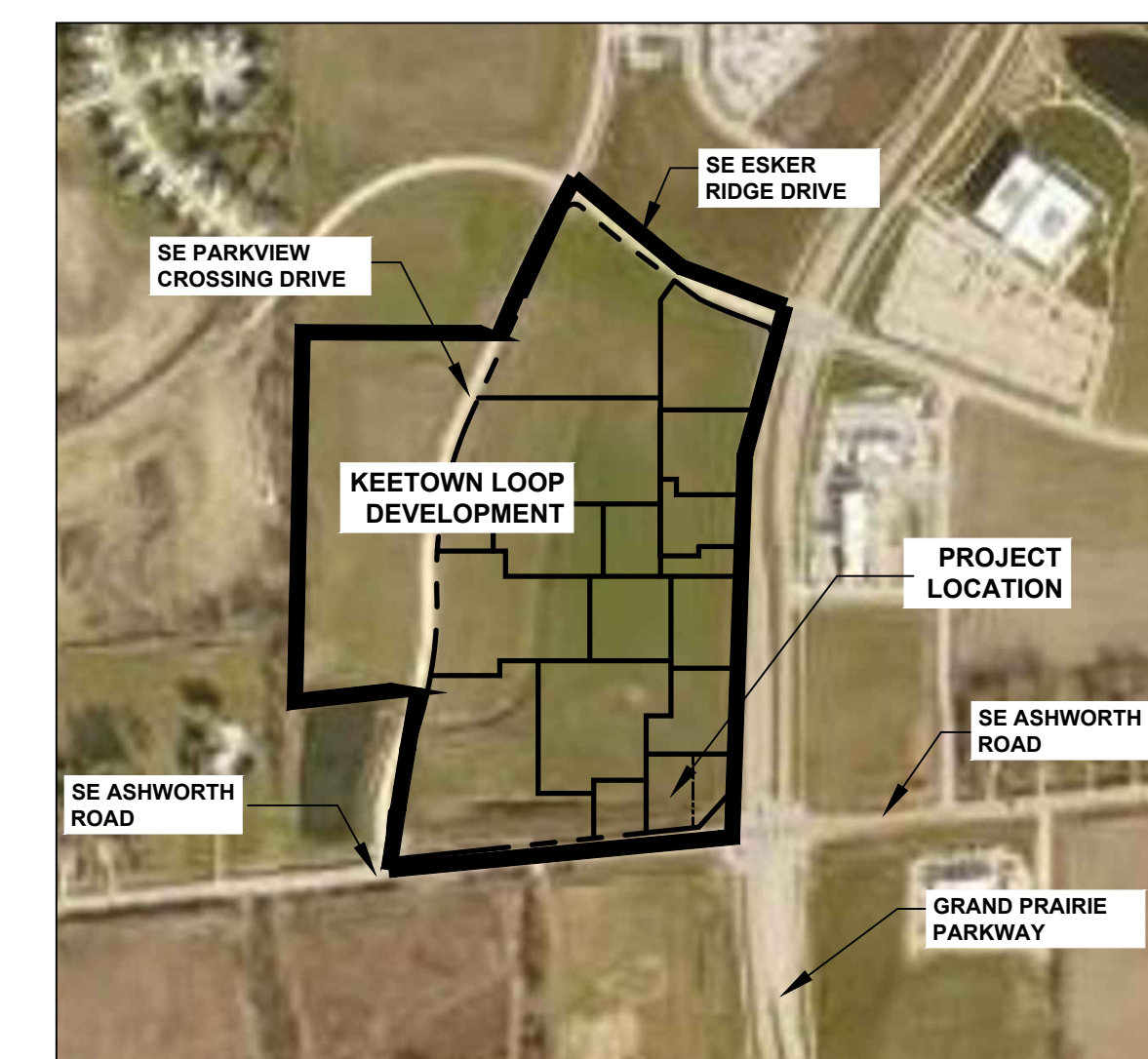
APPLICANT/PREPARER OF SUBMITTAL

MATT CARLILE
525 17TH STREET
DES MOINES, IA 50309
515-288-4875
E-MAIL: M.CARLILE@THINKCONFLUENCE.COM
CONTACT: MATT CARLILE

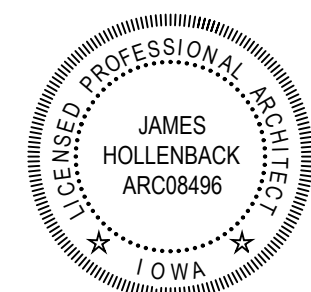
OWNER/APPLICANT

THE QUARTER AT WAUKEE, LLC C/O HARRY COIN
4011 AVENUE OF THE CITIES, SUITE 101 B
MOLINE, IL 61265
309-781-0595

VICINITY MAP



ARCHITECT
LEGAT ARCHITECTS
119 E COLLEGE STREET
IOWA CITY, IA 52240
PH: (319) 450-0510
JAMES HOLLENBACK



I HEREBY CERTIFY THAT THE PORTION OF THIS DOCUMENT DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY PERSONAL SUPERVISION, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE STATE OF IOWA.

JAMES HOLLENBACK REGISTRATION #08496 DATE
MY REGISTRATION DATE IS: JUNE 30, 2026
SHEETS COVERED BY THIS SEAL: A101

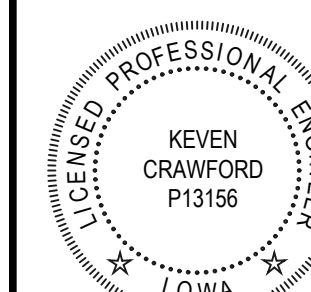
LIGHTING AND ELECTRICAL
BLUESTONE ENGINEERING
5518 NW 88th Street
Johnston, IA 50131
PH: (515) 727-0700
MATTHEW JAHNKE



I HEREBY CERTIFY THAT THE PORTION OF THIS DOCUMENT DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY PERSONAL SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE STATE OF IOWA.

MATTHEW JAHNKE REGISTRATION #P23173 DATE
MY REGISTRATION DATE IS: DECEMBER 31, 2026
SHEETS COVERED BY THIS SEAL: E200

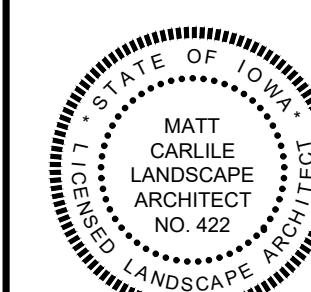
CIVIL ENGINEER
COOPER CRAWFORD & ASSOCIATES
475 S 50th Street
WEST DES MOINES, IA 50265
PH: (515) 224-1344
KEVEN CRAWFORD



I HEREBY CERTIFY THAT THE PORTION OF THIS DOCUMENT DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY PERSONAL SUPERVISION, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE STATE OF IOWA.

KEVEN CRAWFORD REGISTRATION #P13156 DATE
MY REGISTRATION DATE IS: DECEMBER 31, 2026
SHEETS COVERED BY THIS SEAL: L302

LANDSCAPE ARCHITECT
CONFLUENCE
525 17TH STREET
DES MOINES, IA 50309
PH: (515) 288-4875
www.thinkconfluence.com
MATT CARLILE

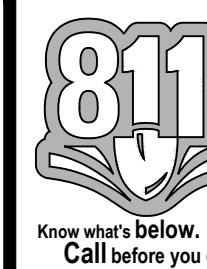


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MATT CARLILE REGISTRATION #422 DATE
MY REGISTRATION DATE IS: JUNE 30, 2026
SHEETS COVERED BY THIS SEAL: L000-L301, L303-L503

ISSUED FOR
SITE PLAN
SUBMITTAL

NOT FOR
CONSTRUCTION



COVER

CONFLUENCE PROJECT # 21072-18

G000

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KEETOWN LOOP - F4 ASHWORTH
 2980 GRAND PRAIRIE PARKWAY
 WAUKEE, IOWA

ISSUE SCHEDULE		
ISSUE	DATE	DESCRIPTION
01	01/07/2025	INITIAL SITE SUBMITTAL
02	01/28/2025	SITE PLAN RESUBMITTAL #1
03	02/13/2025	SITE PLAN RESUBMITTAL #2
04	02/21/2025	SITE PLAN RESUBMITTAL #3

ISSUED FOR
 SITE PLAN
 APPROVAL
 NOT FOR
 CONSTRUCTION

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GENERAL NOTES

CONFLUENCE PROJECT # 21072-18

L000

ABBREVIATIONS

ALW APPROX	ALLOWANCE APPROXIMATE ARCHITECT	LP MAX	LOW POINT
AVE	AVERAGE	ME	MEET EXISTING
B&B	BALLED AND BURLAPPED	MFG	MANUFACTURER
BC	BACK OF CURB	MH	MANHOLE
BLOG	BUILDING	MIN	MINIMUM
BR	BOTTOM OF RAMP	N	NOT
BS	BOTTOM OF STAIR	NIC	NOT IN CONTRACT
BW	BOTH WAYS	NO	NUMBER
CAL	CALIPER	NOM	NOMINAL
CF	CUBIC FEET	NTS	NOT TO SCALE
CIP	CAST IN PLACE	OC	ON CENTER
CL	CENTER LINE	OD	OUTSIDE DIAMETER
CLR	CLEAR	PC	POINT OF CURVE
CO	CLEANOUT	PE	POLYETHYLENE
CONT	CONTINUOUS	PI	POINT OF INTERSECTION
CY	CUBIC YARD	PL	PROPERTY LINE
DEMO	DEMOLISH	PT	POINT
DIA	DIAMETER	PVC	POLY VINYL CHLORIDE
DIM	DIMENSION	R	RADIUS
DTL	DETAIL	REF	REFERENCE
DWG	DRAWING	REINF	REINFORCE
E	EAST	R-EJ	REINFORCED EXPANSION JT
EA	EACH	REQD	REQUIRED
EJ	EXPANSION JOINT	REV	REVISION
EL	ELEVATION	ROW	RIGHT-OF-WAY
ENG	ENGINEER	S	SOUTH
EQU	EQUAL	SAN	SANITARY
EST	ESTIMATE	SF	SQUARE FEET
EW	EACH WAY	SHT	SHEET
EXIST	EXISTING	SHR	SHRUB
EXP	EXPANSION	SPCS	SPECIFICATIONS
FES	FLARED END SECTION	ST	STORM SEWER
FFE	FINISHED FLOOR ELEVATION	SY	SQUARE YARD
FG	FINISH GRADE	STA	STATION
FL	FLOW LINE	STD	STANDARD
FOC	FACE OF CURB	SYM	SYMMETRICAL
FL	FLOWLINE	SQ	SQUARE
FT	FEET	T&B	TOP AND BOTTOM
FTG	FOOTING	TBD	TO BE DETERMINED
FS	FINISHED SURFACE	TC	TOP OF CURB
GAU	GAUGE	TH	THICK
GEN	GENERAL	TOPO	TOPOGRAPHY
HORIZ	HORIZONTAL	TR	TOP OF RAMP
HP	HIGH POINT	TS	TOP OF STAIR
ID	INSIDE DIAMETER	TYP	TYPICAL
IE	INVERT ELEVATION	UNO	UNLESS NOTED OTHERWISE
IN	INCHES	VAR	VARIABLE
INCL	INCLUDED	VOL	VOLUME
JT	JOINT	W	WITH
LF	LINEAR FEET	W/O	WITHOUT
		WT	WEIGHT
		WWM	WELDED WIRE MESH
		YD	YARD

LINE SYMBOL LEGEND

---	PROPERTY LINE
---	EASEMENT
---	SETBACK
---	EXISTING INDEX CONTOUR
---	EXISTING CONTOUR
---	PROPOSED INDEX CONTOUR
---	PROPOSED CONTOUR
---	COMMUNICATIONS
---	OVERHEAD ELECTRIC
---	UNDERGROUND ELECTRIC
---	FIBER OPTIC
---	SANITARY SEWER
---	STORM SEWER
---	UNDERDRAIN
---	TELEPHONE
---	WATER
---	SILT FENCE
---	FENCE

DRAWING SYMBOLS

	SECTION		SLOPE		ENLARGEMENT CALLOUT
	ELEVATION		PLANT TAG		CENTER LINE
	MULTILEADER STD.		KEYNOTE		REVISION CLOUD
	GRADING MULTILEADER		DIMENSION		DETAIL TITLE
	DETAIL NAME		RADIUS DIMENSION		SCALE AND NORTH ARROW
	CONTOUR ELEVATION		ANGLE DIMENSION		
	COORDINATE POINT TAG		REVISION TRIANGLE		

GENERAL NOTES

- COOPER CRAWFORD AND ASSOCIATES, 475 S 50TH STREET SUITE #800, WEST DES MOINES, IA 50265 (515-224-1344) PREPARED THE SURVEY FOR THIS PROJECT. IMMEDIATELY NOTIFY THE LANDSCAPE ARCHITECT OF ANY OR DISCREPANCIES BETWEEN THE SURVEY AND FIELD CONDITIONS.
- THE CONTRACTOR SHALL NOTIFY THE 811 ONE CALL CENTER TO REQUEST THE LOCATION OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA PRIOR TO ANY CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL PRIVATE UTILITIES NOT COVERED BY 811 ONE CALL. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL EXISTING CONDITIONS, IMPROVEMENTS, VEGETATION AND UTILITIES TO REMAIN. ANY DAMAGE SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER AT NO ADDITIONAL COST.
- THE CONTRACTOR SHALL CONSTRUCT ALL ITEMS WITHIN THIS CONTRACT IN ACCORDANCE WITH ALL STATE AND LOCAL CODES, REGULATIONS AND ENGINEERING STANDARDS. CONTRACTOR TO COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAY OR STREETS WITH THE APPROPRIATE JURISDICTIONS.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THESE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL FURNISH AND PLACE ALL NECESSARY SIGNS AND BARRICADES DURING THE CONSTRUCTION IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY AND ALL REQUIRED PERMITS BEFORE PERFORMING ANY WORK.
- ALL WORK INVOLVING CONNECTION OF PUBLIC IMPROVEMENTS, AND ALL WORK ASSOCIATED WITH PUBLIC IMPROVEMENTS SHALL COMPLY WITH 2024 EDITION WAUKEE STANDARD SPECIFICATIONS INCLUDING ALL APPLICABLE PERMITS AND 2025 EDITION OF SUDAS.
- ALL PROPOSED EASEMENTS WILL BE PRIVATE AND "BLANKET" EASEMENTS, SO THEY ARE NOT PLOTTABLE.
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES. IF PAVING IS NOT INSTALLED PRIOR TO BUILDING CONSTRUCTION COMMENCING AFTER FOOTINGS ARE INSTALLED, AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING TO EXTEND WITHIN 100 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS SHALL BE PROVIDED TO COMPLY WITH THE REQUIREMENTS OF SECTION 503.2 OF THE IFC.
- ANY PLAN CHANGES SHALL BE APPROVED BY THE COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO EXECUTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CHANGES MADE THAT WERE NOT APPROVED BY THE CITY.

DEMOLITION GENERAL NOTES

- PRIOR TO ANY EXCAVATION AT THE SITE, CONTRACTOR SHALL CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANIES REPRESENTATIVES TO DETERMINE POSSIBLE UTILITY LOCATIONS AND DEPTHS. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE RESULTING FROM FAILURE TO COMPLY WITH THIS REQUIREMENT. REPORT ANY DAMAGE TO EXISTING UTILITIES PRIOR TO REPAIR. DAMAGE TO UTILITIES AND STRUCTURES SHALL BE REPAIRED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER OF THE UTILITY.
- FIELD VERIFY EXISTING GRADES AND LOCATIONS OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE STRUCTURES PRIOR TO DEMOLITION OR CONSTRUCTION AND IMMEDIATELY INFORM THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES. THE CONTRACTOR SHALL REPORT TO THE OWNER ANY DAMAGE TO OWNER'S PROPERTY PRIOR TO REPAIR.
- PROTECT ALL ITEMS WITHIN CONTRACT LIMITS NOT INDICATED TO BE REMOVED. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
- CONTACT THE LANDSCAPE ARCHITECT PRIOR TO REMOVING ANY PLANT MATERIAL NOT INDICATED TO BE PROTECTED OR REMOVED.
- CONTRACTOR TO PROVIDE ADEQUATE BARRICADES AND TRAFFIC CONTROL. COMPLY WITH REQUIREMENTS OF LOCAL JURISDICTION.
- CONTRACTOR SHALL SAW CUT ALL ASPHALT OR CONCRETE TO BE REMOVED TO THE NEAREST CONTROL JOINT WHERE PRACTICAL.

SITE LAYOUT NOTES

- ALL CURB AND GUTTER DIMENSIONS ARE TO BACK OF CURB. ALL SIDEWALK DIMENSIONS ARE TO THE BACK OF CURB UNLESS OTHERWISE NOTED.
- VERIFY COORDINATES PRIOR TO CONSTRUCTION
- WHEN CONTROL POINTS ARE PROVIDED THE CONTRACTOR SHALL VERIFY CONTROL POINTS PRIOR TO CONSTRUCTION.
- ALL RAMP AND CURB RAMP SHALL COMPLY WITH FEDERAL AND LOCAL ACCESSIBILITY STANDARDS.
- CONTRACTOR TO SUPPLY AND INSTALL ALL NECESSARY SLEEVES UNDER PAVING AND WALKS. COORDINATE LOCATIONS WITH GENERAL CONTRACTOR.
- SITE PLAN SHOWS DIAGRAMMATIC LAYOUT OF CONTROL JOINTS. UNLESS NOTED OTHERWISE EXPANSION JOINTS SHALL BE PLACED AT A MAXIMUM OF 35' O.C. AND ADJACENT TO FIXED VERTICAL STRUCTURES SUCH AS WALLS, CURBS, STEPS AND BUILDINGS.
- PROPOSED SIGNAGE TO MEET LOCAL SIGN CODES. CONTRACTOR SHALL SECURE SIGN PERMITS. ALL SIGNAGE REQUIRES SEPARATE SIGN PERMIT APPROVAL FROM THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT.
- THE CITY WILL NOT BE FINANCIALLY RESPONSIBLE FOR PARKING LOT PAVEMENT OR MONUMENT SIGN IF REPAIRS TO THE SANITARY SEWER REQUIRE THESE ITEMS TO BE REMOVED WITHIN THE SANITARY SEWER EASEMENT.
- PCC PAVEMENT HATCH AT ENTRANCES/EXITS OF BUILDING IS INDICATIVE OF WHERE PCC PAVEMENT WILL MEET STRUCTURAL STOOP.

GRADING NOTES

- ALL SPOT ELEVATIONS ARE AT THE TOP OF FINISHED SURFACES. SPOT ELEVATIONS SHOWN IN PARKING ARE AT THE BOTTOM OF CURB. UNLESS NOTED OTHERWISE, ADD 6" TO COMPUTE TOP OF CURB ELEVATION.
- CONTRACTOR TO VERIFY ALL SPOT ELEVATIONS FOR POSITIVE DRAINAGE BEFORE INSTALLATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR POSITIVE SURFACE DRAINAGE IN ALL AREAS, UNLESS OTHERWISE NOTED. ALL NEWLY GRADED GROUND SURFACES SHALL BE FINISHED TO UNIFORM GRADES AND SLOPED IN SUCH A MANNER TO BE FREE OF DEPRESSIONS THAT CAUSE AREAS OF STANDING WATER. THE CONTRACTOR SHALL REPORT ANY CONFLICTS WITH THIS REQUIREMENT TO THE LANDSCAPE ARCHITECT FOR RESOLUTION PRIOR TO FINAL GRADING OPERATIONS.
- WALK CROSS SLOPE MAY NOT EXCEED 2%. RUNNING SLOPE MAY NOT EXCEED 5%. RUNNING SLOPE FOR RAMPS MAY NOT EXCEED 1:12 WITH LANDINGS THAT DO NOT EXCEED 2% IN ANY DIRECTION.
- WHERE PROPOSED GRADES MEET EXISTING, BLEND GRADES TO PROVIDE A SMOOTH TRANSITION BETWEEN THE NEW WORK AND EXISTING WORK. PONDING AT JOINTS WILL NOT BE ACCEPTED.
- CONTACT LANDSCAPE ARCHITECT PRIOR TO BACKFILLING AGAINST EXISTING BUILDINGS. PROVIDE WATERPROOFING WHEN BACKFILLING AGAINST EXISTING BUILDINGS.
- FINAL BERM SHAPE TO APPROVED BY LANDSCAPE ARCHITECT.
- SEE SPECIFICATIONS FOR MINIMUM DEPTH OF TOPSOIL FOR ALL LAWN AREAS AND PLANTING BEDS.
- DEBRIS SHALL BE REMOVED AND PAVEMENT WITHIN THE RIGHT-OF-WAY SWEEP AT THE END OF EACH WORKING DAY AND PRIOR TO A RAIN EVENT.
- CONTRACTOR TO FIELD ADJUST ALL EXISTING SITE UTILITIES TO NEW FINISHED GRADES. EXISTING UTILITIES INCLUDE, BUT ARE NOT LIMITED TO, FIRE HYDRANTS, MANHOLE RIMS, INLETS, WATER VALVES, AND LIGHT BASES.
- SILT FENCE AND INLET PROTECTION SHALL BE MAINTAINED UNTIL ESTABLISHMENT OF PERMANENT GROUND COVER.
- GENERAL PERMIT No.2 AND COSESCO PERMITS ARE REQUIRED FOR THIS PROJECT.

UTILITY GENERAL NOTES

- DEWATERING (IF REQUIRED) IS CONSIDERED AN INCIDENTAL EXPENSE. NO ADDITIONAL PAYMENT WILL BE MADE FOR DEWATERING.
- COORDINATE INSPECTIONS FOR CONNECTIONS TO PUBLIC WATER, SANITARY, AND STORM SEWER WITH WAUKEE PUBLIC WORKS.
- INSTALL TEMPORARY INLET PROTECTION AROUND ALL PERMANENT STORM SEWER INLETS IN COMPLIANCE WITH LOCAL SWPPP REQUIREMENTS.
- CONTRACTOR TO FIELD ADJUST ALL EXISTING SITE UTILITIES TO NEW FINISH GRADES. EXISTING UTILITIES INCLUDE, BUT ARE NOT LIMITED TO, FIRE HYDRANTS, MANHOLE RIMS, INLETS, WATER VALVES AND LIGHT BASES.
- FOR PATCHING USE PAVEMENT MIX PER CITY OF WAUKEE, IA STANDARD SPECIFICATIONS
- SAWCUTTING/GRINDING SLURRY SHALL BE CONTAINED AND DISPOSED PER SUDAS.

PLANTING GENERAL NOTES

- PLANT QUANTITIES IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY AND ARE NOT GUARANTEED. QUANTITIES ON PLAN WILL PREVAIL IF DISCREPANCIES OCCUR.
- THE CONTRACTOR SHALL SHOW PROOF OF PROCUREMENT, SOURCES, QUANTITIES AND VARIETIES FOR ALL SHRUBS, PERENNIALS, ORNAMENTAL GRASSES, AND ANNUALS WITHIN 21 DAYS FOLLOWING THE AWARD OF CONTRACT. TIMELY PROCUREMENT OF ALL PLANT MATERIAL IS ESSENTIAL TO THE SUCCESSFUL COMPLETION AND ACCEPTANCE OF THE PROJECT.
- SUBSTITUTIONS SHALL ONLY BE ALLOWED WHEN THE CONTRACTOR HAS EXHAUSTED ALL SOURCES FOR THE SPECIFIED MATERIAL AND HAS PROVEN THAT THE SPECIFIED MATERIAL IS NOT AVAILABLE. THE CONTRACTOR MUST PROVIDE NAME AND VARIETY OF SUBSTITUTION TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO TAGGING OR PLANTING. SUBSTITUTIONS SHALL BE NEAREST EQUIVALENT SIZE OF VARIETY OF PLANT HAVING SAME ESSENTIAL CHARACTERISTICS. SUBSTITUTIONS SHALL BE APPROVED IN WRITING BY THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN, SOUND, HEALTHY, VIGOROUS AND FREE FROM INSECTS, DISEASE AND INJURIES, WITH HABIT OF GROWTH THAT IS NORMAL FOR THE SPECIES. SIZES SHALL BE EQUAL TO OR EXCEEDING SIZES INDICATED ON THE PLANT LIST. KIND, SIZE AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1), MOST RECENT EDITION.
- STAKE OR PLACE ALL PLANTS IN FIELD AS INDICATED ON THE DRAWINGS OR AS DIRECTED BY THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLANTING.
- PLANT FIVE TREES FOR LANDSCAPE ARCHITECT APPROVAL PRIOR TO PLANTING THE REMAINING TREES ON SITE. DEMONSTRATION SHOULD ILLUSTRATE A COMPREHENSIVE UNDERSTANDING OF INFORMATION INCLUDED IN PLANTING DETAILS AND SPECIFICATIONS.
- PROVIDE A MINIMUM OF 48 HOURS NOTICE FOR APPROVAL OF PLANT LAYOUT AND SAMPLE TREE PLANTINGS.
- THE CONTRACTOR SHALL REPORT SUBSURFACE SOIL OR DRAINAGE PROBLEMS TO THE LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- SOD ALL AREAS WITHIN CONTRACT LIMITS, NOT COVERED BY PAVING, BUILDINGS, OR PLANTING BEDS, UNLESS OTHERWISE NOTED. IN ADDITION, ALL DISTURBED AREAS OUTSIDE THE CONTRACT LIMITS SHALL BE SODDED, INCLUDING WITHIN THE CITY ROW.
- CONTRACTOR SHALL PLACE SHREDDED BARK MULCH AROUND ALL TREES AND IN ALL PLANTING BEDS TO A DEPTH OF 3".
- SEE SPECIFICATIONS FOR PLANT MAINTENANCE AND WARRANTY REQUIREMENTS.
- ALL PLANTS SHALL ACCOMMODATE A 60" CLEAR SPACE AROUND THE CIRCUMFERENCE OF FIR HYDRANTS EXCEPT AS OTHERWISE REQUIRED OR APPROVED.

File Location: N:\2025\10\10\21-18 F4 Ashworth Retail\21072-18_WORKING\AUTOCAD\DWG\SHEET\L000 COVER / SAVE DATE: 21/10/2025 1:36 PM BY: jdobesh / PLOT DATE: 21/10/2025 7:29 PM BY: Jared Dobesh

KEETOWN LOOP - F4 ASHWORTH
 2980 GRAND PRAIRIE PARKWAY
 WAUKEE, IOWA

GENERAL NOTES
 A. REFERENCE ALL NOTES ON SHEET L001 AND SPECIFICATION MANUAL.

- KEYNOTES**
- 1 PROTECT & PRESERVE EXISTING PCC WALK SLAB
 - 2 CONTRACTOR TO STRIP TOPSOIL TO PROVIDE A MINIMUM DEPTH OF 8" AT FINAL GRADE.
 - 3 REMOVE AND LEGALLY DISPOSE OF EXISTING CONCRETE.
 - 4 PRESERVE & PROTECT EXISTING UTILITIES
 - 5 CLEAR AND GRUB EXISTING VEGETATION

PAVEMENT LEGEND (SITE):

- GRADING EXTENTS
- DEMO EXTENTS
- CLEAR AND GRUB VEGETATION
- EXISTING PUBLIC SIDEWALK PCC

ISSUE SCHEDULE

ISSUE	DATE	DESCRIPTION
01	01/07/2025	INITIAL SITE SUBMITTAL
02	01/28/2025	SITE PLAN RESUBMITTAL #1
03	02/13/2025	SITE PLAN RESUBMITTAL #2
04	02/21/2025	SITE PLAN RESUBMITTAL #3

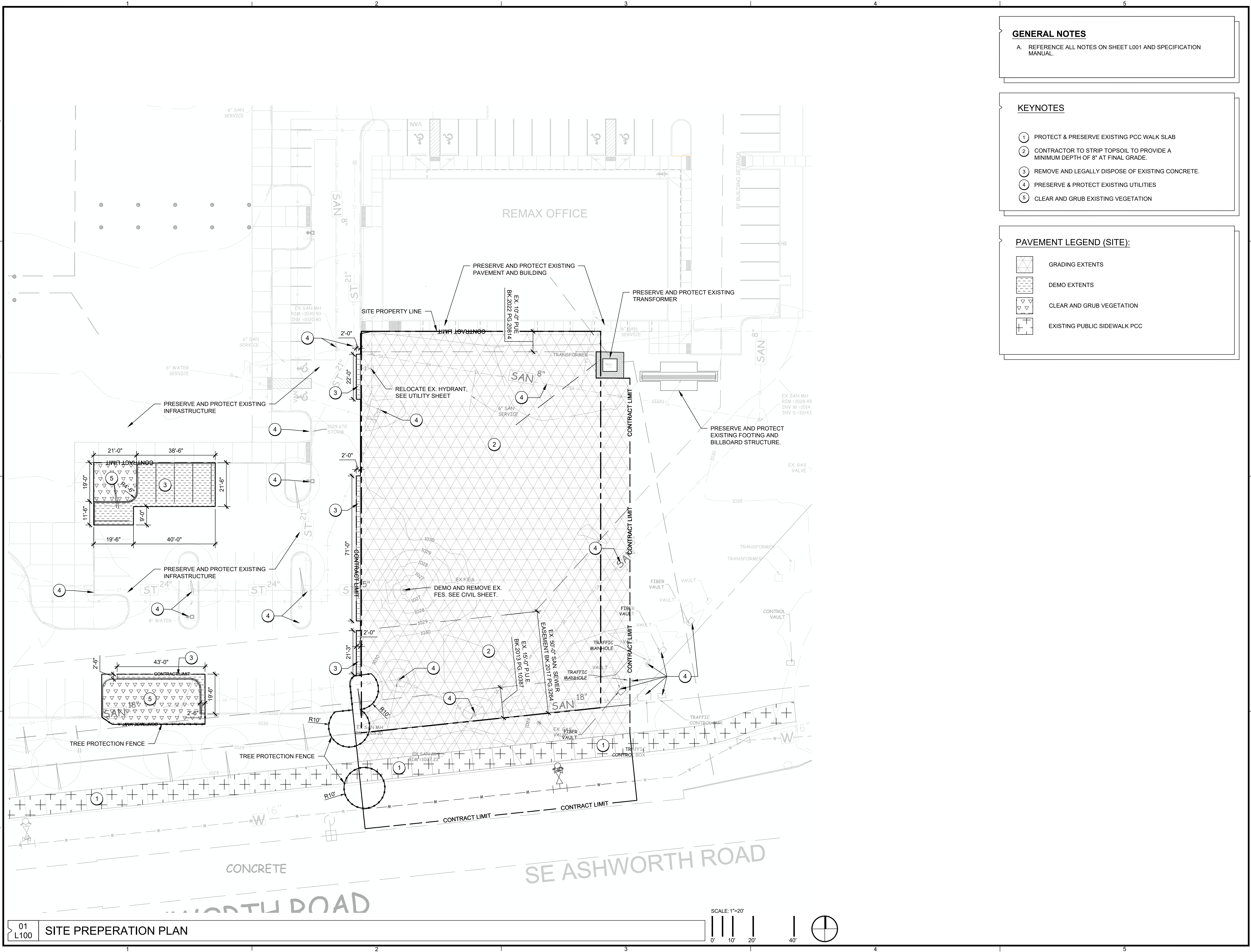
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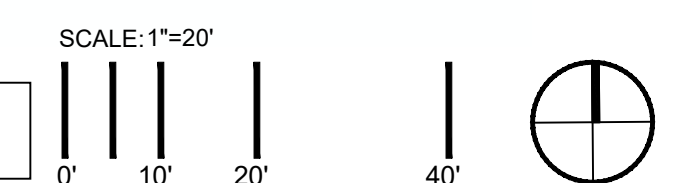
SITE PREPARATION PLAN

CONFLUENCE PROJECT # 21072-18

L100



01 SITE PREPARATION PLAN



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KEETOWN LOOP - F4 ASHWORTH
 2980 GRAND PRAIRIE PARKWAY
 WAUKEE, IOWA

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LAYOUT PLAN

CONFLUENCE PROJECT # 21072-18

L200

GENERAL NOTES

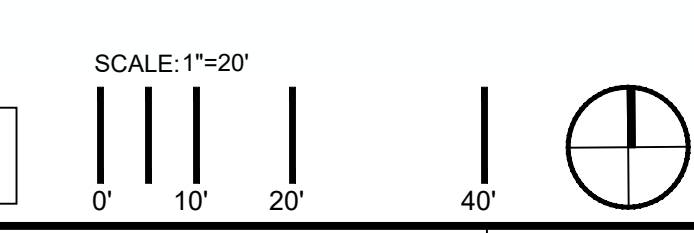
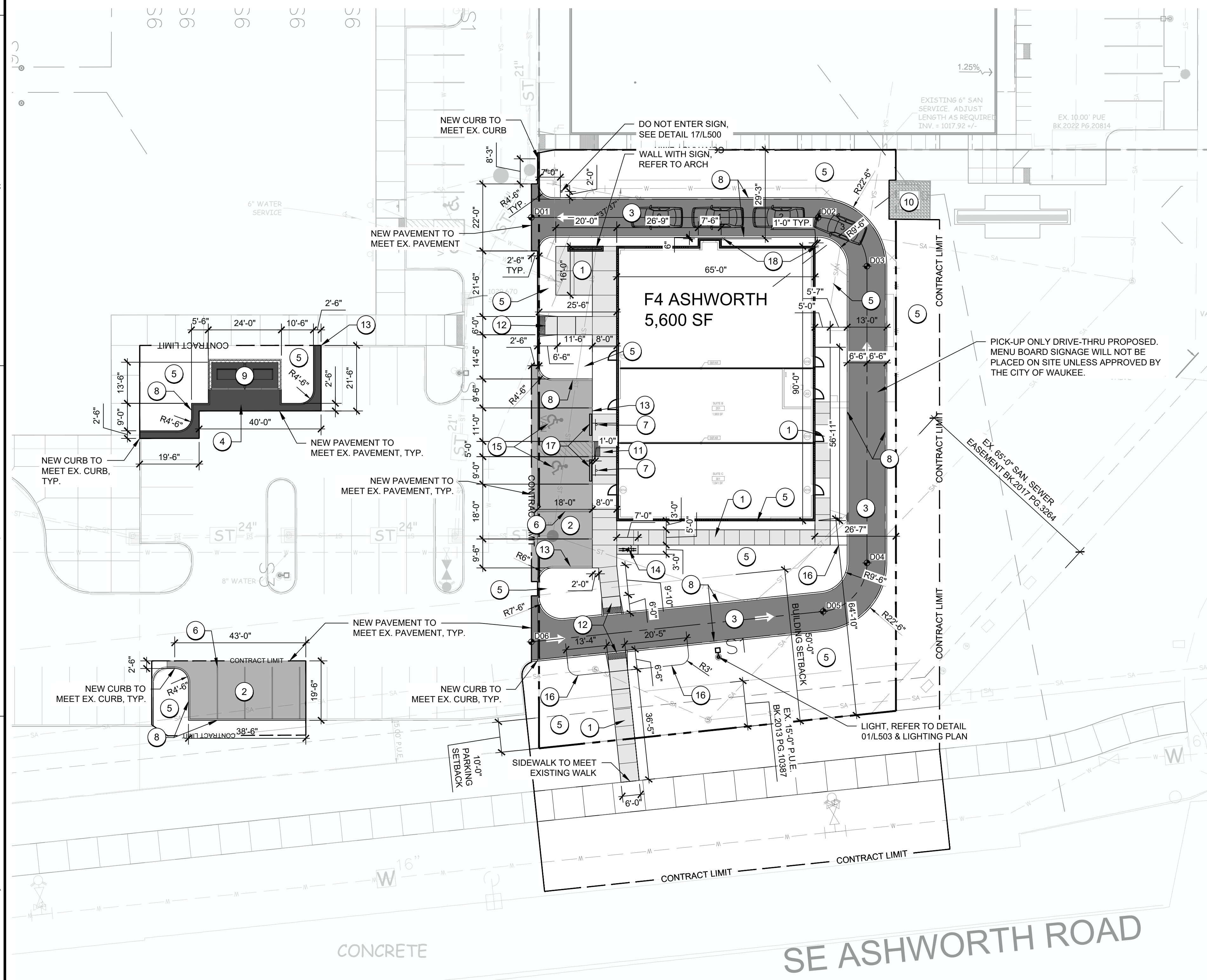
- A. REFERENCE ALL NOTES ON SHEET L001 AND SPECIFICATION MANUAL.
- B. PCC PAVEMENT HATCH AT ENTRANCES/ EXITS OF BUILDING IS INDICATIVE OF WHERE PCC PAVEMENT WILL MEET STRUCTURAL STOOPI/ FROST FOOTING.

KEYNOTES

- 1 PCC PAVEMENT TYPE 1(WALK), SEE DETAIL 01/L500
- 2 PCC PAVEMENT TYPE 2 (PARKING), SEE DETAIL 02/L500
- 3 PCC PAVEMENT TYPE 3 (DRIVES), SEE DETAIL 03/L500
- 4 PCC PAVEMENT TYPE 4 (DUMPSTER), SEE DETAIL 04/L500
- 5 LANDSCAPE AREAS, SEE PLANTING SHEETS
- 6 PAINTED PARKING LOT LINES, SEE SUDAS
- 7 ADA STALL SIGNAGE, SEE DETAIL 12/L500
- 8 STANDARD PCC CURB AND GUTTER, SEE DETAIL 04/L500
- 9 TRASH ENCLOSURE, SEE ARCHITECTURAL SHEETS
- 10 EX. TRANSFORMER, SEE ELECTRICAL SHEETS
- 11 PARALLEL ACCESS RAMP, SEE DETAIL 03/L501
- 12 RETURN CURB AT ADA RAMP, SEE DETAILS 01/L501 & 02/L501
- 13 INTEGRAL CURB AND GUTTER, SEE DETAIL 05/L500
- 14 TRIO BIKE RACK, CENTERED ON SLAB, SEE DETAIL 15/L500
- 15 ADA PARKING SYMBOL, SEE DETAIL 11/L500
- 16 SPADE CUT EDGE, SEE DETAIL 03/L502
- 17 CONCRETE WHEEL STOP, TYP. SEE DETAIL 16/L500
- 18 PROTECTIVE BOLLARD WSLEEVE. SEE DETAIL 14/L500

LEGEND:

- PROPERTY LINE
- [Hatched Box] PCC PAVEMENT (TYPE 1), SEE DETAIL 01/L500
- [Darker Hatched Box] PCC PAVEMENT (TYPE 2), SEE DETAIL 02/L500
- [Dark Hatched Box] PCC PAVEMENT (TYPE 3), SEE DETAIL 03/L500
- [Black Box] PCC PAVEMENT (TYPE 4), SEE DETAIL 04/L500
- [Circle with X] LIGHT, SEE DETAIL 01/L503



01 L200 LAYOUT PLAN

File Location: N:\2025\10\1072-18 F4 Ashworth\AutoCAD\Drawings\200 LAYOUT / SAVE DATE: 2/19/2025 3:49 PM BY: jdobash / PLOT DATE: 2/19/2025 7:30 PM BY: Jared Dobash

GENERAL NOTES

1. REFERENCE ALL NOTES ON SHEET L001 AND SPECIFICATION MANUAL.

ABBREVIATIONS

- BC: BOTTOM OF CURB
- TC: TOP OF CURB
- FFE: FINISHED FLOOR ELEVATION
- LP: LOW POINT
- HP: HIGH POINT
- ME: MEET EXISTING

KEETOWN LOOP - F4 ASHWORTH
 2980 GRAND PRAIRIE PARKWAY
 WAUKEE, IOWA

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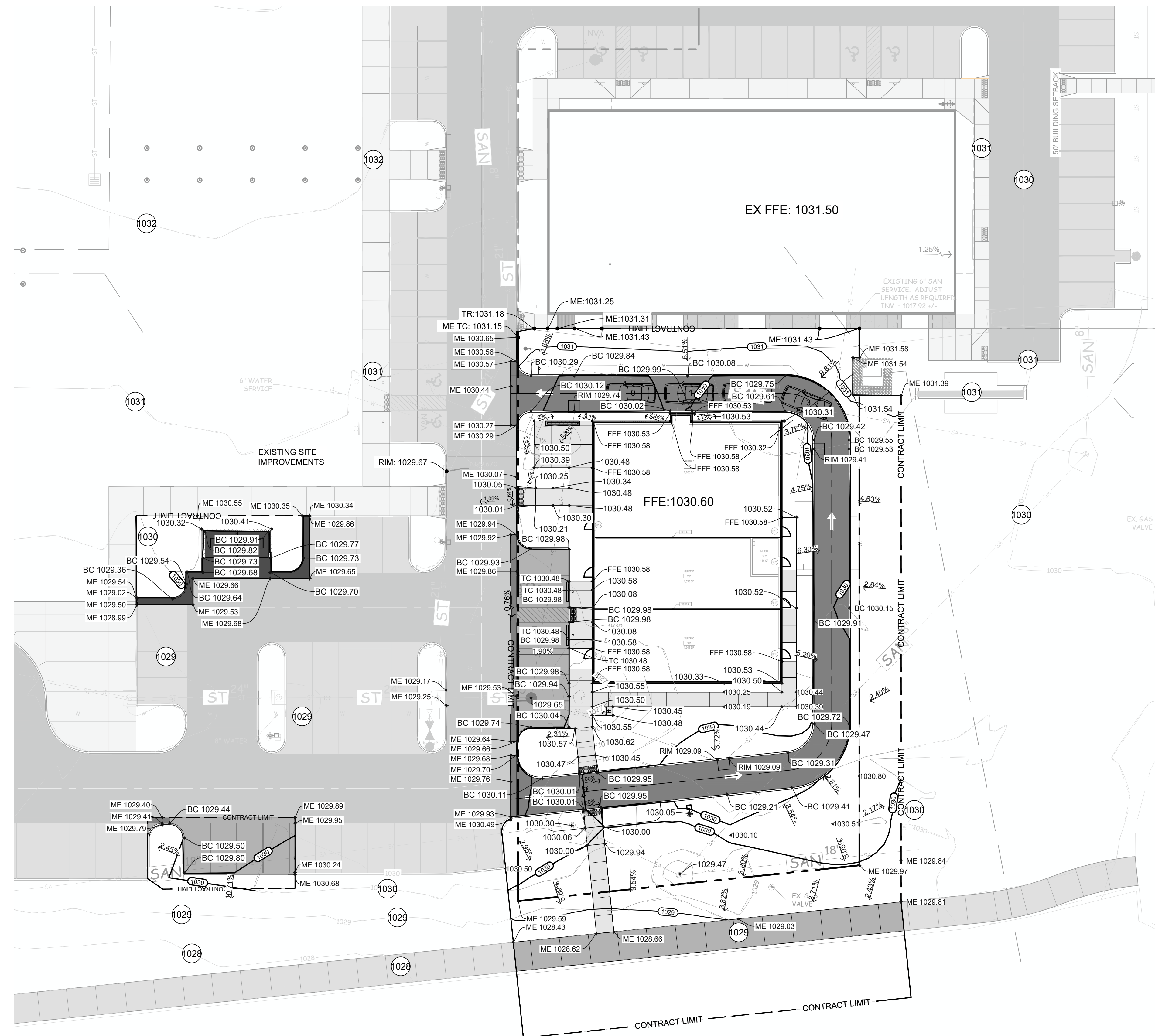
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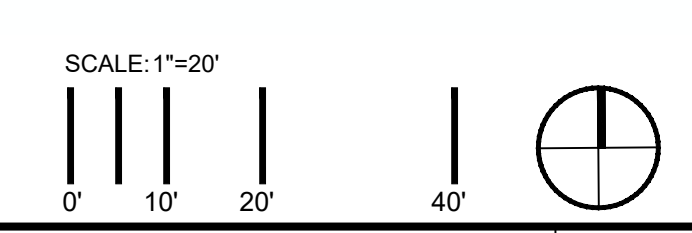
GRADING PLAN

CONFLUENCE PROJECT # 21072-18

L300



SE ASHWORTH ROAD



01 GRADING PLAN
 L300

File Location: N:\2025\1072-18 F4 Ashworth\AutoCAD\Sheets\L300 SITE GRADING / SAVE DATE: 1/28/2025 12:44 PM BY: Jobesh / PLOT DATE: 2/19/2025 7:30 PM BY: Jared Doherty

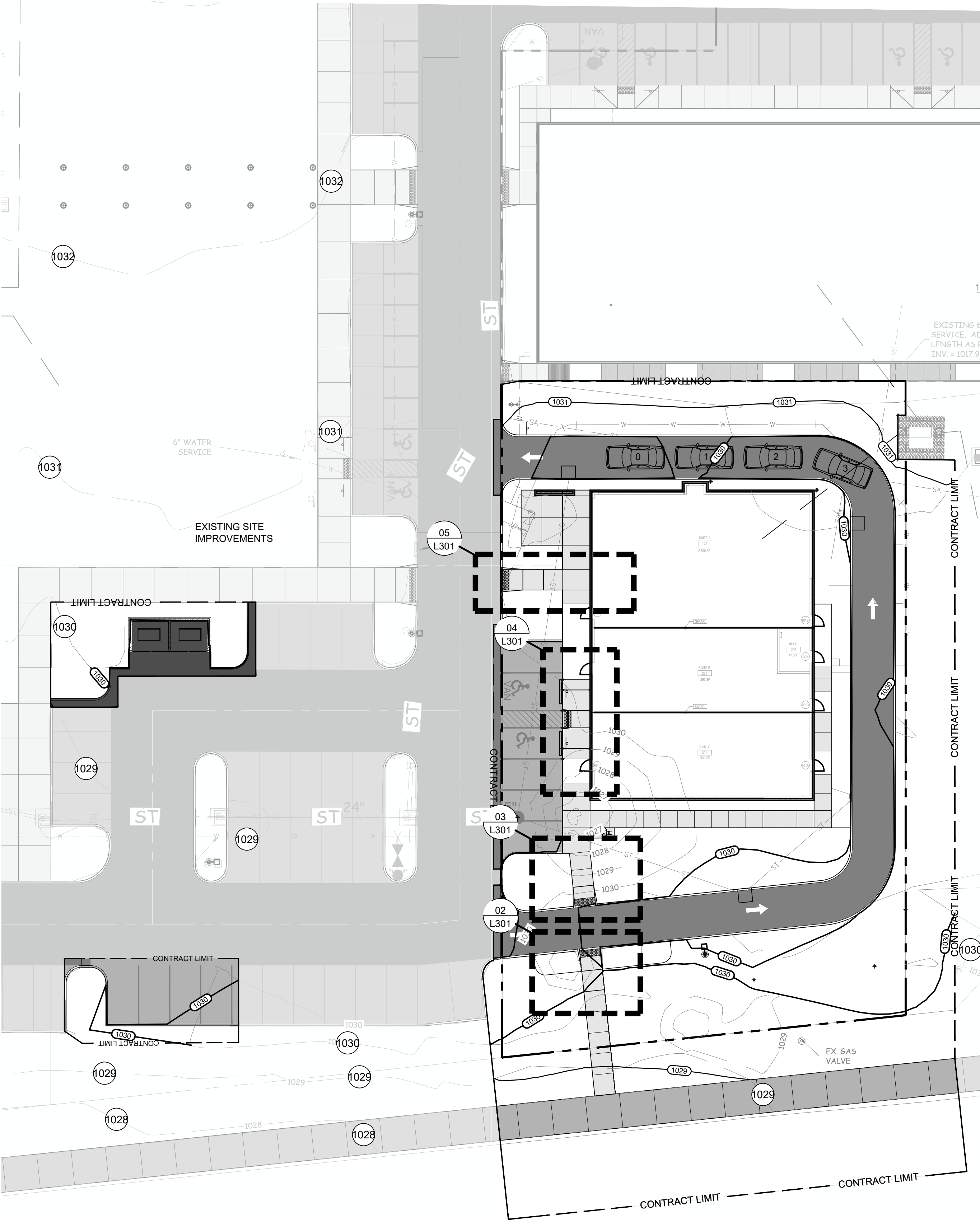
KEETOWN LOOP - F4 ASHWORTH
 2980 GRAND PRAIRIE PARKWAY
 WAUKEE, IOWA

GENERAL NOTES

1. REFERENCE ALL NOTES ON SHEET L001 AND SPECIFICATION MANUAL.

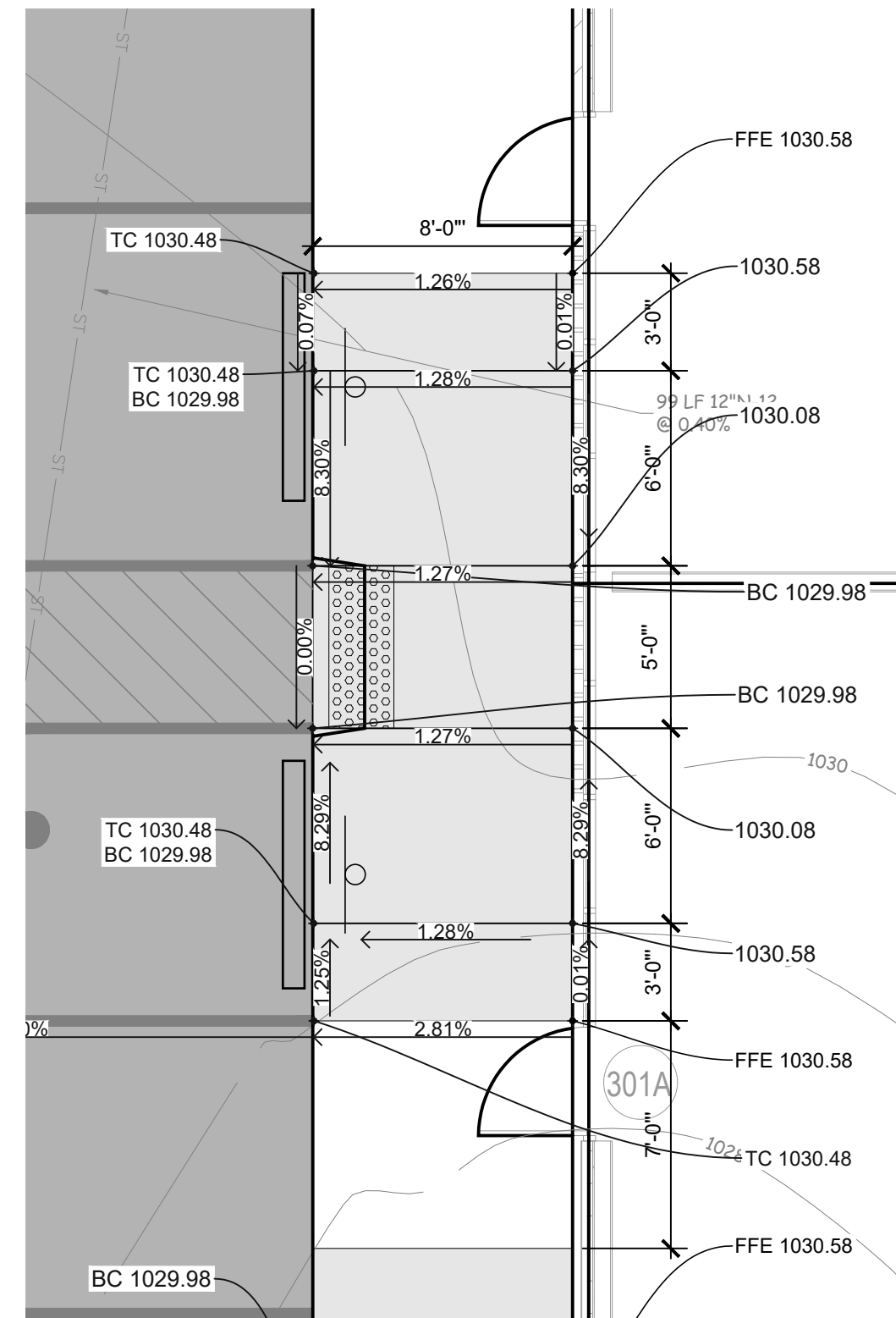
ABBREVIATIONS

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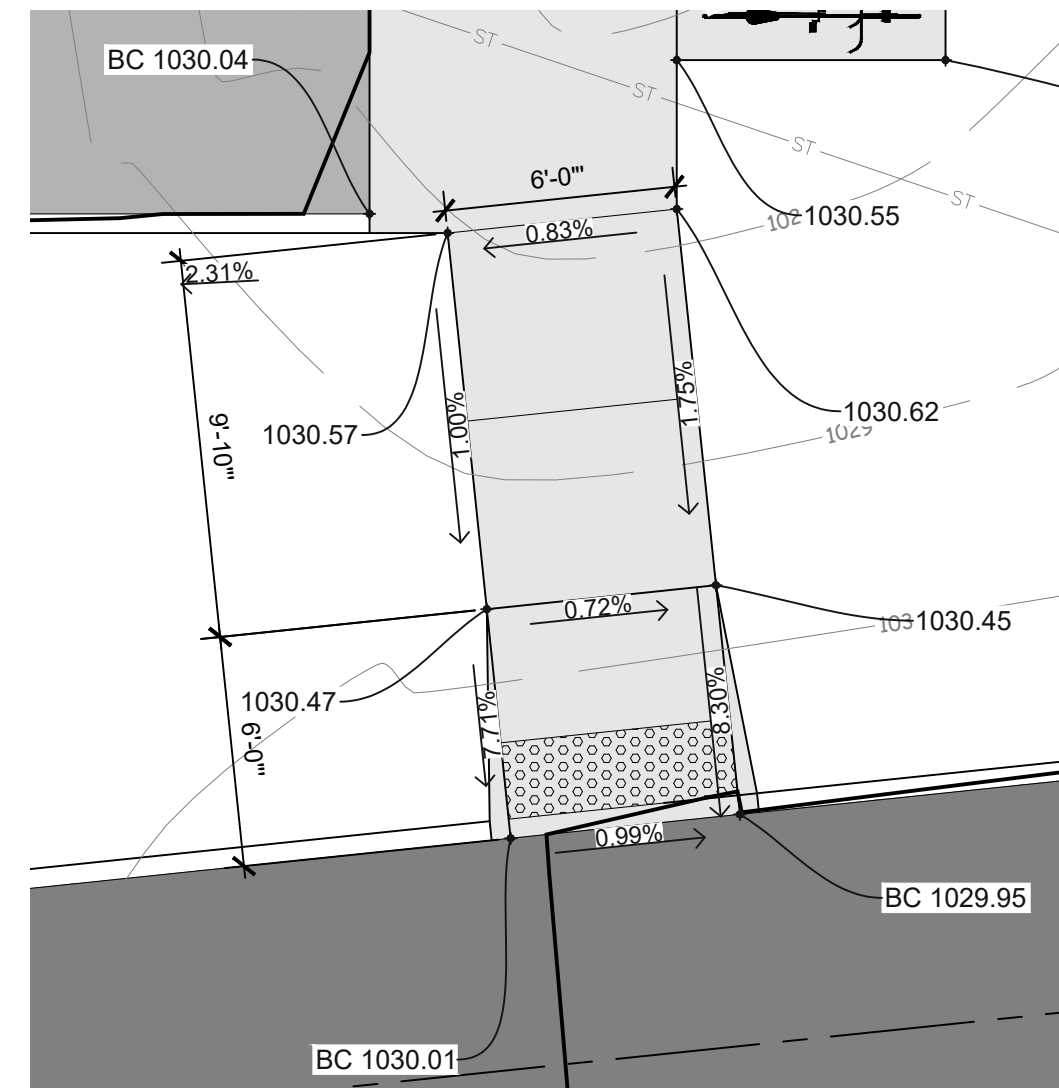


