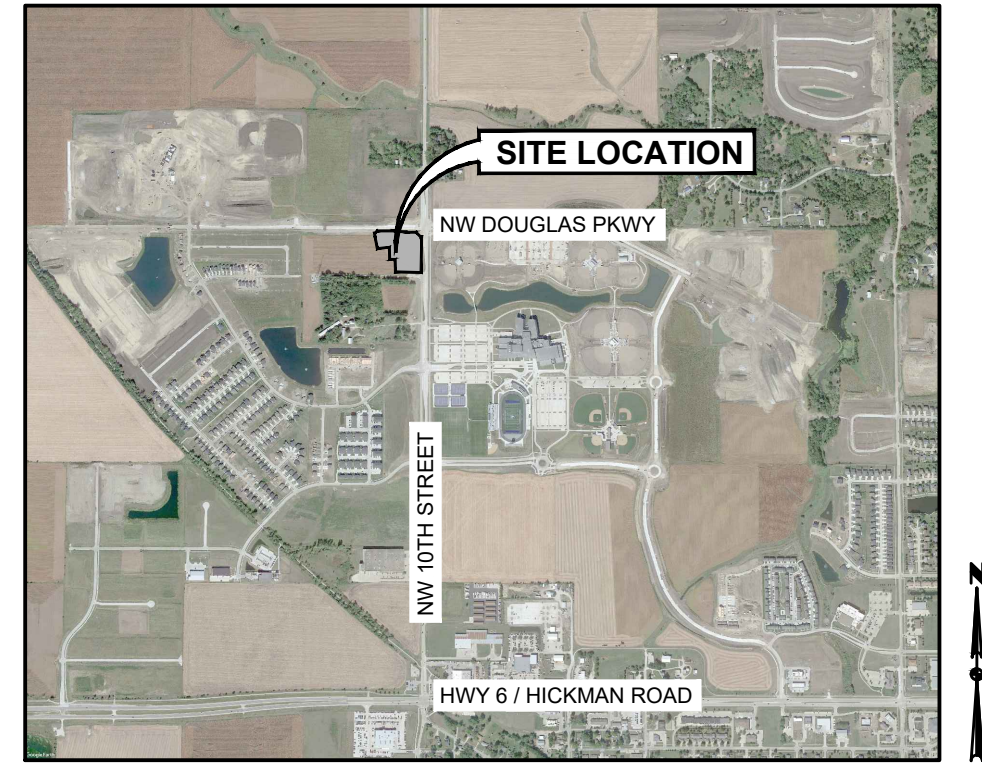


# SITE PLAN FOR: ALDER POINT RETAIL WAUKEE, IOWA

## VICINITY MAP NOT TO SCALE



WAUKEE, IOWA

## PROPERTY DESCRIPTION

LOT 41 OF ALDER POINT PLAT 1, AN OFFICIAL PLAT IN THE CITY OF WAUKEE, DALLAS COUNTY IOWA.

## ZONING

**LOT 1**  
C1A  
R-4/PD-1

**LOT 2**  
C1A  
R-4/PD-1

**OUTLOT 'Z'**  
C1A  
R-4/PD-1

C1A - NEIGHBORHOOD COMMERCIAL DISTRICT  
R-4/PD-1 - ROW DWELLING AND TOWNHOME DISTRICT/PLANNED DEVELOPMENT OVERLAY

PUD RECORDED IN BOOK 2021 PG 34684

## LAND USE

EXISTING - UNDEVELOPED  
PROPOSED - RETAIL/RESTAURANT  
COFFEE SHOP

## INDEX OF SHEETS

NO.	DESCRIPTION
C0.1	COVER SHEET
C1.1	TOPOGRAPHIC SURVEY/DEMOLITION PLAN
C2.1	SITE REFERENCE PLAN
C2.2-C2.3	DIMENSION PLAN
C3.1-C3.3	GRADING PLAN
C4.1	EROSION AND SEDIMENT CONTROL PLAN
C5.1-C5.2	UTILITY PLAN
C6.1-C6.3	DETAILS
L1.1	LANDSCAPE PLAN