01 L301 SIDEWALK RAMP DETAILS

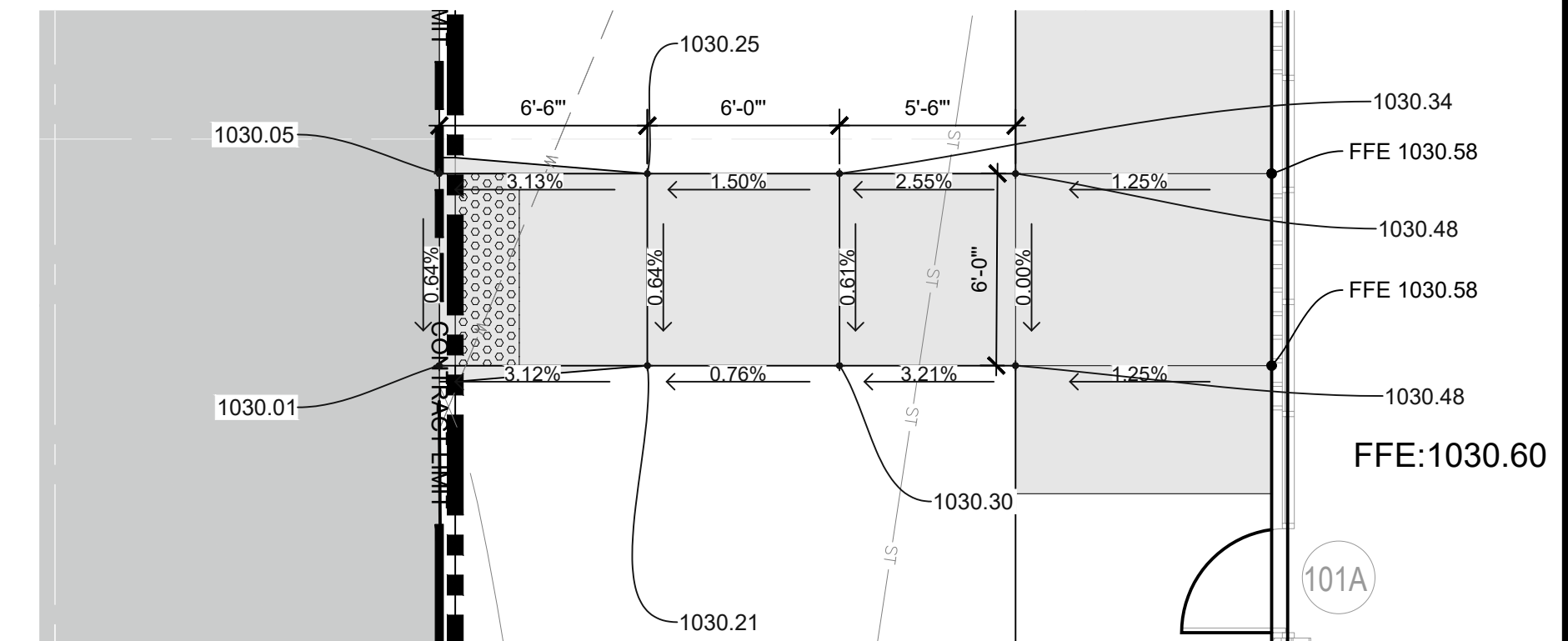
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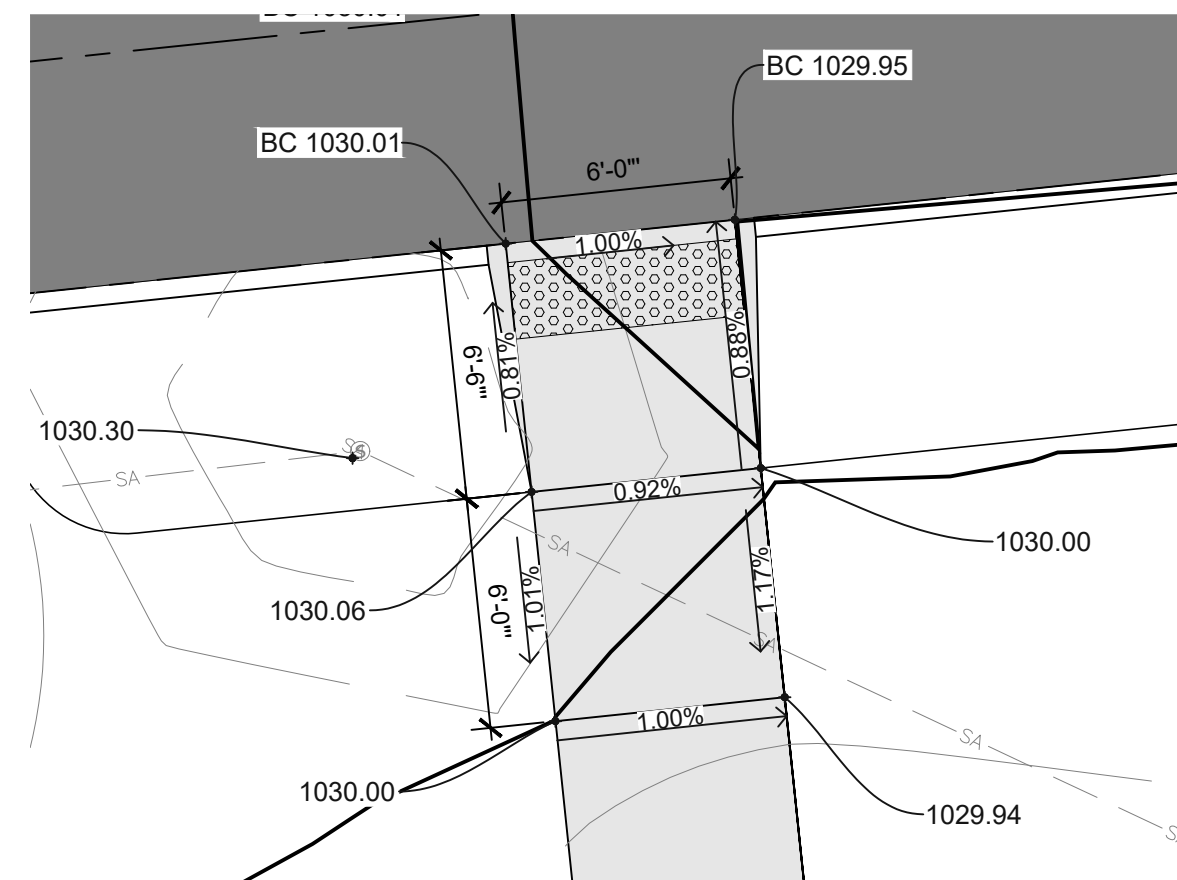
04 L301 SIDEWALK RAMP DETAILS



03 L301 SIDEWALK RAMP DETAILS



05 L301 SIDEWALK RAMP DETAILS



02 L301 SIDEWALK RAMP DETAILS

ISSUE SCHEDULE

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**SIDEWALK RAMP
 DETAILS**

CONFLUENCE PROJECT # 21072-18

L301

GENERAL NOTES

- A. REFERENCE STORM WATER MANAGEMENT PLAN KEETOWN LOOP FOR SWMP OF THIS SITE.
- B. REFERENCE ALL NOTES ON SHEET L001 AND SPECIFICATION MANUAL.

KEETOWN LOOP - F4 ASHWORTH
 2980 GRAND PRAIRIE PARKWAY
 WAUKEE, IOWA

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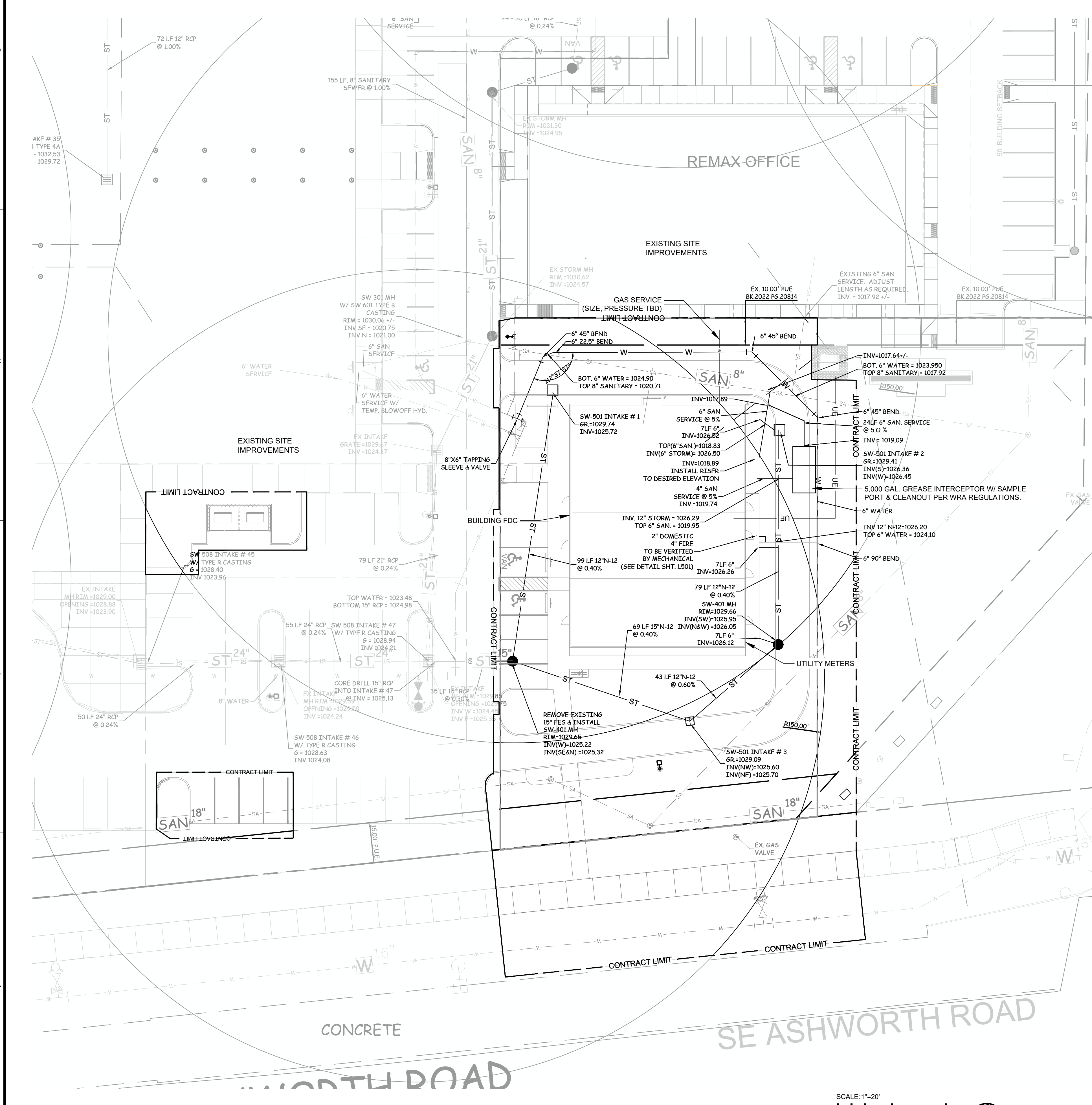
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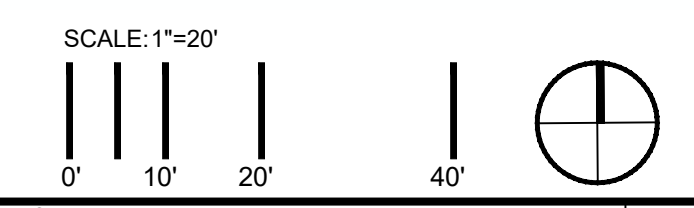
UTILITY PLAN

CONFLUENCE PROJECT # 21072-18

L302



01 L302 UTILITY PLAN



File Location: N:\2025\12\1072-18 F4 Ashworth\Revised\21072-18 WORKING\AUTO\DOCS\SHEETS\L302 UTILITY PLAN / SAVE DATE: 2/19/2025 7:27 PM BY: jdobson / PLOT DATE: 2/19/2025 7:32 PM BY: Jared Dobson

KEETOWN LOOP - F4 ASHWORTH
 2980 GRAND PRAIRIE PARKWAY
 WAUKEE, IOWA

- EROSION AND POLLUTION CONTROL NOTES**
1. REFERENCE STORM WATER MANAGEMENT PLAN KEETOWN LOOP FOR SWAMP OF THIS SITE.
 2. THE SUBCONTRACTOR RESPONSIBLE FOR EROSION AND POLLUTION CONTROL SHALL CARRY OUT THE MEASURES DETAILED ON THIS SITE PLAN.
 3. CONTROLS MUST BE IN GOOD OPERATING CONDITION UNTIL THE CONSTRUCTION ACTIVITY IS COMPLETE AND FINAL STABILIZATION HAS BEEN REACHED.
 4. THE SUBCONTRACTOR SHALL INSPECT THE SITE AT MINIMUM ONCE EVERY 7 DAYS. ALL DISTURBED AREAS OF THE SITE, AREAS OF MATERIAL STORAGE, LOCATIONS WHERE VEHICLES ENTER/EXIT THE SITE. ALL OF THE EROSION AND SEDIMENT CONTROLS THAT ARE IDENTIFIED AS PART OF THIS PLAN AND ACCESSIBLE DISCHARGE LOCATIONS MUST BE INSPECTED.
 5. THE SUBCONTRACTOR IS TO TAKE NECESSARY ACTIONS TO CORRECT DEFICIENCIES FOUND DURING INSPECTIONS AS SOON AS PRACTICAL BUT IN NO CASE LATER THAN 7 DAYS AFTER THE INSPECTION IN WHICH THE DEFICIENCY WAS FOUND.
 6. THE SUBCONTRACTOR SHALL KEEP LOG AND PREPARE WEEKLY REPORTS DETAILING THE INSPECTIONS AND MEASURES TAKEN TO CORRECT ANY AND ALL DEFICIENCIES FOUND IN THE EROSION AND POLLUTION CONTROL MEASURES. THE REPORTS SHALL CONFORM TO THE STANDARDS SET BY THE IOWA DEPARTMENT OF NATURAL RESOURCES. COPIES OF THESE REPORTS SHALL BE FORWARDED TO THE DEVELOPER AND TO COOPER CRAWFORD & ASSOCIATES, L.L.C.
 7. AFTER INITIAL GRADING PRIOR TO UTILITY CONSTRUCTION - ALL DISTURBED AREAS OUTSIDE OF THE PROPOSED R.O.W.'S ARE TO HAVE TEMPORARY SEEDING AND MULCHING (TYPE 4 SEED MIXTURE PER SUDAS TABLE 9010.09). CONTRACTOR AND SUBS ARE TO TRY TO MINIMIZE DISTURBANCE TO THESE SEEDED AREAS THROUGH THE USE OF SPECIFIC ACCESS ROUTES WITHIN THE SITE.
 8. DURING CONSTRUCTION, IF IT BECOMES EVIDENT THAT A DISTURBED AREA WILL NOT BE DISTURBED FOR 14 DAYS, IT SHALL BE STABILIZED IMMEDIATELY.
 9. SODDING TO BE DONE IMMEDIATELY AFTER FINAL GRADING.
 10. ANY FAILED AREAS OF SEEDING/MULCHING SHALL BE REAPPLIED.
 11. ANY SOIL OR SPILL WASHED, TRACKED OR DROPPED ONTO ADJOINING RIGHT-OF-WAYS AND PROPERTY WILL BE CLEANED UP BY THE END OF THE WORKING DAY AND PRIOR TO A RAIN EVENT.
 12. FILTER SOCKS ARE TO BE INSPECTED ONCE A WEEK AND AFTER EACH RAINSTORM. LOOK FOR UNDERCUTTING AND FAILURES IN FABRIC. REPLACE/REPAIR AS NECESSARY.
 13. ADDITIONAL FILTER SOCKS (TO THAT SHOWN ON THIS PLAN) MAY BE REQUIRED IN AREAS WHERE EROSION IS EVIDENT.
 14. FILTER SOCKS ARE TO BE CLEANED UP WHEN THEY HAVE LOST 50% OF THEIR CAPACITY.
 15. ALL INTAKES SHALL HAVE FILTER SOCKS PRIOR TO PAVING AND INLET DROP PROTECTION AFTER PAVING. THESE INLET DROP PROTECTION TO REMAIN IN PLACE UNTIL THE SITE HAS A PERMANENT PERENNIAL GROUND COVER. INLET DROP PROTECTION TO BE INSTALLED IN THE EXISTING INTAKES IN SE PARKVIEW CROSSING DRIVE SOUTH OF THE CONSTRUCTION ENTRANCES.
 16. ALL INTAKES SHALL BE COVERED DURING CONSTRUCTION TO PREVENT SEDIMENTATION DEPOSITS WITHIN THE STORM SEWER.
 17. IN THE EVENT THAT SEEDING/MULCHING DOES NOT OCCUR PRIOR TO WINTER, ALL DISTURBED AREAS WILL BE MULCHED.
 18. NO BORROW/SPOILS SITES ARE ANTICIPATED.
 19. EROSION CONTROL CONTACT IS THE PROJECT SWPPP MANAGER.
 20. EROSION CONTROLS TO BE IN ACCORDANCE WITH SUDAS SECTION 9040. SILT FENCE OR FILTER SOCKS, SEDIMENT BASIN, STABILIZED CONSTRUCTION ENTRANCE, EROSION CONTROL MULCH, INLET PROTECTION ARE EXAMPLES OF THE TYPE OF CONTROLS THAT WILL BE UTILIZED DURING CONSTRUCTION. OTHERS MAY BE INCORPORATED BY THE SWPPP INSPECTOR/CONTRACTOR AS SITE CONDITIONS WARRANT.

- LEGEND AND QUANTITIES**
- SILT FENCE = 800 LF

- GENERAL NOTES**
1. SITE IS CURRENTLY ROUGH GRADED SO NO STOCKPILE IS ANTICIPATED. IF A STOCKPILE IS CREATED, DOWNSLOPE SILT FENCE WILL BE INSTALLED AND THE LOCATION WILL BE ADDED TO THE PLAN BY THE SWPPP INSPECTOR.
 2. STORM WATER WILL DRAIN TO EXISTING STORM SEWER SYSTEM, TO A STORM WATER DETENTION FACILITY AND ULTIMATELY TO SUGAR CREEK.

ISSUE SCHEDULE

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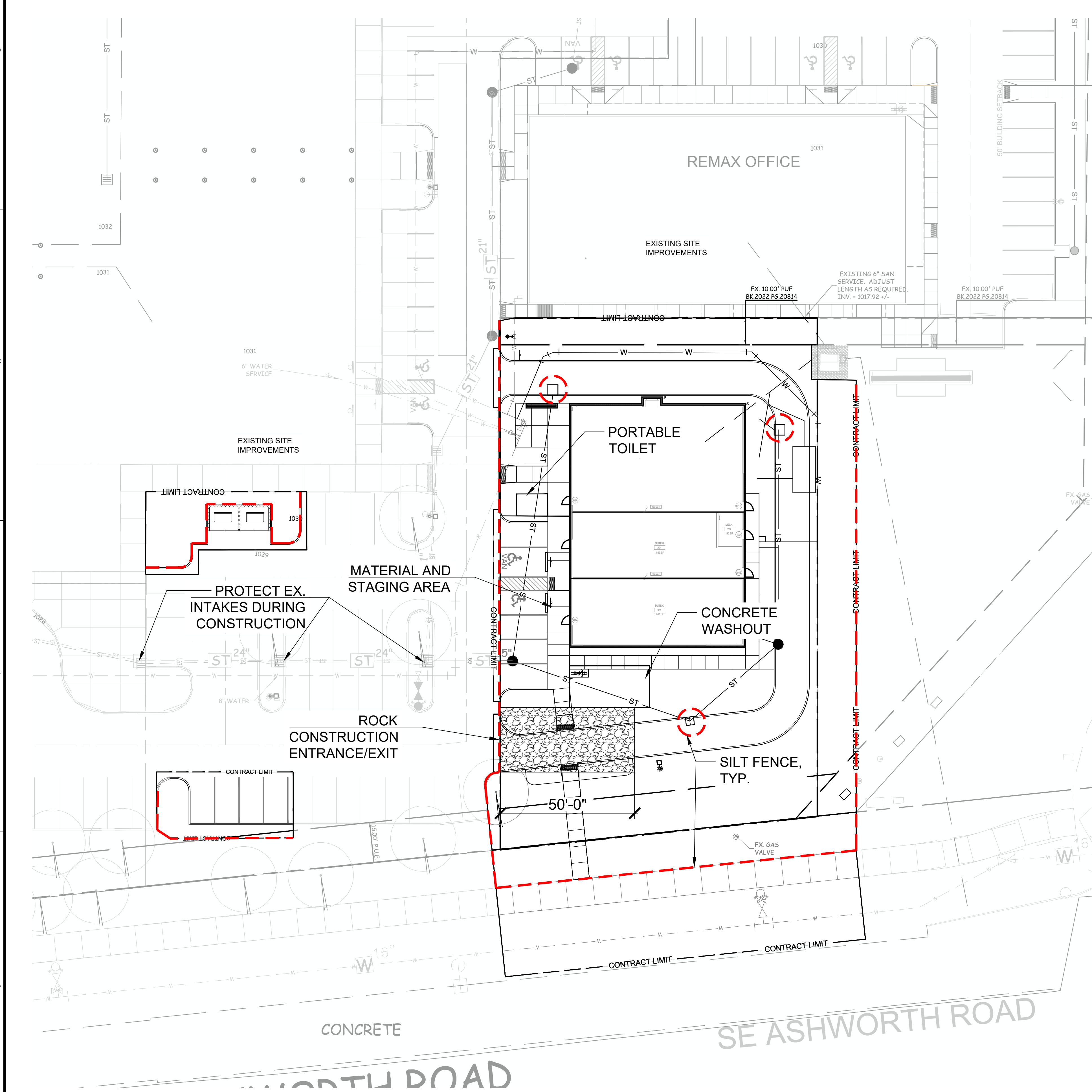
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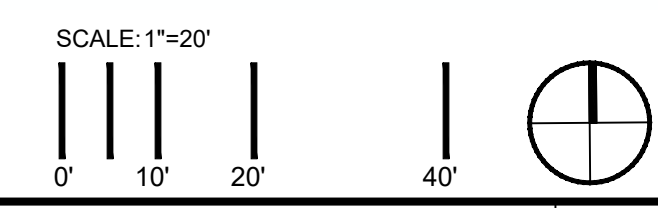
EROSION AND SEDIMENT CONTROL PLAN

CONFLUENCE PROJECT # 21072-18

L304



01 L304 EROSION AND SEDIMENT CONTROL PLAN



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KEETOWN LOOP - F4 ASHWORTH
 2980 GRAND PRAIRIE PARKWAY
 WAUKEE, IOWA

ISSUE SCHEDULE

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PLANTING PLAN -
 TREES

CONFLUENCE PROJECT # 21072-18

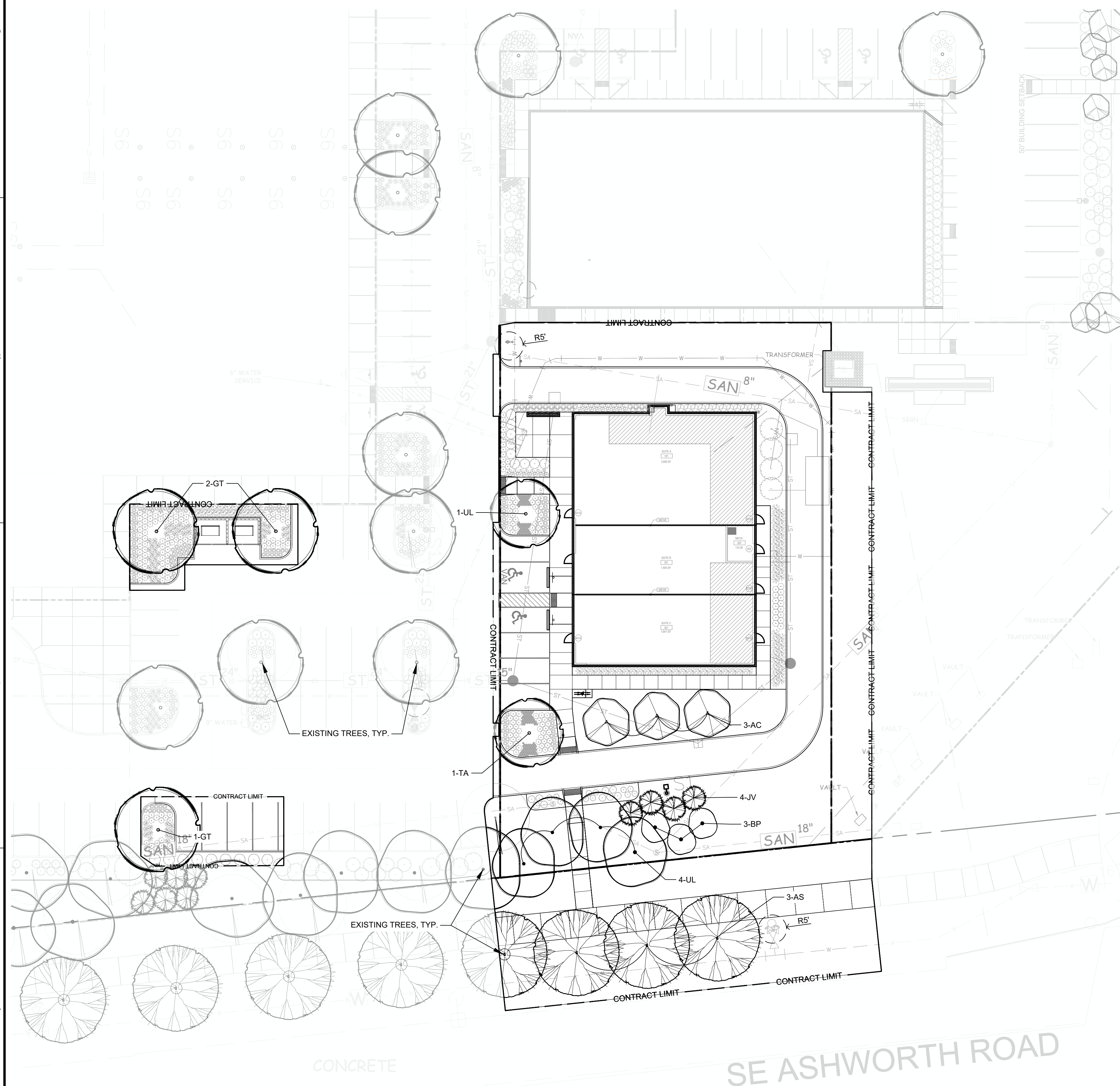
L400

GENERAL NOTES

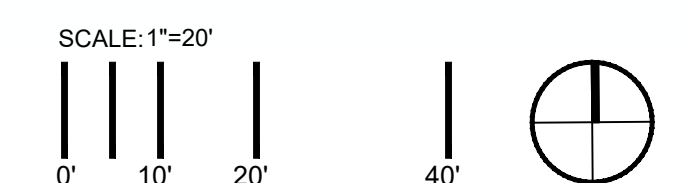
- A. REFERENCE ALL NOTES ON SHEET L001 AND SPECIFICATION MANUAL.
- B. OVERSTORY TREES SHALL BE A MINIMUM OF 8 FEET & EVERGREENS AND ORNAMENTAL TREES SHALL BE A MINIMUM OF 6 FEET IN HEIGHT.

PLANT SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING & REMARKS
OVERSTORY TREES						
AS	3	Acer Saccharum	SUGAR MAPLE	2.0" CAL.	B&B	SPECIMEN QUALITY
BP	3	Betula platyphylla 'Fargo'	DAKOTA PINNACLE BIRCH	2.0" CAL.	B&B	AS SHOWN ON PLAN.
GT	3	Gleditsia triacanthos var. inermis 'Skyline'	SKYLINE HONEY LOCUST	2.0" CAL.	B&B	SPECIMEN QUALITY
TA	1	Tilia americana 'Redmond'	REDMOND AMERICAN LINDEN	2.0" CAL.	B&B	SPECIMEN QUALITY
UL	5	Ulmus 'New Horizon'	NEW HORIZON ELM	2.0" CAL.	B&B	AS SHOWN ON PLAN.
UNDERSTORY TREES						
AC	3	Amelanchier canadensis 'Spring Glory'	SPRING GLORY SERVICEBERRY	6' HT.	B&B	SINGLE-STEM
EVERGREEN TREES						
JV	4	Juniperus virginiana 'Burkii'	BURKII EASTERN RED CEDAR	6' HT.	B&B	8'-0" O.C., MALE ONLY



01 PLANTING PLAN - TREES
 L400



File Location: N:\2025\10\10\21-18 F4 Ashworth Retail\21072-18 WORKING\AUTOCAD\03\SHEETS\L400 PLANTING PLAN / SAVE DATE: 1/28/2025 12:50 PM BY: jdobson / PLOT DATE: 2/19/2025 7:33 PM BY: Jared Dobson

KEETOWN LOOP - F4 ASHWORTH
 2980 GRAND PRAIRIE PARKWAY
 WAUKEE, IOWA

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**PLANTING
 PLAN-GROUND
 PLANE TREATMENT**
 CONFLUENCE PROJECT # 21072-18

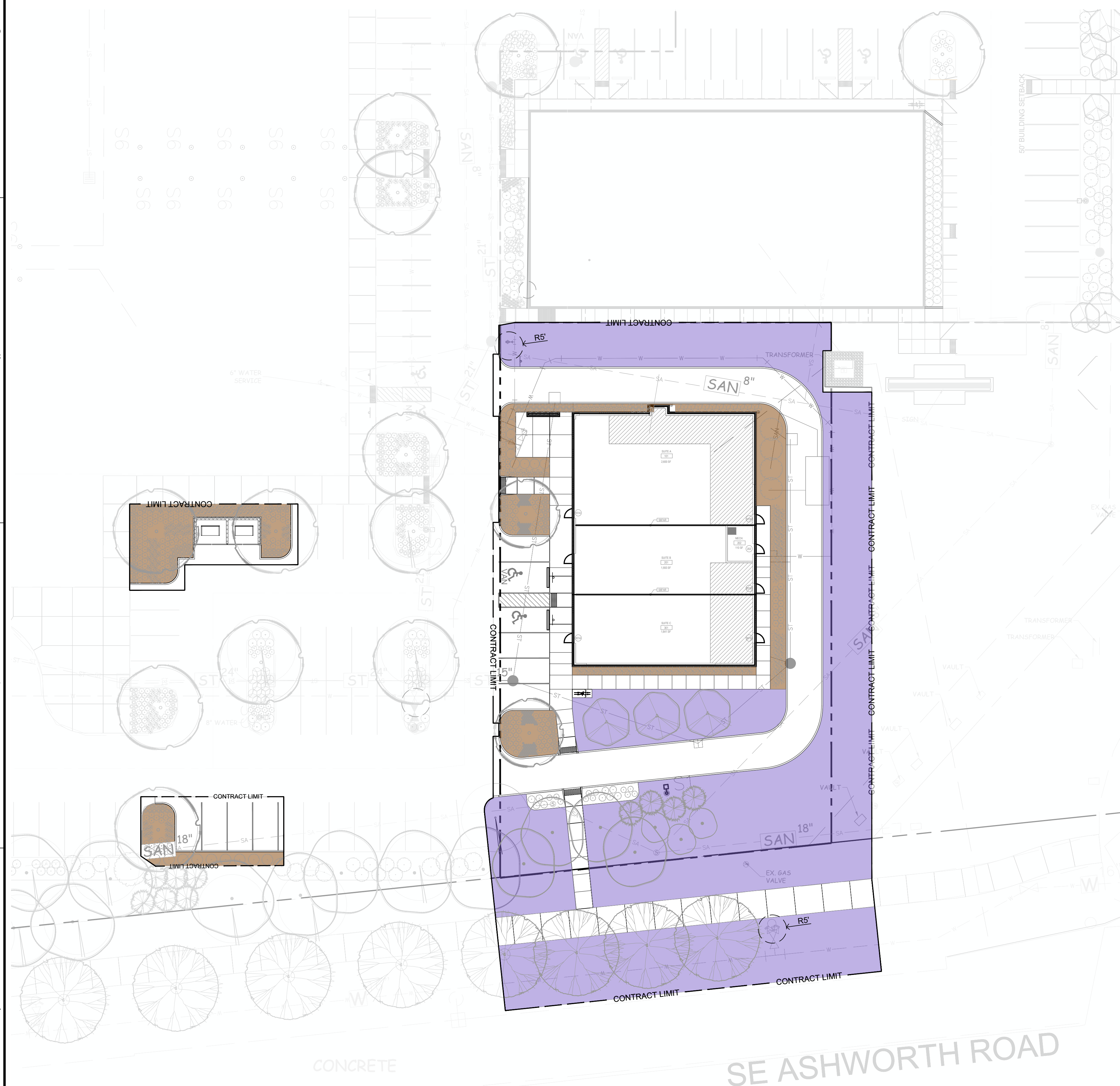
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GENERAL NOTES

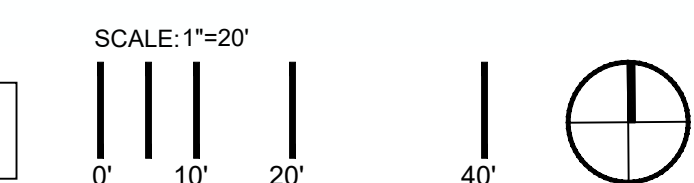
- A. REFERENCE ALL NOTES ON SHEET L001 AND SPECIFICATION MANUAL.
- B. OVERSTORY TREES SHALL BE A MINIMUM OF 8 FEET & EVERGREENS AND ORNAMENTAL TREES SHALL BE A MINIMUM OF 6 FEET IN HEIGHT.

SYMBOL LEGEND

- SOD: 12,545 SF
- HARDWOOD MULCH: 3,500 SF



01 PLANTING PLAN - GROUND COVER



File Location: N:\2025\10\10\21-18 F4 Ashworth Retail\21072-18 WORKING\G\AUTOCAD\SHEETS\L400 PLANTING PLAN / SAVE DATE: 1/28/2025 12:50 PM BY: jdobson / PLOT DATE: 2/19/2025 7:33 PM BY: Jared Dobson

KEETOWN LOOP - F4 ASHWORTH
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ISSUE SCHEDULE

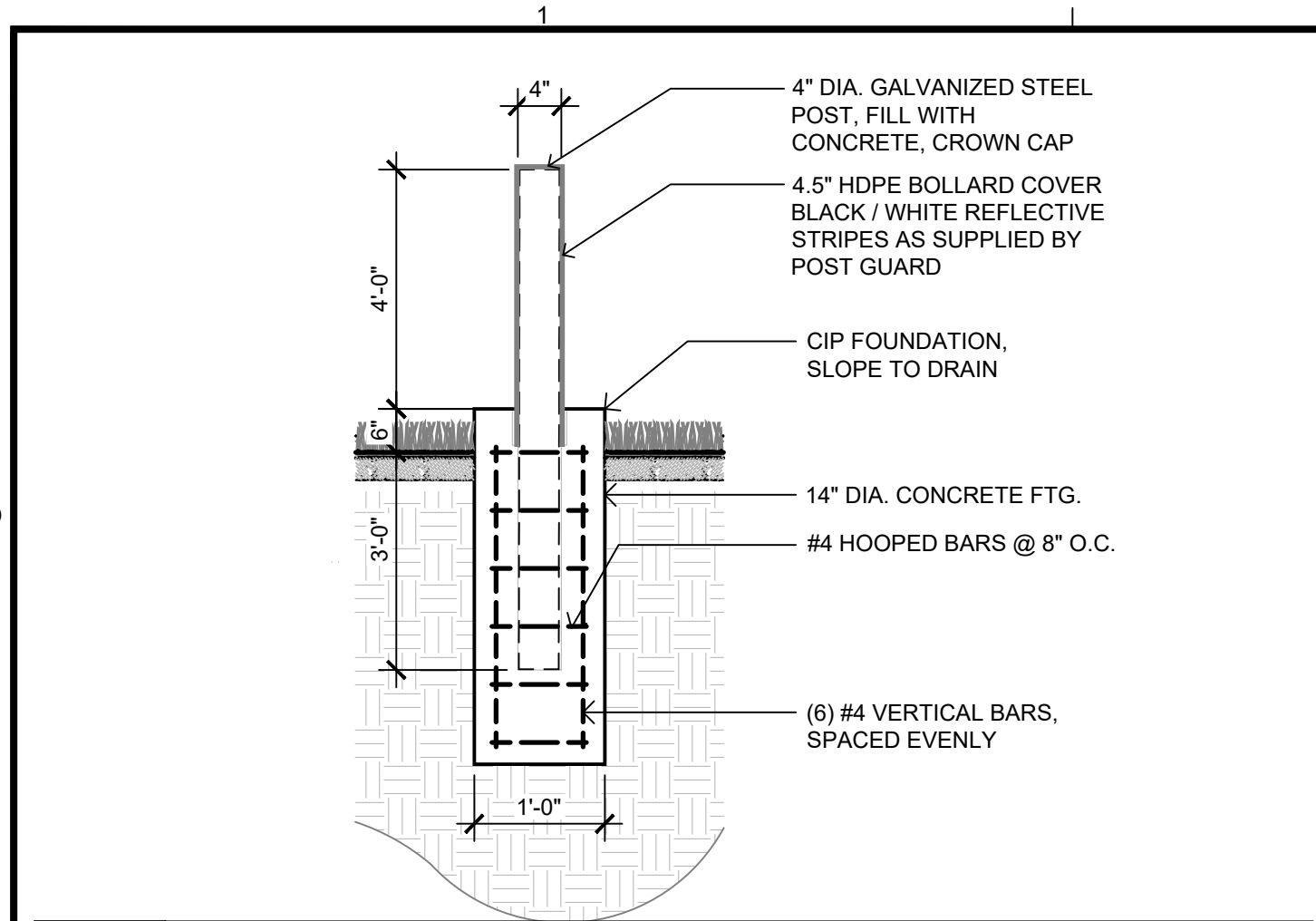
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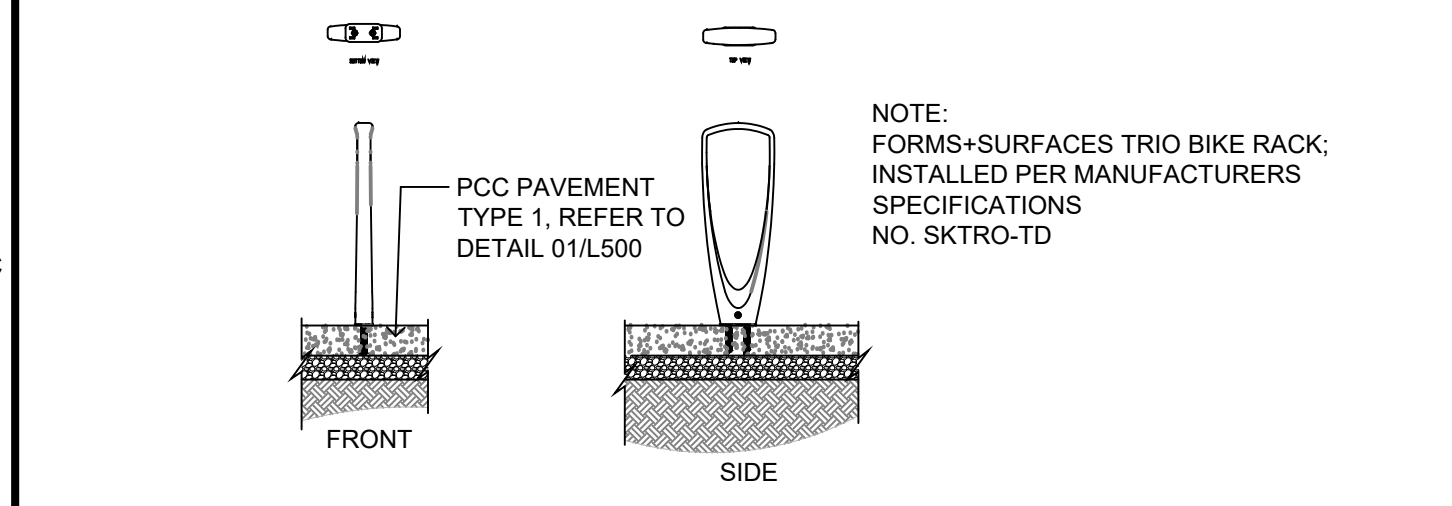
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SITE DETAILS
 CONFLUENCE PROJECT # 21072-18

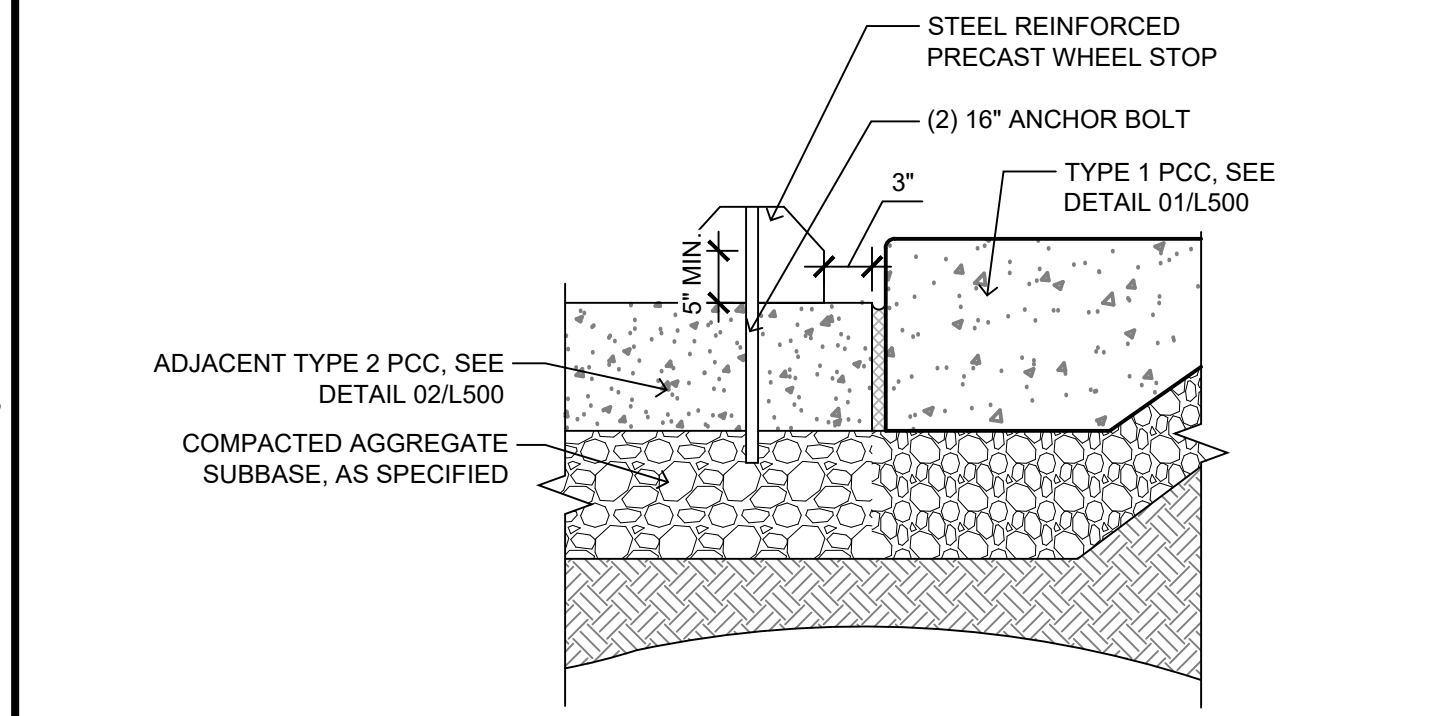
L500



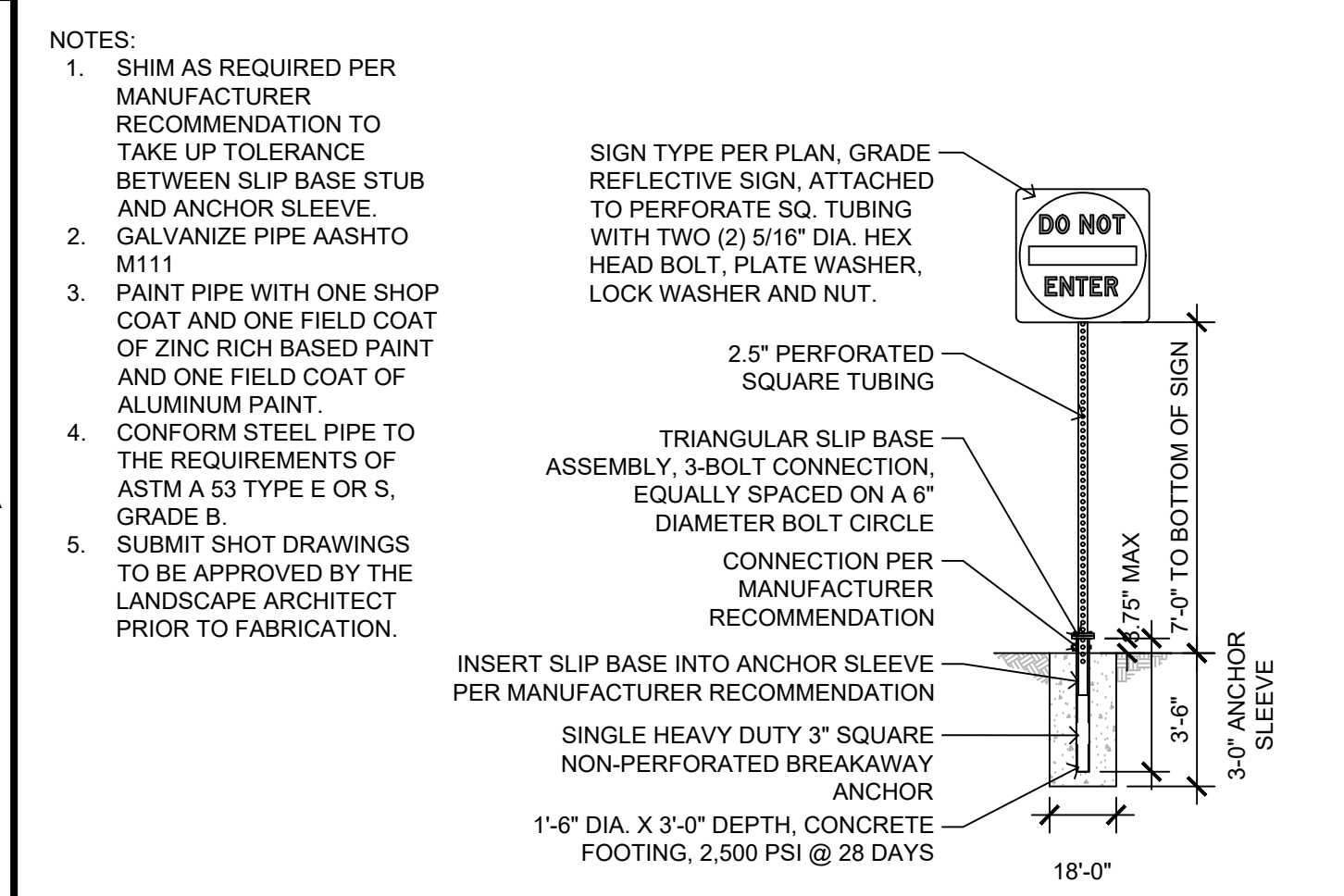
14 SECTION: PROTECTIVE BOLLARD W/SLEEVE
 L500 1/2" = 1'-0"



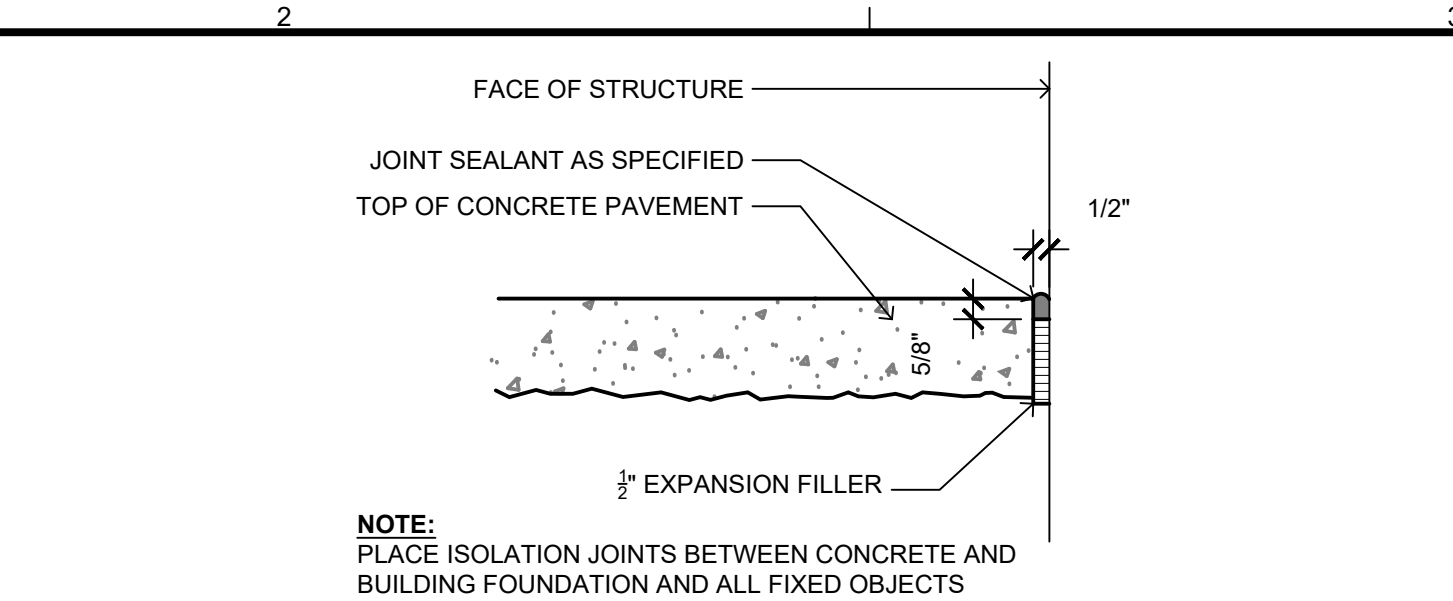
15 SECTION & PLAN: TRIO BIKE RACK
 L500 N.T.S.



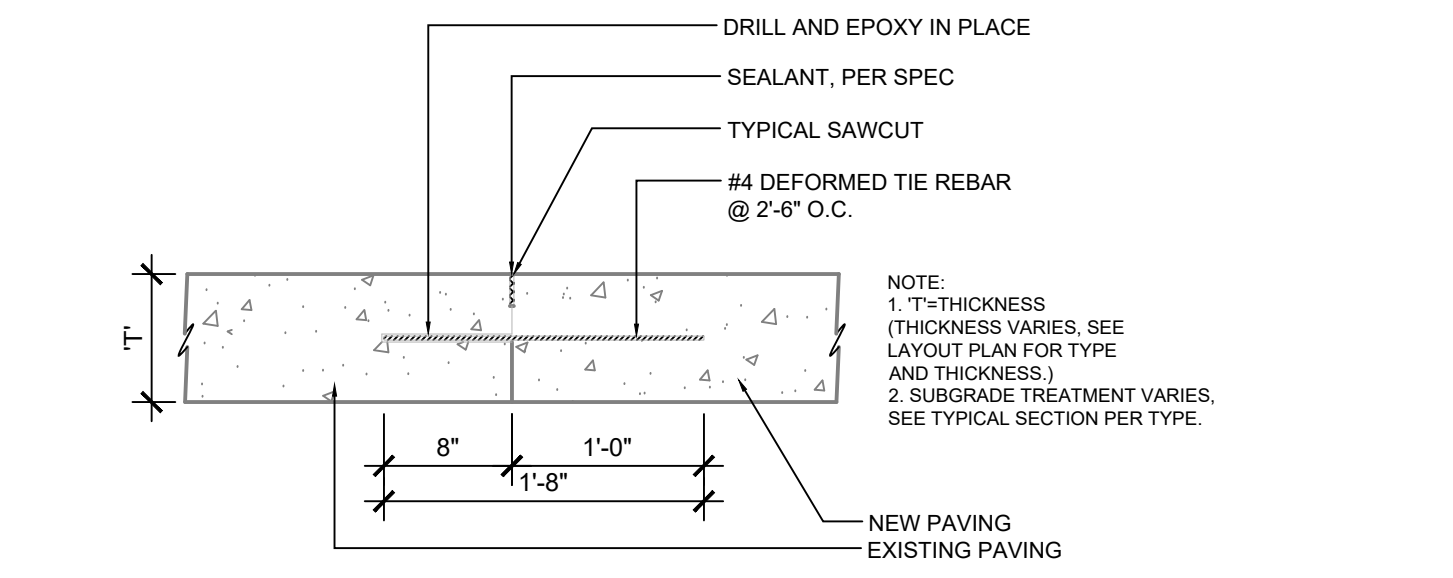
16 SECTION: CONCRETE WHEEL STOP, TYP.
 L500 1/2" = 1'-0"



17 SECTION: DO NOT ENTER SIGN, TYP.
 L500 N.T.S.



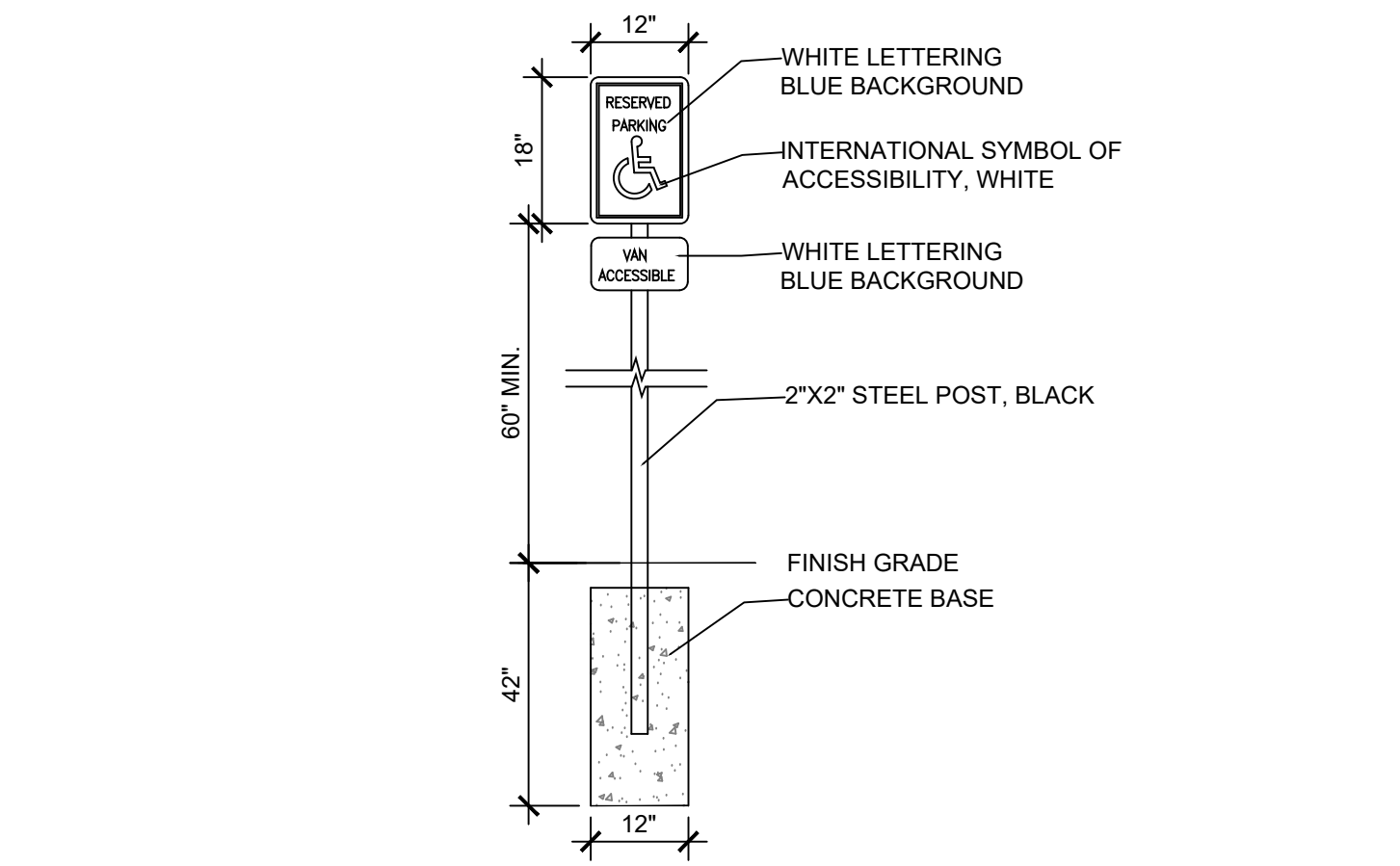
09 SECTION: ISOLATION JOINT - TYP.
 L500 1" = 1'-0"



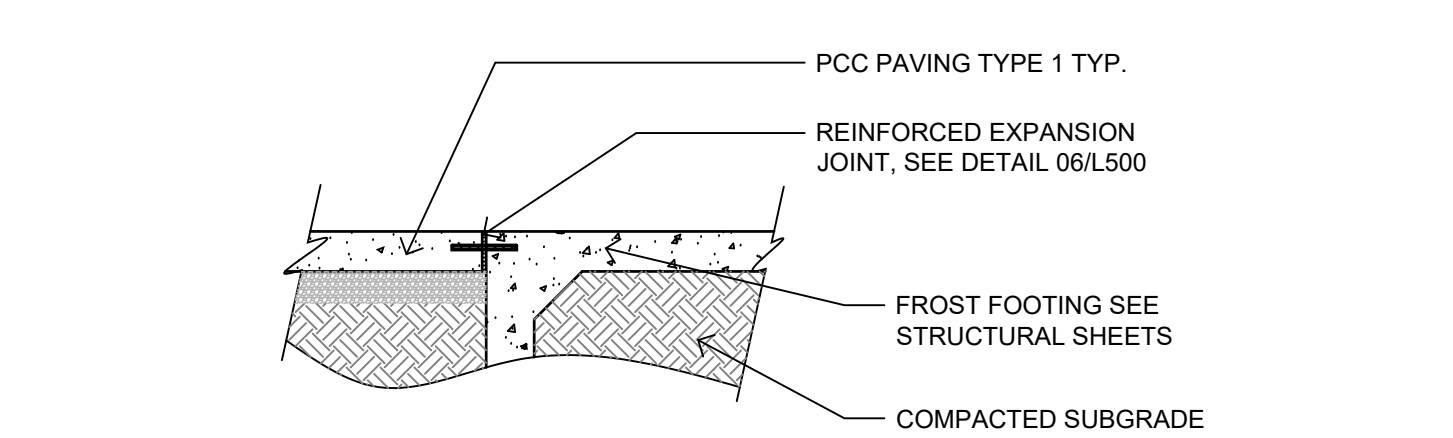
10 SECTION: COLD JOINT - TYP.
 L500 1" = 1'-0"



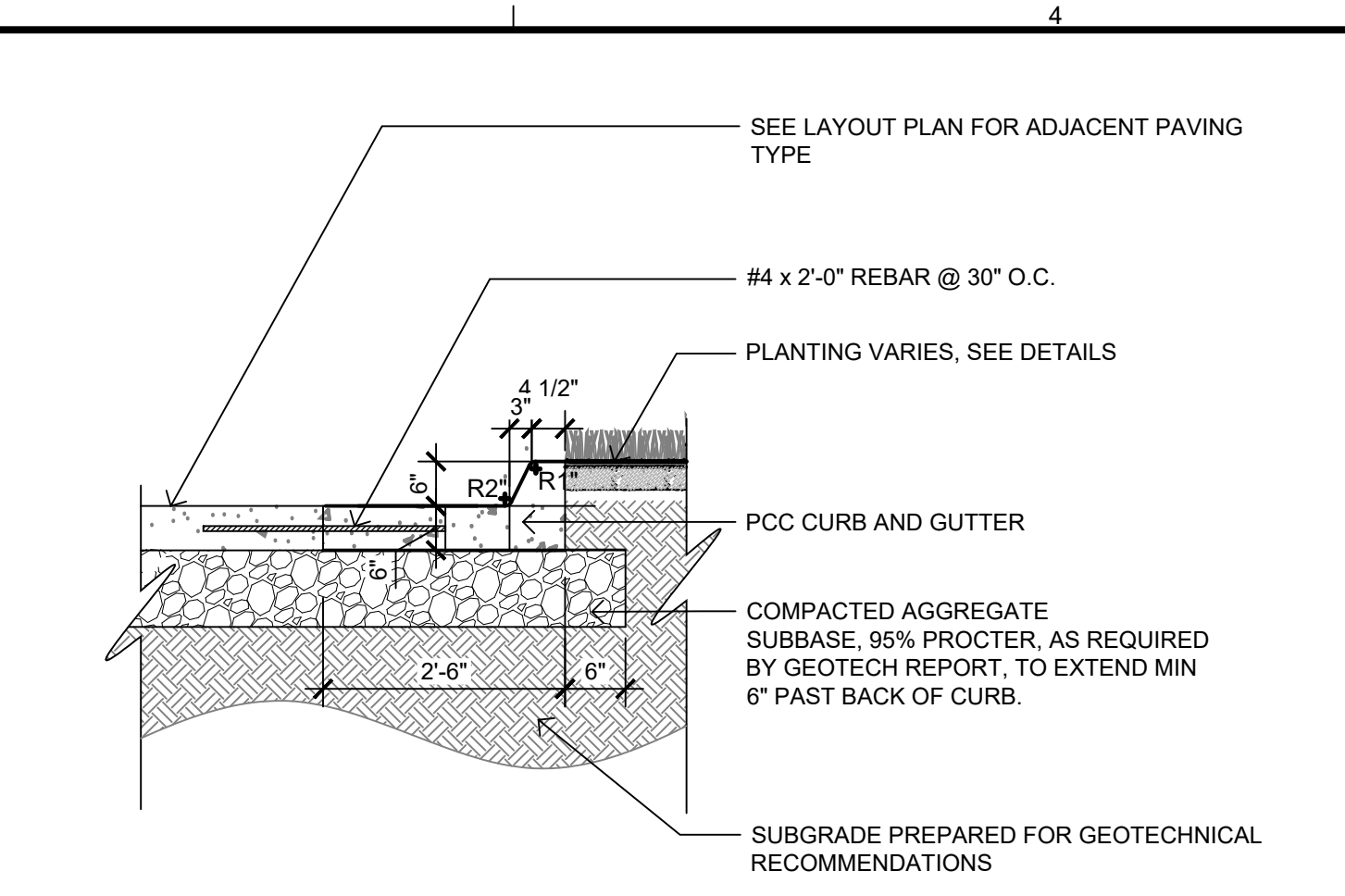
11 DETAIL: ADA PARKING SYMBOL (TYP.)
 L500 N.T.S.



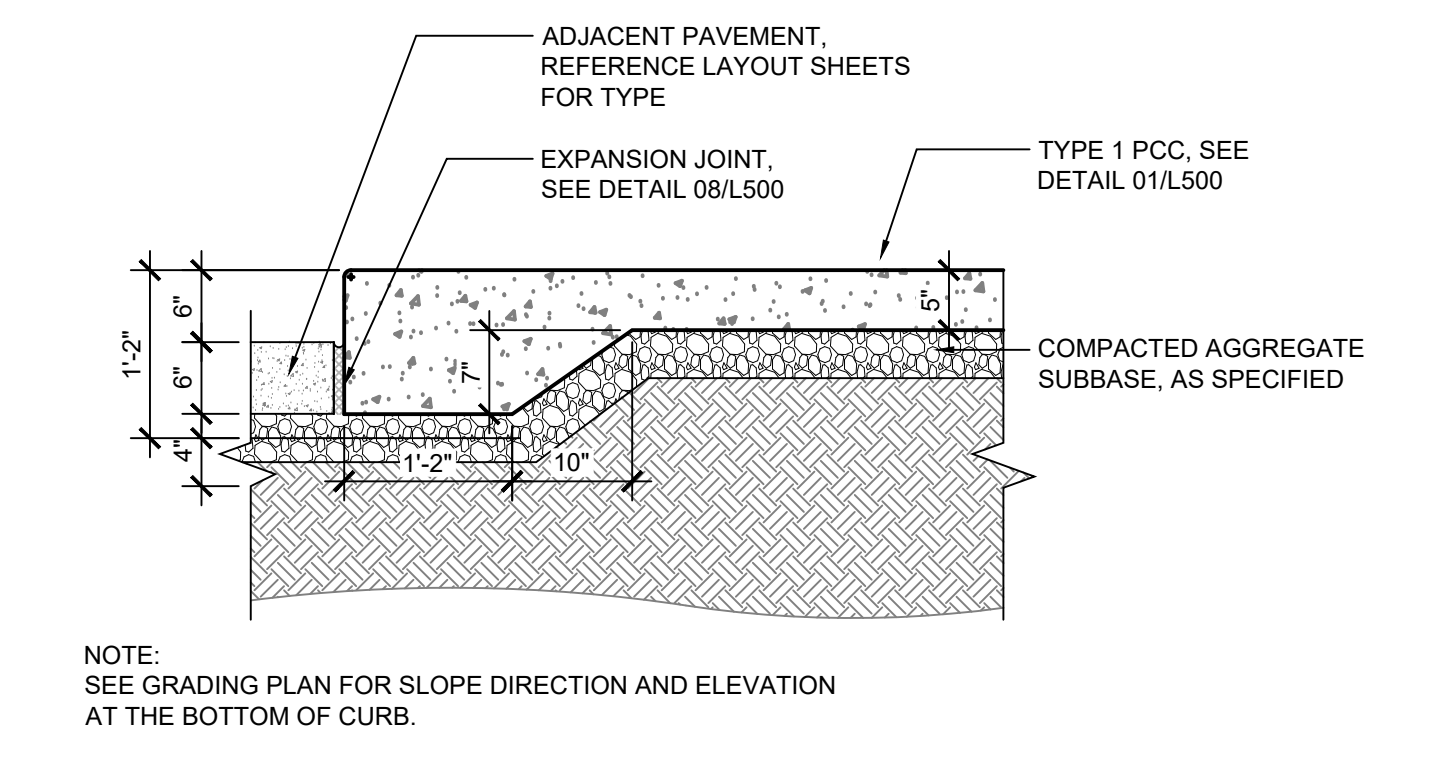
12 SECTION: ADA PARKING SIGNAGE
 L500 1" = 1'-0"



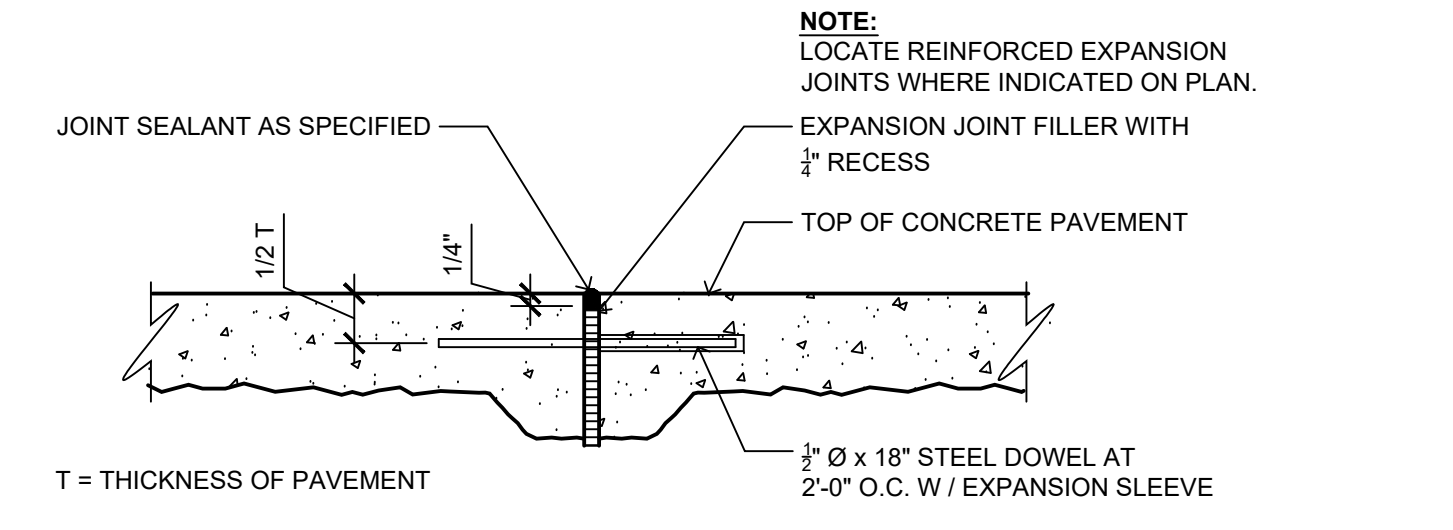
13 PCC WALK @ BUILDING STOOP
 L500 3/8" = 1'-0"



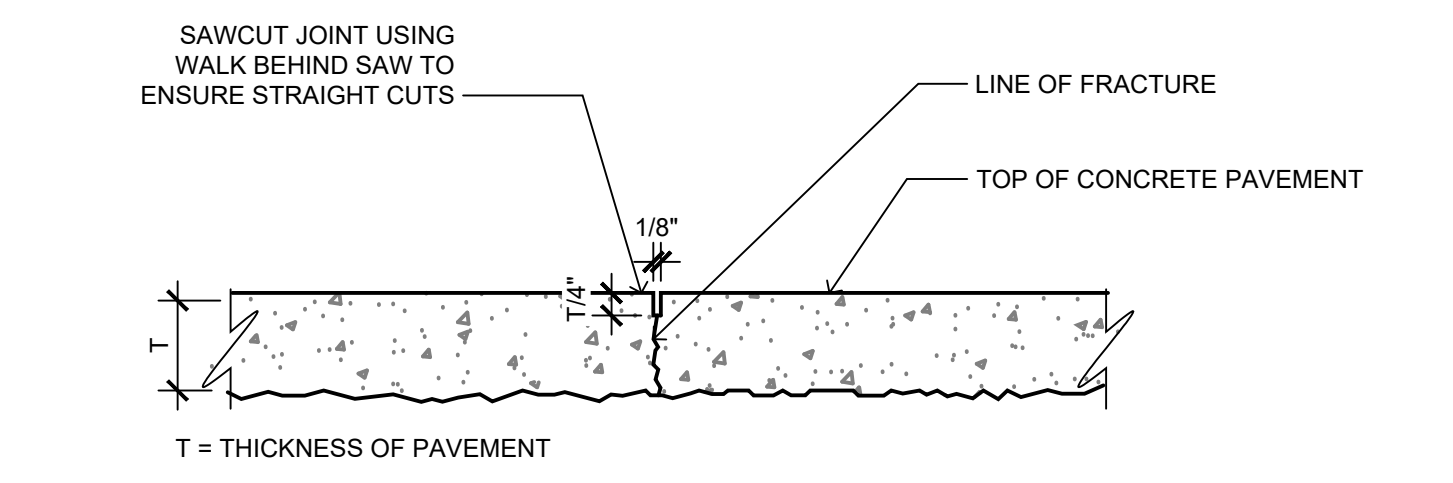
04 SECTION: STANDARD PCC CURB AT PLANTING
 L500 1/2" = 1'-0"



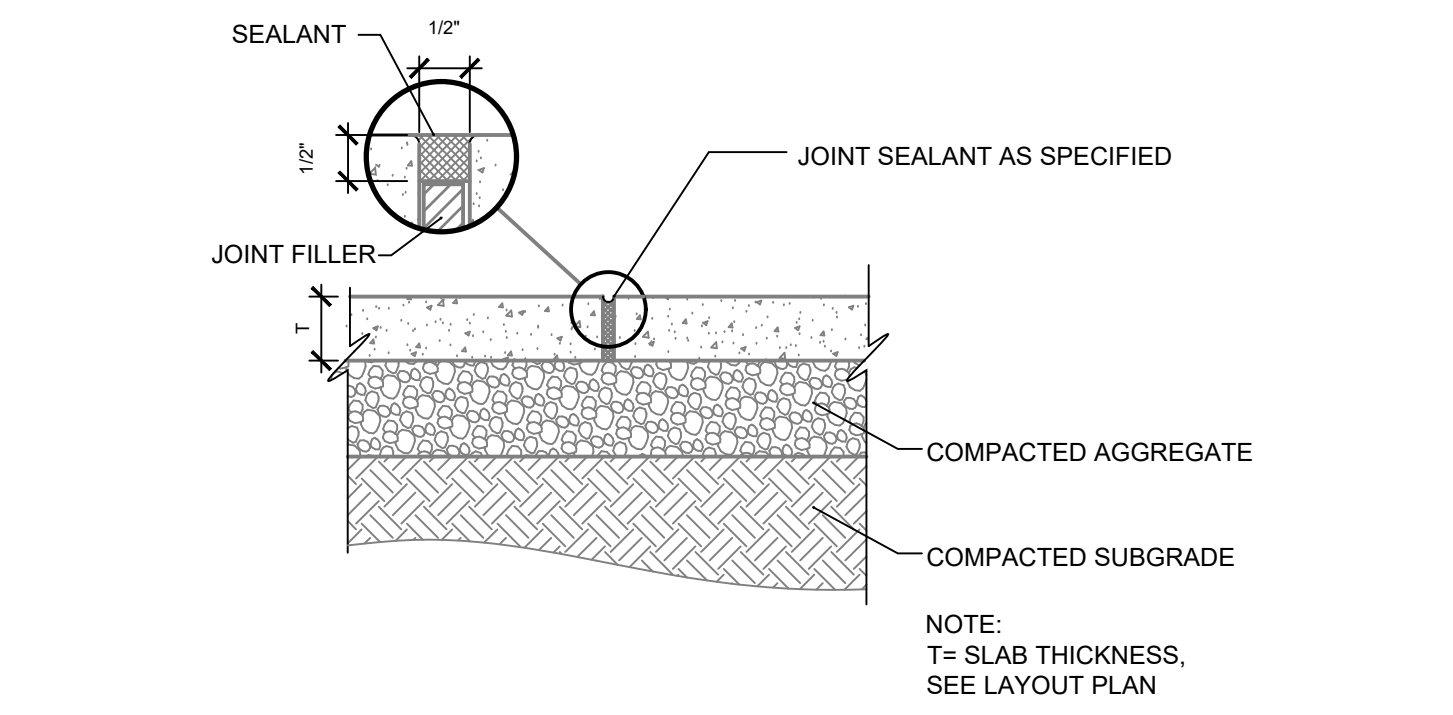
05 SECTION: INTEGRAL CURB & GUTTER
 L500 3/4" = 1'-0"



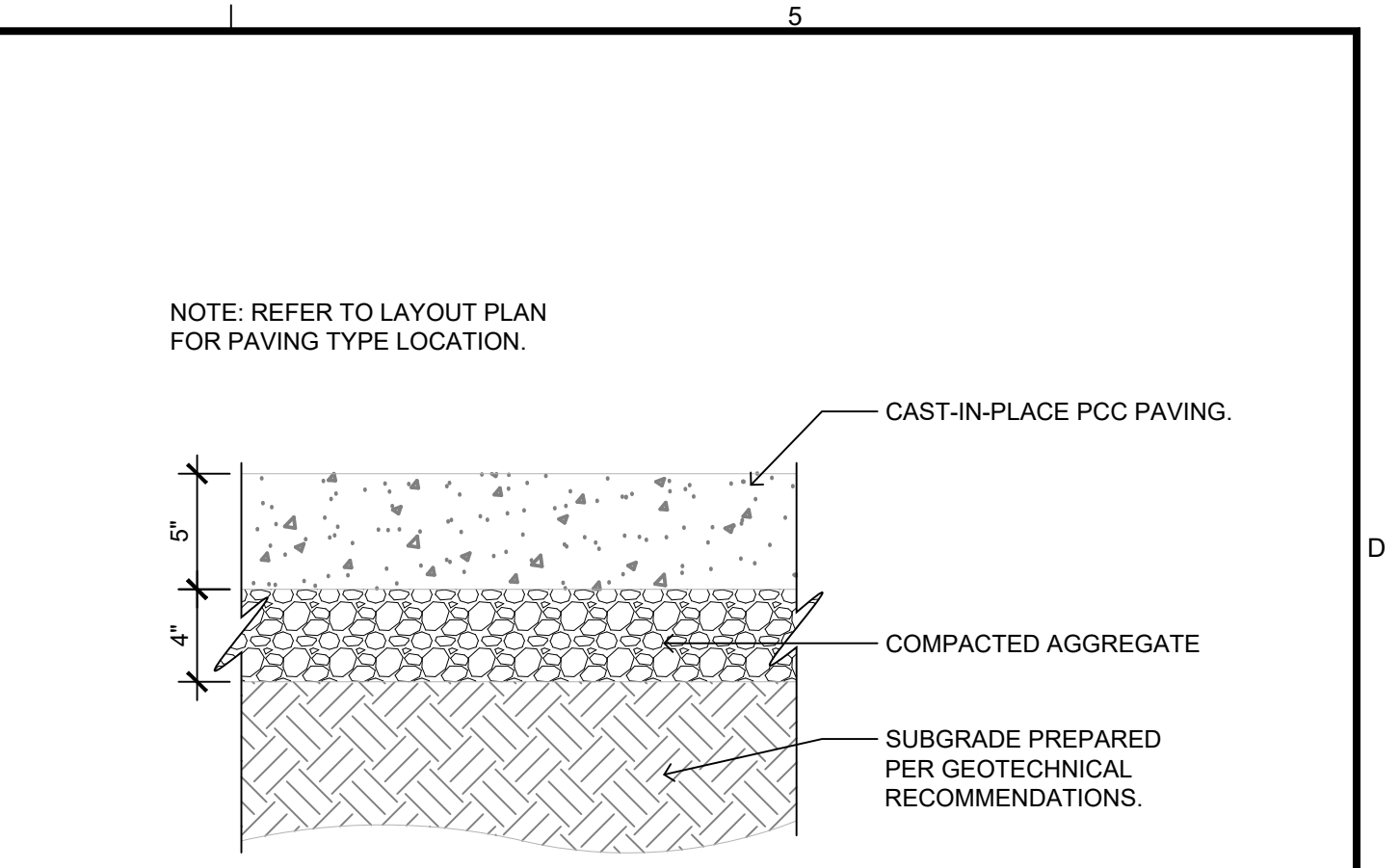
06 SECTION: REINFORCED EXPANSION JOINT
 L500 1" = 1'-0"



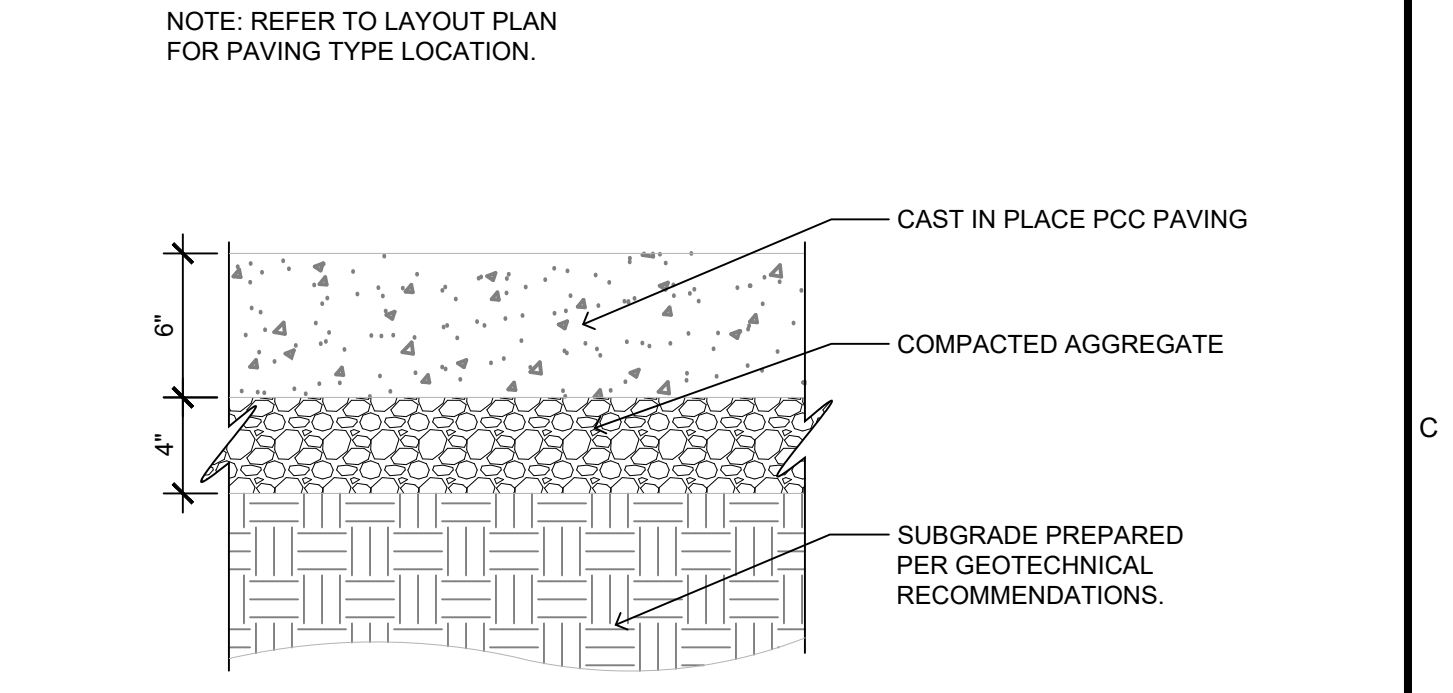
07 SECTION: SAW CUT JOINT - TYP.
 L500 1" = 1'-0"



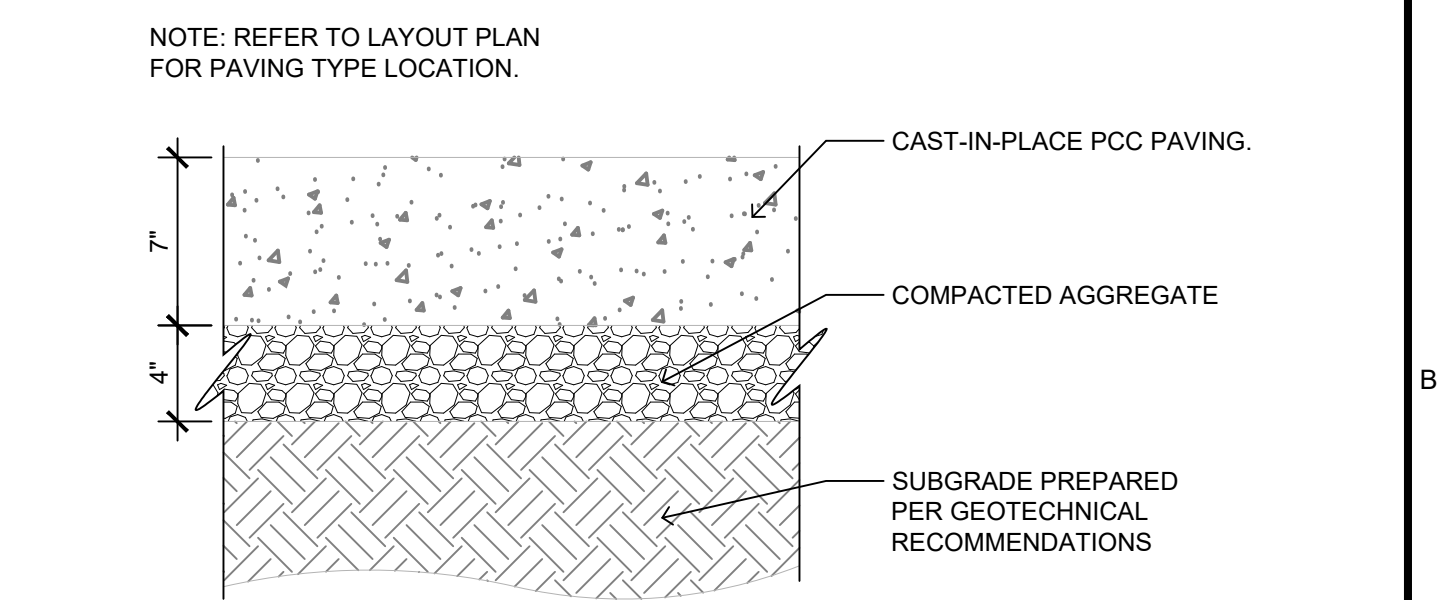
08 SECTION: EXPANSION JOINT - TYP.
 L500 1" = 1'-0"



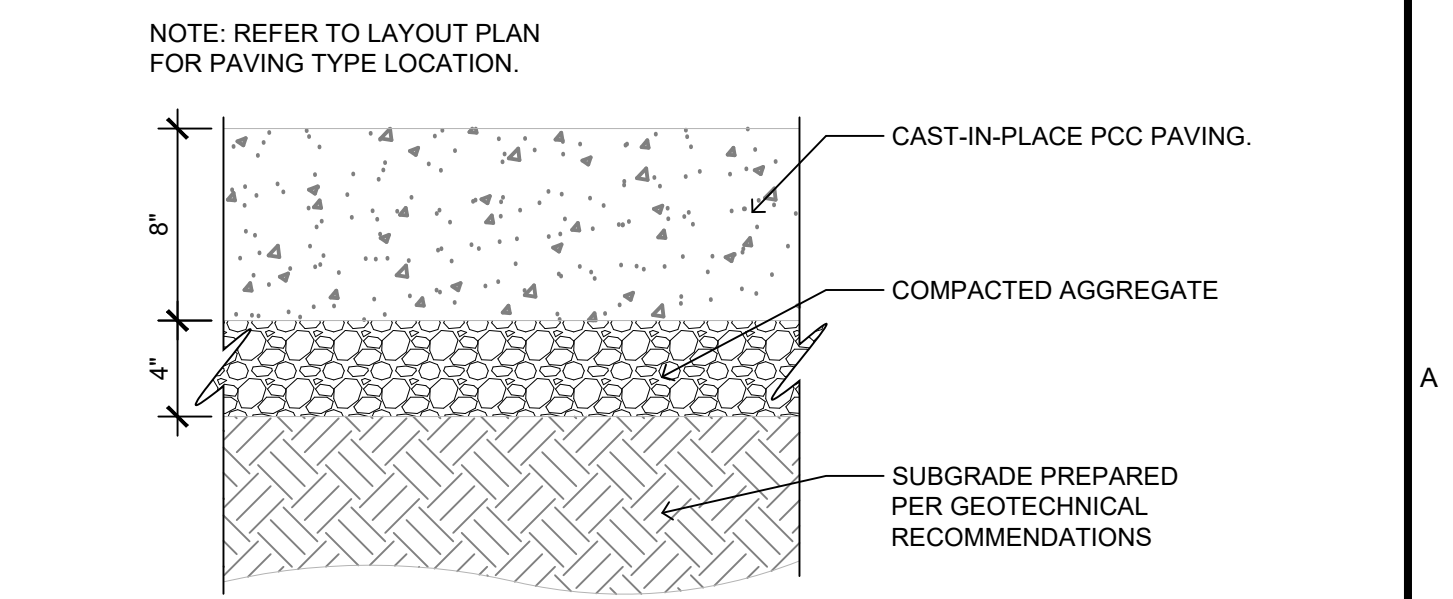
01 SECTION: TYPE 1 PCC (WALK) - TYP.
 L500 1-1/2" = 1'-0"



02 SECTION: TYPE 2 PCC (PARKING) - TYP.
 L500 1-1/2" = 1'-0"



03 SECTION: TYPE 3 PCC (DRIVES) - TYP.
 L500 1-1/2" = 1'-0"



04 SECTION: TYPE 4 PCC (DUMPSTER) - TYP.
 L500 1-1/2" = 1'-0"

File Location: N:\2025\12\10\22-18 F4 Ashworth Retail\21072-18 WORKING\AUTOCAD SHEETS\L500 SITE DETAILS / SAVE DATE: 21/10/2025 3:49 PM BY: jdoe@confluence.com / PLOT DATE: 21/10/2025 7:30 PM BY: Jared Doherty

KEETOWN LOOP - F4 ASHWORTH
 2980 GRAND PRAIRIE PARKWAY
 WAUKEE, IOWA

ISSUE SCHEDULE

ISSUE	DATE	DESCRIPTION
01	01/07/2025	INITIAL SITE SUBMITTAL
02	01/28/2025	SITE PLAN RESUBMITTAL #1
03	02/13/2025	SITE PLAN RESUBMITTAL #2
04	02/21/2025	SITE PLAN RESUBMITTAL #3

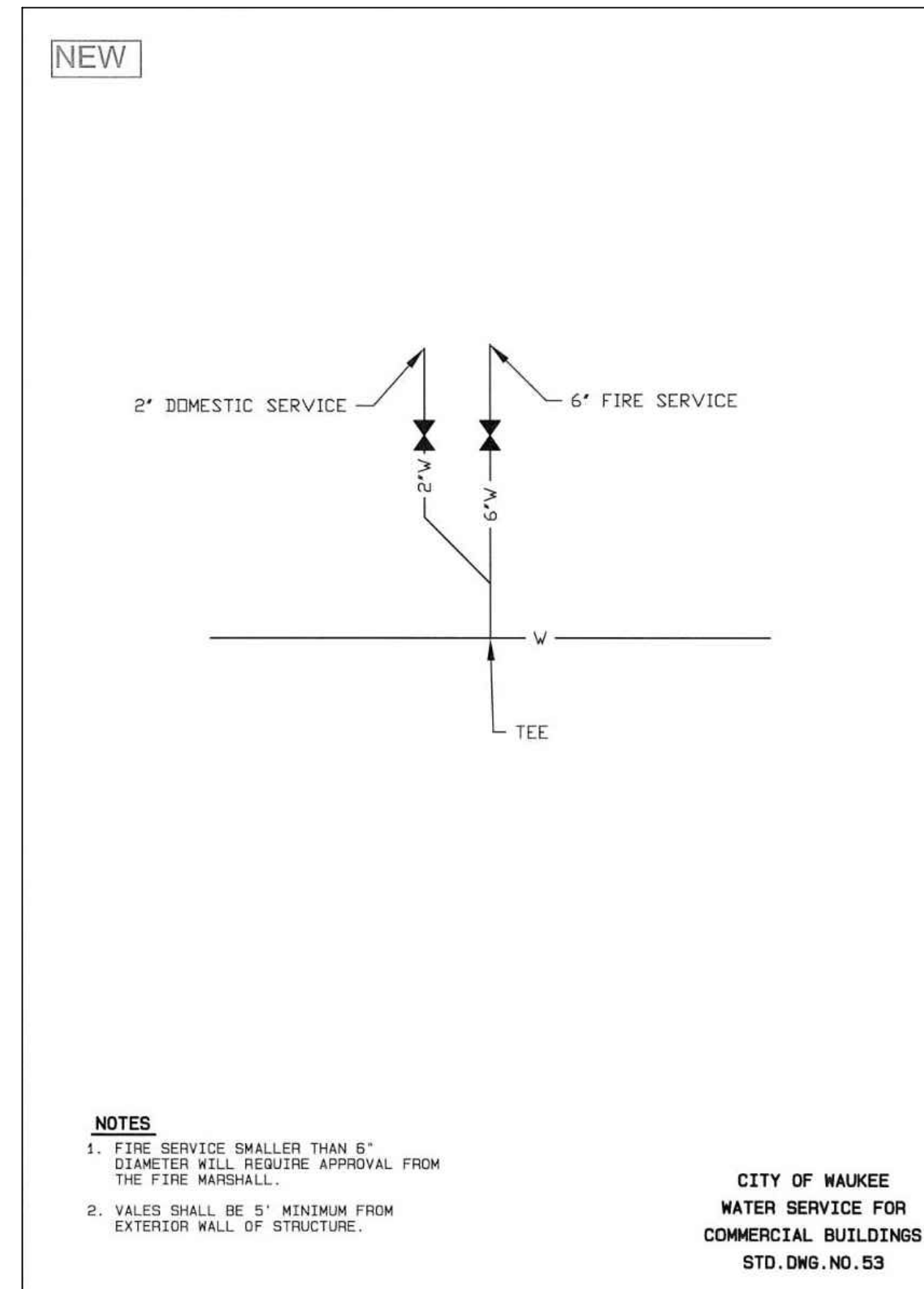
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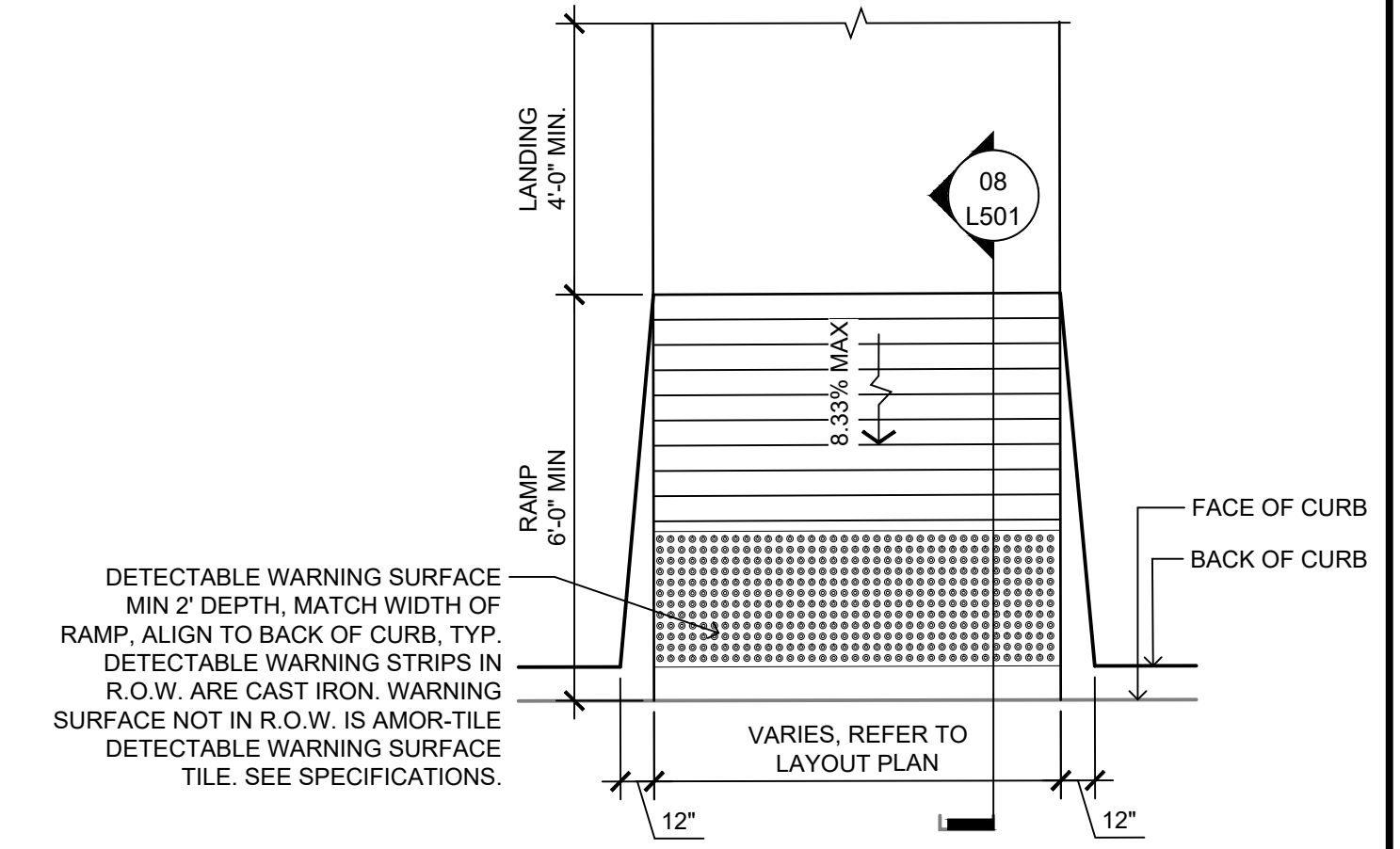
SITE DETAILS

CONFLUENCE PROJECT # 21072-18

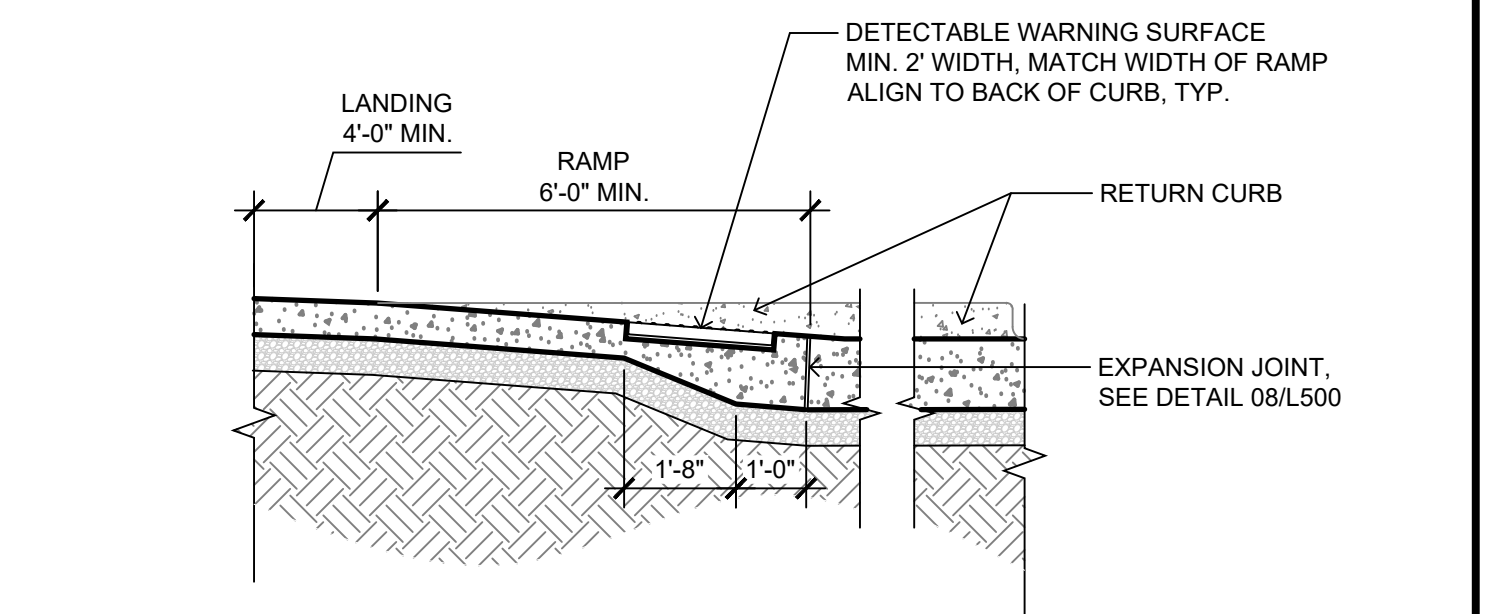
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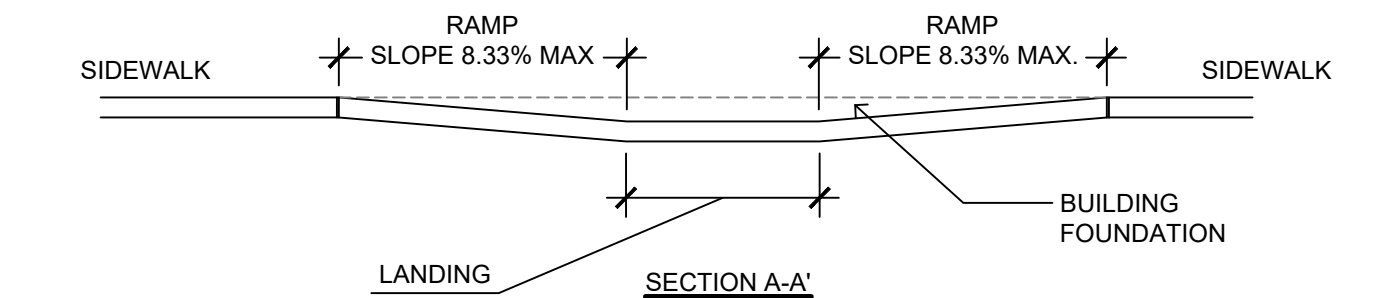
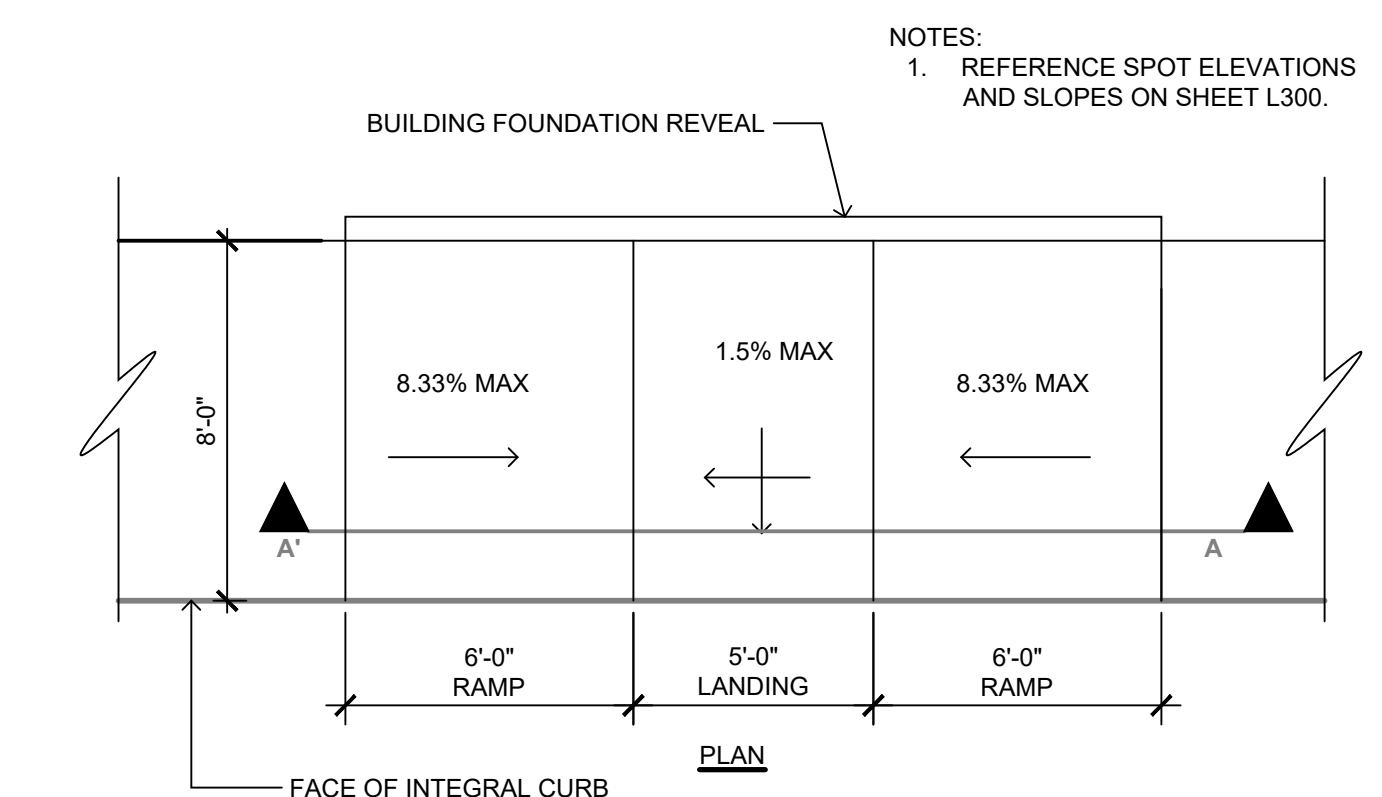
04 L501 WATER SERVICE DETAIL 3/8" = 1'-0"