## DEVELOPMENT SUMMARY

SITE AREA		190,178 SF (4.37 ACRES)
<b>LOT 1 AREA</b>		46,974 SF (1.08 AC.)
<b>SETBACKS</b>		
FRONT:		30 FT
SIDE:		30 FT
REAR:		30 FT
MONUMENT SIGN:		15 FT
<b>BUILDING HEIGHT</b>		29 FT
<b>BUILDING AREA</b>		
COFFEE SHOP:	2,500 SF	
<b>PARKING REQUIRED</b>		
COFFEE SHOP: 10 SPACES PER 1,000 SQUARE FEET:	25 SPACES	
PLUS 3 QUEUING SPACES PER DRIVE-THROUGH LANE:	3 SPACES	
	28 SPACES	
<b>PARKING PROVIDED</b>		
STANDARD PARKING:	32 SPACES	
QUEUING SPACES:	15 SPACES	
ACCESSIBLE PARKING:	2 SPACES	
TOTAL PARKING:	49 SPACES	
<b>LOT 2 AREA</b>		115,128 SF (2.64 AC.)
<b>SETBACKS</b>		
FRONT:		30 FT
SIDE:		30 FT
REAR:		30 FT
<b>BUILDING HEIGHT</b>		24 FT
<b>BUILDING AREA</b>		
RESTAURANT:	5,928 SF	
RETAIL:	6,192 SF	
	12,120 SF	
<b>PARKING REQUIRED</b>		
RESTAURANT: 15 SPACES PER 1,000 SF OF GFA:	89 SPACES	
RETAIL: 4 SPACES PER 1,000 SF OF GFA:	25 SPACES	
	114 SPACES	
<b>PARKING PROVIDED</b>		
STANDARD PARKING:	109 SPACES	
ACCESSIBLE PARKING:	5 SPACES	
TOTAL PARKING:	114 SPACES	
<b>OUTLOT 'Z' AREA</b>		28,077 SF (0.64 AC.)

## GENERAL LEGEND

PROPOSED	EXISTING
PROPERTY BOUNDARY	SANITARY MANHOLE
LOT LINE	WATER VALVE BOX
SECTION LINE	FIRE HYDRANT
CENTER LINE	WATER CURB STOP
RIGHT OF WAY	WELL
BUILDING SETBACK	STORM SEWER MANHOLE
PERMANENT EASEMENT	STORM SEWER SINGLE INTAKE
TEMPORARY EASEMENT	STORM SEWER DOUBLE INTAKE
TYPE SW-501 STORM INTAKE	FLARED END SECTION
TYPE SW-502 STORM INTAKE	DECIDUOUS TREE
TYPE SW-503 STORM INTAKE	CONIFEROUS TREE
TYPE SW-505 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-506 STORM INTAKE	CONIFEROUS SHRUB
TYPE SW-512 STORM INTAKE	ELECTRIC POWER POLE
TYPE SW-513 STORM INTAKE	GUY ANCHOR
TYPE SW-401 STORM MANHOLE	STREET LIGHT
TYPE SW-402 STORM MANHOLE	POWER POLE W/ TRANSFORMER
FLARED END SECTION	UTILITY POLE W/ LIGHT
TYPE SW-301 SANITARY MANHOLE	ELECTRIC BOX
STORM/SANITARY CLEANOUT	ELECTRIC TRANSFORMER
WATER VALVE	ELECTRIC MANHOLE OR VAULT
FIRE HYDRANT ASSEMBLY	TRAFFIC SIGN
SIGN	TELEPHONE JUNCTION BOX
DETECTABLE WARNING PANEL	TELEPHONE MANHOLE/VAULT
WATER CURB STOP	TELEPHONE POLE
SANITARY SEWER	GAS VALVE BOX
SANITARY SERVICE	CABLE TV JUNCTION BOX
STORM SEWER	CABLE TV MANHOLE/VAULT
STORM SERVICE	MAIL BOX
WATERMAIN WITH SIZE	BENCHMARK
WATER SERVICE	SOIL BORING
SAWCUT (FULL DEPTH)	UNDERGROUND TV CABLE
SILT FENCE	GAS MAIN
USE AS CONSTRUCTED	FIBER OPTIC
MINIMUM PROTECTION ELEVATION	UNDERGROUND TELEPHONE
DOWNSPOUT	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