01 L501 PLAN: RETURN CURB @ ADA RAMP 3/8" = 1'-0"



02 L501 SECTION: RETURN CURB @ ADA RAMP 3/8" = 1'-0"



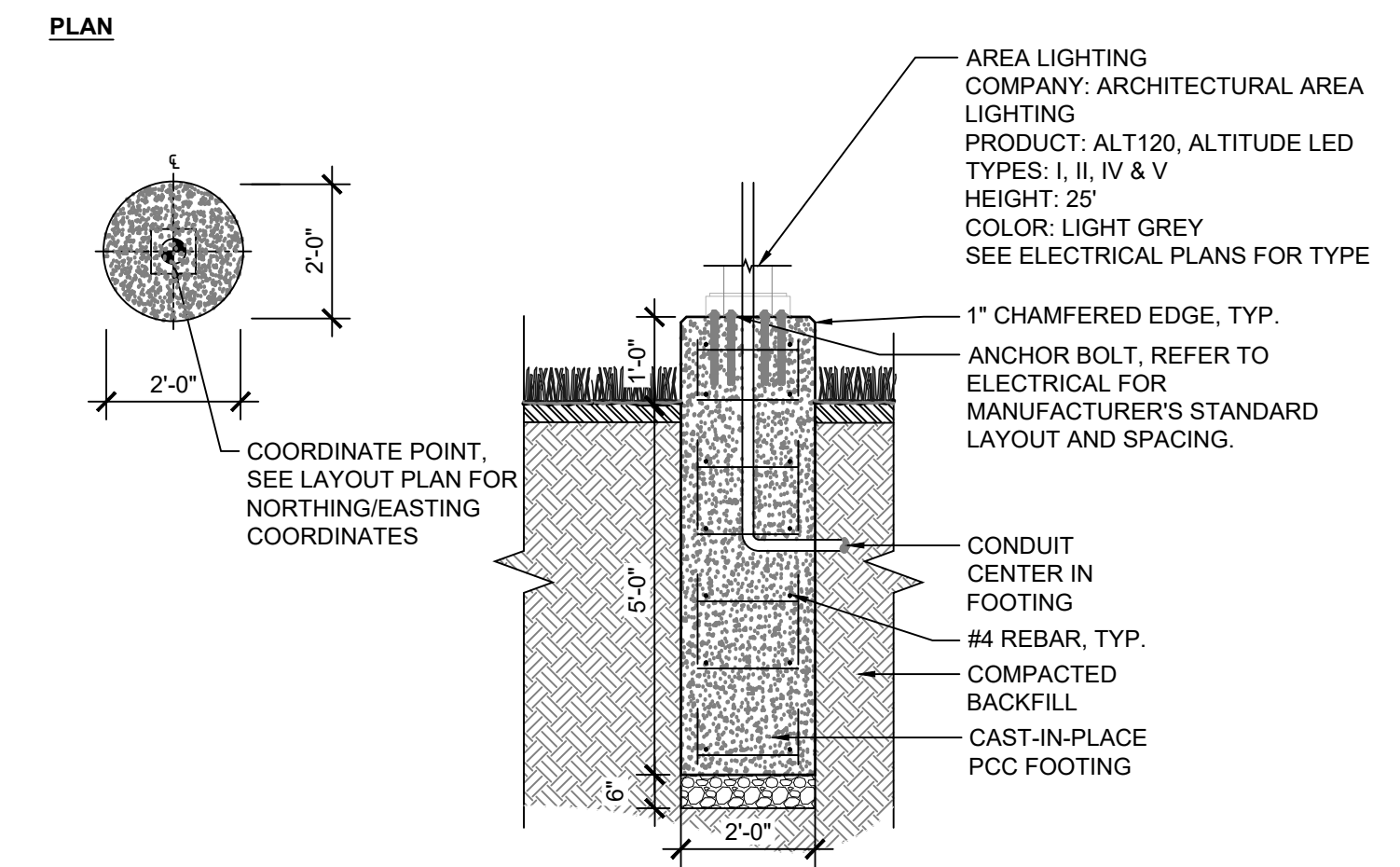
03 L501 DETAIL: PARALLEL CURB RAMP 1/2" = 1'-0"

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ELECTRICAL ENGINEER
KED BLUESTONE ENGINEERING
 5518 NW 88TH ST
 JOHNSTON, IA 50131
 PH: (515) 727-0700



01 SECTION: AREA LIGHT IN LANDSCAPE, TYP. N.T.S.
 L503

KEETOWN LOOP - F4 ASHWORTH
 2980 GRAND PRAIRIE PARKWAY
 WAUKEE, IOWA

ISSUE SCHEDULE

ISSUE	DATE	DESCRIPTION
01	01/07/2025	INITIAL SITE SUBMITTAL
02	01/28/2025	SITE PLAN RESUBMITTAL #1
03	02/13/2025	SITE PLAN RESUBMITTAL #2
04	02/21/2025	SITE PLAN RESUBMITTAL #3

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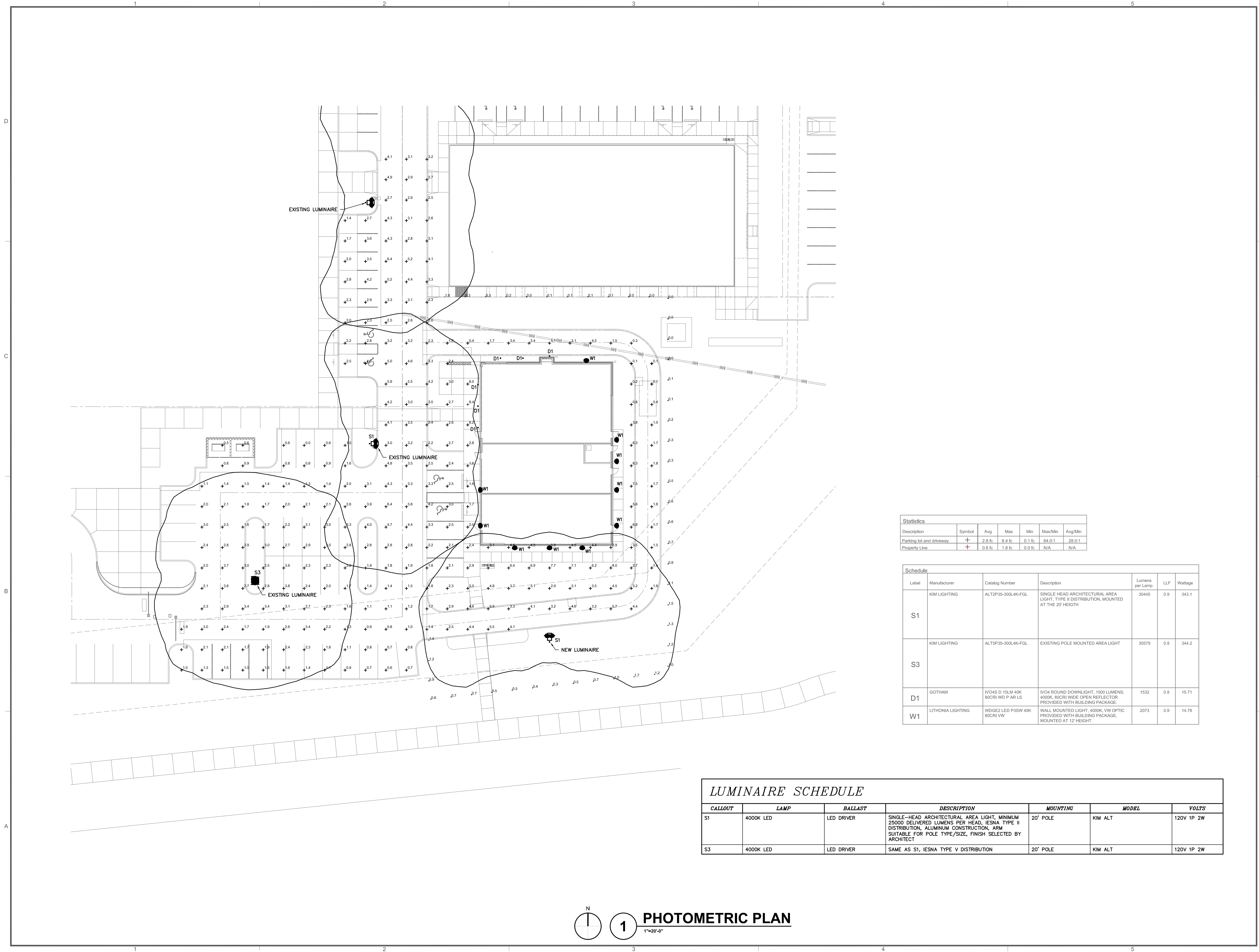
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**SITE LIGHTING
 DETAILS**

CONFLUENCE PROJECT # 21072-18

L503

KEETOWN LOOP - F4 ASHWORTH
 2980 GRAND PRAIRIE PARKWAY
 WAUKEE, IOWA



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking lot and driveway	+	2.8 fc	8.4 fc	0.1 fc	84.0:1	28.0:1
Property Line	+	0.6 fc	1.8 fc	0.0 fc	N/A	N/A

Schedule						
Label	Manufacturer	Catalog Number	Description	Lumens per Lamp	LLF	Wattage
S1	KIM LIGHTING	ALT2P35-300L4K-FGL	SINGLE HEAD ARCHITECTURAL AREA LIGHT, TYPE II DISTRIBUTION, MOUNTED AT THE 20' HEIGHT	30445	0.9	343.1
S3	KIM LIGHTING	ALTP35-300L4K-FGL	EXISTING POLE MOUNTED AREA LIGHT	30579	0.9	344.2
D1	GOTHAM	IV04S D 15LM 40K 80CRI WD P AR LS	IV04 ROUND DOWNLIGHT, 1500 LUMENS, 4000K, 80CRI WIDE OPEN REFLECTOR PROVIDED WITH BUILDING PACKAGE.	1532	0.9	15.71
W1	LITHONIA LIGHTING	WDGE2 LED P3SW 40K 80CRI VW	WALL MOUNTED LIGHT, 4000K VW OPTIC PROVIDED WITH BUILDING PACKAGE, MOUNTED AT 12' HEIGHT.	2073	0.9	14.78

LUMINAIRE SCHEDULE						
CALLOUT	LAMP	BALLAST	DESCRIPTION	MOUNTING	MODEL	VOLTS
S1	4000K LED	LED DRIVER	SINGLE-HEAD ARCHITECTURAL AREA LIGHT, MINIMUM 25000 DELIVERED LUMENS PER HEAD, IESNA TYPE II DISTRIBUTION, ALUMINUM CONSTRUCTION, ARM SUITABLE FOR POLE TYPE/SIZE, FINISH SELECTED BY ARCHITECT	20' POLE	KIM ALT	120V 1P 2W
S3	4000K LED	LED DRIVER	SAME AS S1, IESNA TYPE V DISTRIBUTION	20' POLE	KIM ALT	120V 1P 2W

ISSUE SCHEDULE

ISSUE	DATE	DESCRIPTION
03	02/21/2025	SITE PLAN RESUBMITTAL #3

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PHOTOMETRIC PLAN

CONFLUENCE PROJECT # 21072-18

E200

File Location: H:\Projects\2024\124-158 Keetown F4 Ashworth Retail\03 - Plans\E200 - Plans\E200 - SAVE DATE: 2/21/2025 5:21 PM BY: JeneC PLOT DATE: 2/20/2025 1:32 AM BY: Caleb Jens

OCCUPANT LOAD SCHEDULE					
ROOM ID NUMBER	ROOM NAME	AREA	SF / OCCUPANT	CALCULATED OCCUPANT LOAD	ACTUAL OCCUPANT LOAD
EXIT 100A					
100	SUITE	2438 SF	20	122	87
101	SUITE	1384 SF	0	0	0
102	SUITE	1517 SF	0	0	0
103	MECH.	113 SF	300	1	1
103	MECH.			1	1
TOTAL OCCUPANCY				123	88

EXIT DOOR SCHEDULE					
DOOR EXIT ID	DOOR WIDTH	CLEAR WIDTH	MEANS OF EGRESS CAPACITY FACTOR	CALCULATED EXIT CAPACITY	ACTUAL EXIT CAPACITY
EXIT 100A	3'-4"	3'-1"	0.15	247	87
EXIT 100B	3'-4"	3'-1"	0.15	247	87
EXIT 101A	3'-4"	3'-1"	0.15	247	0
EXIT 101B	3'-4"	3'-1"	0.15	247	0
EXIT 102A	3'-4"	3'-1"	0.15	247	0
EXIT 102B	3'-4"	3'-1"	0.15	247	0
EXIT 103	3'-4"	3'-1"	0.15	247	1

EXIT TRAVEL DISTANCES	
EXIT PATH ID	TRAVEL DISTANCE
EXIT PATH #1	70'-3"
EXIT PATH #2	65'-5"
EXIT PATH #3	63'-6"
EXIT PATH #4	10'-2"

SAFETY REFERENCE SYMBOLS & ABBREVIATIONS

ROOM NAME: ROOM IDENTIFICATION NUMBER, PRIMARY EXIT NUMBER, OCCUPANT LOAD PER MAXIMUM FLOOR AREA ALLOWANCE, ACTUAL/ANTICIPATED OCCUPANT LOAD

EXIT #: DOOR EXIT IDENTIFICATION NUMBER, DOOR CALCULATED EXIT CAPACITY, DOOR ACTUAL EXIT CAPACITY

EGRESS ROUTE: EGRESS ROUTE IDENTIFICATION

EXIT PATH ID: EGRESS ROUTE IDENTIFICATION

1 - HOUR FIRE RESISTANCE RATING, 2 - HOUR FIRE RESISTANCE RATING

FAAP: FIRE ALARM ANNUNCIATOR PANEL, FACP: FIRE ALARM CONTROL PANEL, FEC: SEMI-RECESSED FIRE EXTINGUISHER CABINET, FE: WALL MOUNTED FIRE EXTINGUISHER, KB: KNOX BOX - FINAL LOCATION TO BE COORDINATED WITH LOCAL FD

SPRINKLERED, ASSEMBLY - A-2, STORAGE - ACCESSORY STORAGE, UNOCCUPIED, NOT IN CONTRACT - SOG

BUILDING DATA - NEW CONSTRUCTION	
APPLICABLE CODE	IBC 2018
USE GROUP	A-2, S, UNOCCUPIED SPACE
CONSTRUCTION TYPE (TABLE 601)	VB
ALLOWABLE HEIGHT (TABLE 504.3)	60'-0"
ACTUAL HEIGHT	20'-6"
ALLOWABLE STORIES ABOVE GRADE (TABLE 504.4)	2
ACTUAL STORIES ABOVE GRADE	1
ALLOWABLE AREA (TABLE 506.2)	24,000 SF
AREA INCREASE DUE TO FRONTAGE (506.3)	18,000 SF
MAXIMUM ALLOWABLE AREA	42,000 SF
NEW BUILDING FOOTPRINT	5,850 SF
EXISTING BUILDING FOOTPRINT	N/A
TOTAL BUILDING AREA (NEW)	5,850 SF
AUTOMATIC SPRINKLER SYSTEM REQUIREMENTS	YES

FIRE-RESISTANCE RATINGS FOR BUILDING ELEMENTS		
BUILDING ELEMENT	RATING	UL APPROVED DESIGN NO.
PRIMARY STRUCTURAL FRAME		
BEAMS	0 HR	
COLUMNS	0 HR	
BEARING WALLS		
EXTERIOR	0 HR	
INTERIOR	0 HR	
FLOOR CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS		
ROOF CONSTRUCTION AND ASSOCIATED SECONDARY MEMBERS	0 HR	
PERIMETER FIRESTOPPING AT CURTAIN WALL	0 HR	
PERIMETER FIRESTOPPING AT EDGE OF SLAB	0 HR	
FIRE WALL (TABLE 706.4)	NOT REQUIRED	
PARTY WALLS (TABLE 706.4)	2 HR	
CORRIDOR WALLS (TABLE 1020.1)	NOT APPLICABLE	
EXTERIOR WALL FIRE SEPARATION DISTANCE (TABLE 602)	0-HOUR: ≥ 30'	

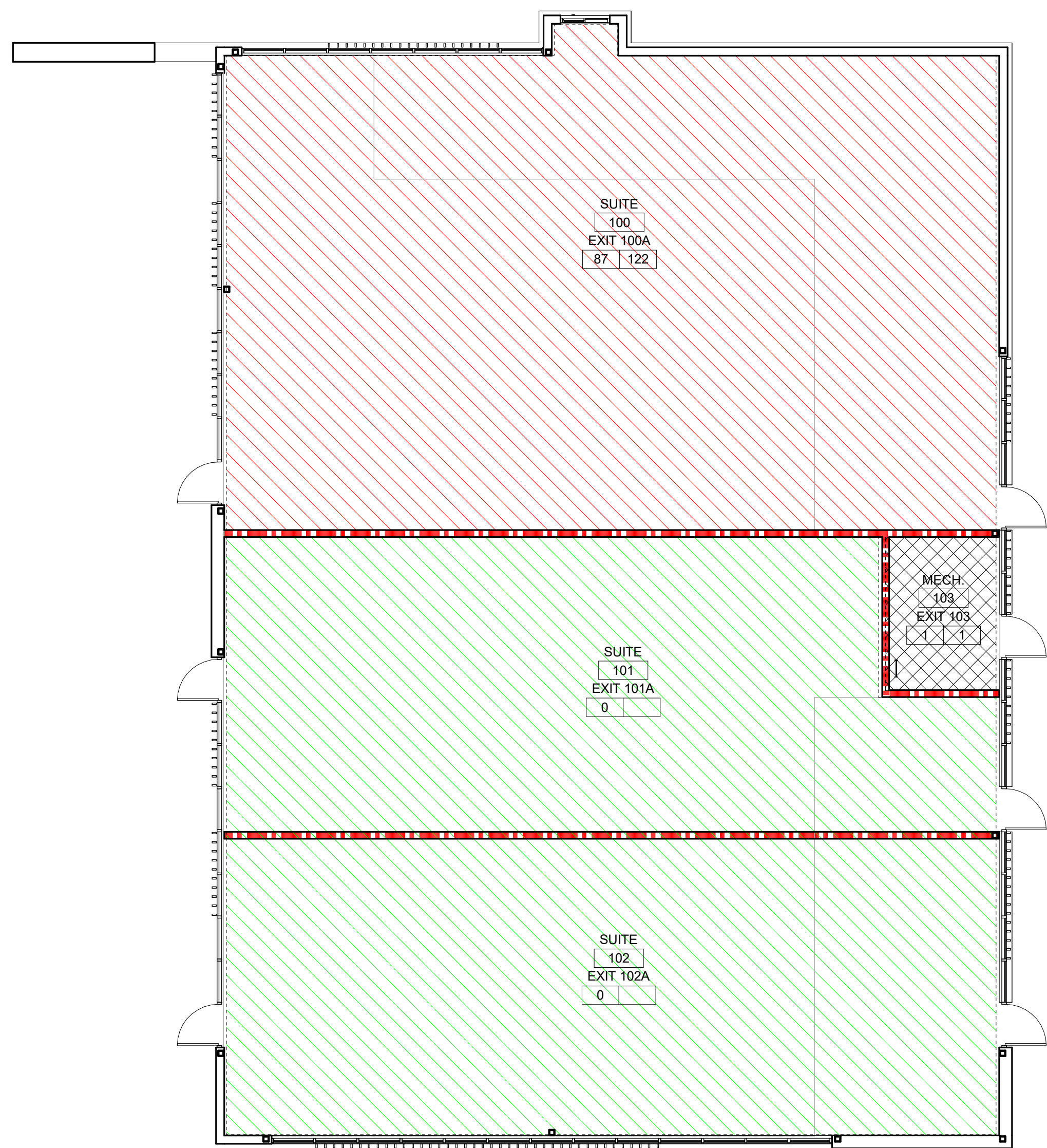
MEANS OF EGRESS - NEW CONSTRUCTION	
	SPRINKLED
APPLICABLE CODE	IBC 2018
DOOR/CORRIDOR EGRESS WIDTH (1005.3.2)	0.2/PERSON
STAIR EGRESS WIDTH (1005.3.1)	N/A
MAX. LENGTH OF EXIT ACCESS TRAVEL (TABLE 1017.2)	250 FEET
MAX. LENGTH OF COMMON PATH EGRESS TRAVEL (TABLE 1006.2.1)	75 FEET
MAX. LENGTH OF DEAD END CORRIDORS (TABLE 1020.4)	20 FEET
MINIMUM CORRIDOR WIDTH (TABLE 1020.2)	44 INCHES

- ### APPLICABLE CODES - NEW CONSTRUCTION
- 2018 INTERNATIONAL BUILDING CODE (IBC)
 - 2012 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
 - 2018 INTERNATIONAL FIRE CODE (IFC), EXCLUDING CHAPTER 4
 - 2018 INTERNATIONAL FUEL GAS CODE (IFGC)
 - 2018 INTERNATIONAL MECHANICAL CODE (IMC)
 - 2018 UNIFORM PLUMBING CODE
 - 2020 NATIONAL ELECTRICAL CODE
 - 2018 INTERNATIONAL PROPERTY MAINTENANCE CODE (IPMC)
 - NFPA 101 LIFE SAFETY CODE, 2012 EDITION

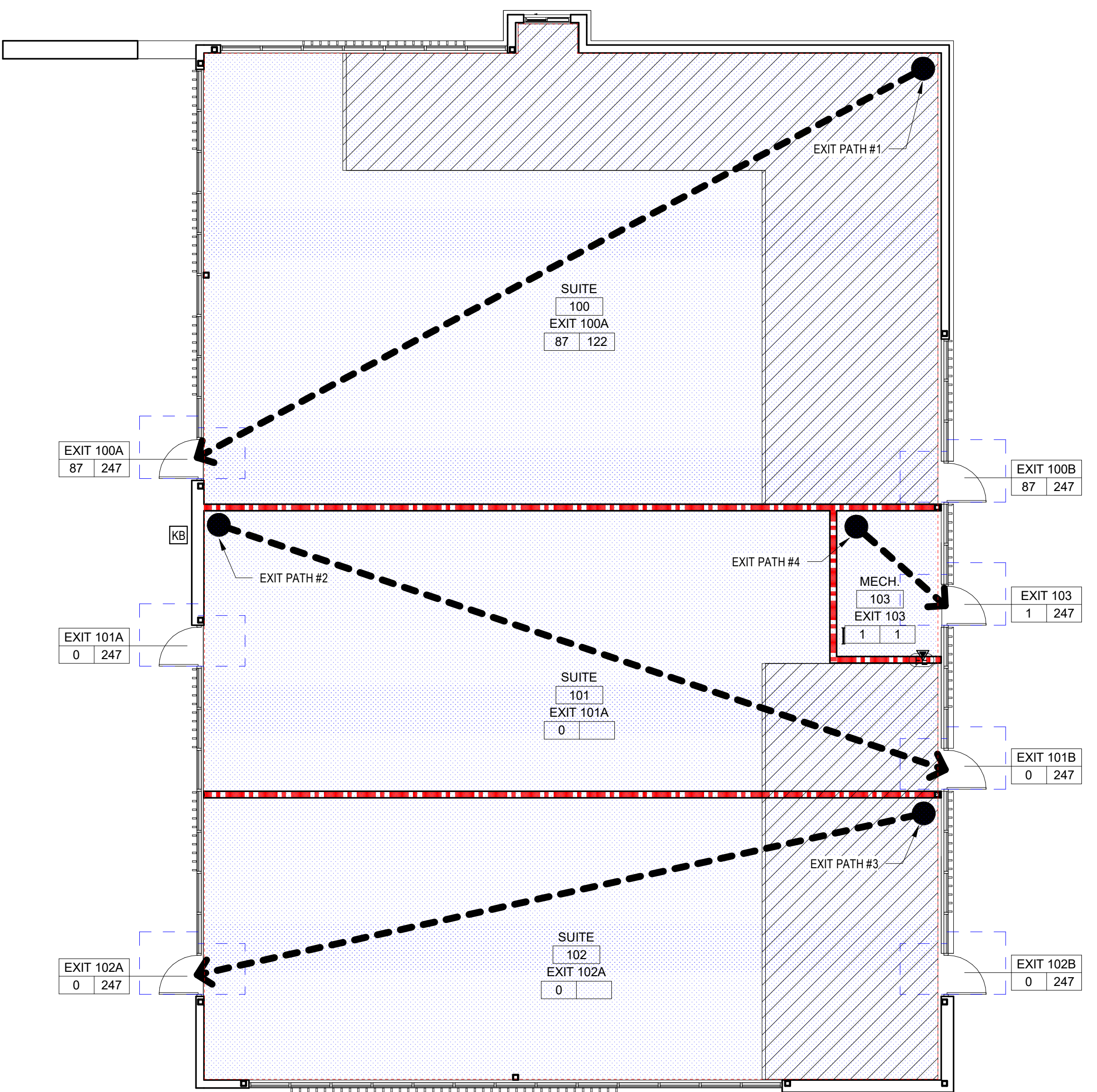
SAFETY REFERENCE NOTES

SUITE 100 - ASSEMBLY - A-2
 SUITE 101 & SUITE 102 - UNOCCUPIED SPACE
 MECH. 103 - STORAGE - S - ACCESSORY STORAGE SPACE

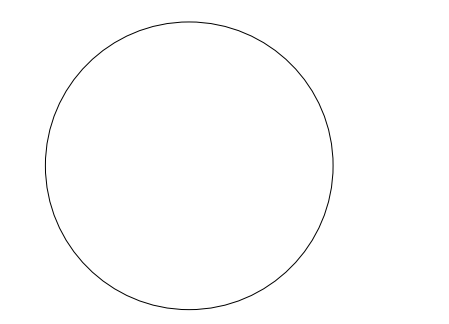
THE CALCULATED OCCUPANT LOAD, FOR SUITE 100, WAS DETERMINED BASED ON THE NOTION THAT THE FUTURE TENANT WILL HAVE BOTH OCCUPANT LOAD FACTORS OF 15 (ASSEMBLY WITHOUT FIXED SEATS - UNCONCENTRATED) (TABLES AND CHAIRS) AND 200 (KITCHENS, COMMERCIAL). SEE CALCULATIONS BELOW:
 DINING AREA - 1,200 SF / 15 SF = 80
 KITCHEN/TOILET ROOMS AREA - 1,220 SF / 200 SF = 7



2 FIRST FLOOR LIFE SAFETY PLAN
 1/8" = 1'-0"



1 FIRST FLOOR LIFE SAFETY PLAN
 1/8" = 1'-0"



SIGNATURE _____
 DATE _____

REVISIONS		
NO.	DESCRIPTION	DATE

PROJECT NUMBER 225027.00
 DATE OF ISSUE 02/21/2025
 DRAWN BY CS
 REVIEWED BY JH

CODE INFORMATION & SAFETY REFERENCE PLANS

GENERAL NOTES

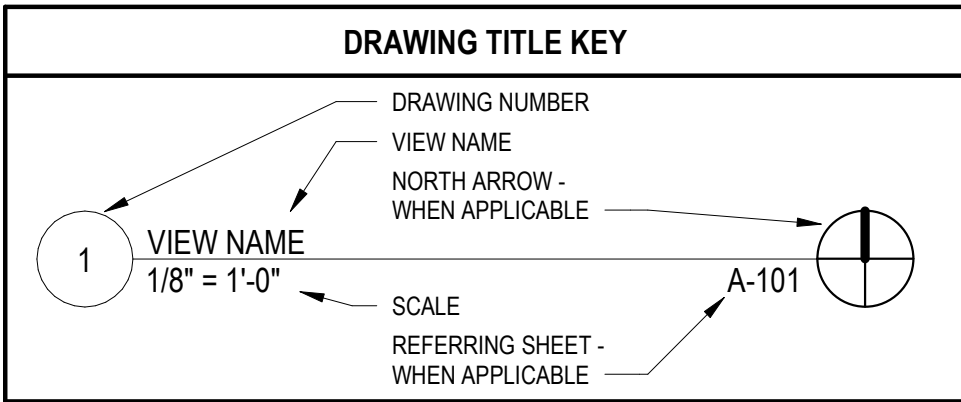
- ALL WORK SHALL BE COMPLIANT WITH THE CODES, ORDINANCES, AND REGULATIONS OF THE AUTHORITIES HAVING JURISDICTION OVER THE PROJECT LOCATION.
- THE TRADE CONTRACTORS' PERSONNEL SHALL NOT BE ALLOWED ON THE PROJECT SITE WITHOUT COMPLYING WITH THE OWNER'S SECURITY PROTOCOLS.
- WHERE CONFLICTS EXIST WITHIN OR BETWEEN PARTS OF THE CONTRACT DOCUMENTS, OR BETWEEN THE CONTRACT DOCUMENTS AND APPLICABLE STANDARDS, CODES, ORDINANCES, AND REGULATIONS THE MORE STRINGENT OR HIGH QUALITY OR GREATER QUALITY REQUIREMENT(S) SHALL APPLY. LARGE-SCALE DRAWINGS TAKE PRECEDENCE OVER SMALL-SCALE DRAWINGS; FIGURED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS; AND NOTED MATERIALS TAKE PRECEDENCE OVER GRAPHIC REPRESENTATIONS.
- THE CONTRACT DOCUMENTS IDENTIFY THE MINIMUM AMOUNT OF WORK REQUIRED. TRADE CONTRACTORS SHALL PROVIDE THE EXTENT OF WORK NECESSARY FOR A COMPLETE INSTALLATION.
- REFER TO THE PROJECT MANUAL FOR PRODUCTS, MATERIALS, AND PROCEDURES NOT IDENTIFIED ON THE CONTRACT DRAWINGS.
- THE ACTUAL AREAS(S) OF WORK SHALL BE KEPT TO THE MINIMUM REQUIRED TO PROPERLY EXECUTE THE CONTRACT REQUIREMENTS. EXISTING DIMENSIONS AND HATCHED AREAS INDICATED ON CONTRACT DOCUMENTS ARE FOR GENERAL REFERENCE AND BIDDING PURPOSES ONLY.
- PRIOR TO BIDDING, THE TRADE CONTRACTORS SHALL FIELD VERIFY THE EXTENT OF WORK REQUIRED TO PROPERLY EXECUTE THE CONTRACT REQUIREMENTS. ADDITIONAL WORK THAT IS REQUIRED, WAS VISIBLE, AND COULD HAVE BEEN IDENTIFIED DURING BIDDING SHALL BE COMPLETED BY THE RESPONSIBLE TRADE CONTRACTOR(S) AT NO ADDITIONAL COST TO THE OWNER.
- THE TRADE CONTRACTORS SHALL BE FAMILIAR WITH THE EXISTING CONDITIONS AND NOTIFY THE ARCHITECT OR CONSTRUCTION MANAGER OF ANY CONFLICTS WITH THE CONSTRUCTION DOCUMENTS PRIOR TO PREPARING SUBMITTALS OR BEGINNING ANY WORK.
- THE TRADE CONTRACTORS SHALL PROVIDE ALL TEMPORARY CONSTRUCTION AND/OR SHORING REQUIRED TO PROPERLY EXECUTE THE REQUIREMENTS OF THEIR CONTRACT.
- ALL EXTERIOR OPENINGS SHALL BE SECURED AT ALL TIMES WHEN WORK IS NOT BEING PERFORMED. THE TRADE CONTRACTORS SHALL NOT REMOVE EXISTING DOORS, FRAMES, WINDOWS, ETC. UNTIL REPLACEMENTS ARE ONSITE AND READY FOR INSTALLATION. IF INSTALLATION OF DOORS, FRAMES, WINDOWS, ETC. CANNOT BE COMPLETED BY THE END OF THE WORK DAY, THE RESPONSIBLE TRADE CONTRACTORS SHALL PROVIDE TEMPORARY WEATHERPROOF CONSTRUCTION AS REQUIRED TO SECURE THE BUILDING TO THE SATISFACTION OF THE OWNER AND RESTORE AFFECTED SURFACES TO THEIR ORIGINAL CONDITION.
- PATCHING, REPAIRING, AND REFINISHING WORK SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE EXISTING ADJACENT CONSTRUCTION AS CLOSELY AS POSSIBLE IN MATERIAL, FINISH, COLOR, TEXTURE AND SHEEN. REFER TO THE CONTRACT DRAWINGS FOR EXISTING BUILDING CONSTRUCTION TO REMAIN.
- TRADE CONTRACTORS SHALL PROTECT THEIR WORK AND EXISTING CONSTRUCTION, FINISHES, AND EQUIPMENT TO REMAIN TO PREVENT DAMAGE. ANY WORK AND/OR EXISTING FINISHES TO REMAIN DAMAGED DURING THE REMOVAL OF EXISTING WORK OR THE INSTALLATION OF NEW WORK SHALL BE REPAIRED, REPLACED, AND REFINISHED BY THE RESPONSIBLE TRADE CONTRACTOR TO MATCH THE ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE OWNER AND TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
- THE ARCHITECT SHALL REVIEW AND APPROVE LOCATIONS FOR ALL JUNCTION BOXES AND RACEWAYS PRIOR TO INSTALLATION OF WIRING / CABLING.
- EXISTING SITE FEATURES, MATERIALS, AMENITIES, LANDSCAPING, ETC. DAMAGED BY CONSTRUCTION OPERATIONS SHALL BE RESTORED, REPAIRED, OR REPLACED BY THE RESPONSIBLE TRADE CONTRACTOR(S) AT NO ADDITIONAL COST TO THE OWNER AND TO THE SATISFACTION OF THE OWNER AND ARCHITECT.
- CONTRACTOR SHALL COORDINATE THE WORK WITH ALL PARTIES INVOLVED SO THAT THE CONSTRUCTION CAN PROCEED SMOOTHLY, WITHOUT TRADE INTERFERENCE OR WASTE OF TIME AND MATERIAL.
- WARNING: ASBESTOS-CONTAINING BUILDING MATERIALS ARE OR MAY BE PRESENT IN THIS BUILDING. AN ASBESTOS MANAGEMENT PLAN IS AVAILABLE IN THE SCHOOL FOR REVIEW UPON REQUEST. NO PERSON MAY DISTURB ASBESTOS-CONTAINING MATERIALS UNLESS THAT PERSON IS A LICENSED ASBESTOS WORKER OR CONDUCTS SUCH WORK IN ACCORDANCE WITH SPECIFICATIONS(S) CONTAINED IN THE PROJECT DOCUMENTS AND IN COMPLIANCE WITH ILLINOIS DEPARTMENT OF HEALTH RULES AND REGULATIONS.**

GENERAL CONSTRUCTION / RENOVATION NOTES

- AFTER REMOVAL OF ITEMS IDENTIFIED TO BE REMOVED, CLEAN AND REPAIR THE EXISTING SURFACES TO REMAIN TO MATCH THE CONSTRUCTION MATERIALS AND METHODS, FINISHES, TEXTURE, PATTERN, COLOR AND SHEEN OF THE ADJACENT SURFACES TO REMAIN. PATCH, CLEAN, PREPARE, PAINT, ETC. EXISTING SURFACES AS REQUIRED.
- WHERE EXISTING EQUIPMENT IS REMOVED AND NEW EQUIPMENT IS SMALLER AND INSTALLED IN THE SAME LOCATION, CLEAN AND REPAIR THE SIGHT-EXPOSED SURFACES TO REMAIN TO MATCH THE CONSTRUCTION MATERIALS AND METHODS, FINISHED TEXTURE, PATTERN, AND COLOR OF THE ADJACENT SURFACES TO REMAIN. PATCH, CLEAN, PREPARE, PAINT, ETC. EXISTING SURFACES AS REQUIRED.
- EXISTING AND NEW FIRE RATED ASSEMBLIES ARE TO BE MAINTAINED AND BE IN CONFORMANCE WITH APPLICABLE CODES. PENETRATIONS SHALL BE CONSTRUCTED AND SEALED AS REQUIRED; NEW FIRE RATED ASSEMBLIES SHALL BE INSPECTED, CERTIFIED, AND APPROPRIATELY LABELED ABOVE CEILINGS.
- ALL PENETRATIONS THROUGH ANY MATERIAL SHALL BE SEALED WITH A COMPATIBLE MATERIAL APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
- MASONRY INFILL AND/OR PATCHING SHALL MATCH THE MATERIAL, SIZE, FINISH, COLOR, TEXTURE AND COURSING OF EXISTING MASONRY TO REMAIN. NEW MASONRY SHALL BE WHOLE UNITS TOOTHED IN TO THE EXISTING MASONRY. NO SAW CUT EDGES WILL BE ALLOWED. MORTAR JOINTS TO MATCH COLOR, TEXTURE AND PROFILE OF ADJACENT MASONRY.
- STRUCTURAL LINTELS ARE REQUIRED AT ALL OPENINGS AND RECESSES IN LOAD BEARING AND NON-LOAD BEARING MASONRY WALLS. REFER TO STRUCTURAL DRAWINGS.
- EXPOSED OUTSIDE CORNERS OF INTERIOR CONCRETE MASONRY UNITS SHALL BE ROUNDED, U.N.O.
- PROVIDE A CONTINUOUS BEAD OF SEALANT BETWEEN DISSIMILAR MATERIALS, U.N.O.
- PROVIDE GALVANIC PROTECTION SEPARATING DISSIMILAR METALS.
- ALL EXPOSED PIPING AND CONDUIT SHALL BE KEPT AS CLOSE AS POSSIBLE TO WALLS STRUCTURE, AND FLOOR/ROOF DECK.
- ALL WALLS ABOVE DOORS/FRAMES TO EXTEND TO UNDERSIDE OF DECK, U.N.O.
- ALL EXTERIOR DIMENSIONS ARE TO THE OUTSIDE FACE OF FINISH MATERIAL, U.N.O.
- SLOPE ALL CONCRETE AND/OR TOPPING TO FLOOR DRAINS; COORDINATE WITH PLUMBING DRAWINGS.
- CENTER SPRINKLER HEADS AND LIGHT FIXTURES, SECURITY DEVICES, WAPS, EXIT SIGNS, & SIMILAR DEVICES IN ACT TILES, U.N.O.
- INSTALL WOOD BLOCKING AS NEEDED FOR ALL WALL MOUNTED ITEMS.

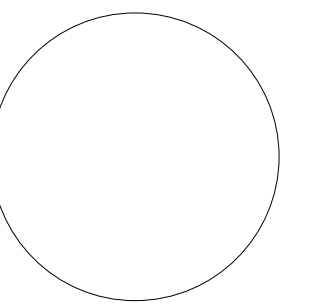
GENERAL REFLECTIVE CEILING NOTES

- ALL CEILING ELEVATIONS IDENTIFIED DENOTE HEIGHT ABOVE FINISHED FLOOR UNLESS NOTED OTHERWISE.
- REFER TO MECHANICAL, PLUMBING, ELECTRICAL, FIRE PROTECTION, AND TECHNOLOGY DRAWINGS FOR CEILING MOUNTED EQUIPMENT AND COMPONENTS NOT IDENTIFIED ON ARCHITECTURAL DRAWINGS.
- IN AREAS WITH NO FINISHED CEILING SYSTEM REFER TO ELECTRICAL DRAWINGS FOR LUMINARIES AND SPACING.
- REFER TO FINISH PLANS FOR ADDITIONAL INFORMATION REGARDING:
 - PAINTING OF CEILING COMPONENTS.
 - SUSPENDED ACOUSTICAL TILE CEILING SYSTEM TYPES TO BE PROVIDED.
 - CEILING HUNG WINDOW TREATMENTS
- PRIOR TO BEGINNING ANY WORK, NOTIFY THE ARCHITECT IF EXISTING CONDITIONS PREVENT NEW CEILING SYSTEMS FROM BEING INSTALLED AS DRAWN AND NOTED.
- PRIOR TO BEGINNING ANY WORK, NOTIFY THE ARCHITECT IF QUANTITY AND/OR SPACING OF LIGHT FIXTURES ON ELECTRICAL DRAWINGS DOES NOT MATCH QUANTITY AND/OR SPACING OF LIGHT FIXTURES ON ARCHITECTURAL DRAWINGS.
- LIGHT FIXTURES IN CORRIDORS ARE TO BE CENTERED IN THE WIDTH OF THE CORRIDOR UNLESS NOTED OTHERWISE.
- ALL CEILING TILES SHALL BE TYPE 1 UNLESS NOTED OTHERWISE:
 - PROVIDE TYPE 2 CEILING TILES IN TOILET ROOMS.
 - PAINT ALL GYPSUM CEILINGS



MATERIAL PATTERN LEGEND

CUT PATTERNS		SURFACE PATTERNS	
	ALUMINUM		BRICK
	BRICK		CONCRETE MASONRY UNIT / BLOCK
	CONCRETE		CONCRETE
	CONCRETE MASONRY UNIT / BLOCK		GYPSUM BOARD
	EARTH - UNDISTURBED		METAL MESH
	EARTH - TOP SOIL / BACKFILL		RUBBER TACTILE WARNING PAD
	GRAVEL	LINE TYPES	
	GYPSUM BOARD GROUT		BEYOND
	PLASTIC LAMINATE		CENTER, GRID
	PLYWOOD		DEMOLITION
	RIGID INSULATION		EXISTING (HALFTONE)
	SOLID SURFACE		HIDDEN
	SPRAY FOAM INSULATION		MATCHLINE
	STEEL		NEW (CUT)
			NEW (PROJECTION)
			OVERHEAD



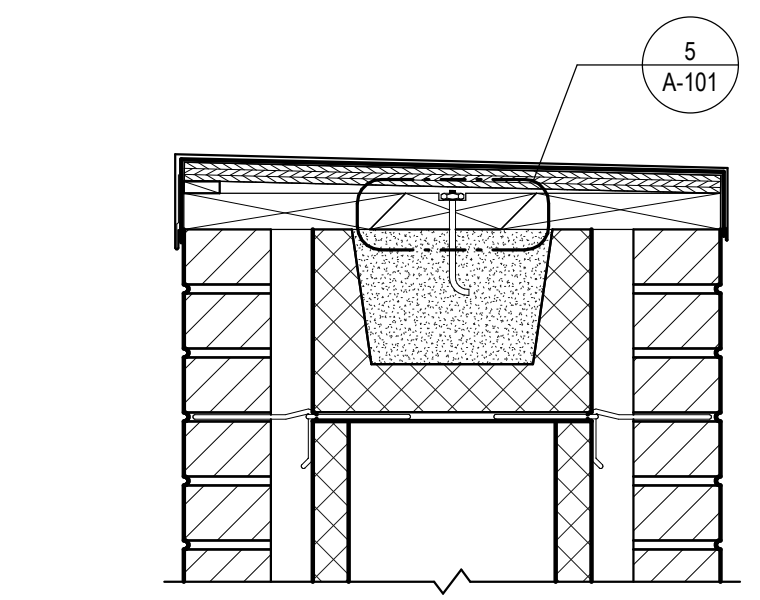
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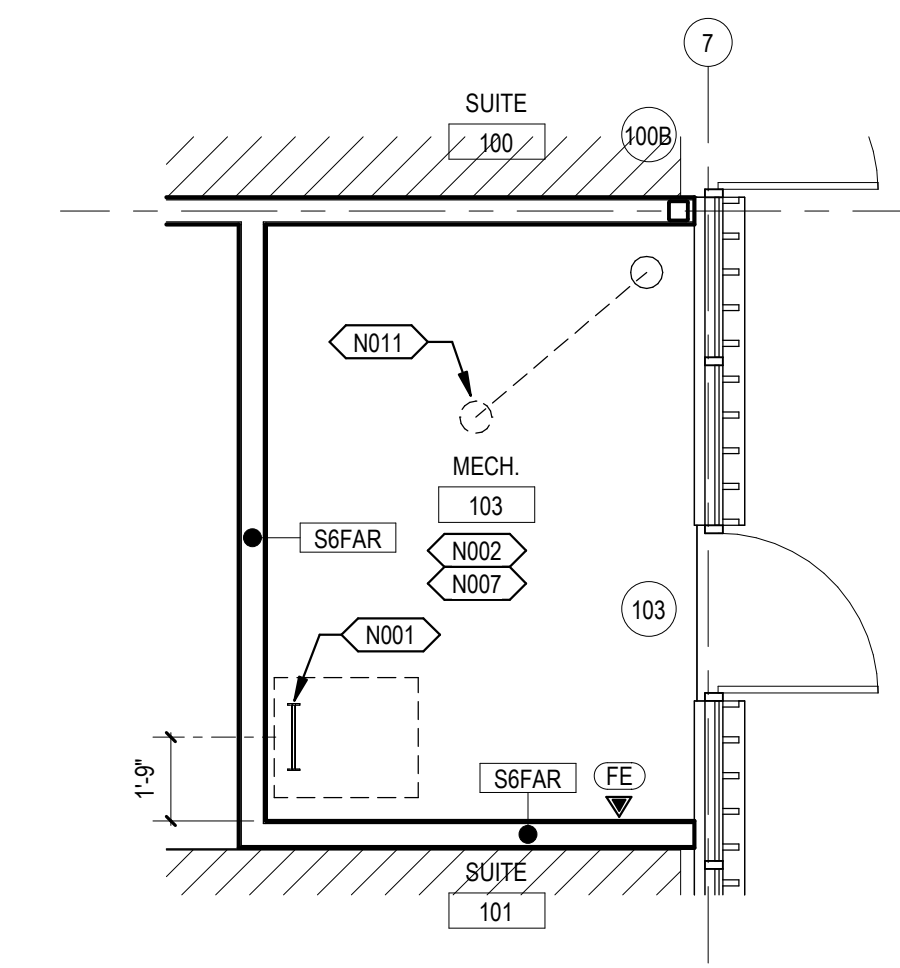
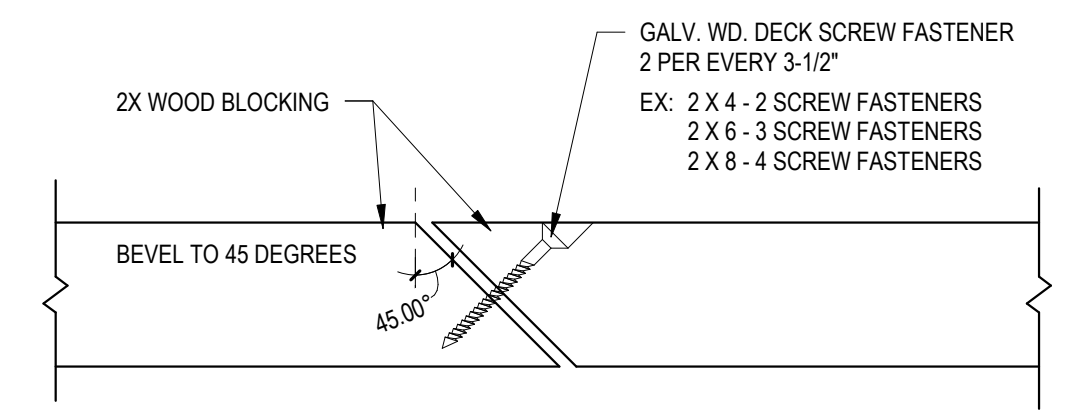
NO.	DESCRIPTION	DATE

PROJECT NUMBER 225027.00
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REVIEWED BY JH

SYMBOLS AND PROJECT GENERAL NOTES



5 TYP. MITERED WOOD BLOCKING DETAIL
6" = 1'-0" A-101

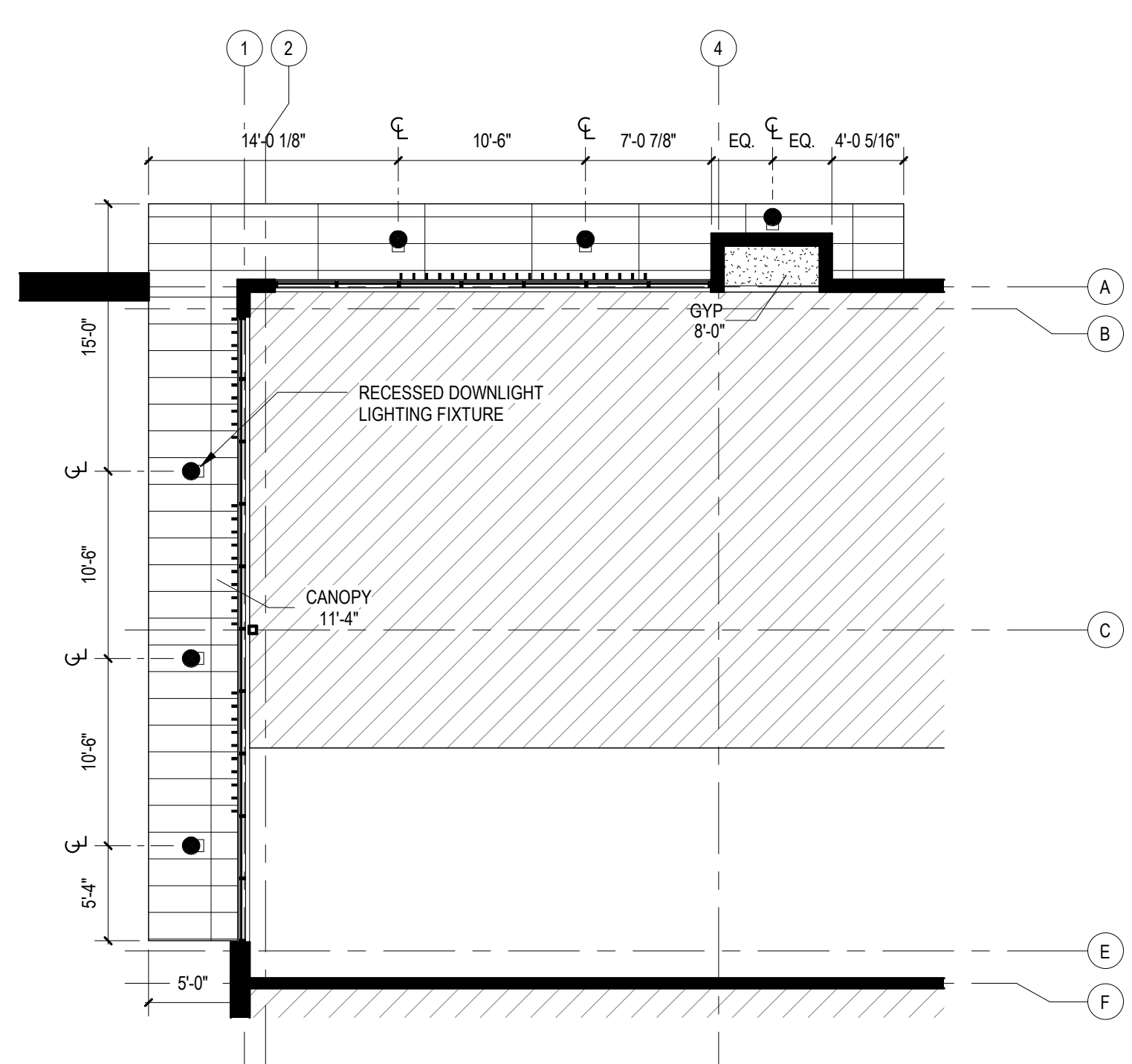


2 ENLARGED FLOOR PLAN - MECH. 202
1/4" = 1'-0" A-101

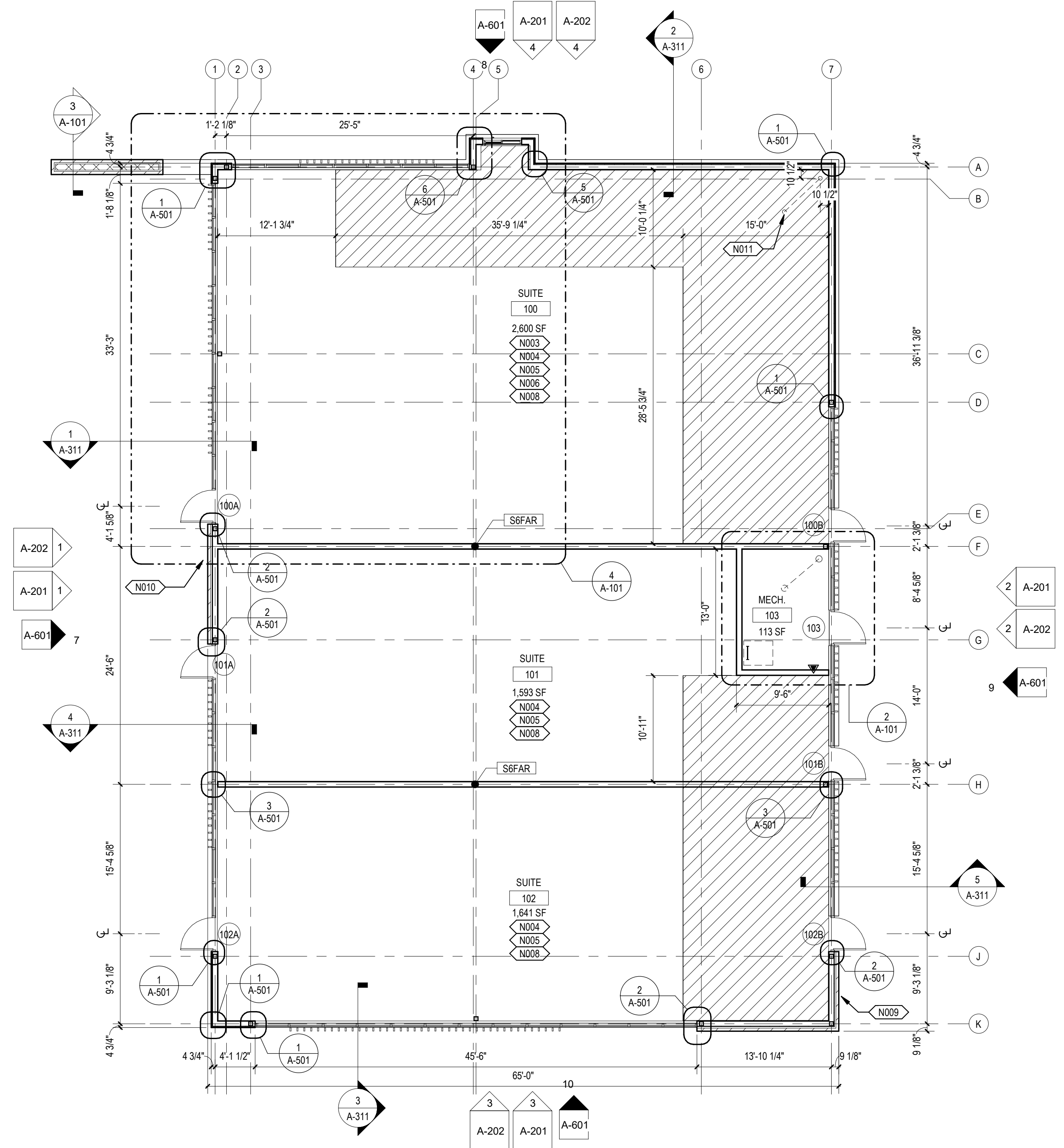
FLOOR PLAN LEGEND				
	SIM	DETAIL SECTION TAG	FEC RECESSED FIRE EXTINGUISHER AND CABINET	
	SIM	BUILDING & WALL SECTION TAG	FEC SEMI-RECESSED FIRE EXTINGUISHER AND CABINET	
		WALL TYPE - REFER TO A-601 FOR WALL TYPES		FLOOR DRAIN
		DOOR NUMBER - REFER TO A-601 FOR DOOR AND FRAME SCHEDULE		AREA NOT IN CONTRACT
		ROOM NAME		NEW WORK NOTE
	Ref	INTERIOR ELEVATION TAG		
	Ref	EXTERIOR ELEVATION TAG		
		COLUMN TAG AND COLUMN CENTERLINE		
	Ref	STOREFRONT, CURTAIN WALL, AND WINDOW ELEVATION		

ARCHITECTURAL PLAN NOTES	
NOTE	DESCRIPTION
N001	ROOF ACCESS HATCH AND METAL LADDER.
N002	PROVIDE 400-AMP, 208 VOLT, THREE-PHASE ELECTRICAL SERVICE TO TWO PANEL(S)
N003	PROVIDE GAS SERVICE - 950,000 BTUs IN ADDITION TO RTU REQUIREMENTS.
N004	PROVIDE 4" SANITARY SEWER LINE STUBBED IN AT REAR OF EACH SUITE.
N005	PROVIDE MIN. 1" DOMESTIC WATERLINE STUBBED IN AT REAR OF EACH SUITE - SIZED TO ACCOMMODATE MIN. 67.5 GPM AT 45 PSI RESIDUAL PRESSURE.
N006	PROVIDE GREASE INTERCEPTOR AS REQUIRED.
N007	HIGH-SPEED, DIGITAL COMMUNICATIONS AS REQUIRED. OWNER PROVIDED.
N008	HATCH PATTERN INDICATES SECTION OF CONCRETE SLAB TO BE POURED AFTER TENANTS UNDERGROUND UTILITIES ARE IN PLACE.
N009	PROPOSED LOCATION FOR UTILITY SERVICE METERS.
N010	PROPOSED LOCATION FOR FIRE DEPARTMENT CONNECTION.
N011	STORM LINE DOWN FROM ROOF DRAIN ON ROOF. REFER TO AR101 FOR MORE DETAIL.

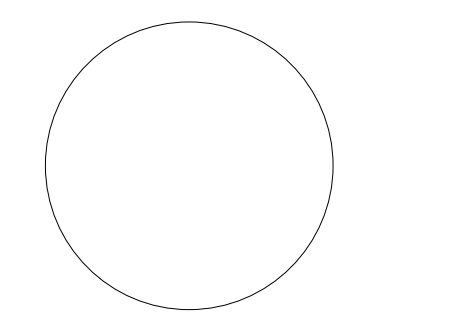
3 Section 16
1 1/2" = 1'-0" A-101



4 CANOPY LIGHTING FIXTURE RCP
1/8" = 1'-0" A-101



1 FIRST FLOOR PLAN
1/8" = 1'-0" A-101

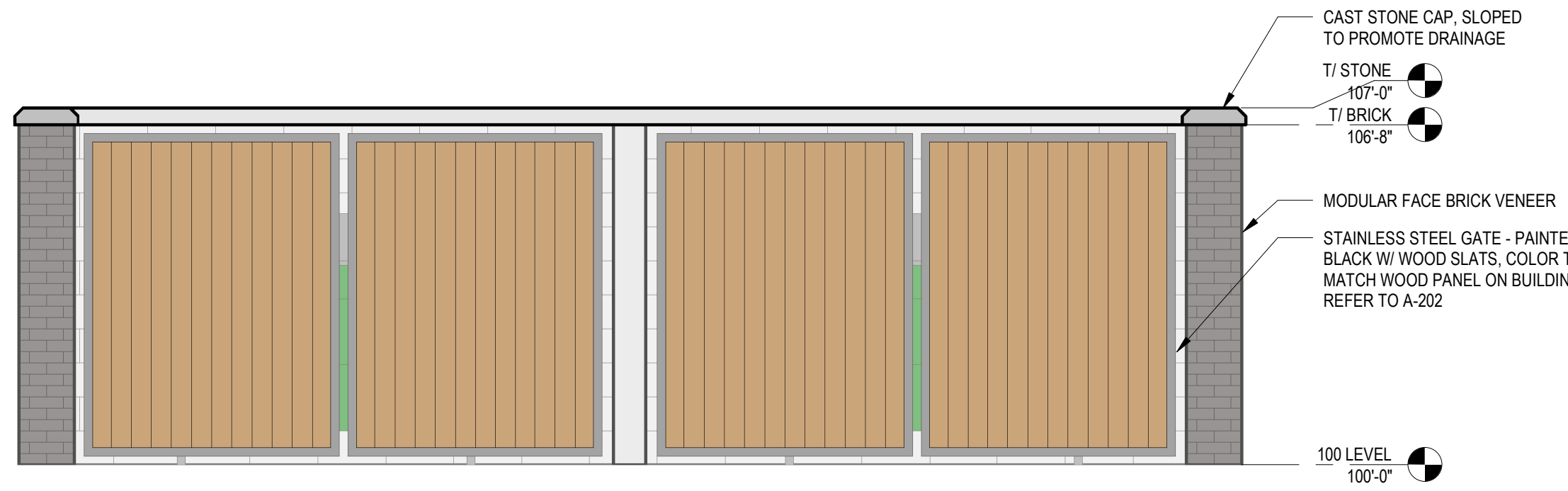


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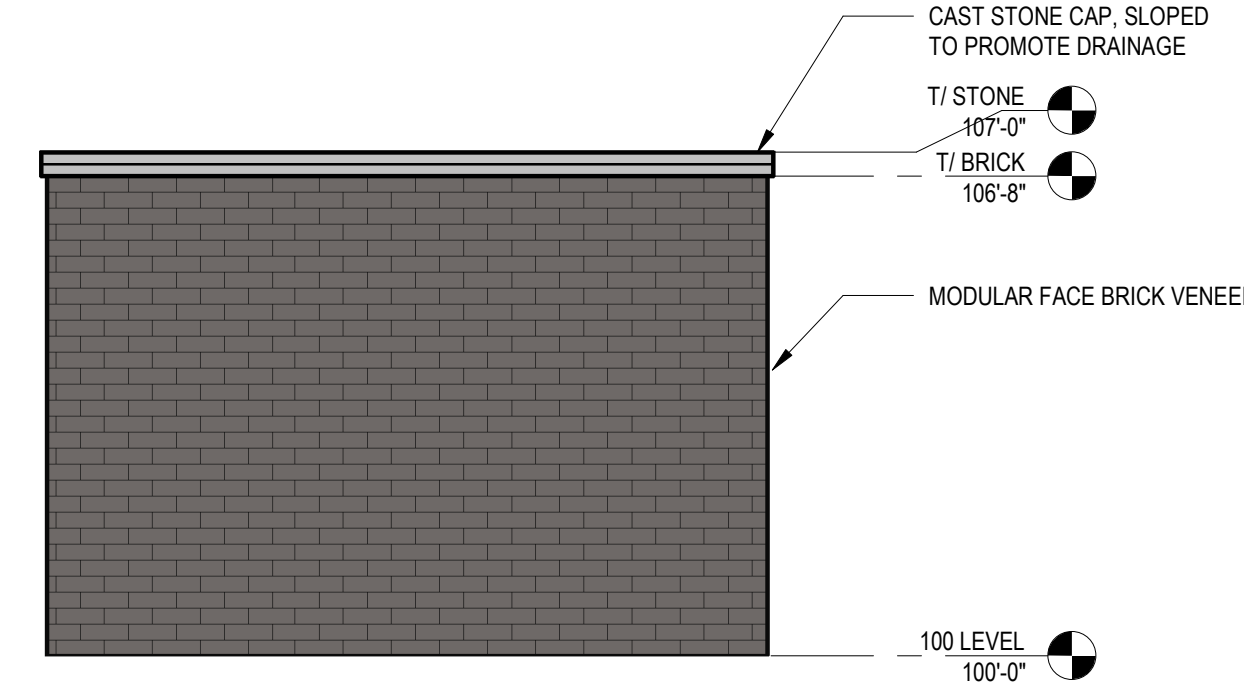
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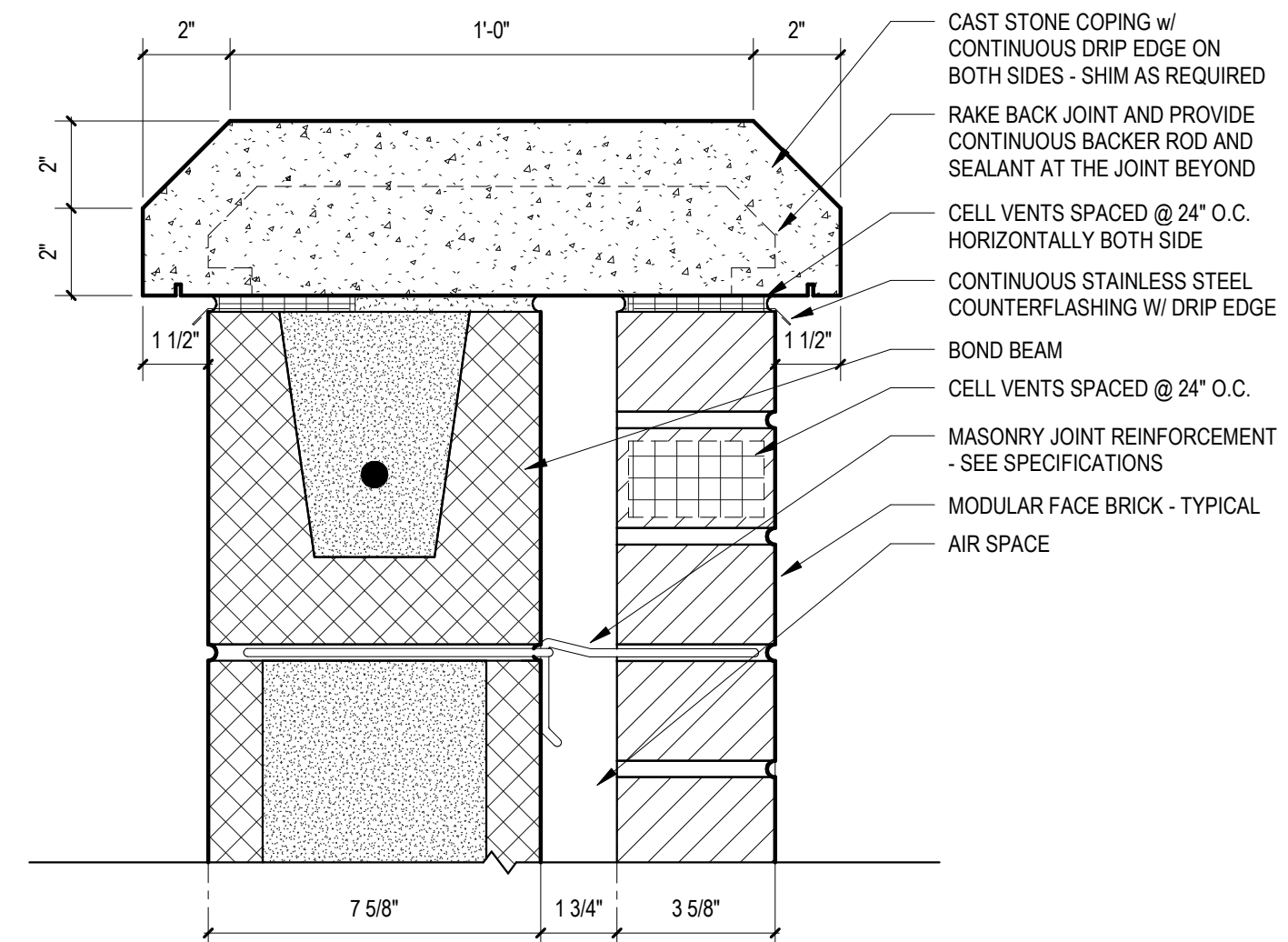
FIRST FLOOR PLAN



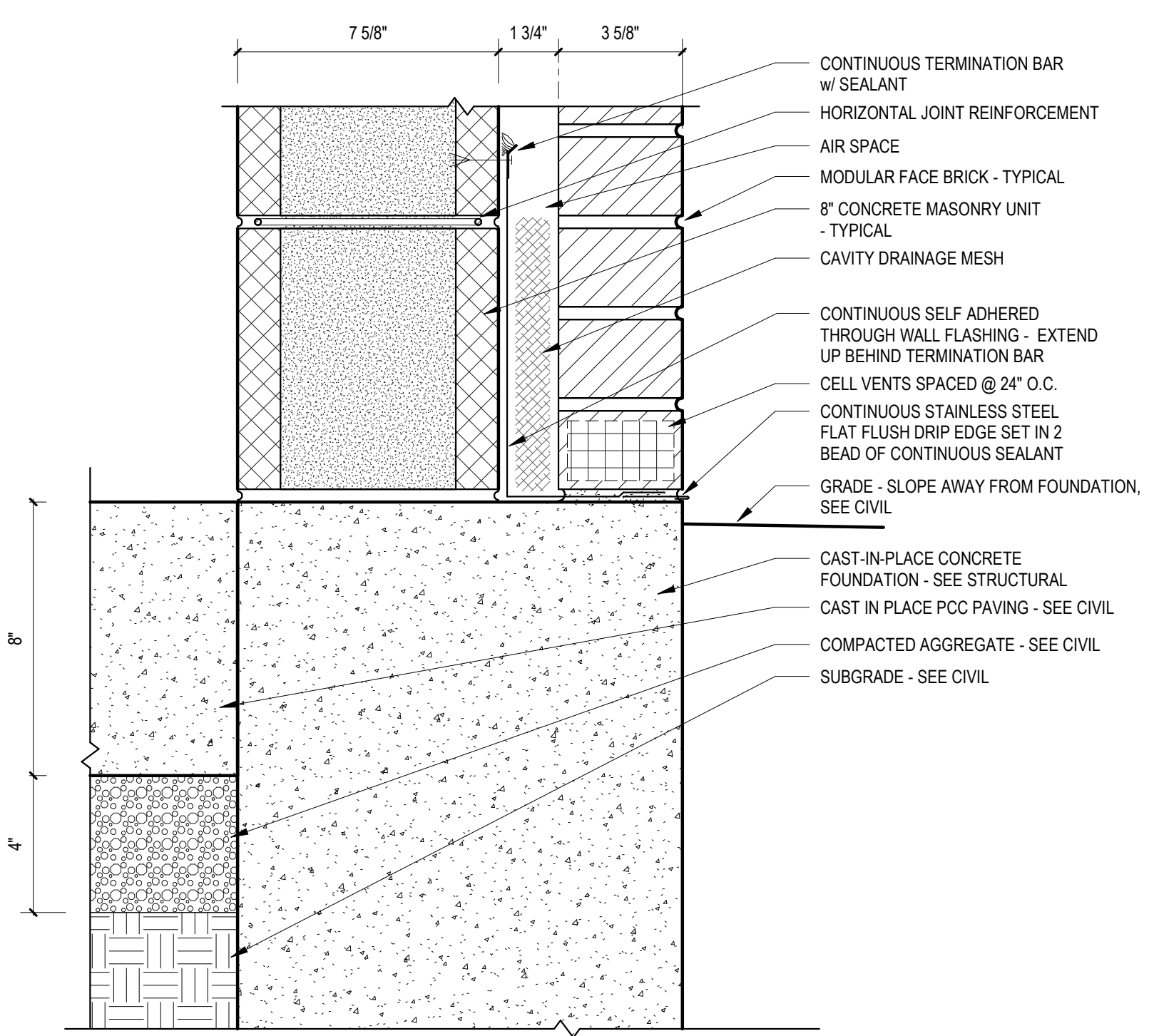
8 ELEVATION - DUMPSTER ENCLOSURE
3/8" = 1'-0"



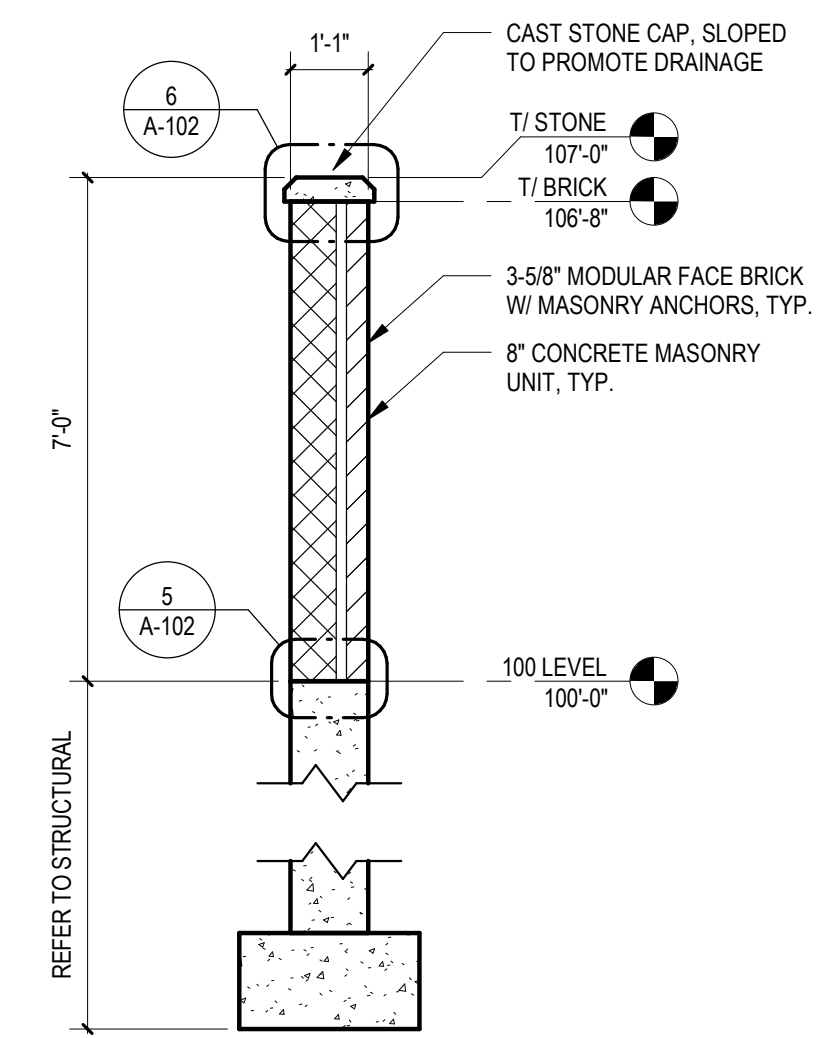
7 ELEVATION - DUMPSTER ENCLOSURE
3/8" = 1'-0"



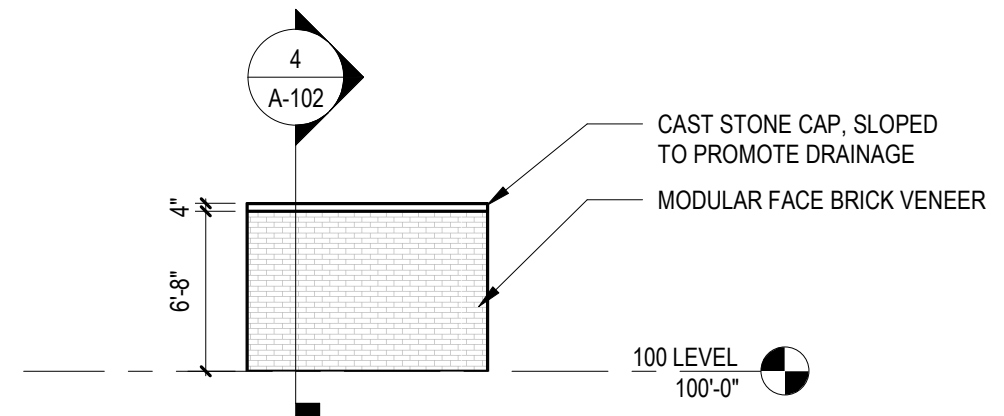
6 TYPICAL BRICK COPING DETAIL
3" = 1'-0" A-102



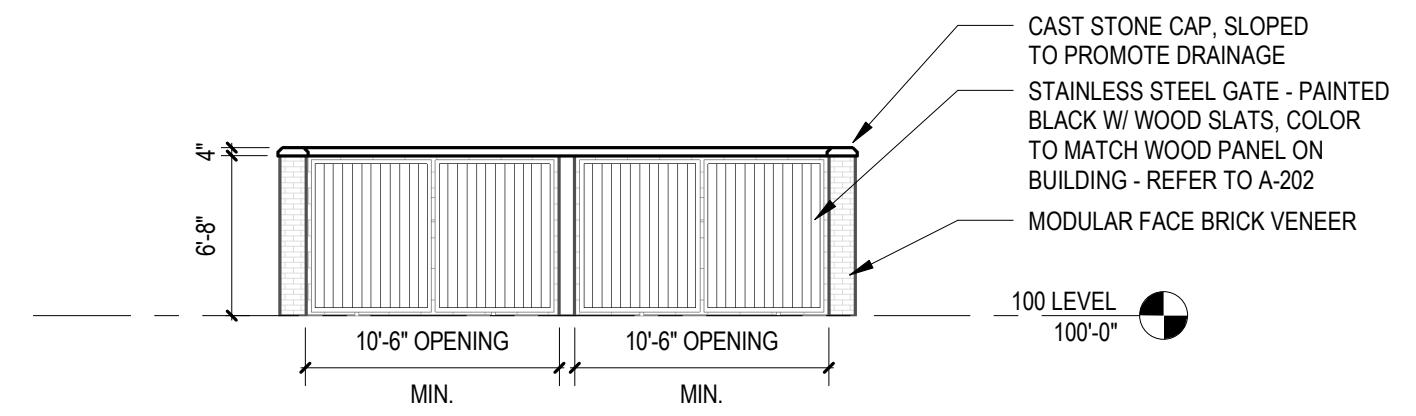
5 TYPICAL BRICK FOUNDATION DETAIL
3" = 1'-0" A-102



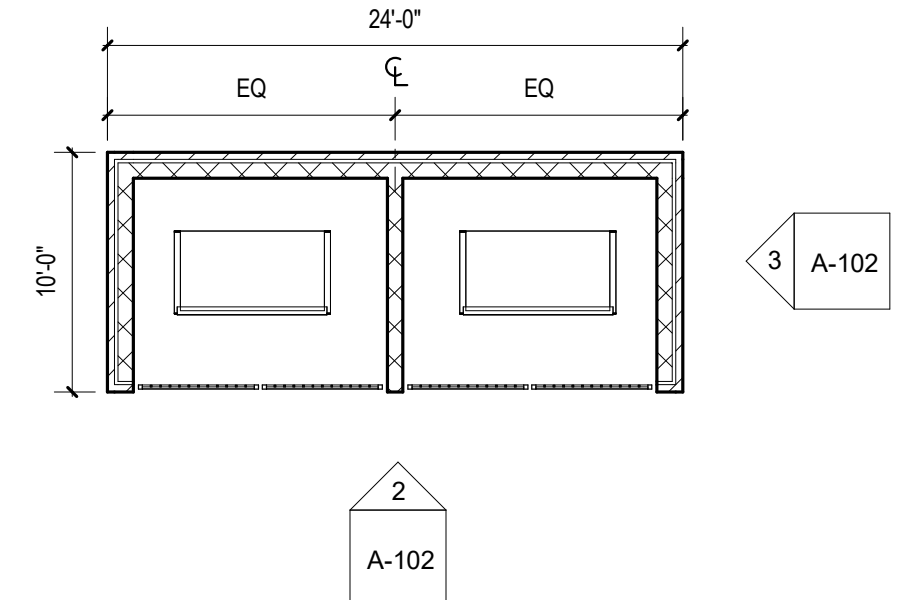
4 WALL SECTION - DUMPSTER ENCLOSURE
3/8" = 1'-0" A-102



3 ELEVATION - DUMPSTER ENCLOSURE
1/8" = 1'-0" A-102



2 ELEVATION - DUMPSTER ENCLOSURE
1/8" = 1'-0" A-102



1 DUMPSTER ENCLOSURE PLAN
1/8" = 1'-0" A-102

FLOOR PLAN LEGEND

	DETAIL SECTION TAG		RECESSED FIRE EXTINGUISHER AND CABINET
	BUILDING & WALL SECTION TAG		SEMI-RECESSED FIRE EXTINGUISHER AND CABINET
	WALL TYPE - REFER TO A-601 FOR WALL TYPES		FLOOR DRAIN
	DOOR NUMBER - REFER TO A-601 FOR DOOR AND FRAME SCHEDULE		AREA NOT IN CONTRACT
	ROOM NAME		NEW WORK NOTE
	ROOM NUMBER		
	INTERIOR ELEVATION TAG		
	EXTERIOR ELEVATION TAG		
	COLUMN TAG AND COLUMN CENTERLINE		
	STOREFRONT, CURTAIN WALL, AND WINDOW ELEVATION		

ARCHITECTURAL PLAN NOTES

NOTE	DESCRIPTION
N001	ROOF ACCESS HATCH AND METAL LADDER.
N002	PROVIDE 400-AMP, 208 VOLT, THREE-PHASE ELECTRICAL SERVICE TO TWO PANEL(S).
N003	PROVIDE GAS SERVICE - 950,000 BTUs IN ADDITION TO RTU REQUIREMENTS.
N004	PROVIDE 4" SANITARY SEWER LINE STUBBED IN AT THE REAR OF EACH SUITE.
N005	PROVIDE MIN. 1" DOMESTIC WATERLINE STUBBED IN AT REAR OF EACH SUITE - SIZED TO ACCOMMODATE MIN. 67.5 GPM AT 45 PSI RESIDUAL PRESSURE.
N006	PROVIDE GREASE INTERCEPTOR AS REQUIRED.
N007	HIGH-SPEED, DIGITAL COMMERCIAL COMMUNICATIONS AS REQUIRED. OWNER PROVIDED.
N008	HATCH PATTERN INDICATES SECTION OF CONCRETE SLAB TO BE POURED AFTER TENANTS UNDERGROUND UTILITIES ARE IN PLACE.
N009	PROPOSED LOCATION FOR UTILITY SERVICE METERS.
N010	PROPOSED LOCATION FOR FIRE DEPARTMENT CONNECTION.
N011	STORM LINE DOWN FROM ROOF DRAIN ON ROOF. REFER TO AR101 FOR MORE DETAIL.

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2980 Grand Prairie Parway
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www.legat.com

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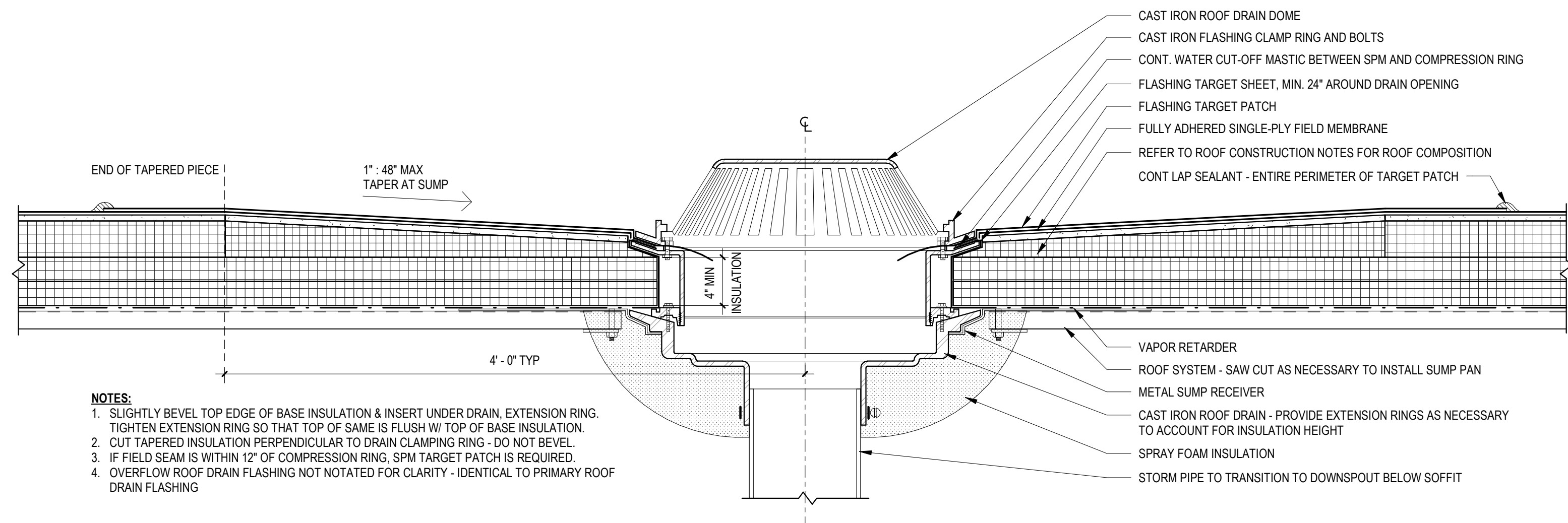
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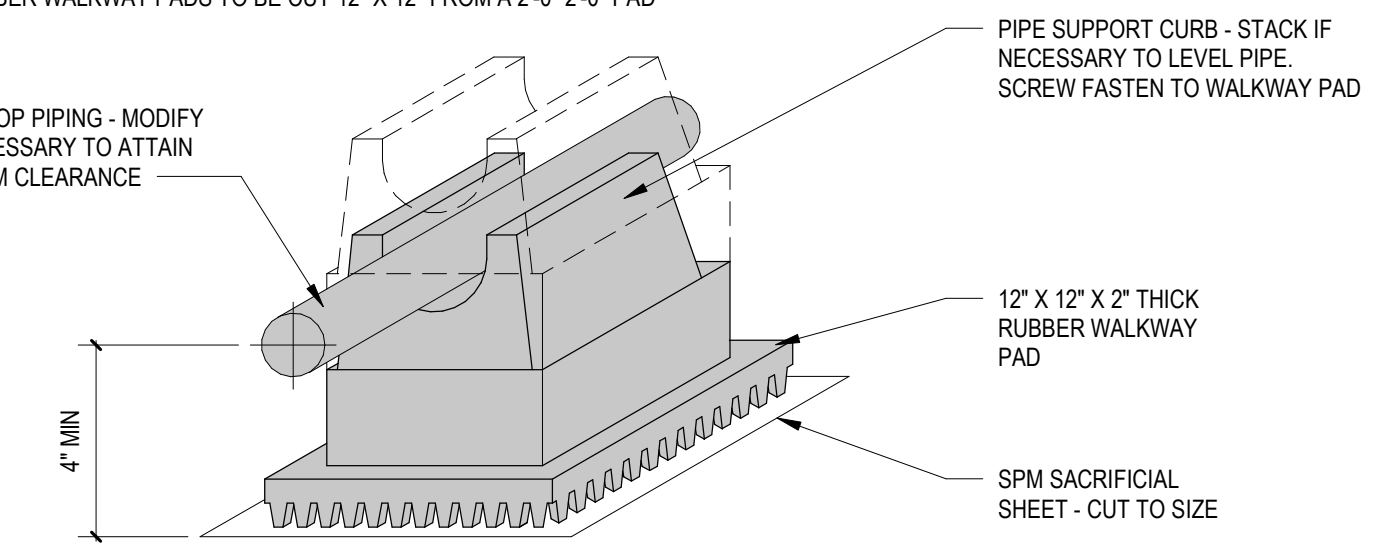
DUMPSTER ENCLOSURE PLAN, ELEVATION AND DETAILS

A-102
S.P. RESUBMITTAL #3



- NOTES:**
1. SLIGHTLY BEVEL TOP EDGE OF BASE INSULATION & INSERT UNDER DRAIN, EXTENSION RING. TIGHTEN EXTENSION RING SO THAT TOP OF SAME IS FLUSH W/ TOP OF BASE INSULATION.
 2. CUT TAPERED INSULATION PERPENDICULAR TO DRAIN CLAMPING RING - DO NOT BEVEL.
 3. IF FIELD SEAM IS WITHIN 12" OF COMPRESSION RING, SPM TARGET PATCH IS REQUIRED.
 4. OVERFLOW ROOF DRAIN FLASHING NOT NOTATED FOR CLARITY - IDENTICAL TO PRIMARY ROOF DRAIN FLASHING

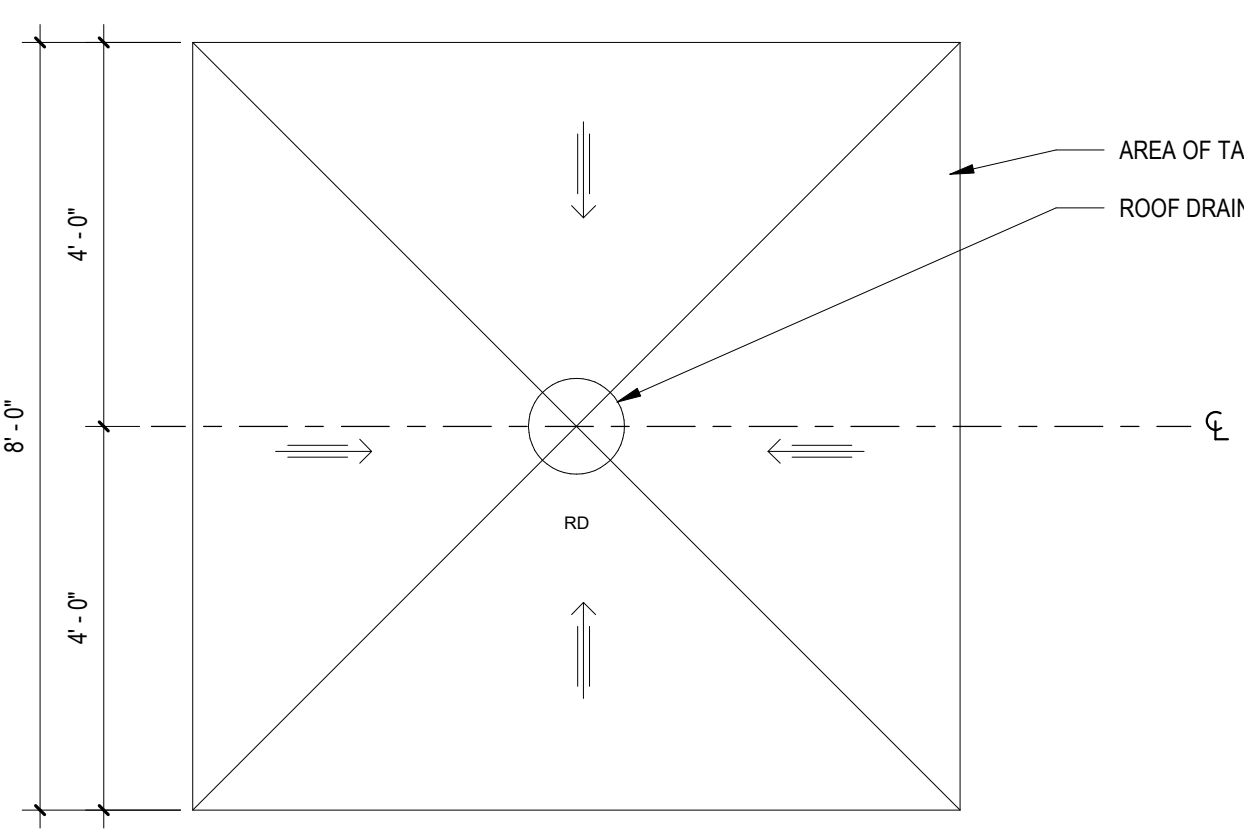
- NOTE:**
1. RUBBER WALKWAY PADS TO BE CUT 12" X 12" FROM A 2'-0" 2'-0" PAD



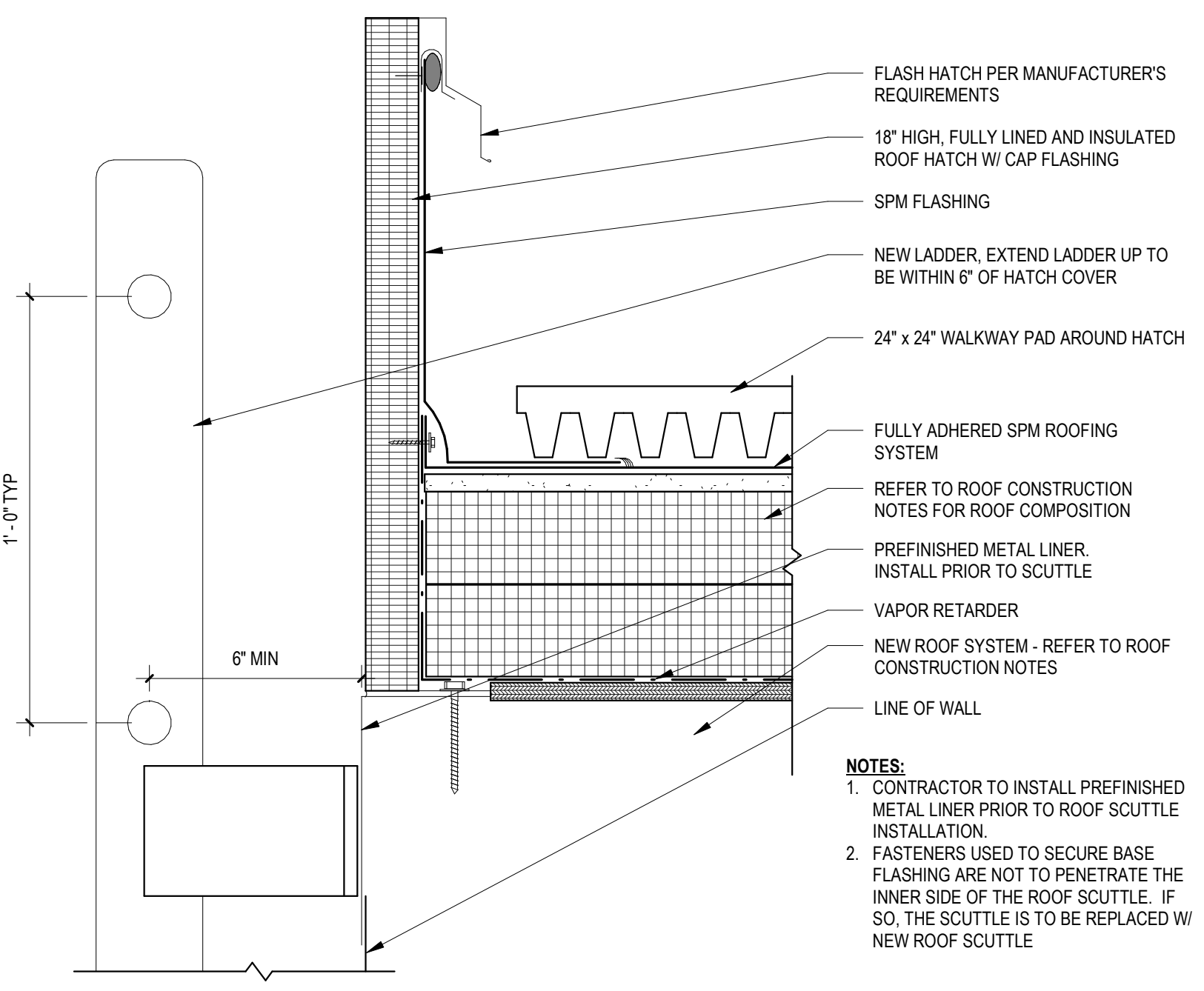
- NOTE:**
1. PIPE SUPPORTS TO BE SPACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS FOR GIVEN WEIGHT PER PIPE/STAND
 2. FOR PIPES NOT EXCEEDING 2" O/D

4 ROOF PENETRATION - ROOF DRAIN
1 1/2" = 1'-0"

2 PIPE SUPPORT < 2" OUTSIDE DIAMETER
1 1/2" = 1'-0"

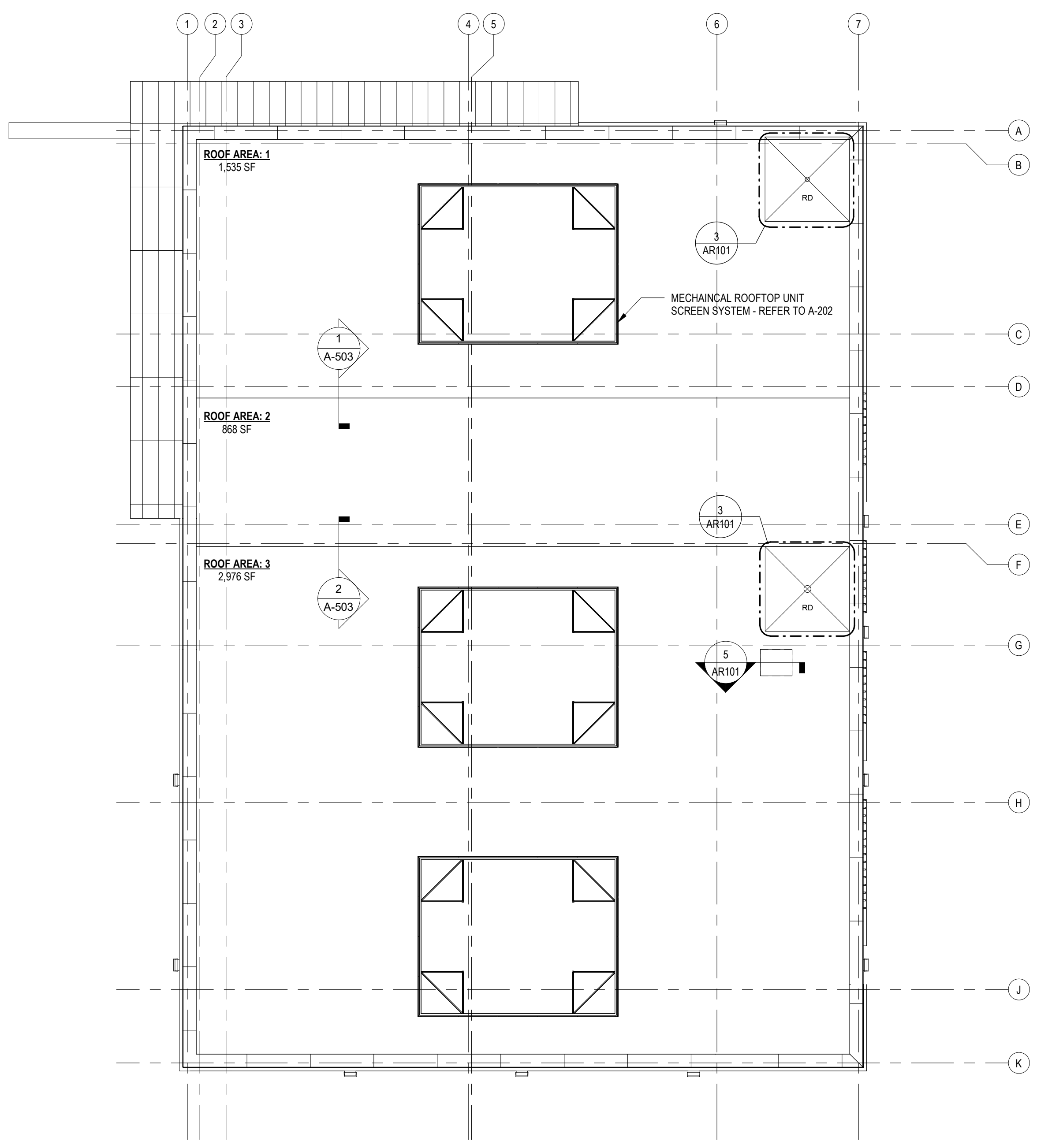


3 ROOF PENETRATION - ROOF DRAIN PAN
1/2" = 1'-0" AR101



- NOTES:**
1. CONTRACTOR TO INSTALL PREFINISHED METAL LINER PRIOR TO ROOF SCUTTLE INSTALLATION.
 2. FASTENERS USED TO SECURE BASE FLASHING ARE NOT TO PENETRATE THE INNER SIDE OF THE ROOF SCUTTLE. IF SO, THE SCUTTLE IS TO BE REPLACED W/ NEW ROOF SCUTTLE

5 CURB - ROOF HATCH
3" = 1'-0" AR101



1 ROOF PLAN
1/8" = 1'-0"

GENERAL ROOF NOTES

1. ALL INSULATION JOINTS, HORIZONTAL AND VERTICAL, ARE TO BE STAGGERED.
2. ALL INSULATION JOINTS GREATER THAN 1/4" ARE TO BE FILLED W/ INSULATION STRIPS.
3. ALL ROOF PENETRATIONS, INCLUDING VENT STACKS, ROOF CURBS, AND PIPE SUPPORT CURBS ARE TO BE A MINIMUM OF 8" ABOVE THE ROOF MEMBRANE SURFACE.
4. FIELD VERIFY ALL CONDITIONS PRIOR TO SUBMITTING SHOP DRAWINGS INCLUDING TAPERED INSULATION DRAWINGS W/ ALL DRAIN LOCATIONS.
5. ALL COUNTERFLASHING, COPINGS, AND MISC. METAL FLASHING PIECES ARE TO HAVE SEALANT APPLIED AT THEIR END CONDITIONS.
6. ALL EXPOSED FASTENERS TO BE CORROSION RESISTIVE. HAVE NEOPRENE WASHERS, AND BE COVERED W/ SEALANT FOLLOWING ARCHITECT'S APPROVAL.
7. APPLY MEMBRANE MANUFACTURER'S SEALANT OVER FASTENER HEADS AT BASE FLASHING SECUREMENT.
8. DRAINS TO BE FLASHED AS PER MANUFACTURER'S SPECIFICATIONS.
9. PROVIDE COUNTERFLASHING FOR ALL VERTICAL FLANGES ON ENDWALL FLASHING PIECES.
10. SCREW FASTENERS FOR INSULATION ARE TO BE INSTALLED THROUGH TOP FLUTES OF METAL DECK ONLY.
11. ALL WOOD BLOCKING TO BE MITERED AND SCREWED, UNLESS NOTED OTHERWISE.
12. ALL COPING JOINTS TO ALIGN WITH CENTER OF METAL PANEL JOINTS AND MULLIONS, UNLESS NOTED OTHERWISE.
13. REFER TO 'ROOF PLAN LEGEND' ON SHEET AR-101

ROOF PLAN FLASHING NOTES

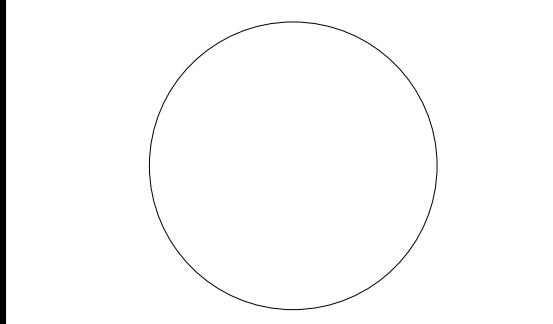
1. ALL FLASHING FLANGES ARE TO BE SET IN SEALANT.
2. ISOMETRIC DRAWINGS ARE DIAGRAMMATIC.
3. FOLLOWING INSTALLATION OF THE FLASHING, APPLY SEALANT TO ALL EXPOSED LEADING EDGES.
4. ALL SCREW ANCHOR LOCATIONS TO HAVE PRE-DRILLED 5/16" PILOT HOLES.
5. NON-EXPOSED SCREW ANCHORS INTO WOOD TO BE NO. 14 X 1-1/2 LONG 18-8 AUSTENITIC STAINLESS STEEL TYPE 304 (2XIMZ) SCREW.
6. EXPOSED SCREW ANCHORS INTO WOOD TO BE NO. 14 X 1-1/2 LONG 18-8 AUSTENITIC STAINLESS STEEL TYPE 304 PAINT SCREW.
7. NON-EXPOSED SCREW ANCHORS INTO MASONRY ARE TO BE 1-1/4" X 3/16" STAINLESS STEEL SELF TAPPING SCREW FASTENERS.
8. EXPOSED SCREW ANCHORS INTO MASONRY ARE TO BE 1-1/4" X 3/16" STAINLESS STEEL SELF TAPPING SCREW FASTENERS WITH OLUMSEAL CORROSION RESISTIVE COATING AND NEOPRENE WASHERS.
9. EXPOSED SCREW FASTENERS INTO SHEET METAL TO BE 3/4" X 1/4" TEKS 1 WITH NEOPRENE WASHERS.
10. FIELD VERIFY ALL CONDITIONS PRIOR TO FABRICATION.
11. ALL EXPOSED SCREW FASTENERS ARE TO BE COVERED WITH SEALANT UNLESS NOTED OTHERWISE.

ROOF CONSTRUCTION NOTES

- ROOF AREA: 1, 2, 3 (5,380 SF)**
WOOD TRUSS
1. INSTALL 1/2" PLYWOOD SHEATHING.
 2. INSTALL TEMPORARY ROOF / VAPOR BARRIER. WRAP OVER PARAPET.
 3. INSTALL TWO LAYERS OF 3" RIGID POLYISOCYANURATE INSULATION (R34 AVERAGE MINIMUM). STAGGER JOINTS. SET IN INSULATION ADHESIVE.
 4. INSTALL TAPERED RIGID INSULATION AND SADDLES. SET IN INSULATION ADHESIVE.
 5. INSTALL COVER BOARD. SET IN INSULATION ADHESIVE.
 6. INSTALL FULLY-ADHERED SINGLE-PLY MEMBRANE ROOFING.
 7. INSTALL WALKWAY PADS. COORDINATE LOCATIONS WITH THE OWNER.
 8. INSTALL PREFINISHED METAL COPINGS, COUNTERFLASHINGS

ROOF PLAN LEGEND

- > AREA OF SLOPED STRUCTURE
- ====> AREA OF 1/4" PER FOOT TAPERED INSULATION
- ====> AREA OF 1/2" PER FOOT TAPERED INSULATION
- # TOTAL HEIGHT OF INSULATION IN INCHES NOT INCLUDING COVER BOARD
- METAL COPING AND JOINT - REFER TO DETAILS 5/A-521 (HORIZONTAL) AND 6/A-521 (VERTICAL)
- o VENT PIPE ROOF PENETRATION
- DS DOWNSPOUT



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ROOF PLAN

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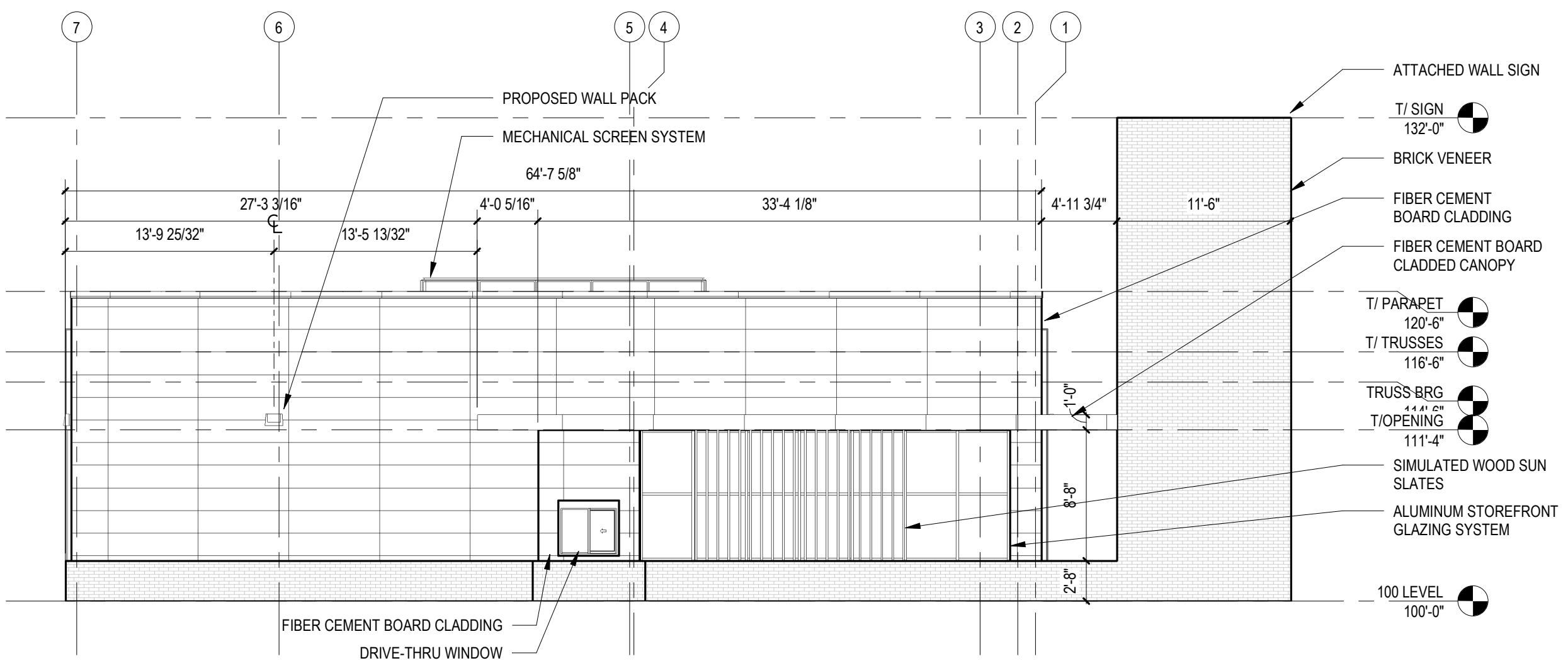
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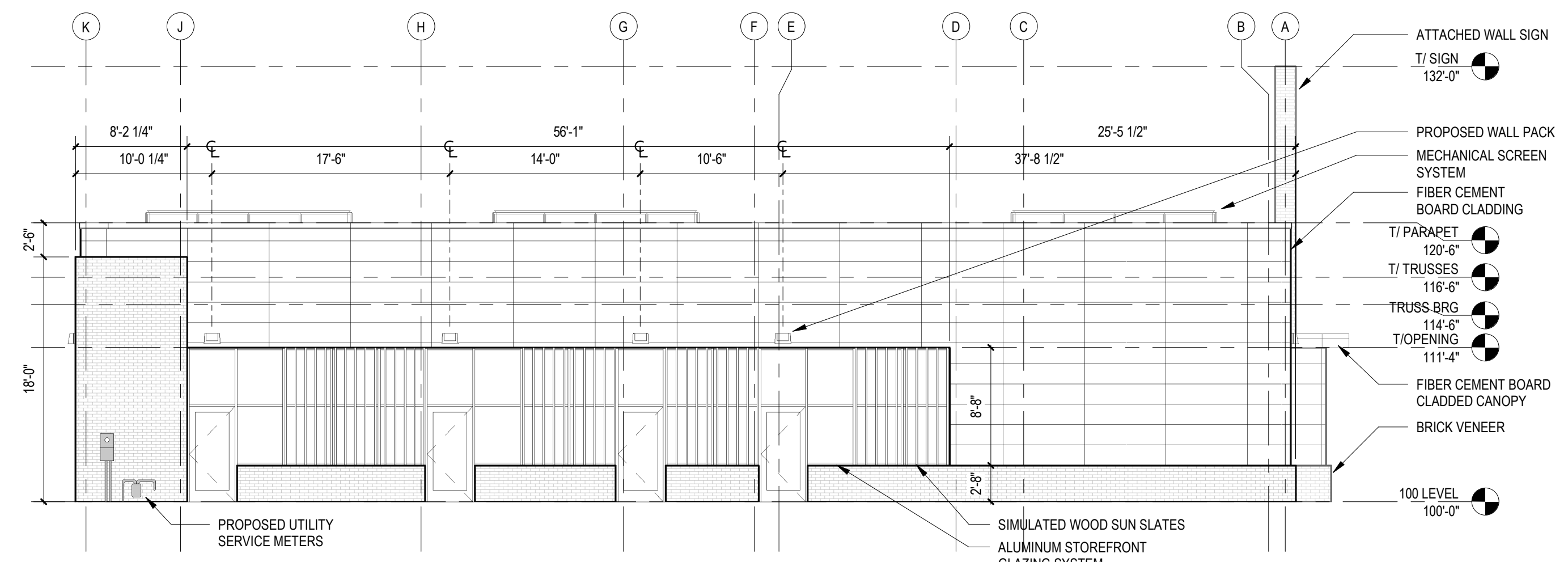
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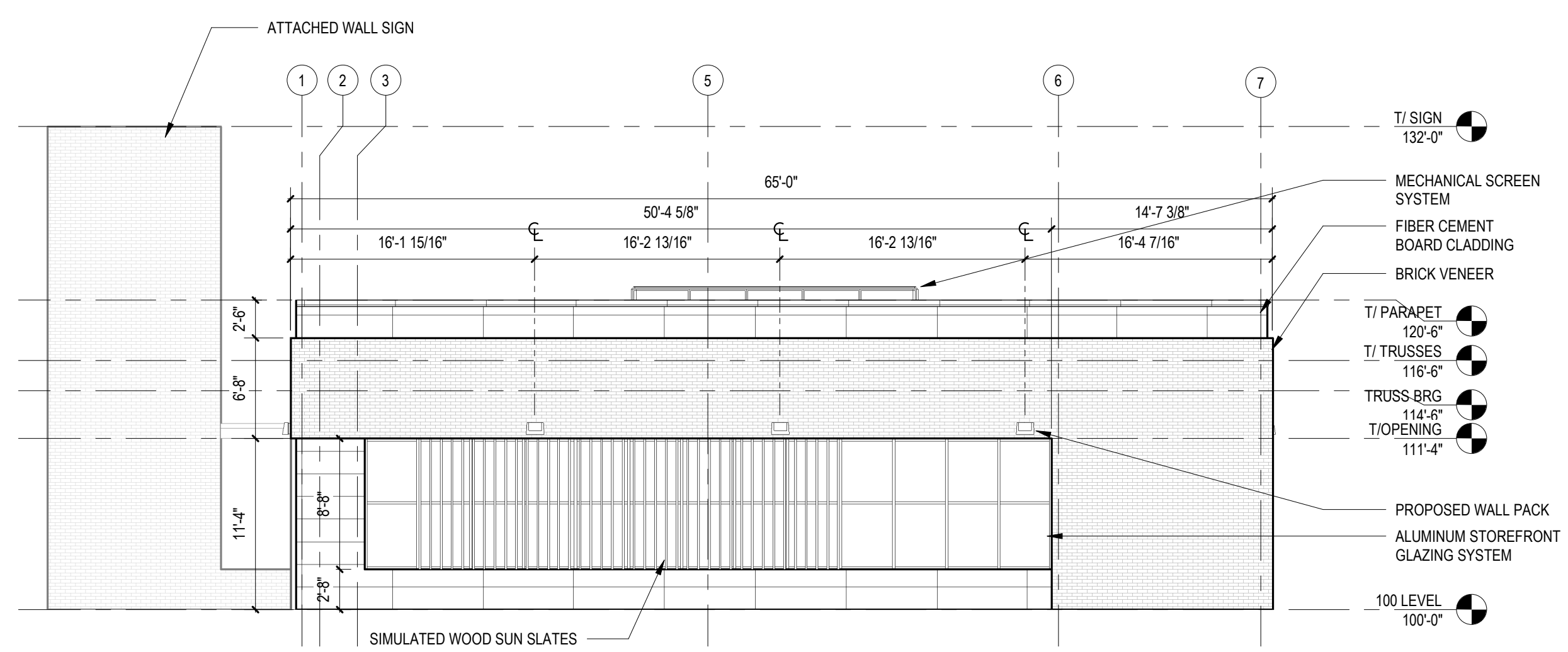
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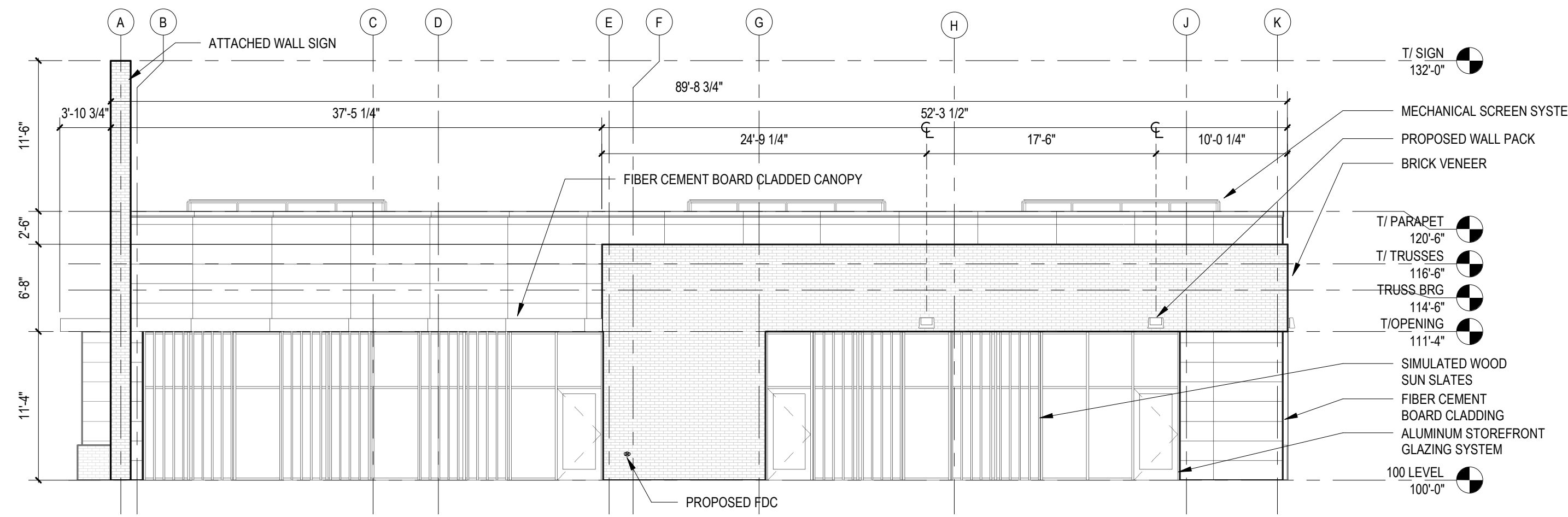
4 ELEVATION - NORTH
 1/8" = 1'-0" A-101



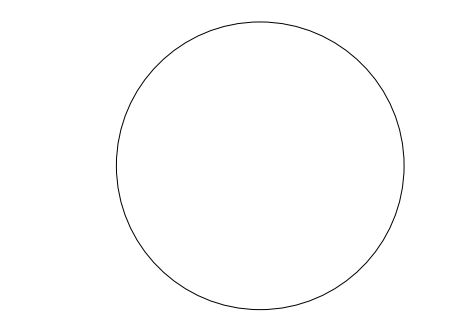
2 ELEVATION - EAST
 1/8" = 1'-0" A-101



3 ELEVATION - SOUTH
 1/8" = 1'-0" A-101



1 ELEVATION - WEST
 1/8" = 1'-0" A-101



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EXTERIOR BUILDING ELEVATIONS

A-201
 S.P. RESUBMITTAL #3

ELEVATION MATERIALS LEGEND	
	FIBER CEMENT BOARD - NICHHA - VINTAGE WOOD - POPLAR
	FIBER CEMENT BOARD - NICHHA - MIRAIA - SNOW
	BRICK VENEER - GLEN GARY - CARBON BLACK VELOUR W/ COLORED MORTAR
	ALUMINUM STOREFRONT GLAZING SYSTEM - 1" INSULATED GLAZING - BLACK ANODIZED FRAME
	MECHANICAL ROOFTOP UNIT SCREEN SYSTEM - SOLID PANEL - WHITE SATIN - BASIS OF DESIGN - CITYSCAPES ARCHITECTURAL INNOVATIONS - ENVISOR - UNIT ATTACHED

ELEVATION GENERAL NOTES

1. ALL SIGNAGE IS SUBJECT TO SEPARATE REVIEW AND APPROVAL OF A SIGN PERMIT.

MATERIAL PERCENTAGES LEGEND		
NORTH FACADE		
MATERIAL	AREA (SF)	PERCENTAGE
BRICK VENEER	180	14%
CEMENT BOARD	876	65%
WOOD CLADDING	62	5%
GLAZING	215	16%
TOTAL	1,333	100%
EAST FACADE		
MATERIAL	AREA (SF)	PERCENTAGE
BRICK VENEER	335	18%
CEMENT BOARD	1020	55%
WOOD CLADDING	0	0%
GLAZING	490	27%
TOTAL	1,845	100%
SOUTH FACADE		
MATERIAL	AREA (SF)	PERCENTAGE
BRICK VENEER	602	45%
CEMENT BOARD	333	25%
WOOD CLADDING	0	0%
GLAZING	398	30%
TOTAL	1,333	100%
WEST FACADE		
MATERIAL	AREA (SF)	PERCENTAGE
BRICK VENEER	495	27%
CEMENT BOARD	600	32%
WOOD CLADDING	0	0%
GLAZING	750	41%
TOTAL	1,845	100%
TOTAL		
MATERIAL	AREA (SF)	PERCENTAGE
BRICK VENEER	1,612	25%
CEMENT BOARD	2,829	45%
WOOD CLADDING	62	1%
GLAZING	1,853	29%
TOTAL	6,356	100%

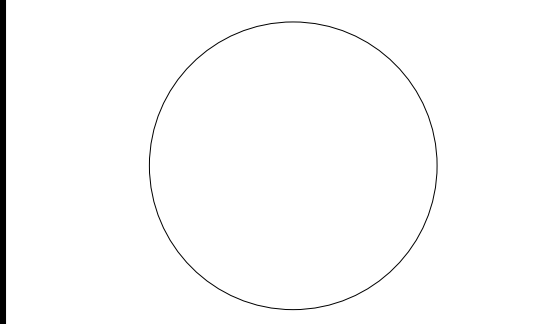
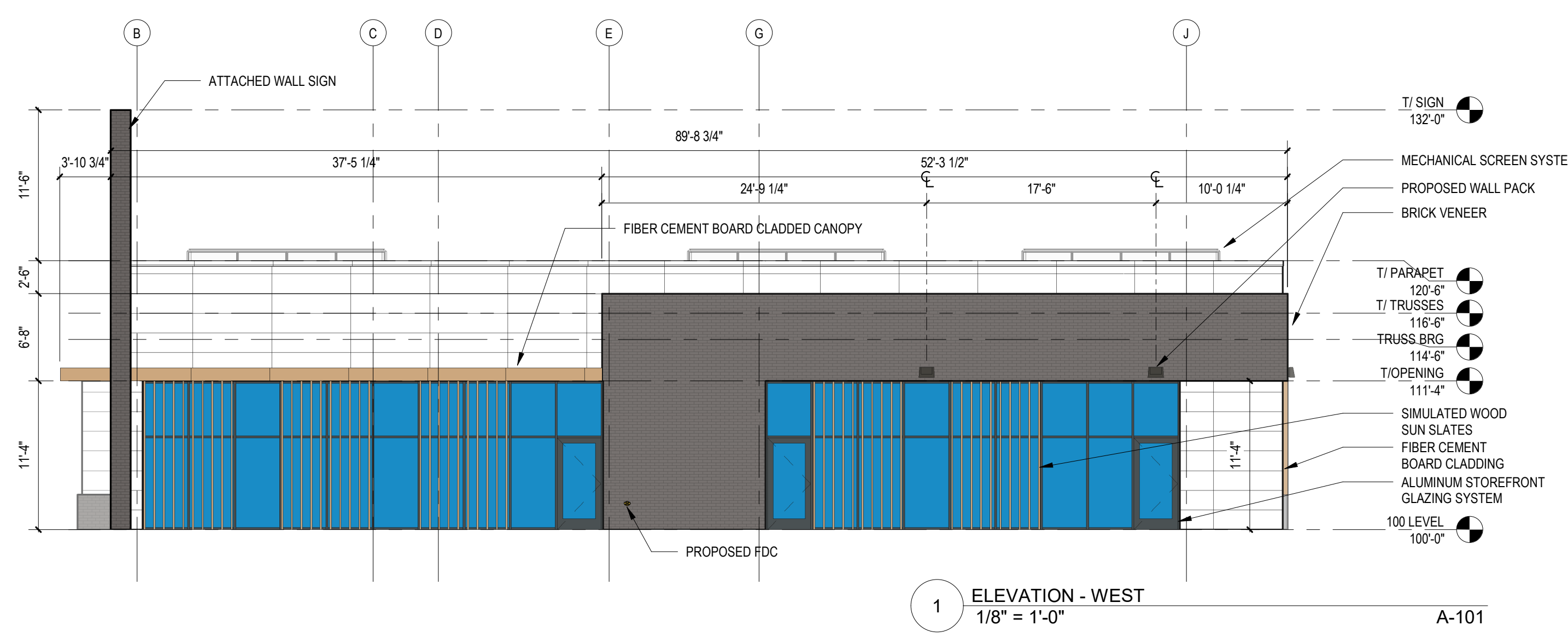
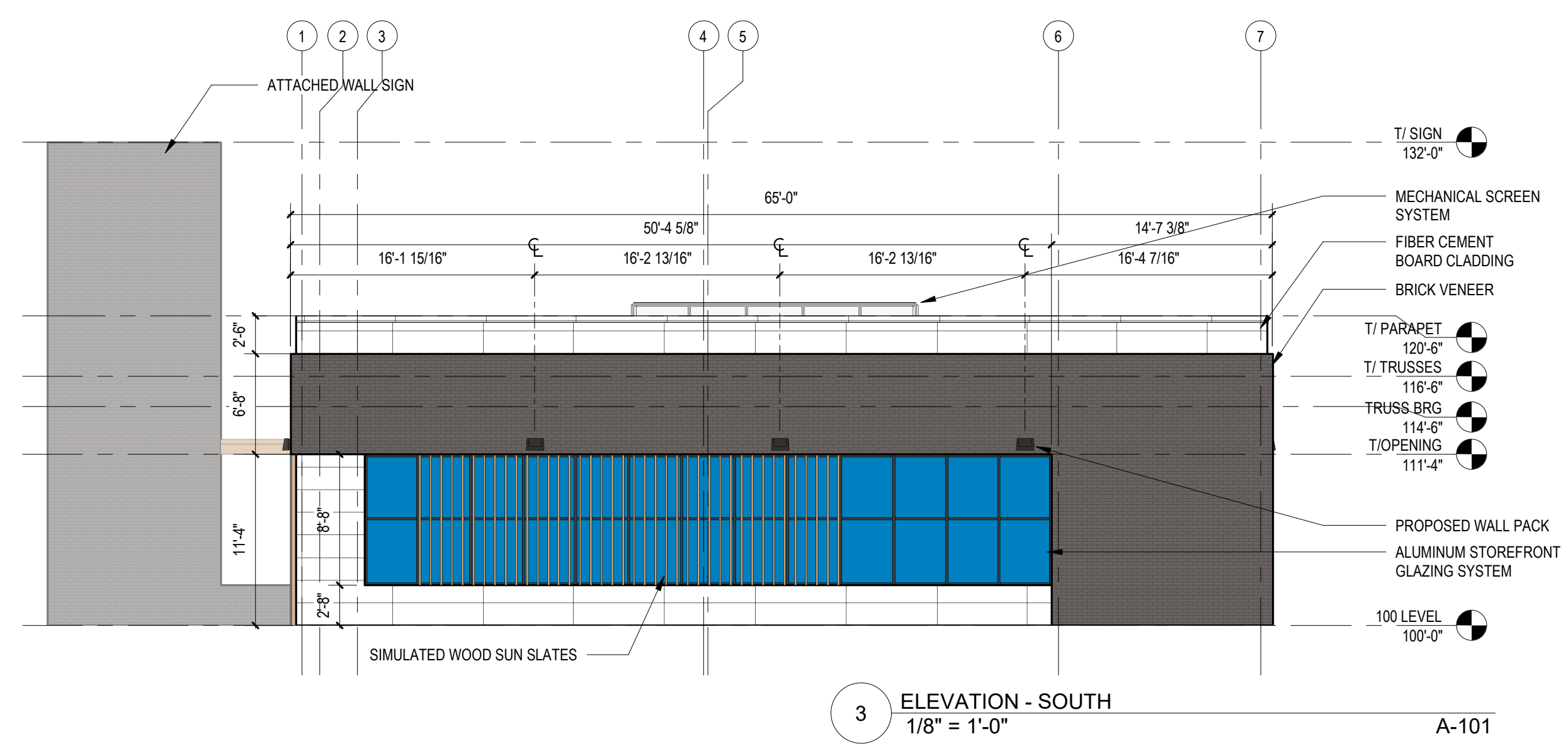
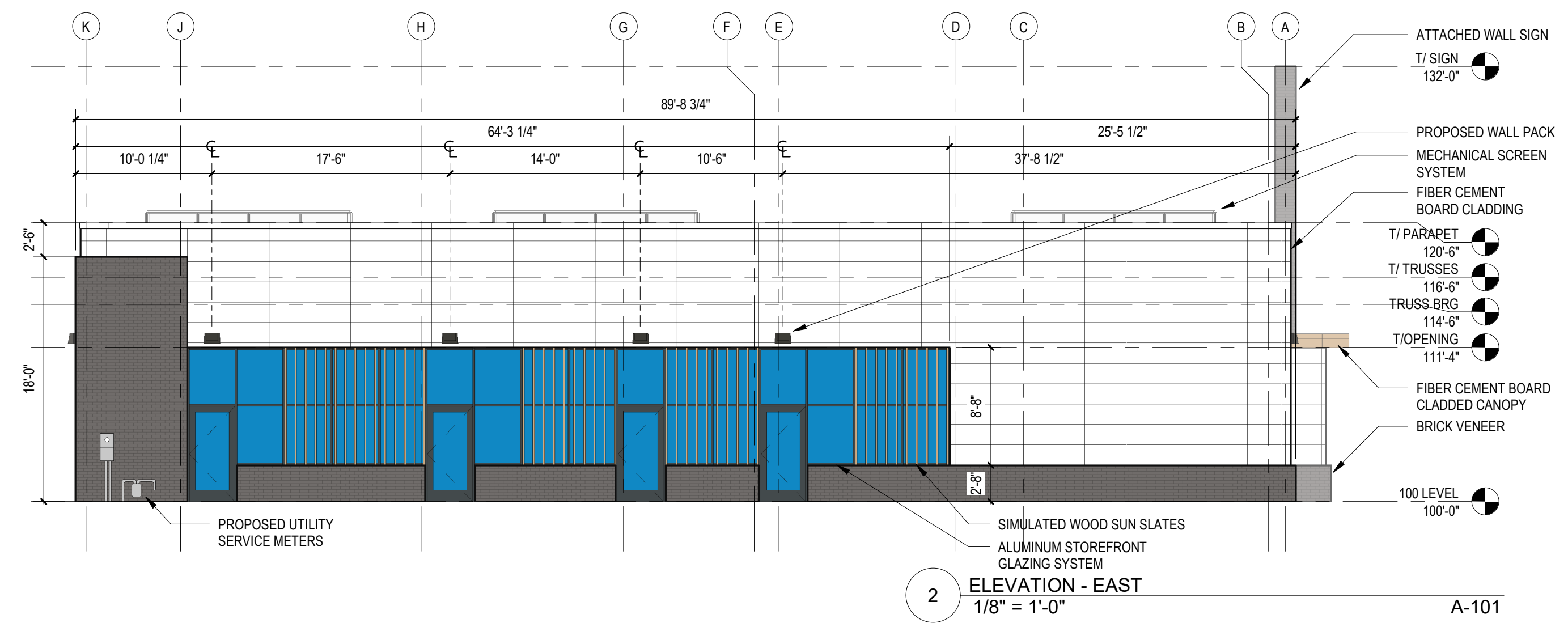
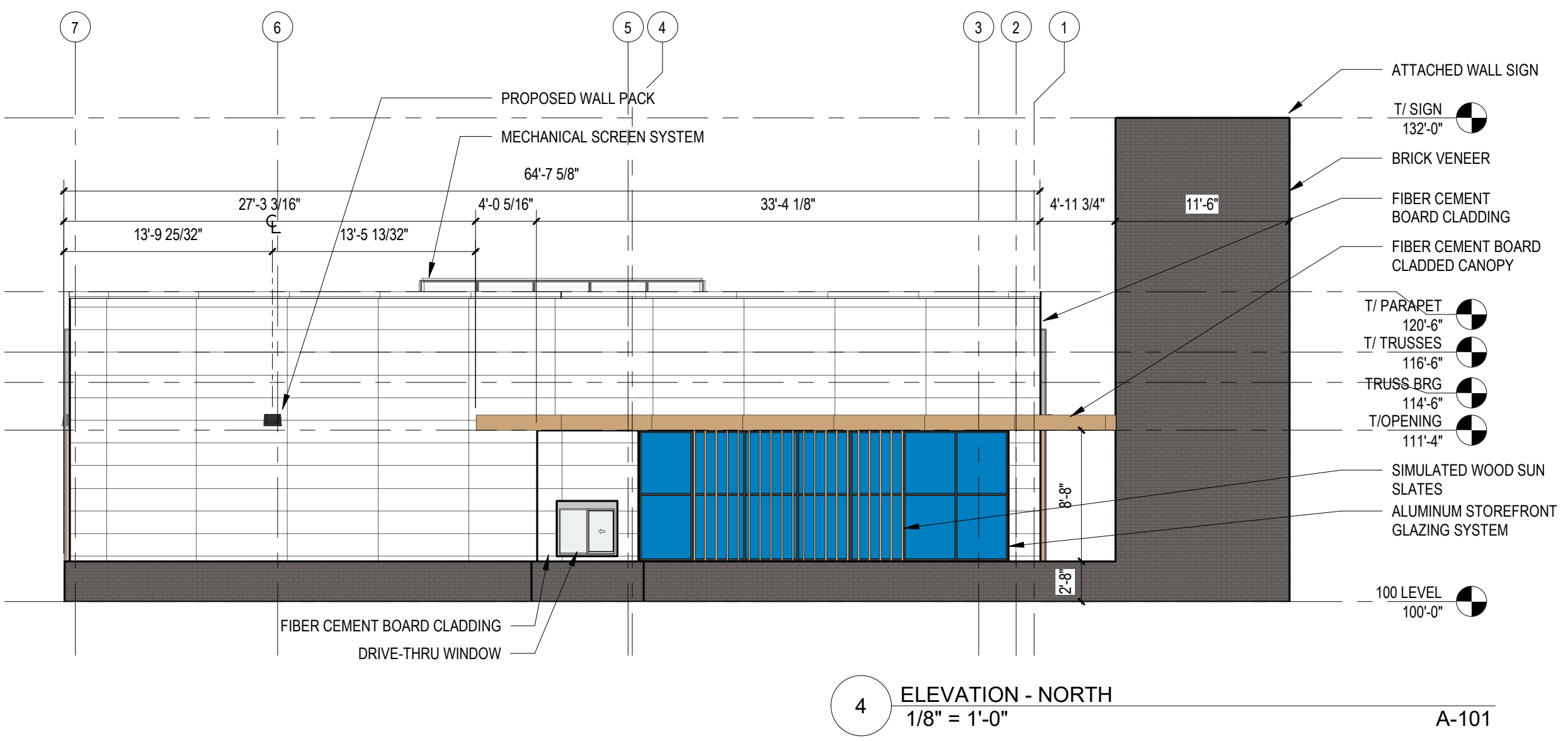
LEGAT ARCHITECTS
Design with a Difference

HC PRIVATE CAPITAL

KEETOWN LOOP - F4

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Waukee, Iowa 50263

ARCHITECT
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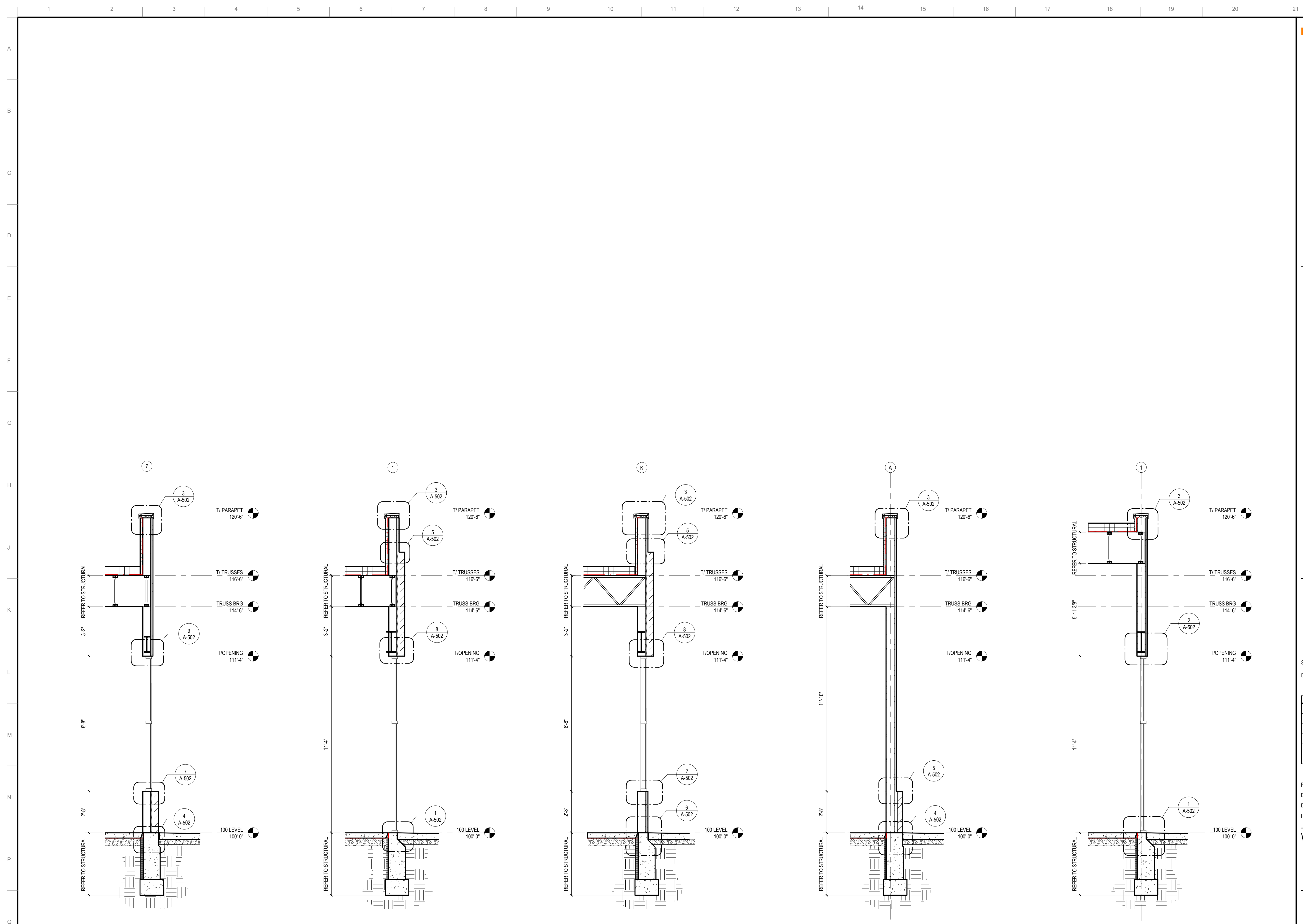
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REVIEWED BY Checker

EXTERIOR BUILDING ELEVATIONS - COLOR

A-202
S.P. RESUBMITTAL #3



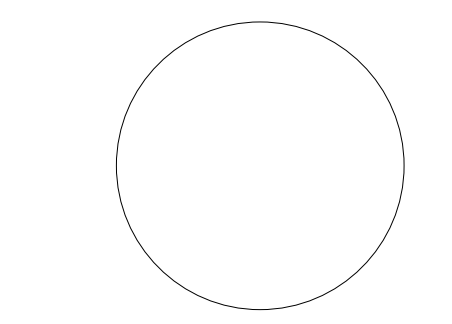
5 WALL SECTION
3/8" = 1'-0" A-101

4 WALL SECTION
3/8" = 1'-0" A-101

3 WALL SECTION
3/8" = 1'-0" A-101

2 WALL SECTION
3/8" = 1'-0" A-101

1 WALL SECTION
3/8" = 1'-0" A-101



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NO.	DESCRIPTION	DATE

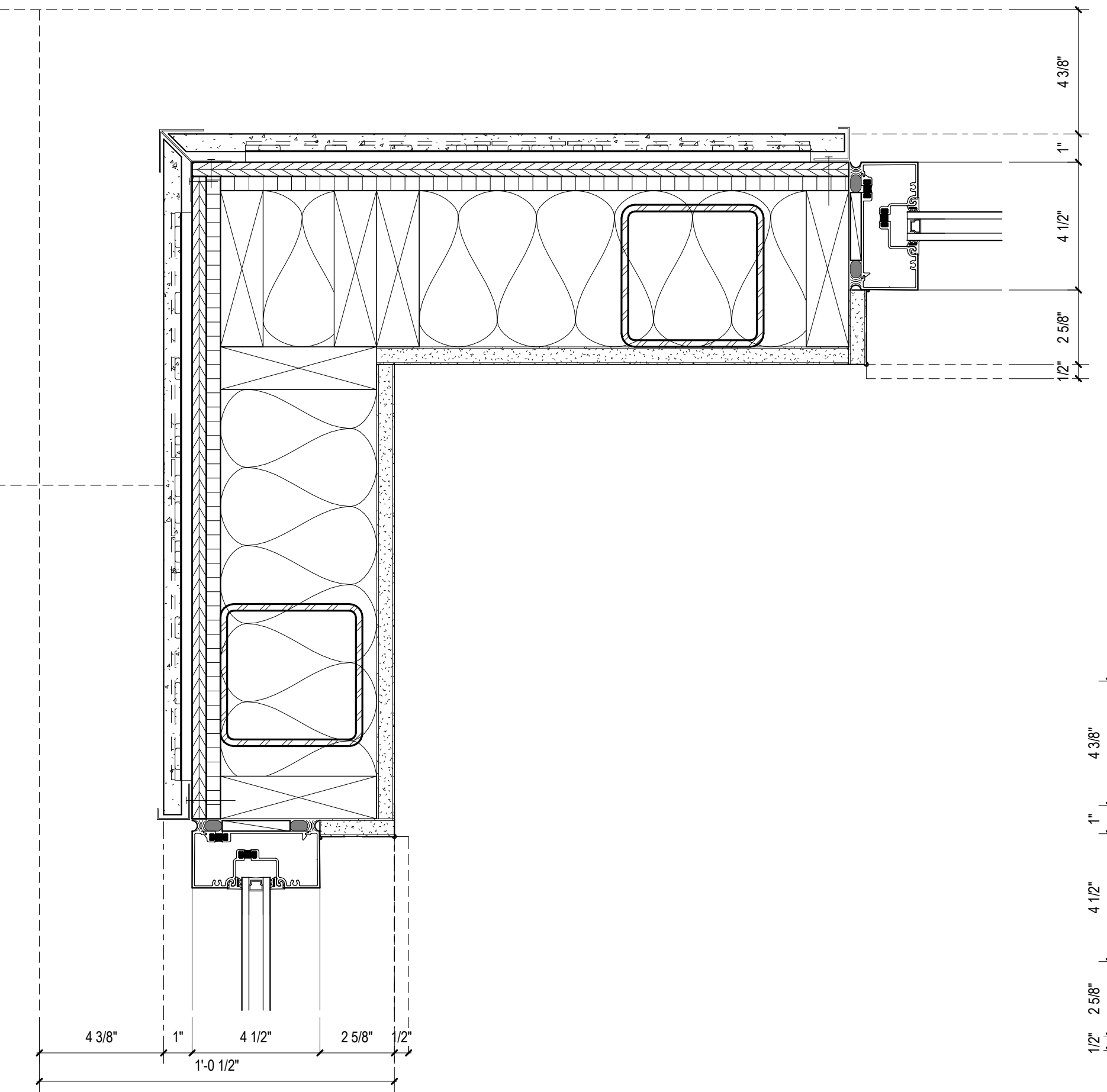
PROJECT NUMBER 225027.00
DATE OF ISSUE 02/21/2025
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REVIEWED BY JH

WALL SECTIONS

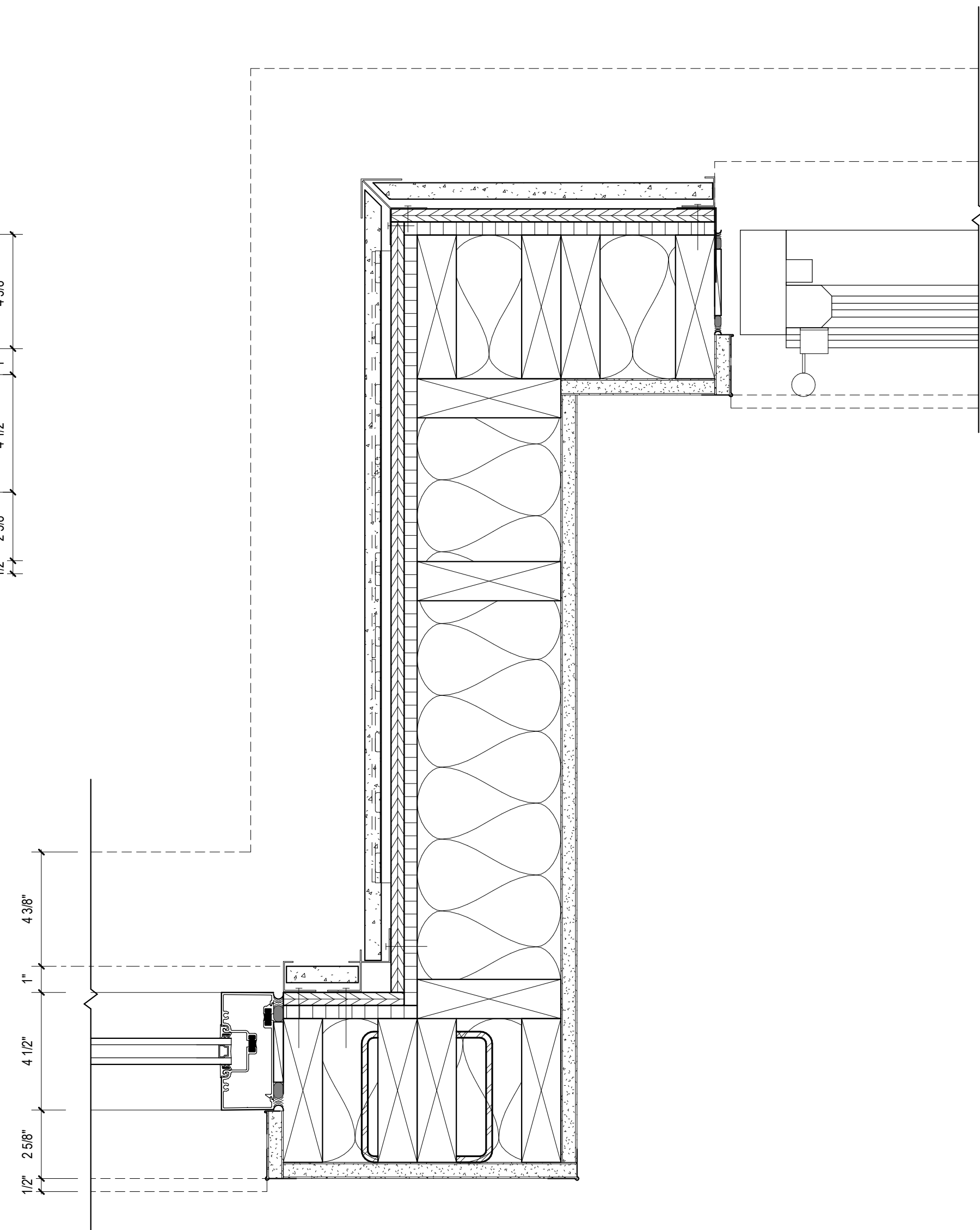
A-311
S.P. RESUBMITTAL #3

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21

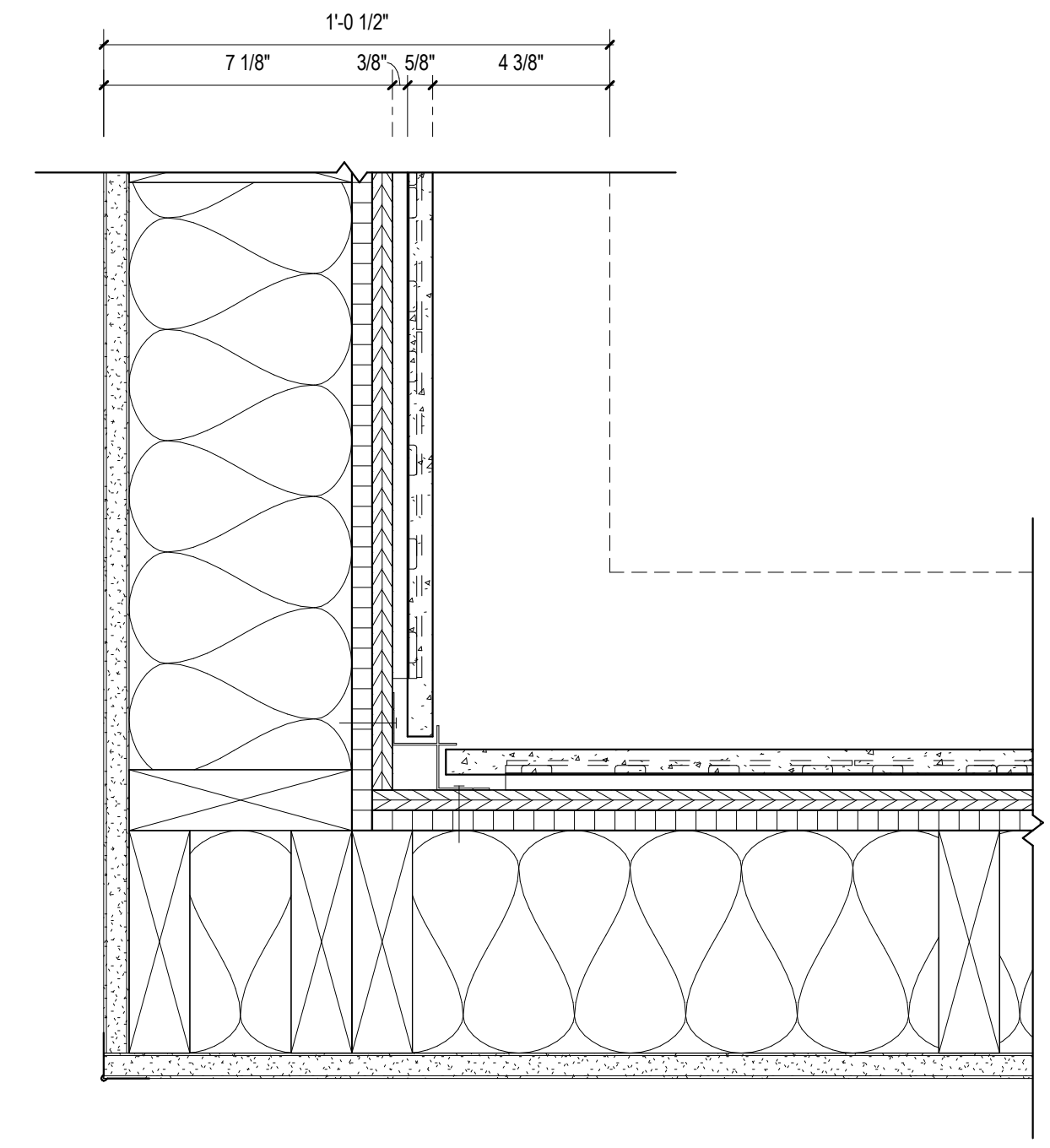
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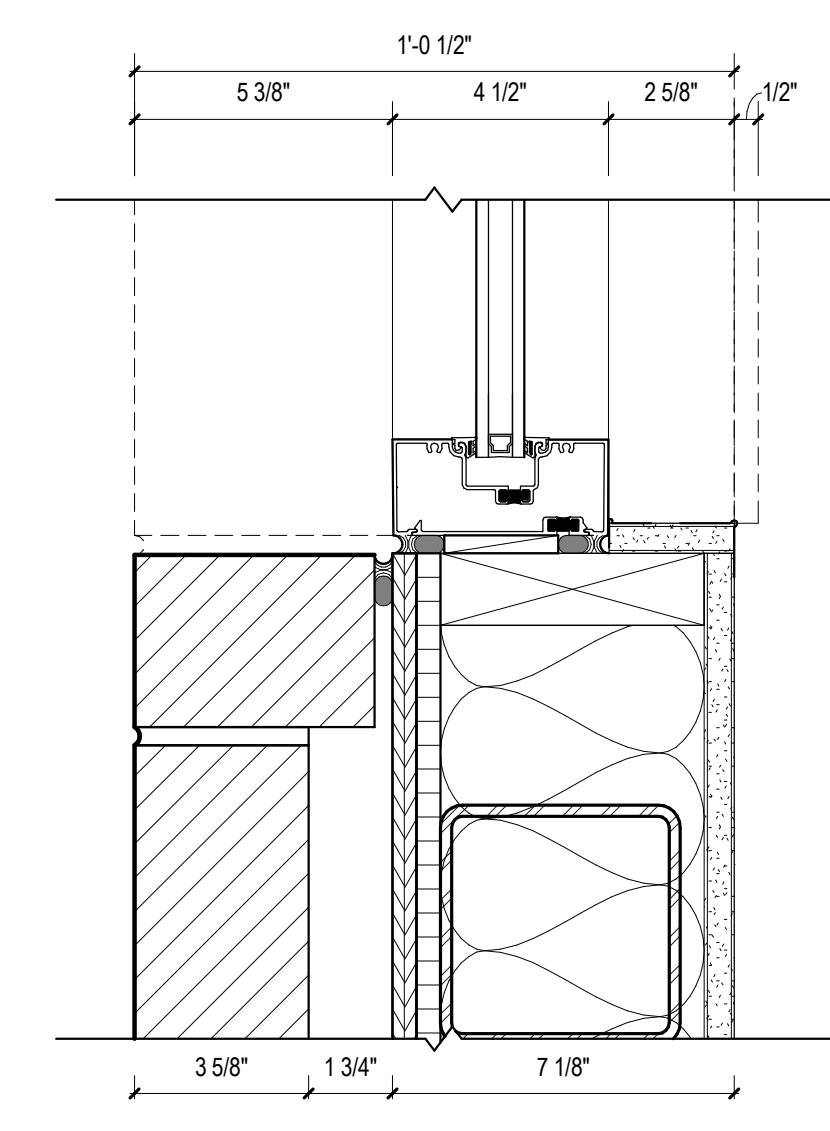
1 PLAN DETAIL
3" = 1'-0" A-101



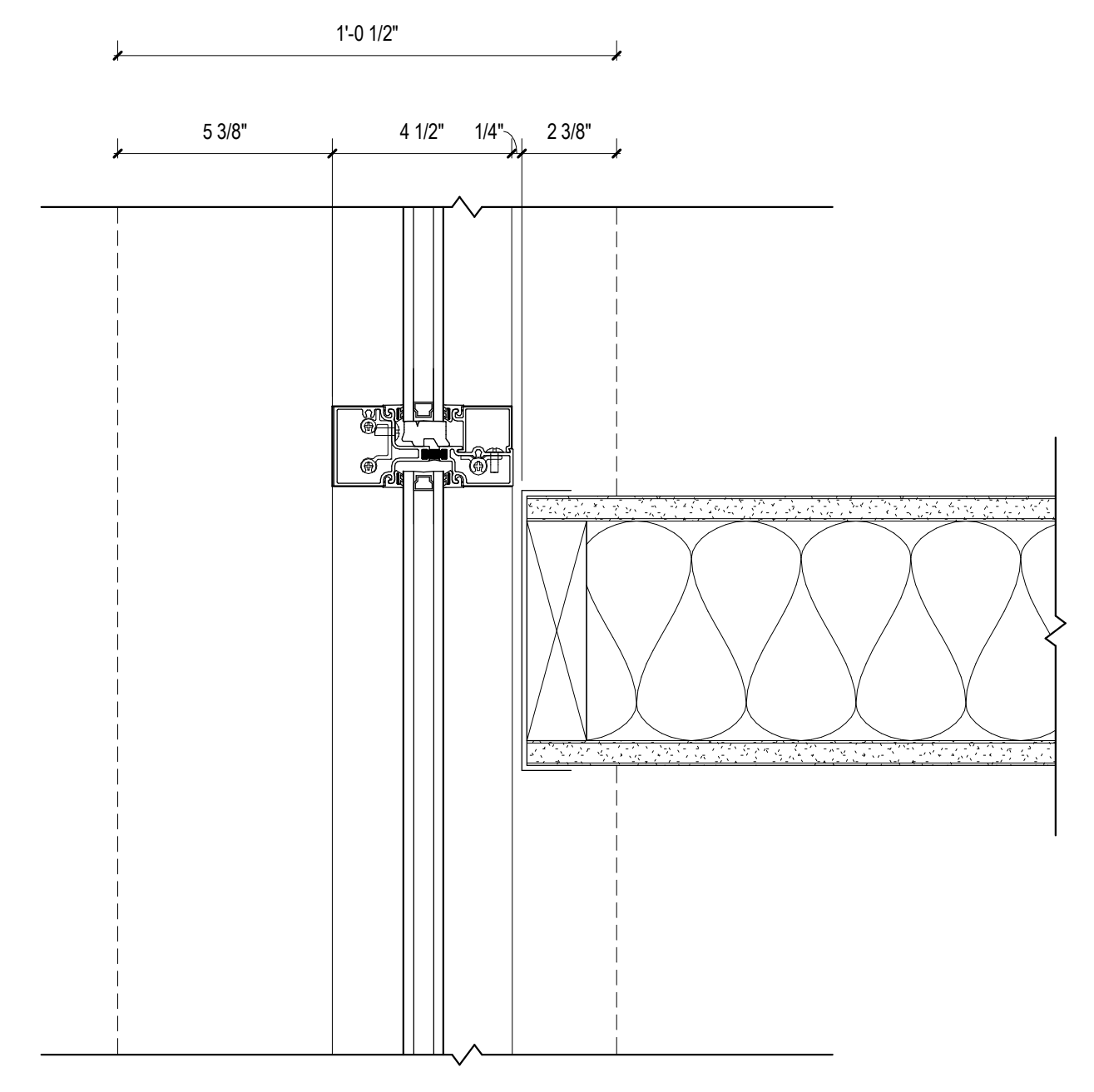
6 PLAN DETAIL
3" = 1'-0" A-101



5 PLAN DETAIL
3" = 1'-0" A-101



2 PLAN DETAIL
3" = 1'-0" A-101



3 PLAN DETAIL
3" = 1'-0" A-101

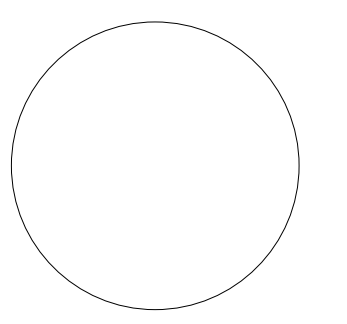
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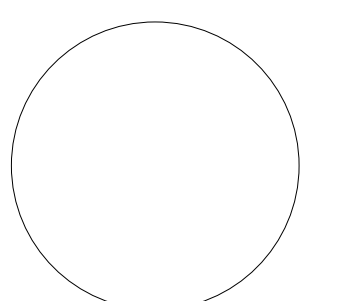
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EXTERIOR DETAILS

A-501
S.P. RESUBMITTAL #3



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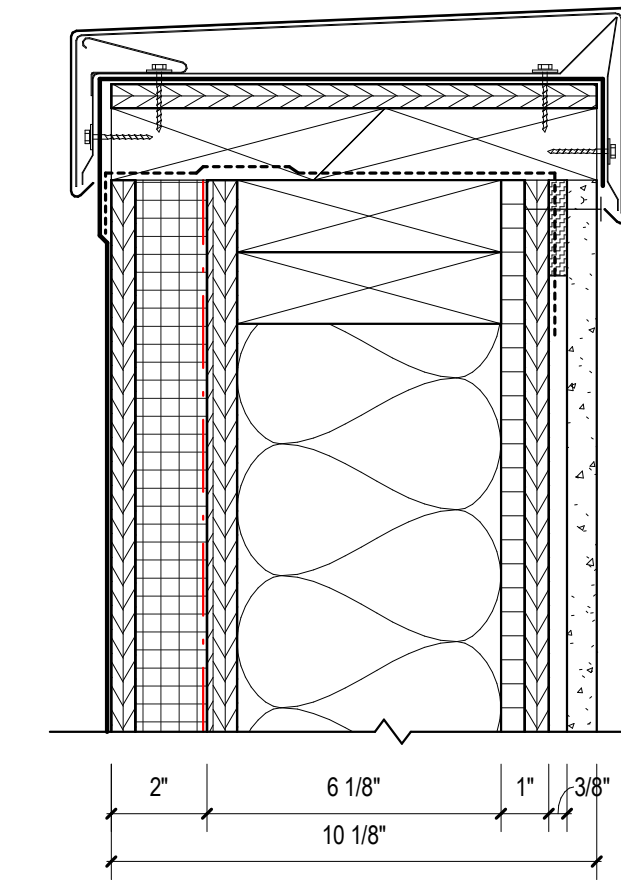
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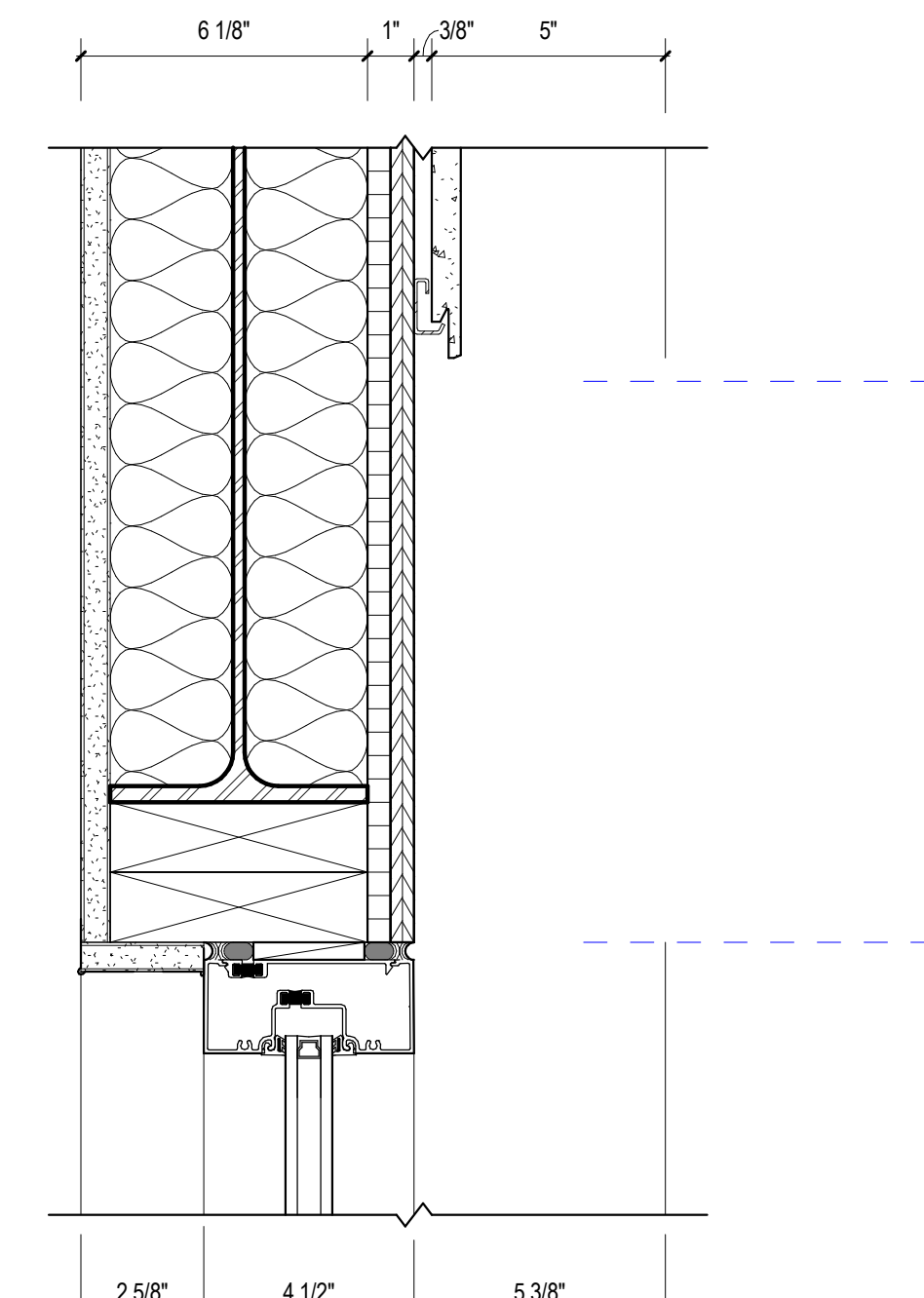
EXTERIOR DETAILS

A-502

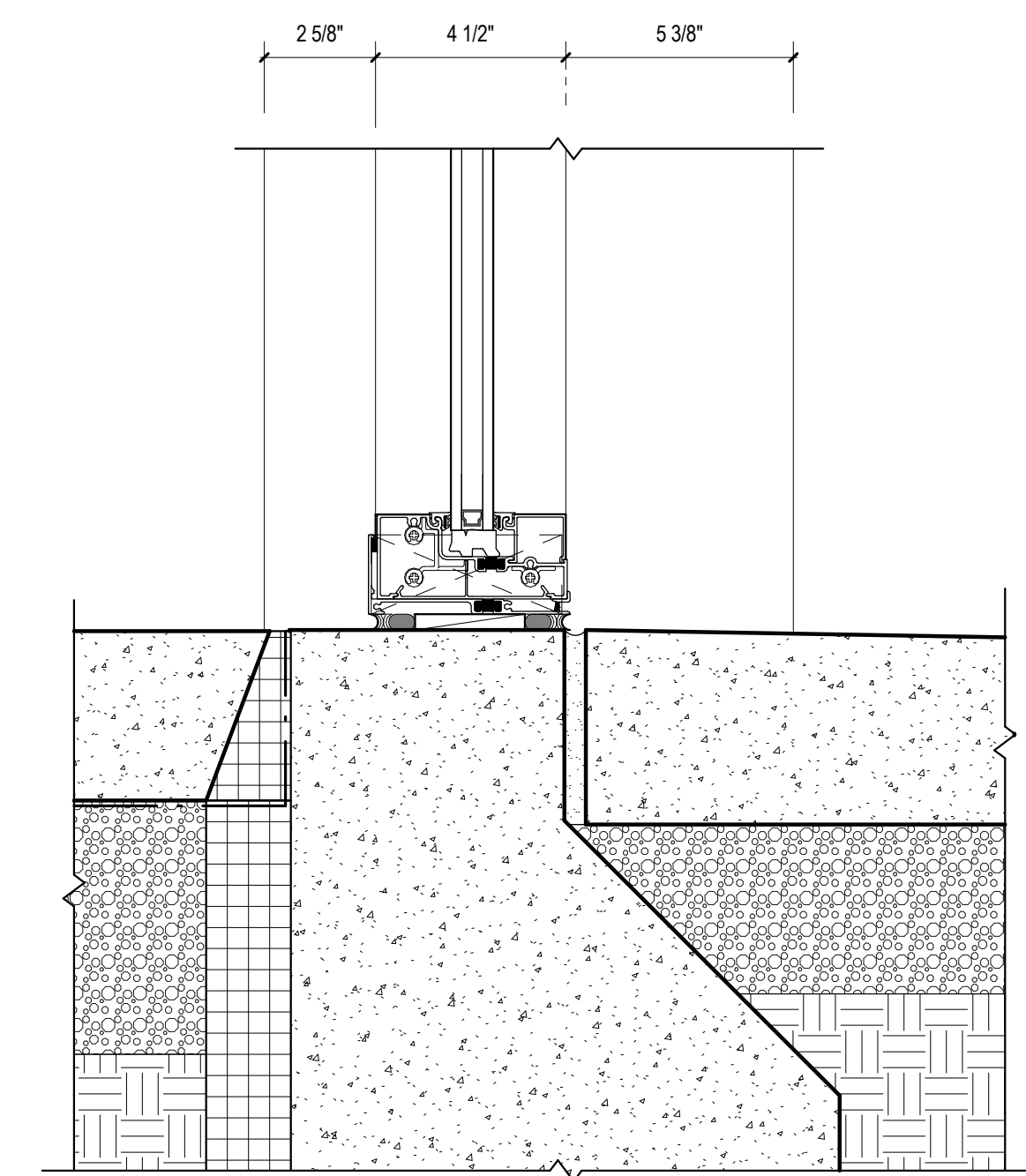
S.P. RESUBMITTAL #3



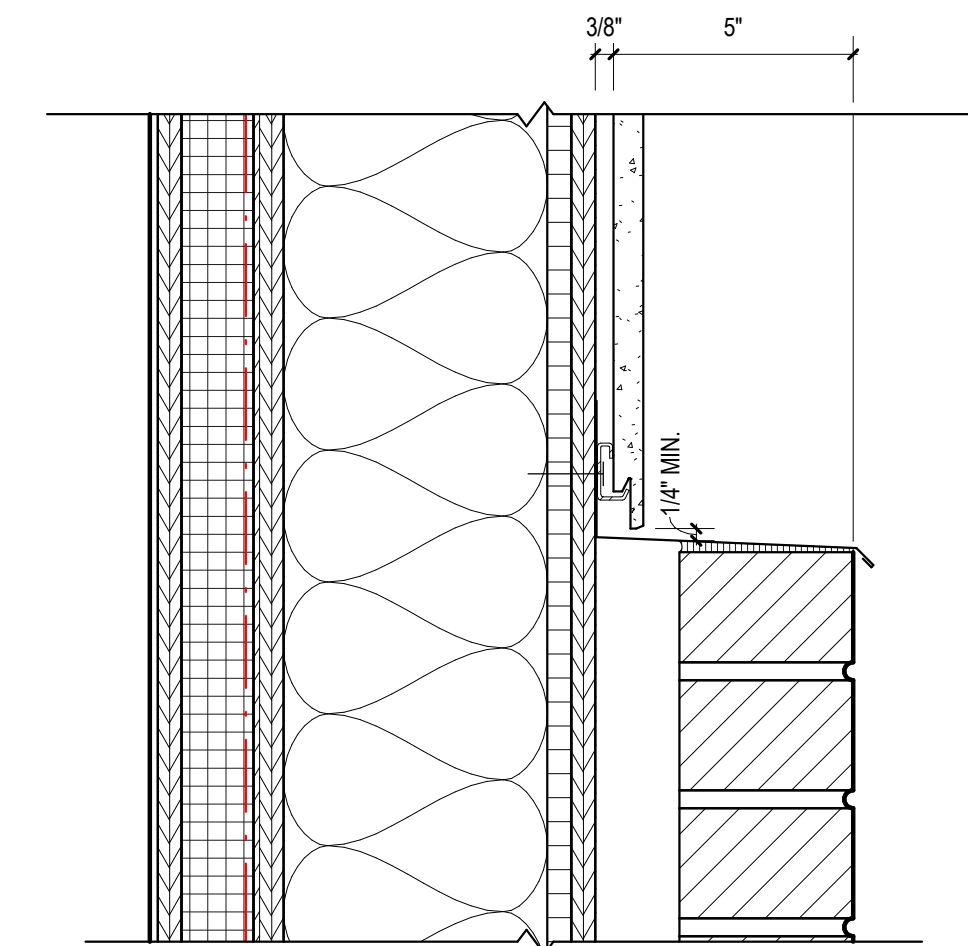
3 SECTION DETAIL
3" = 1'-0" A-311



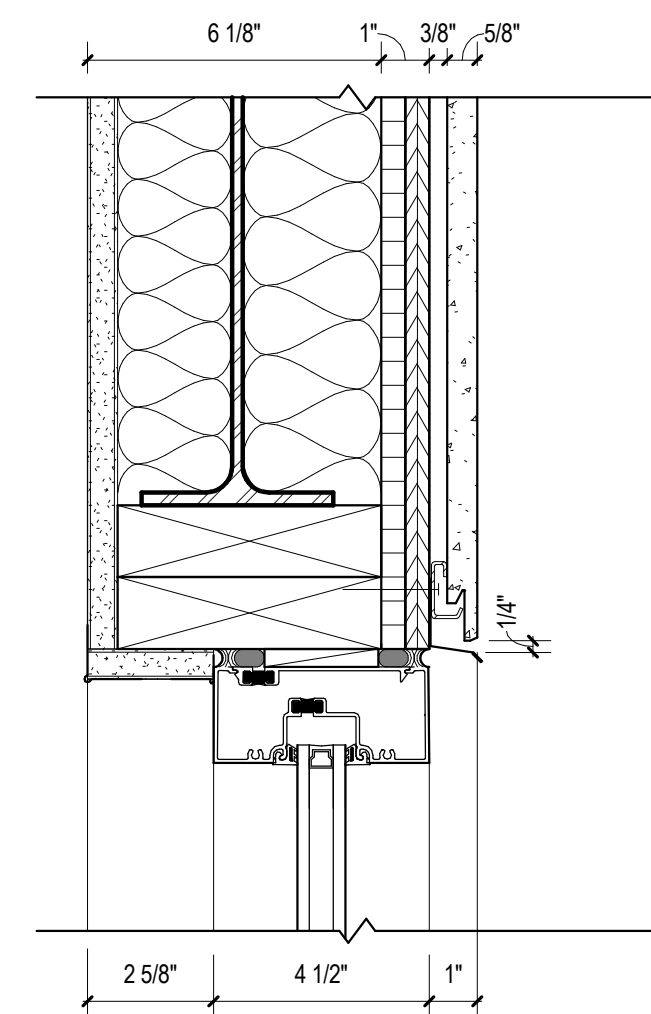
2 SECTION DETAIL
3" = 1'-0" A-311



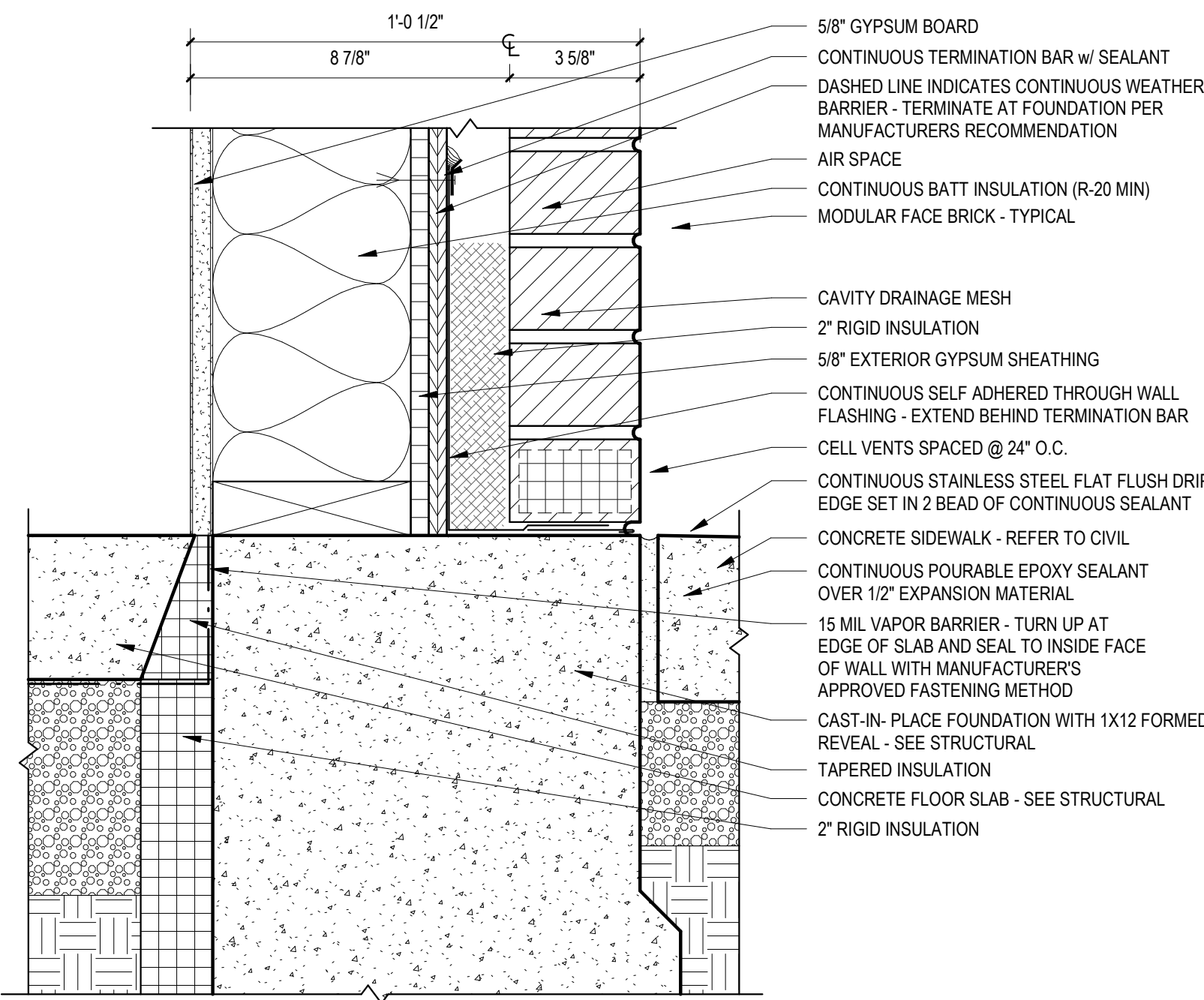
1 SECTION DETAIL
3" = 1'-0" A-311



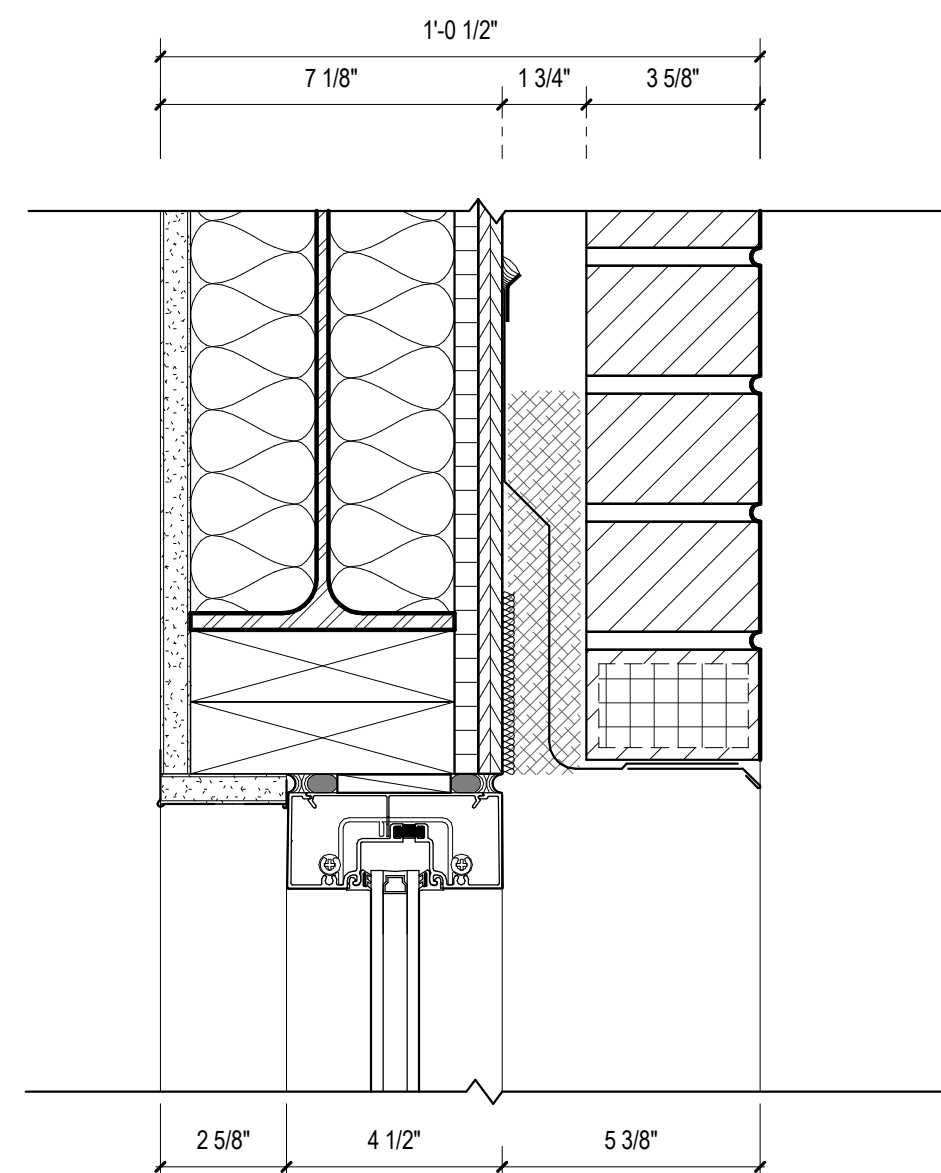
5 SECTION DETAIL
3" = 1'-0" A-311



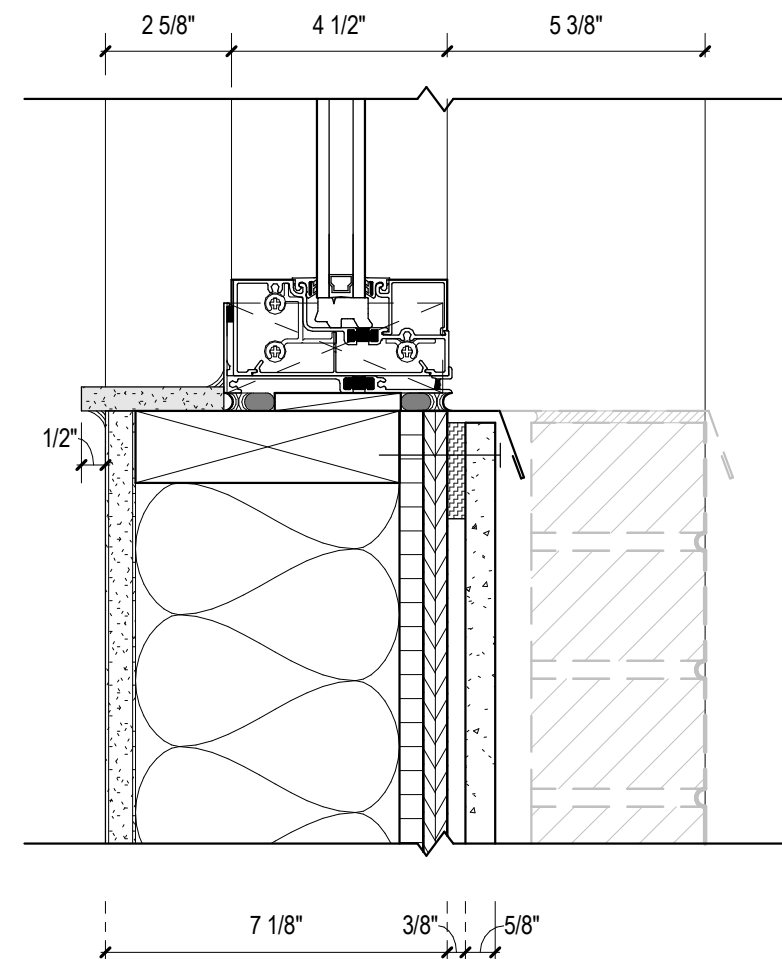
9 SECTION DETAIL
3" = 1'-0" A-311



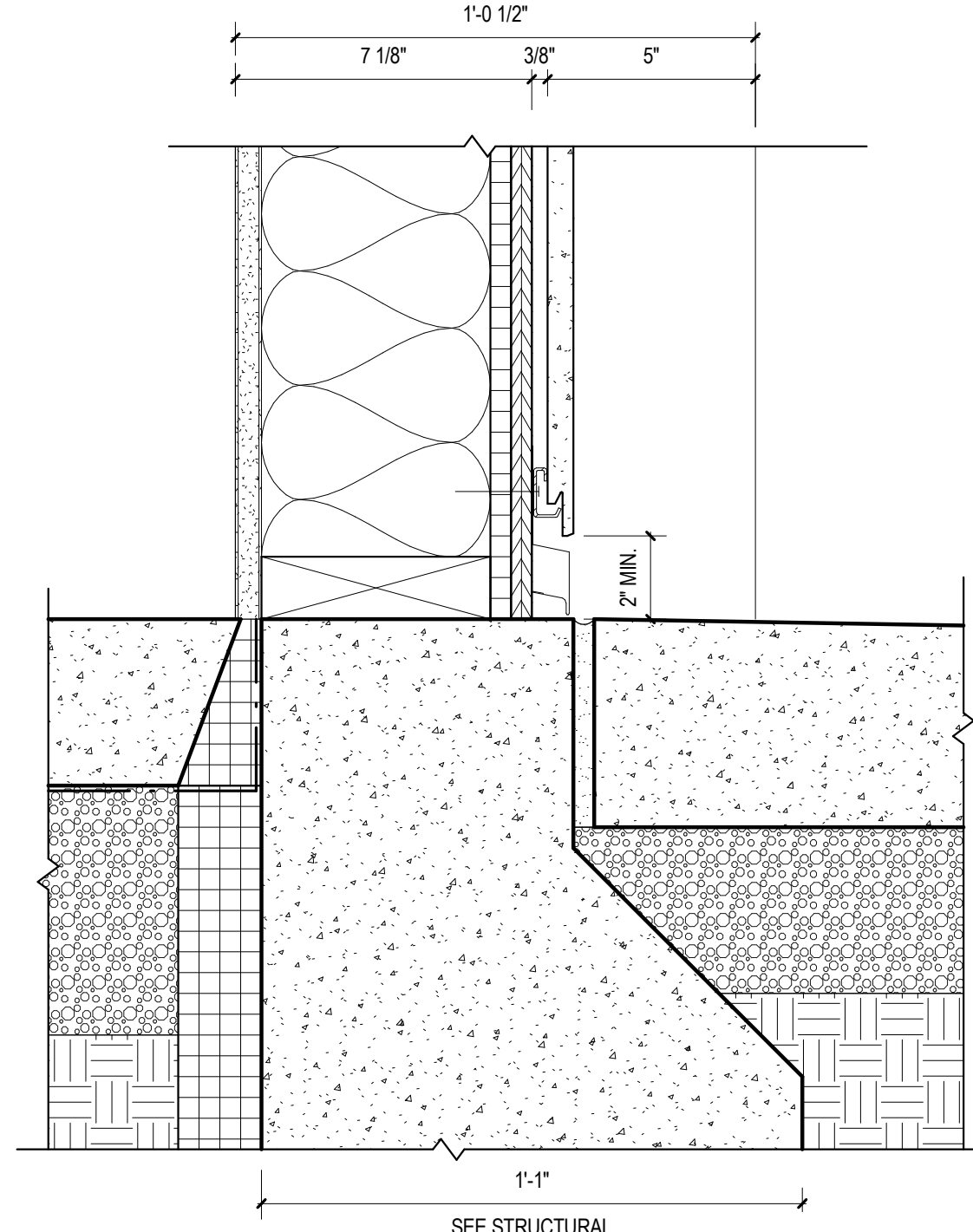
4 SECTION DETAIL
3" = 1'-0" A-311



8 SECTION DETAIL
3" = 1'-0" A-311



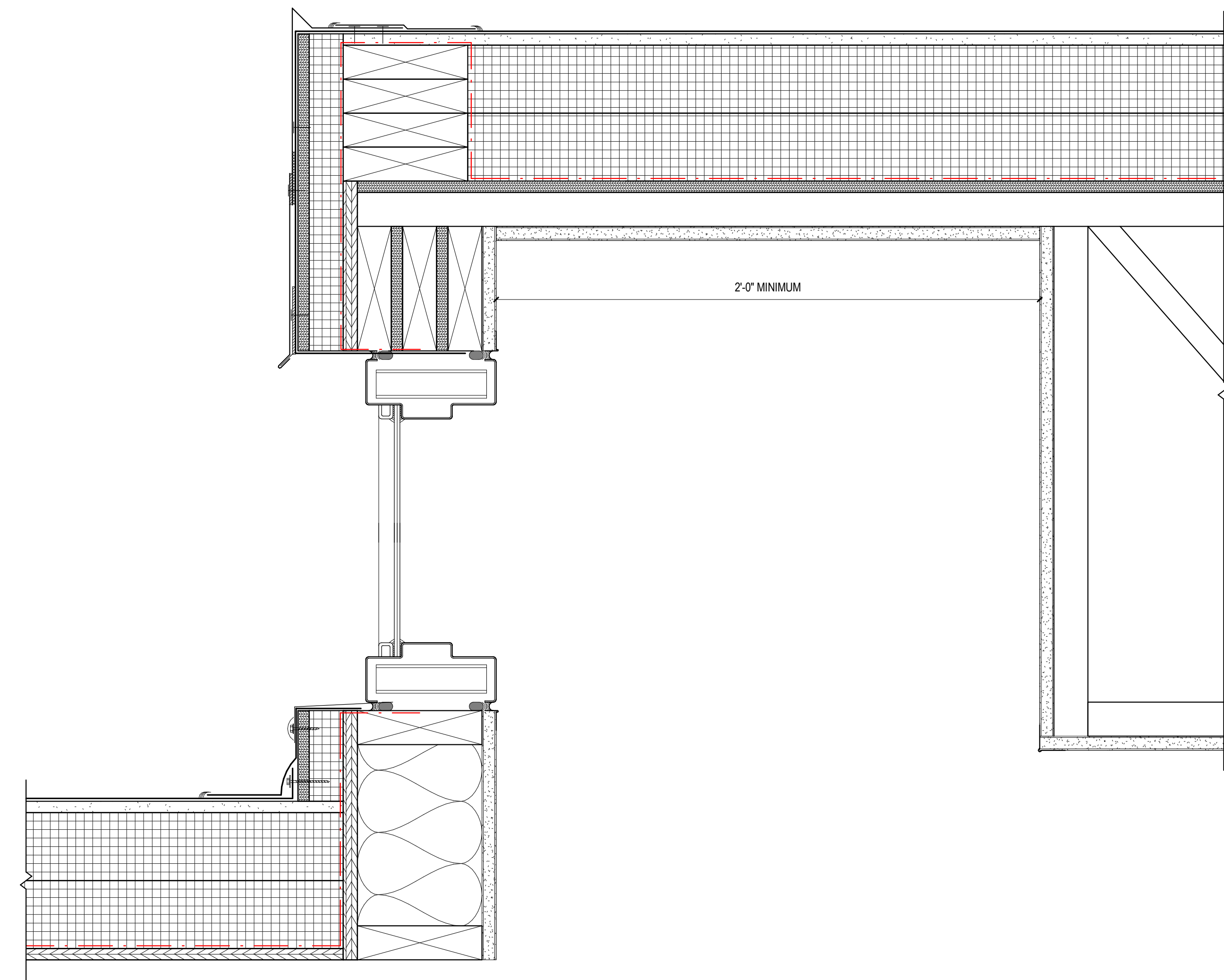
7 SECTION DETAIL
3" = 1'-0" A-311



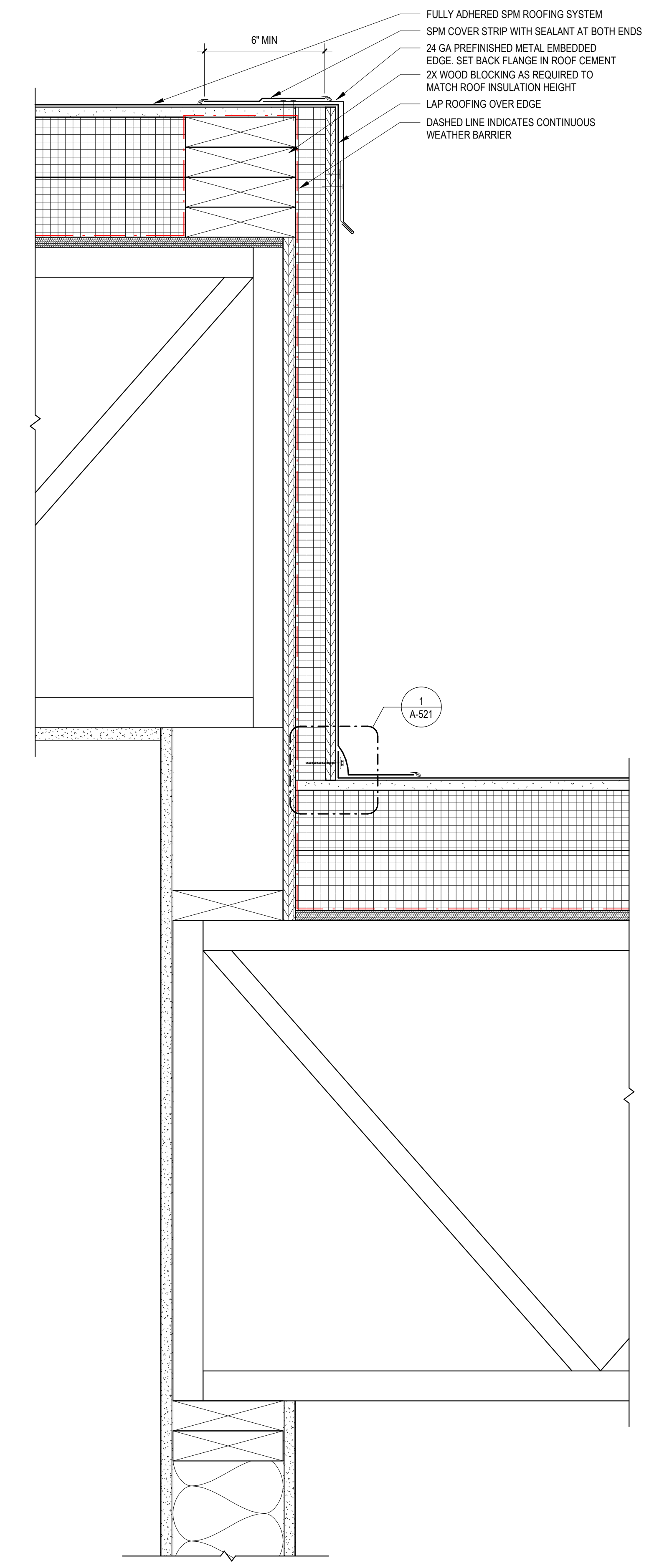
6 SECTION DETAIL
3" = 1'-0" A-311

1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21

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1 SECTION DETAIL
3" = 1'-0" AC101



2 SECTION DETAIL
3" = 1'-0" AC101

- NOTES:**
- ENSURE CLIP NAILS PENETRATE INTO STRUCTURAL WOOD.
 - FULLY ADHERED SPM ROOFING SYSTEM
 - SPM COVER STRIP WITH SEALANT AT BOTH ENDS
 - 24 GA PREFINISHED METAL EMBEDDED EDGE. SET BACK FLANGE IN ROOF CEMENT
 - 2X WOOD BLOCKING AS REQUIRED TO MATCH ROOF INSULATION HEIGHT
 - LAP ROOFING OVER EDGE
 - DASHED LINE INDICATES CONTINUOUS WEATHER BARRIER

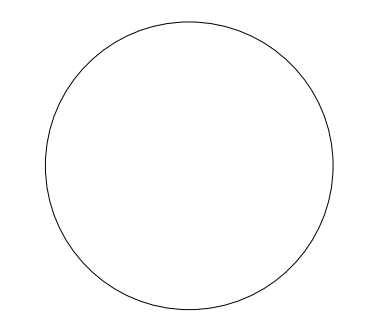
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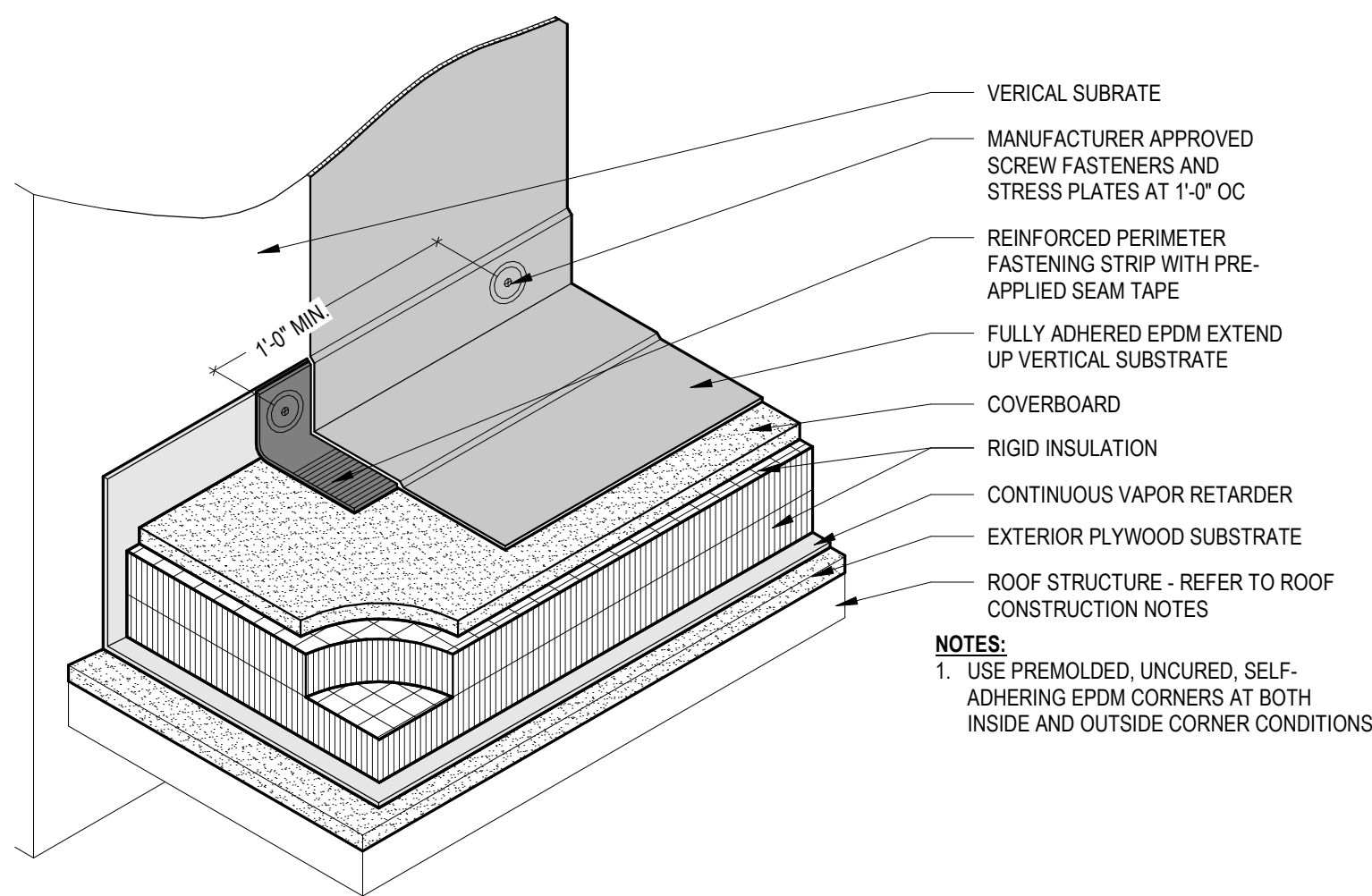
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EXTERIOR DETAILS

A-503
S.P. RESUBMITTAL #3

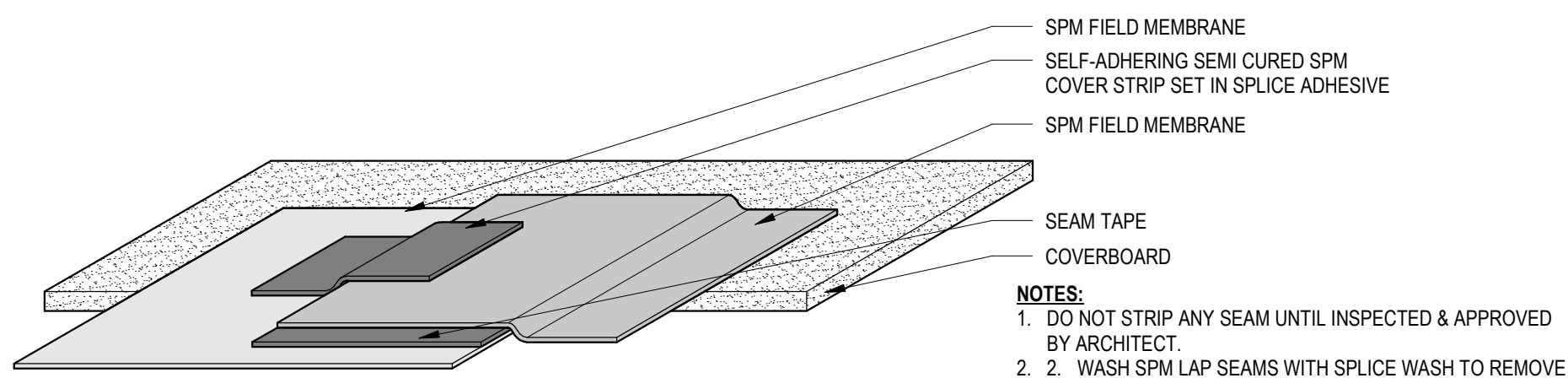


- VERTICAL SUBSTRATE
- MANUFACTURER APPROVED SCREW FASTENERS AND STRESS PLATES AT 1'-0" OC
- REINFORCED PERIMETER FASTENING STRIP WITH PRE-APPLIED SEAM TAPE
- FULLY ADHERED EPDM EXTEND UP VERTICAL SUBSTRATE
- COVERBOARD
- RIGID INSULATION
- CONTINUOUS VAPOR RETARDER
- EXTERIOR PLYWOOD SUBSTRATE
- ROOF STRUCTURE - REFER TO ROOF CONSTRUCTION NOTES

NOTES:
1. USE PREMOLDED, UNCURED, SELF-ADHERING EPDM CORNERS AT BOTH INSIDE AND OUTSIDE CORNER CONDITIONS

1 EPDM BASE FLASHING AXON
1 1/2" = 1'-0"

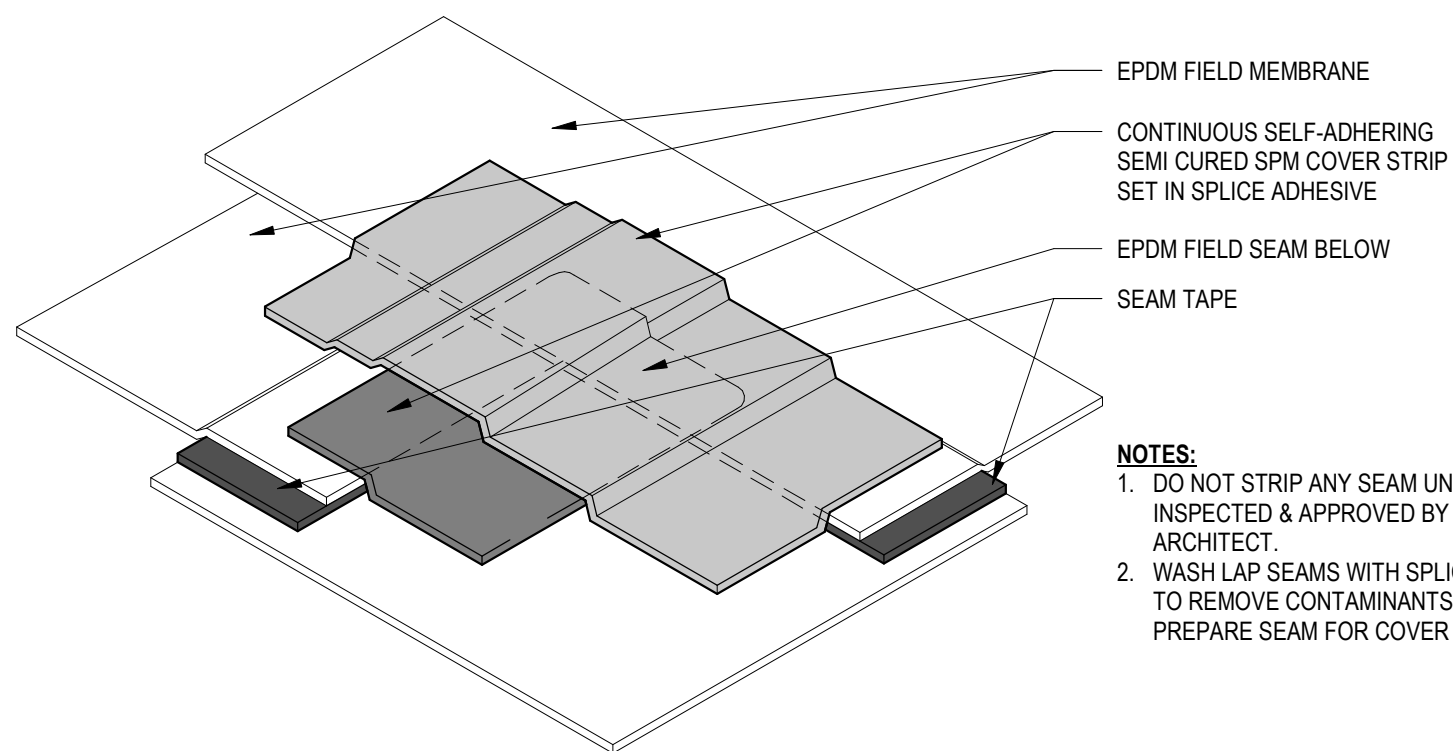
A-503



- SPM FIELD MEMBRANE
- SELF-ADHERING SEMI-CURED SPM COVER STRIP SET IN SPLICE ADHESIVE
- SPM FIELD MEMBRANE
- SEAM TAPE
- COVERBOARD

NOTES:
1. DO NOT STRIP ANY SEAM UNTIL INSPECTED & APPROVED BY ARCHITECT.
2. WASH SPM LAP SEAMS WITH SPLICE WASH TO REMOVE CONTAMINANTS & PREPARE SEAM FOR COVER STRIP.

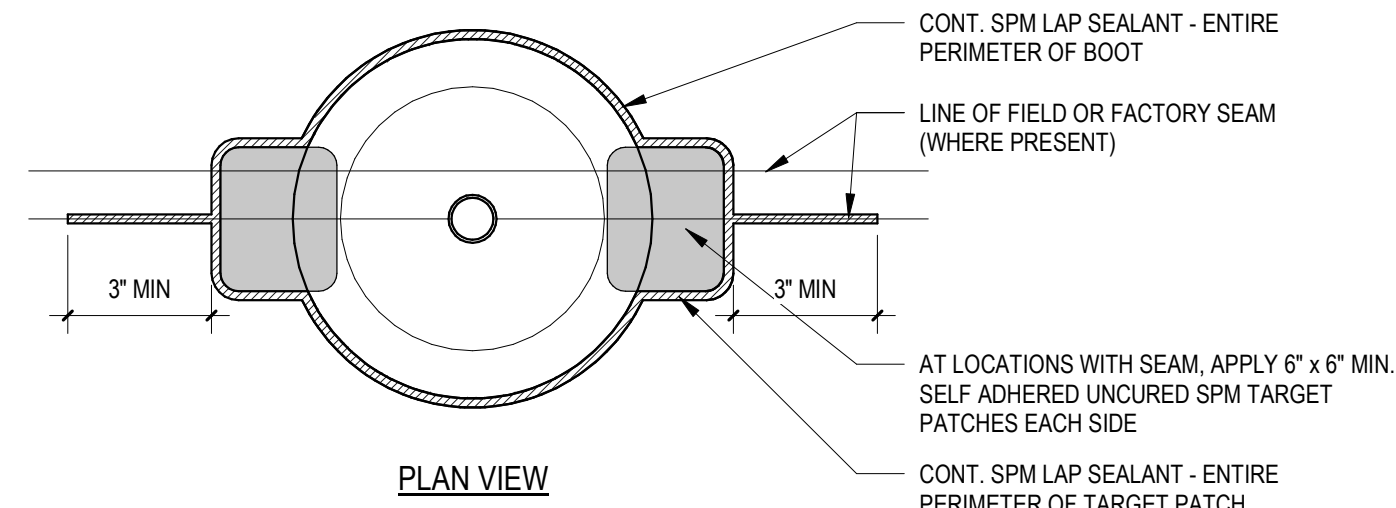
2 EPDM LAP SEAM W/ COVER STRIP
1 1/2" = 1'-0"



- EPDM FIELD MEMBRANE
- CONTINUOUS SELF-ADHERING SEMI-CURED SPM COVER STRIP SET IN SPLICE ADHESIVE
- EPDM FIELD SEAM BELOW
- SEAM TAPE

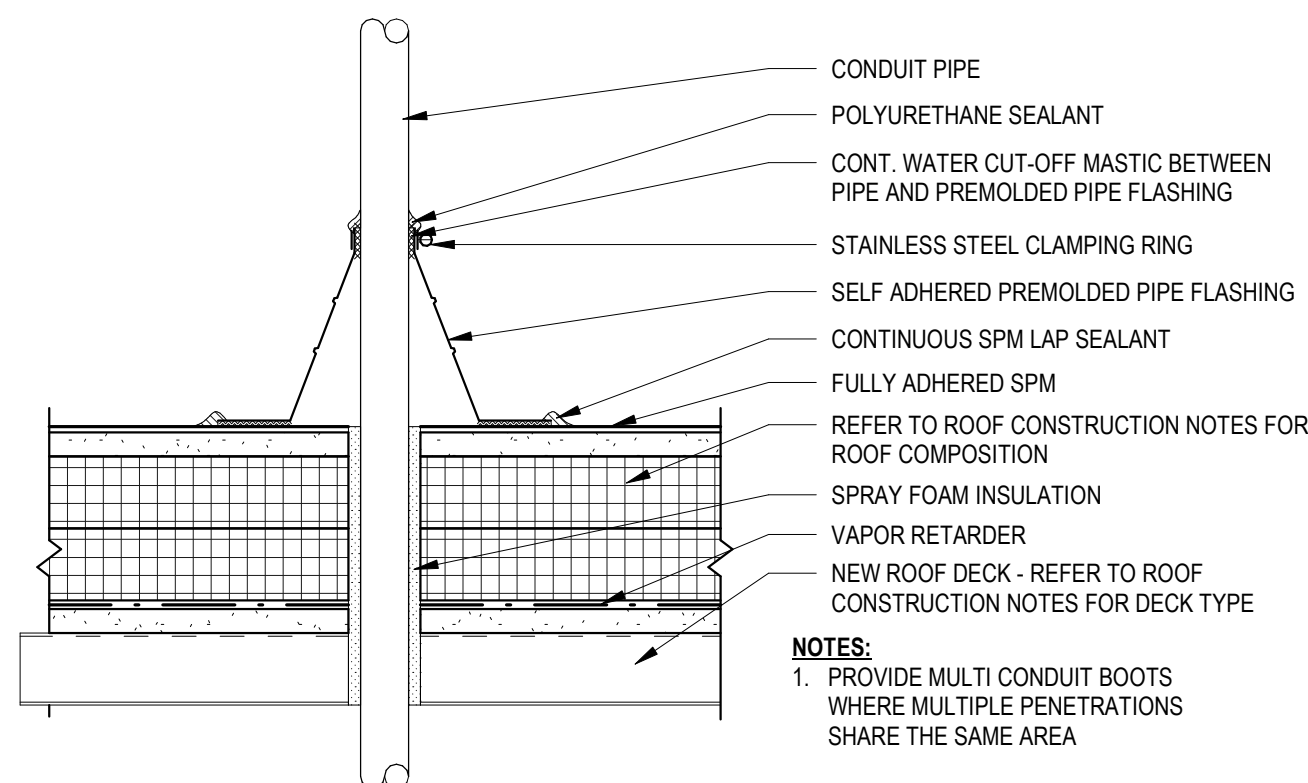
NOTES:
1. DO NOT STRIP ANY SEAM UNTIL INSPECTED & APPROVED BY ARCHITECT.
2. WASH LAP SEAMS WITH SPLICE WASH TO REMOVE CONTAMINANTS & PREPARE SEAM FOR COVER STRIP

3 EPDM LAP SEAM INTERSECTION JOINT
1 1/2" = 1'-0"



- CONT. SPM LAP SEALANT - ENTIRE PERIMETER OF BOOT
- LINE OF FIELD OR FACTORY SEAM (WHERE PRESENT)
- 3" MIN
- 3" MIN
- AT LOCATIONS WITH SEAM, APPLY 6" x 6" SELF-ADHERED UNCURED SPM TARGET PATCHES EACH SIDE
- CONT. SPM LAP SEALANT - ENTIRE PERIMETER OF TARGET PATCH

PLAN VIEW

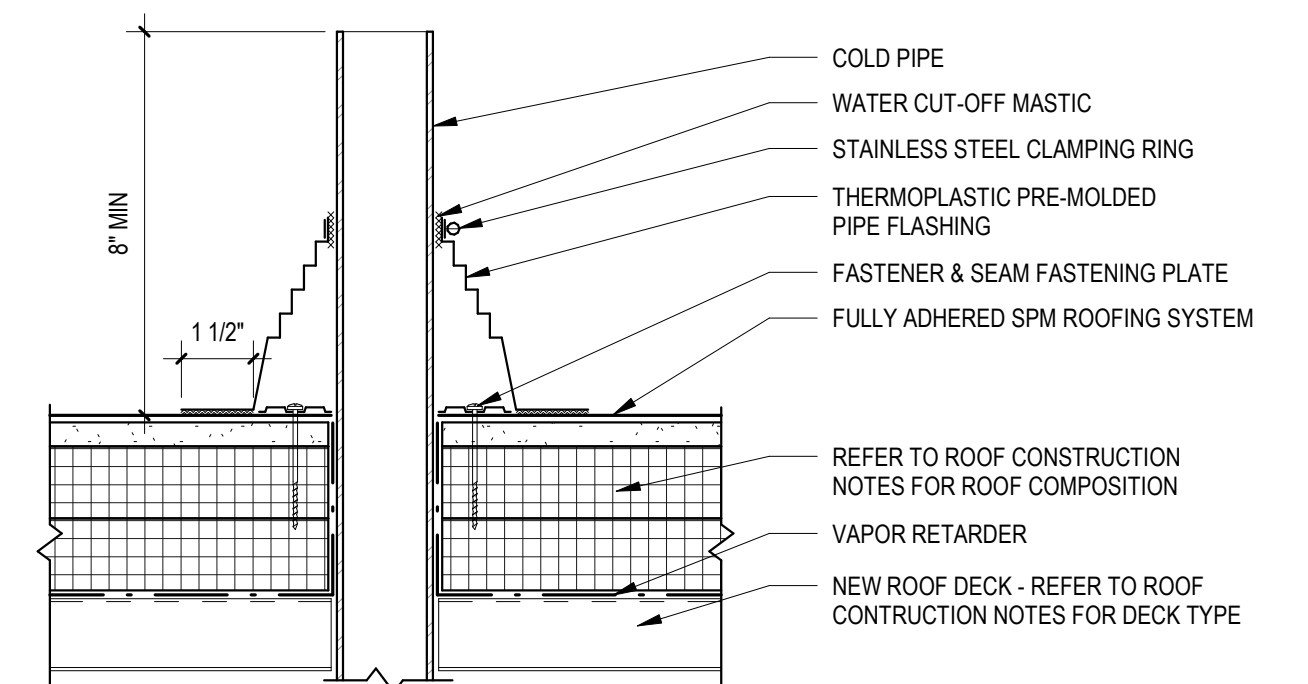


- CONDUIT PIPE
- POLYURETHANE SEALANT
- CONT. WATER CUT-OFF MASTIC BETWEEN PIPE AND PREMOLDED PIPE FLASHING
- STAINLESS STEEL CLAMPING RING
- SELF-ADHERED PREMOLDED PIPE FLASHING
- CONTINUOUS SPM LAP SEALANT
- FULLY ADHERED SPM
- REFER TO ROOF CONSTRUCTION NOTES FOR ROOF COMPOSITION
- SPRAY FOAM INSULATION
- VAPOR RETARDER
- NEW ROOF DECK - REFER TO ROOF CONSTRUCTION NOTES FOR DECK TYPE

NOTES:
1. PROVIDE MULTI CONDUIT BOOTS WHERE MULTIPLE PENETRATIONS SHARE THE SAME AREA

SECTION VIEW

4 PENETRATION DETAIL
3" = 1'-0"



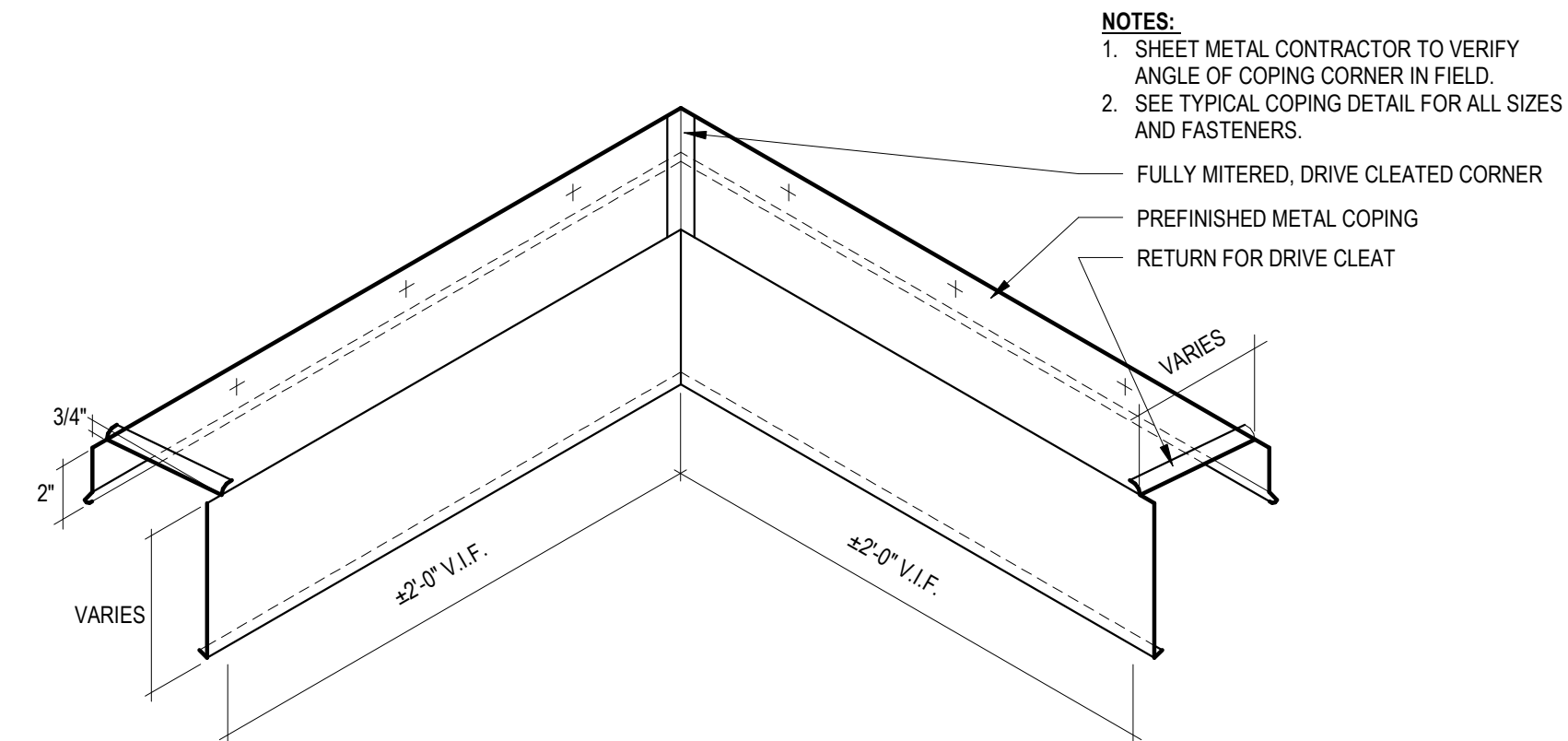
- COLD PIPE
- WATER CUT-OFF MASTIC
- STAINLESS STEEL CLAMPING RING
- THERMOPLASTIC PRE-MOLDED PIPE FLASHING
- FASTENER & SEAM FASTENING PLATE
- FULLY ADHERED SPM ROOFING SYSTEM
- REFER TO ROOF CONSTRUCTION NOTES FOR ROOF COMPOSITION
- VAPOR RETARDER
- NEW ROOF DECK - REFER TO ROOF CONSTRUCTION NOTES FOR DECK TYPE

REFER TO ROOF CONSTRUCTION NOTES FOR ROOF COMPOSITION

VAPOR RETARDER

NEW ROOF DECK - REFER TO ROOF CONSTRUCTION NOTES FOR DECK TYPE

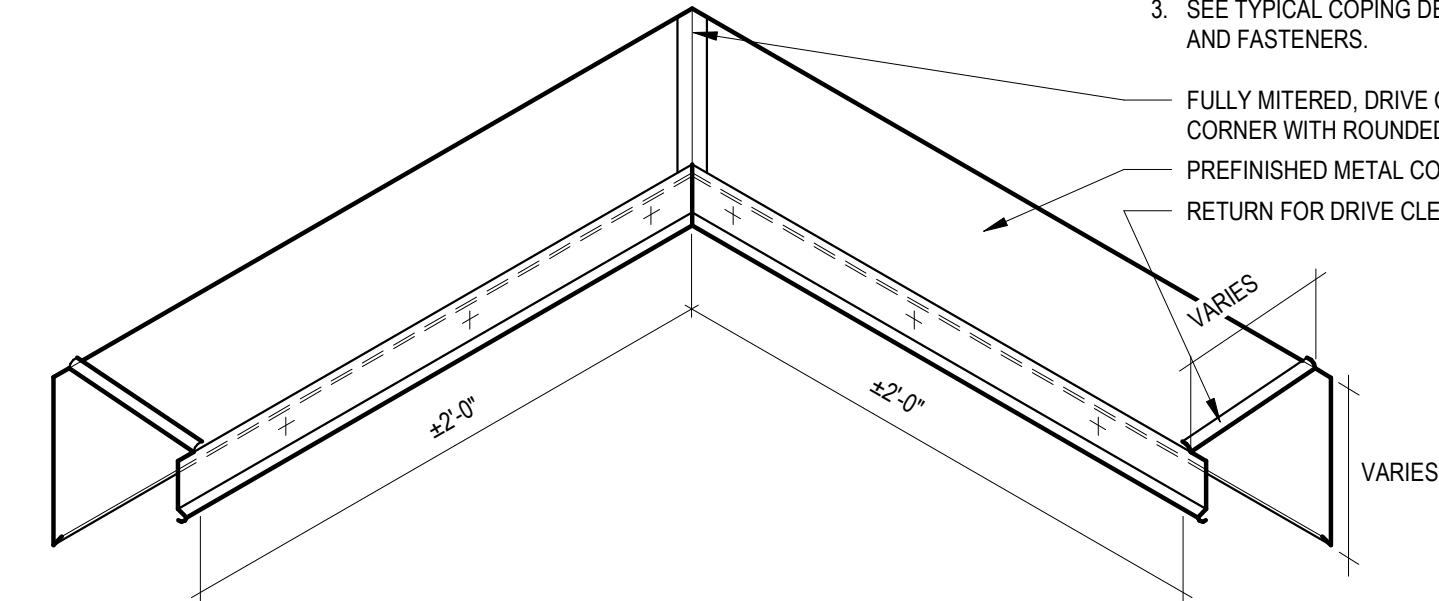
7 COLD PIPE FLASHING - PRE-MOLDED
3" = 1'-0"



- FULLY MITERED, DRIVE CLEATED CORNER
- PREFINISHED METAL COPING
- RETURN FOR DRIVE CLEAT

NOTES:
1. SHEET METAL CONTRACTOR TO VERIFY ANGLE OF COPING CORNER IN FIELD.
2. SEE TYPICAL COPING DETAIL FOR ALL SIZES AND FASTENERS.

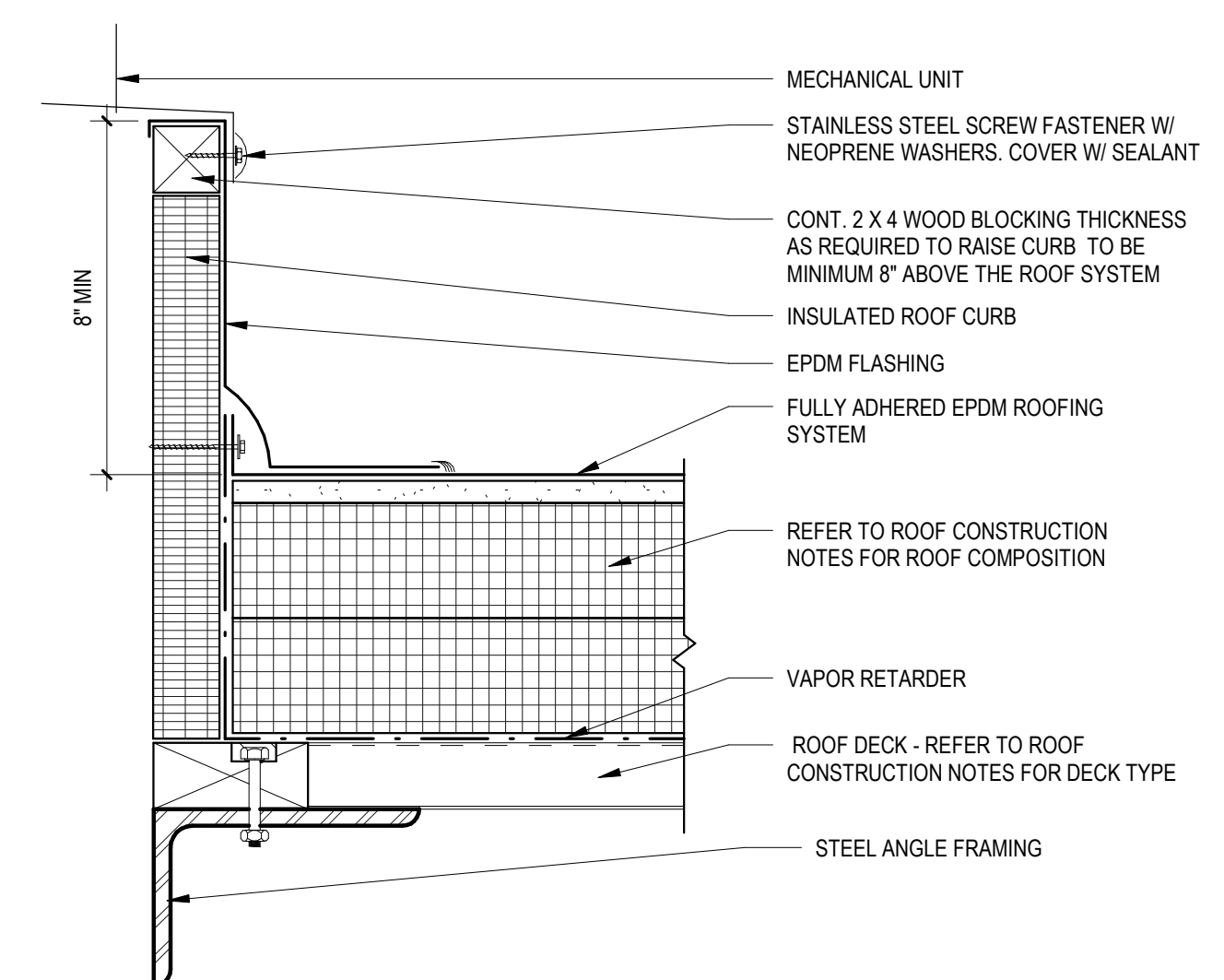
10 INSIDE COPING CORNER DETAIL
1 1/2" = 1'-0"



- FULLY MITERED, DRIVE CLEATED CORNER WITH ROUNDED TAB
- PREFINISHED METAL COPING
- RETURN FOR DRIVE CLEAT

NOTES:
1. SHEET METAL CONTRACTOR TO VERIFY ANGLE OF COPING CORNER IN FIELD.
2. PROVIDE DOUBLE S CLEAT FOR VERTICAL COPING JOINT.
3. SEE TYPICAL COPING DETAIL FOR ALL SIZES AND FASTENERS.

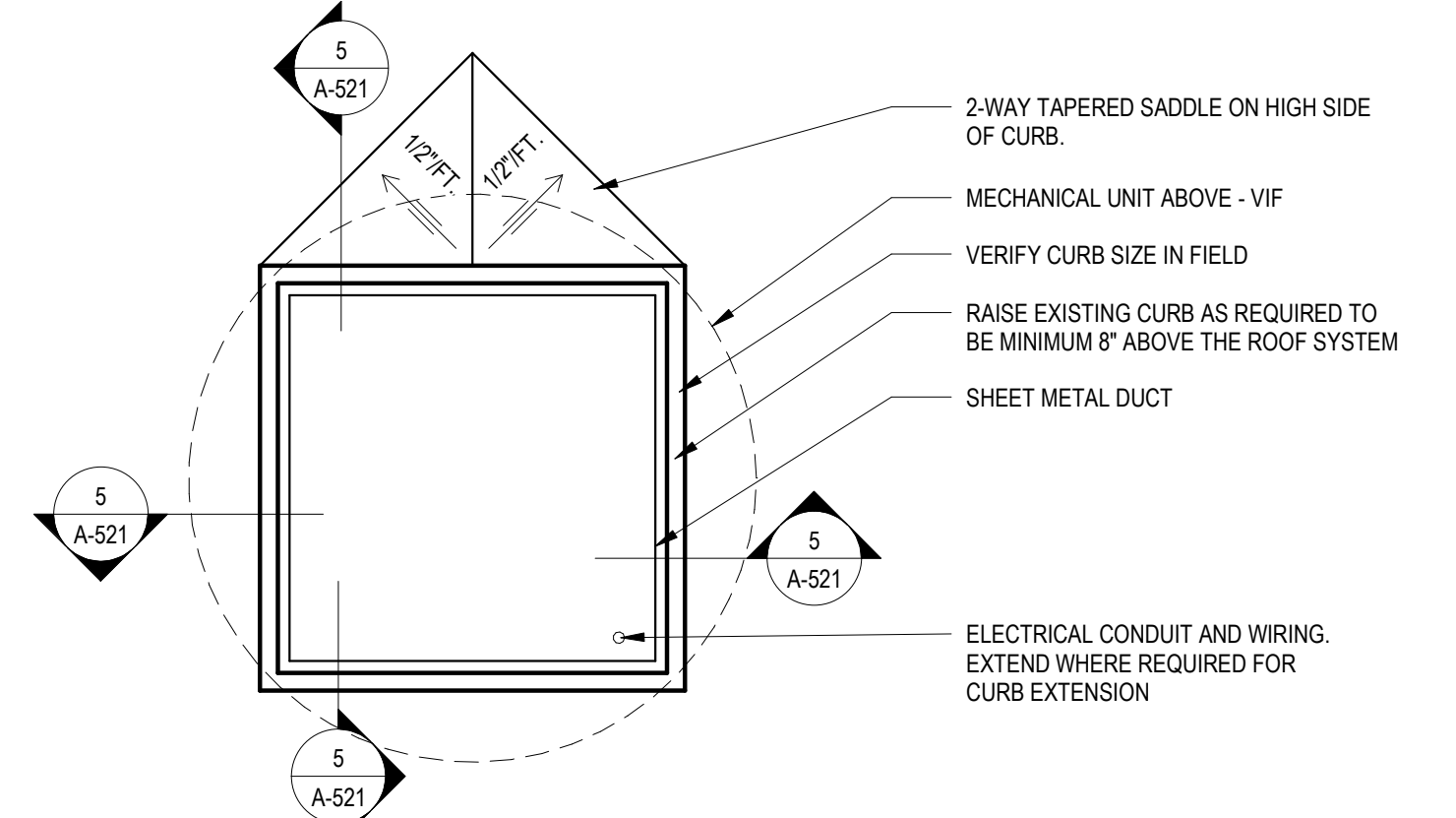
11 OUTSIDE COPING CORNER DETAIL
1 1/2" = 1'-0"



- MECHANICAL UNIT
- STAINLESS STEEL SCREW FASTENER W/ NEOPRENE WASHERS, COVER W/ SEALANT
- CONT. 2 X 4 WOOD BLOCKING THICKNESS AS REQUIRED TO RAISE CURB TO BE MINIMUM 8" ABOVE THE ROOF SYSTEM
- INSULATED ROOF CURB
- EPDM FLASHING
- FULLY ADHERED EPDM ROOFING SYSTEM
- REFER TO ROOF CONSTRUCTION NOTES FOR ROOF COMPOSITION
- VAPOR RETARDER
- ROOF DECK - REFER TO ROOF CONSTRUCTION NOTES FOR DECK TYPE
- STEEL ANGLE FRAMING

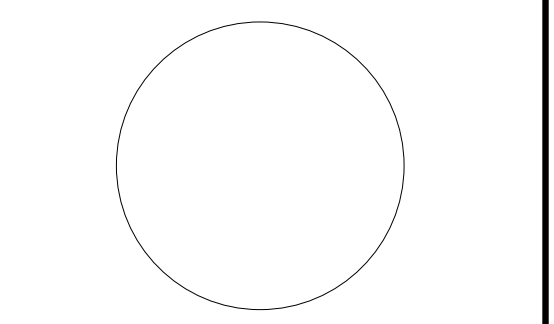
5 CURB - HVAC UNIT
3" = 1'-0"

A-521



- 2-WAY TAPERED SADDLE ON HIGH SIDE OF CURB
- MECHANICAL UNIT ABOVE - VIF
- VERIFY CURB SIZE IN FIELD
- RAISE EXISTING CURB AS REQUIRED TO BE MINIMUM 8" ABOVE THE ROOF SYSTEM
- SHEET METAL DUCT
- ELECTRICAL CONDUIT AND WIRING, EXTEND WHERE REQUIRED FOR CURB EXTENSION

6 CURB - HVAC UNIT PLAN
1 1/2" = 1'-0"

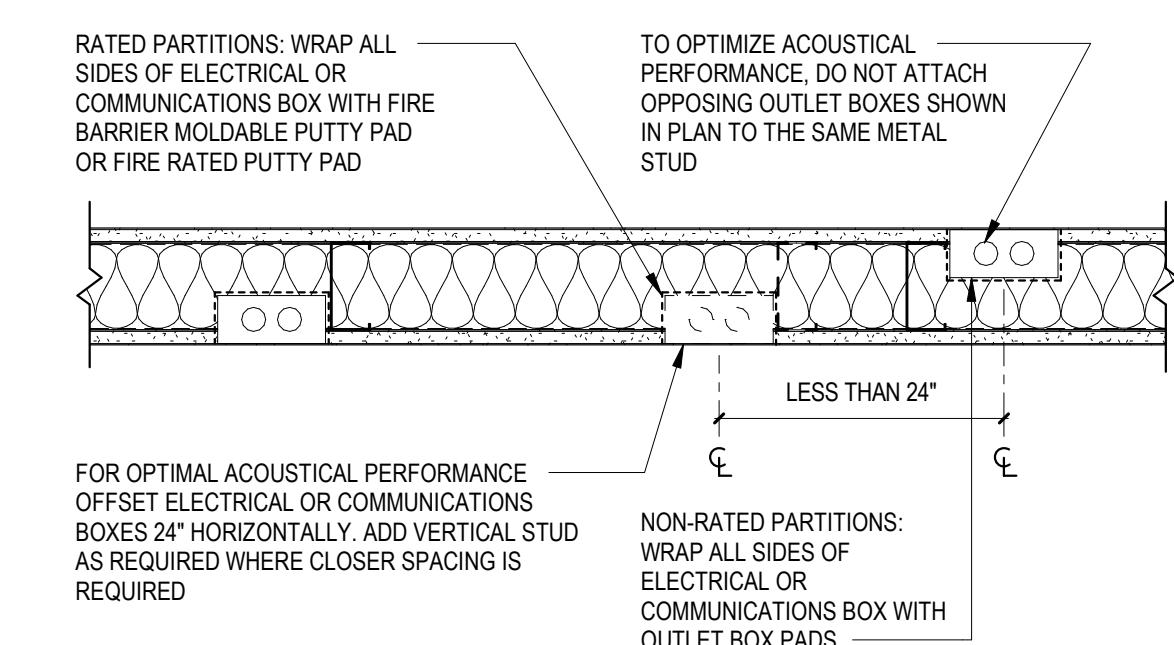


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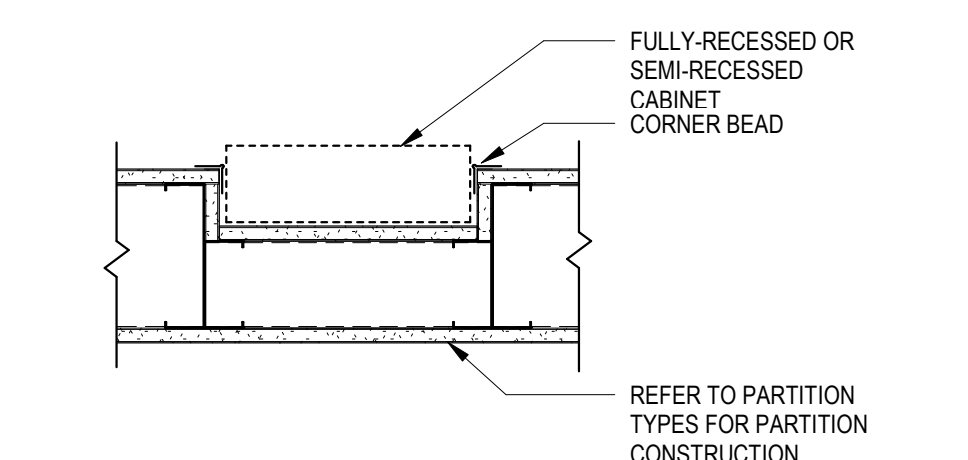
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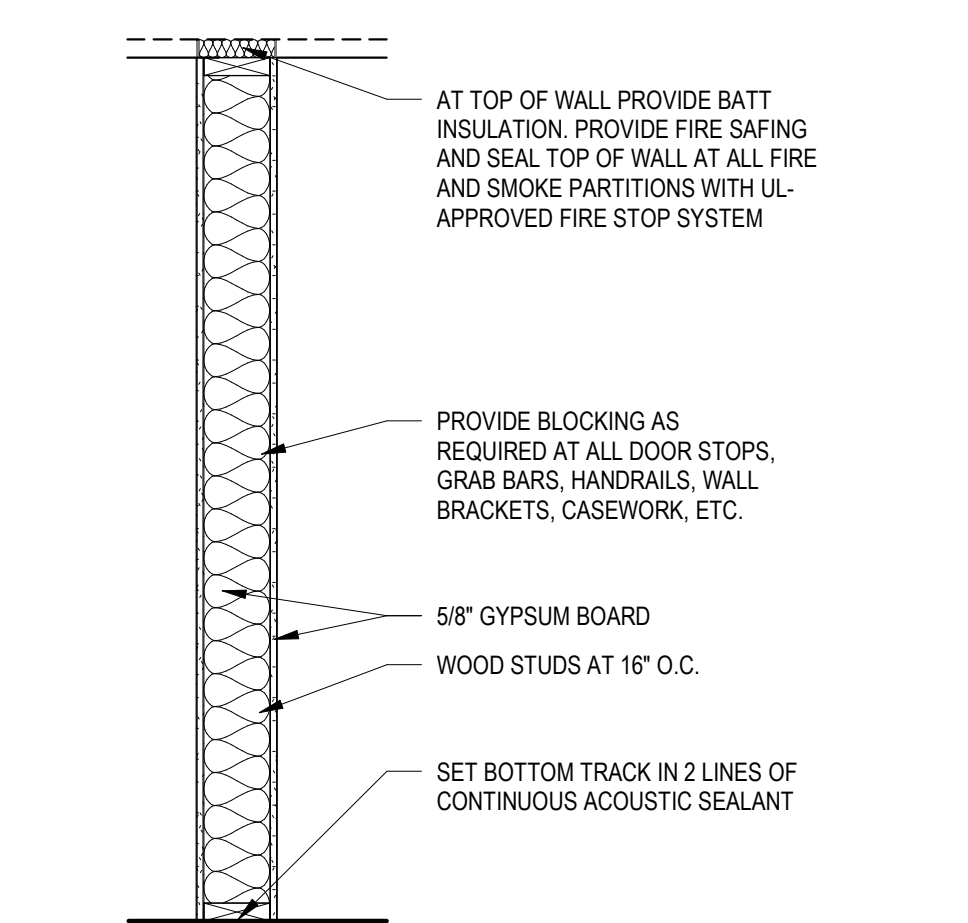
TYPICAL ROOF DETAILS - SINGLE-PLY MEMBRANE



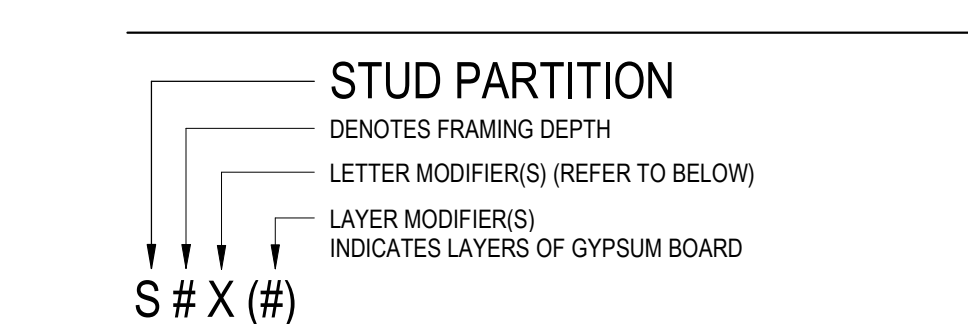
3 PLAN AT ALL ELECTRICAL OR COMMUNICATIONS BOXES
1 1/2" = 1'-0"



4 RECESSED POCKET
1 1/2" = 1'-0"



UL: U419 (1HR OR 2HR) OR ARCHITECT APPROVED EQUAL, REFER TO SAFETY REFERENCE PLANS FOR LOCATIONS OF RATED PARTITIONS
STC: S3F: 40, S3FA: 49, S3F(3): __, S3FA(3): __, S3F(4): 48, S3FA(4): 56



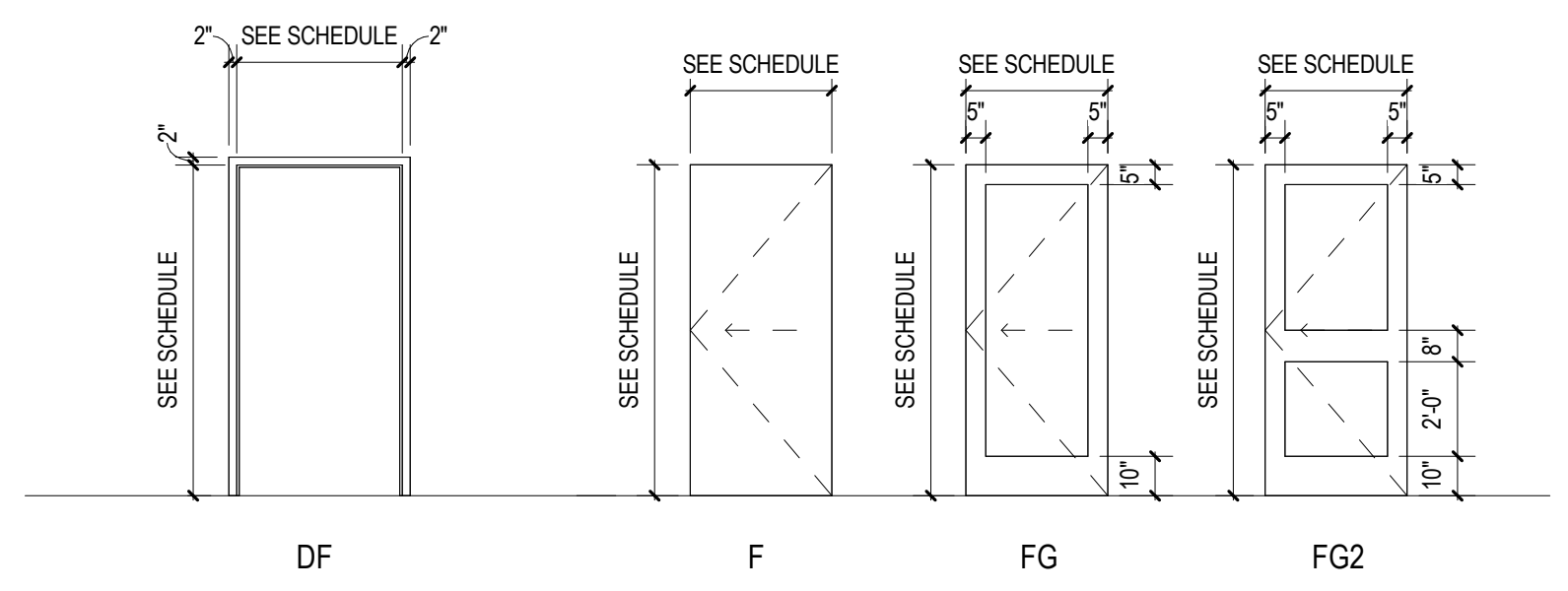
FRAMING DEPTH "F"
S 6 5 1/2" STUD DEPTH

LETTER MODIFIERS "X"
S # FRAMING FULL HEIGHT TO STRUCTURE ABOVE AND GYPSUM BOARD TO 6" ABOVE CEILING
S # F FRAMING AND GYPSUM BOARD FULL HEIGHT TO STRUCTURE ABOVE (STC: 40-49)
S # A MINERAL FIBER SOUND ATTENUATION BLANKETS FULL DEPTH OF STUD (STC: 49-56)
S # R RATED PARTITION

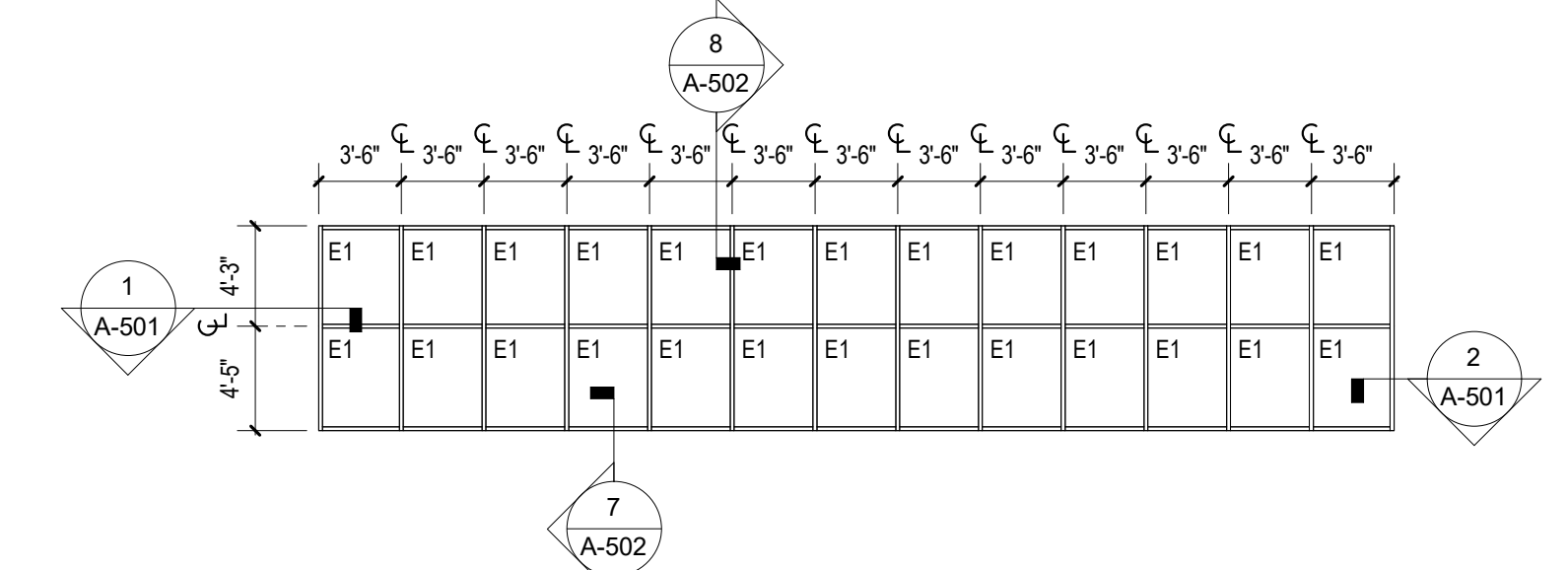
LAYER MODIFIERS "H"
S # X TWO (2) LAYERS OF GYPSUM BOARD, ONE (1) ON EACH SIDE (1HR)
S # X (4) FOUR (4) LAYERS OF GYPSUM BOARD, TWO (2) ON EACH SIDE (2HR) (STC: 48, OR 56)

NOTES
1. IMPACT-RESISTANT / ABUSE-RESISTANT GYPSUM BOARD

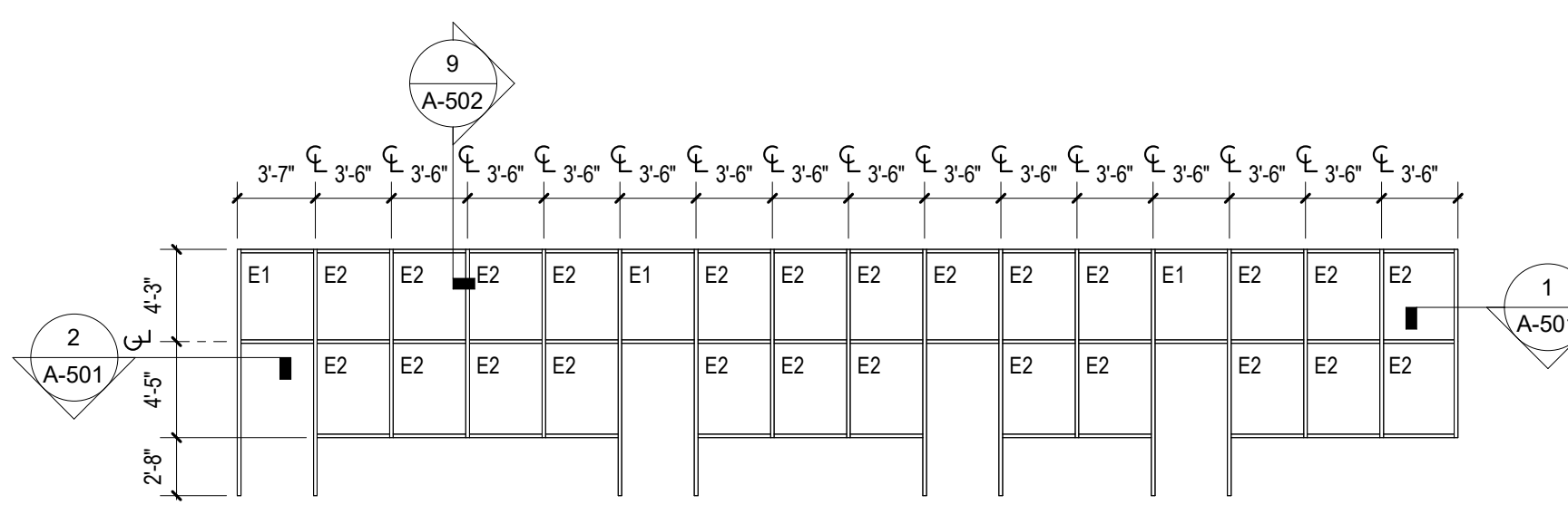
DOOR AND FRAME SCHEDULE														
DOOR #	FROM ROOM	TO ROOM	DOOR					FRAME DETAILS				REFERENCED NOTES		
			TYPE	MATERIAL	OPENING WIDTH	DOOR WIDTH	HEIGHT	THICKNESS	HWDR	HEAD	JAMB		JAMB	SILL
100A		SUITE	FG	AL	3'-4"	3'-4"	7'-0"	1 3/4"						
100B		SUITE	FG	AL	3'-4"	3'-4"	7'-0"	1 3/4"						
101A		SUITE	FG	AL	3'-4"	3'-4"	7'-0"	1 3/4"						
101B		SUITE	FG	AL	3'-4"	3'-4"	7'-0"	1 3/4"						
102A		SUITE	FG	AL	3'-4"	3'-4"	7'-0"	1 3/4"						
102B		SUITE	FG	AL	3'-4"	3'-4"	7'-0"	1 3/4"						
103		MECH.	FG	AL	3'-4"	3'-4"	7'-0"	1 3/4"						



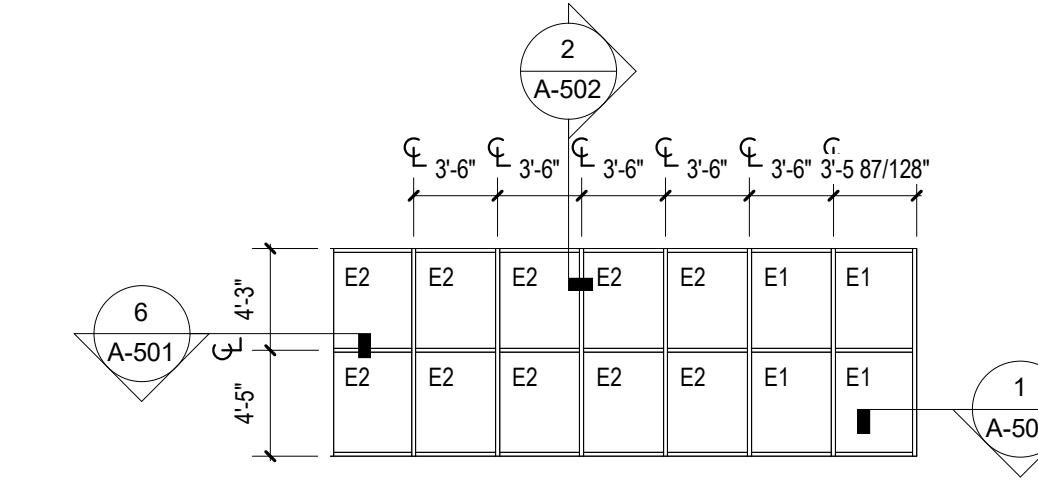
DOOR AND FRAME TYPES
1/4" = 1'-0"



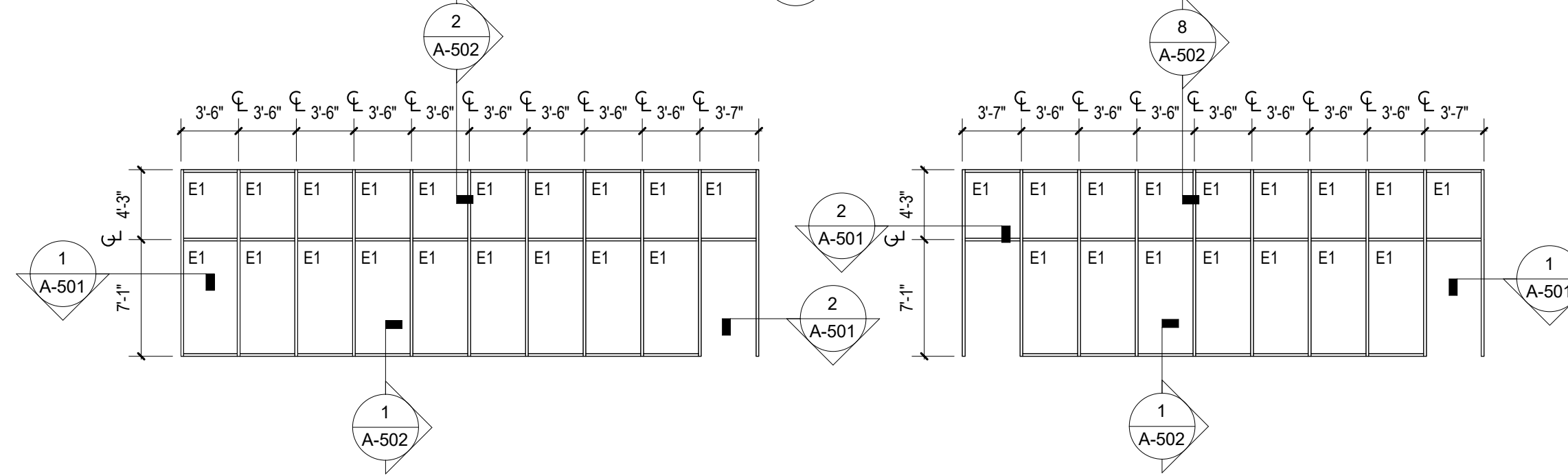
10 STOREFRONT ELEVATION - SOUTH
1/8" = 1'-0"



9 STOREFRONT ELEVATION - EAST
1/8" = 1'-0"



8 STOREFRONT ELEVATION - NORTH
1/8" = 1'-0"



7 STOREFRONT ELEVATION - WEST
1/8" = 1'-0"

GENERAL NOTES

GENERAL:

- ALL DOOR AND FRAME TYPES ARE SHOWN AS EXTERIOR VIEW.
- FRAME WIDTHS ARE INDICATED ON THE FLOOR PLANS. FRAME HEIGHTS ARE INDICATED ON THE FRAME TYPES. DOOR DIMENSIONS ARE INDICATED ON THE DOOR AND FRAME SCHEDULE.
- DIMENSIONS ARE INDICATED FOR BIDDING PURPOSES ONLY AND SHALL BE FIELD VERIFIED PRIOR TO PREPARATION OF SHOP DRAWINGS AND FABRICATION.
- THE MANUFACTURER(S) SHALL BE RESPONSIBLE FOR THE ENGINEERING AND STRUCTURAL INTEGRITY OF THEIR FRAME SYSTEMS.
- ALL OPENINGS IN FRAMES REQUIRE GLAZING PANELS OR INFILL PANELS EXCEPT FOR DOOR OPENINGS. GLAZING TYPES FOR EXTERIOR FRAMES ARE INDICATED ON THE FRAME TYPES. GLAZING TYPES FOR INTERIOR FRAMES ARE INDICATED ON THE DOOR AND FRAME SCHEDULE OR HEREIN.
- ALL OPENINGS IN DOORS REQUIRE GLAZING PANELS UNLESS NOTED OTHERWISE. GLAZING TYPES FOR DOORS ARE INDICATED ON THE DOOR AND FRAME SCHEDULE OR HEREIN.
- HARDWARE SETS AND GLAZING TYPES ARE SPECIFIED IN THE PROJECT MANUAL.
- FRAMES SHALL BE DESIGNED, CUT, AND FABRICATED TO MINIMIZE JOINTS:
 - JOINTS IN HOLLOW METAL FRAMES SHALL RECEIVE METAL FILLER, BE GROUND SMOOTH AND SHOP/FIELD PRIMED PRIOR TO FINISH PAINT.
 - JOINTS IN EXTERIOR ALUMINUM FRAMES SHALL BE AIR AND WATER TIGHT IN ACCORDANCE WITH THE REQUIREMENTS IDENTIFIED IN THE PROJECT MANUAL LAP AND SEAL ALL JOINTS. ALLOW FOR EXPANSION IN THE TRIM AND AT JOINTS AND INTERSECTIONS OF ADJACENT FRAMES.

ALUMINUM FRAMING SYSTEMS:

- ALUMINUM STOREFRONT AND INTERIOR ALUMINUM FRAMES SHALL HAVE THE FOLLOWING CHARACTERISTICS UNLESS NOTED OTHERWISE:
 - FACE WIDTH: 2"
 - FRAME DEPTH: 4-1/4"
- ANCHORAGE AT ALUMINUM STOREFRONT AND WINDOW SYSTEMS:
 - PROVIDE ANCHORAGE IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS TO MEET THE REQUIRED DESIGN LOADS BUT NOT LESS THAN THREE (3) ANCHORS PER JAMB LOCATION.
 - PROVIDE ALUMINUM FASTENERS: NON-MAGNETIC STAINLESS STEEL FASTENERS, OR OTHER FASTENER TYPES WARRANTED BY THE SYSTEM MANUFACTURER TO BE NON-CORROSIVE, NON-CORRODIBLE, AND COMPATIBLE WITH OTHER BUILDING COMPONENTS.
 - PROVIDE REINFORCEMENT WHERE FASTENERS ARE SCREWED INTO ALUMINUM COMPONENTS LESS THAN 1/8" THICK.
 - DO NOT USE EXPOSED FASTENERS AT BUILDING EXTERIOR. AT BUILDING INTERIOR FASTENERS ARE TO MATCH THE FINISH OF THE FRAME.
 - INTERNALLY REINFORCE MULLIONS AS REQUIRED TO MEET SPANS AS INDICATED IN THE DRAWINGS AND PROJECT MANUAL.
 - NO EXPOSED FASTENERS.

GLAZING TYPES

EXTERIOR:

E-1 1" INSULATED CLEAR GLAZING UNIT
E-2 1" SPANDREL GLAZING UNIT

REFERENCED NOTES

LEGAT ARCHITECTS
Design with a Difference

HC PRIVATE CAPITAL

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SIGNATURE _____

DATE _____

REVISIONS

NO.	DESCRIPTION	DATE

PROJECT NUMBER 225027.00
DATE OF ISSUE 02/21/2025
DRAWN BY CS
REVIEWED BY JH

DOOR AND FRAME DETAILS

A-601
S.P. RESUBMITTAL #3