## PROJECT TEAM:

**DEVELOPER/APPLICANT:**  
ALDER PARTNERS LLC  
ATTN: AJDIN NADAREVIC

**OWNER:**  
BOYSEN PROPERTIES, LLC  
32598 WOODLAND CT  
ADEL IA 50003

**ENGINEER:**  
CIVIL DESIGN ADVANTAGE, LLC  
4121 NW URBAN DALE DRIVE  
URBAN DALE, IOWA 50322  
CONTACT: KEITH WEGGEN  
PH. (515) 369-4400

**LANDSCAPE ARCHITECT:**  
CIVIL DESIGN ADVANTAGE, LLC  
4121 NW URBAN DALE DRIVE  
URBAN DALE, IOWA 50322  
CONTACT: KEITH WEGGEN  
PH. (515) 369-4400

**SURVEYOR:**  
CIVIL DESIGN ADVANTAGE, LLC  
4121 NW URBAN DALE DRIVE  
URBAN DALE, IOWA 50322  
CONTACT: KEITH WEGGEN  
PH. (515) 369-4400

**WATER:**  
WAUKEE PUBLIC WORKS  
805 UNIVERSITY AVE  
WAUKEE, IA 50263  
CONTACT: TIM ROYER  
PH. (515) 978-7920

**SANITARY SEWER:**  
WAUKEE PUBLIC WORKS  
805 UNIVERSITY AVE  
WAUKEE, IA 50263  
CONTACT: TIM ROYER  
PH. (515) 978-7920

**ELECTRIC:**  
MIDAMERICAN ENERGY  
10510 DOUGLAS AVE  
URBAN DALE, IA 50322  
CONTACT: JORDAN SMETS  
PH. (515) 252-6565

**STORM SEWER:**  
WAUKEE PUBLIC WORKS  
805 UNIVERSITY AVE  
WAUKEE, IA 50263  
CONTACT: TIM ROYER  
PH. (515) 978-7920

**TELEPHONE:**  
LUMEN TECHNOLOGIES  
2103 E. UNIVERSITY  
DES MOINES, IA 50317  
CONTACT: AUSTIN FREESEMAN  
PH. (303) 461-4970

**GAS:**  
WAUKEE PUBLIC WORKS  
805 UNIVERSITY AVE  
WAUKEE, IA 50263  
CONTACT: TIM ROYER  
PH. (515) 978-7920

**BUILDING DEPARTMENT:**  
CITY OF WAUKEE  
204 WEST HICKMAN ROAD  
WAUKEE, IA 50263  
CONTACT: KEITH RASH  
PH. (515) 978-7893

**HEALTH DEPARTMENT:**  
DALLAS COUNTY PUBLIC HEALTH &  
HOME HEALTH  
25747 N AVENUE, SUITE C  
ADEL, IA 50003  
CONTACT: TED TREWIN  
PH. (515) 993-5803

## UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

## IMPERVIOUS AREA

LOT 1	LOT 2
PAVEMENT: 22,987 SF	PAVEMENT: 58,715 SF
BUILDING: 2,425 SF	BUILDING: 12,156 SF
SIDEWALK: 2,287 SF	SIDEWALK: 7,484 SF
TOTAL: 27,699 SF (59%)	TOTAL: 78,355 SF (68%)

## SUBMITTAL DATES

FIRST SUBMITTAL:	02/04/2025
SECOND SUBMITTAL:	02/24/2025
THIRD SUBMITTAL:	03/13/2025
FOURTH SUBMITTAL:	04/11/2025

**CIVIL DESIGN ADVANTAGE**  
4121 NW URBAN DALE DRIVE, URBAN DALE, IA 50322  
PH: (515) 369-4400  
PROJECT NO. 2304.285

1-800-292-8989  
www.iowaonecall.com

CALL 811 SEVENTY-TWO HOURS PRIOR TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

REFER TO GEOTECHNICAL ENGINEERING REPORT NO. 08225050-01 PREPARED BY TERRACON CONSULTANTS, INC. FOR GEOTECHNICAL REQUIREMENTS

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2025 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY OF WAUKEE 2024 STANDARD SPECIFICATIONS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMIT AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTOR'S USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

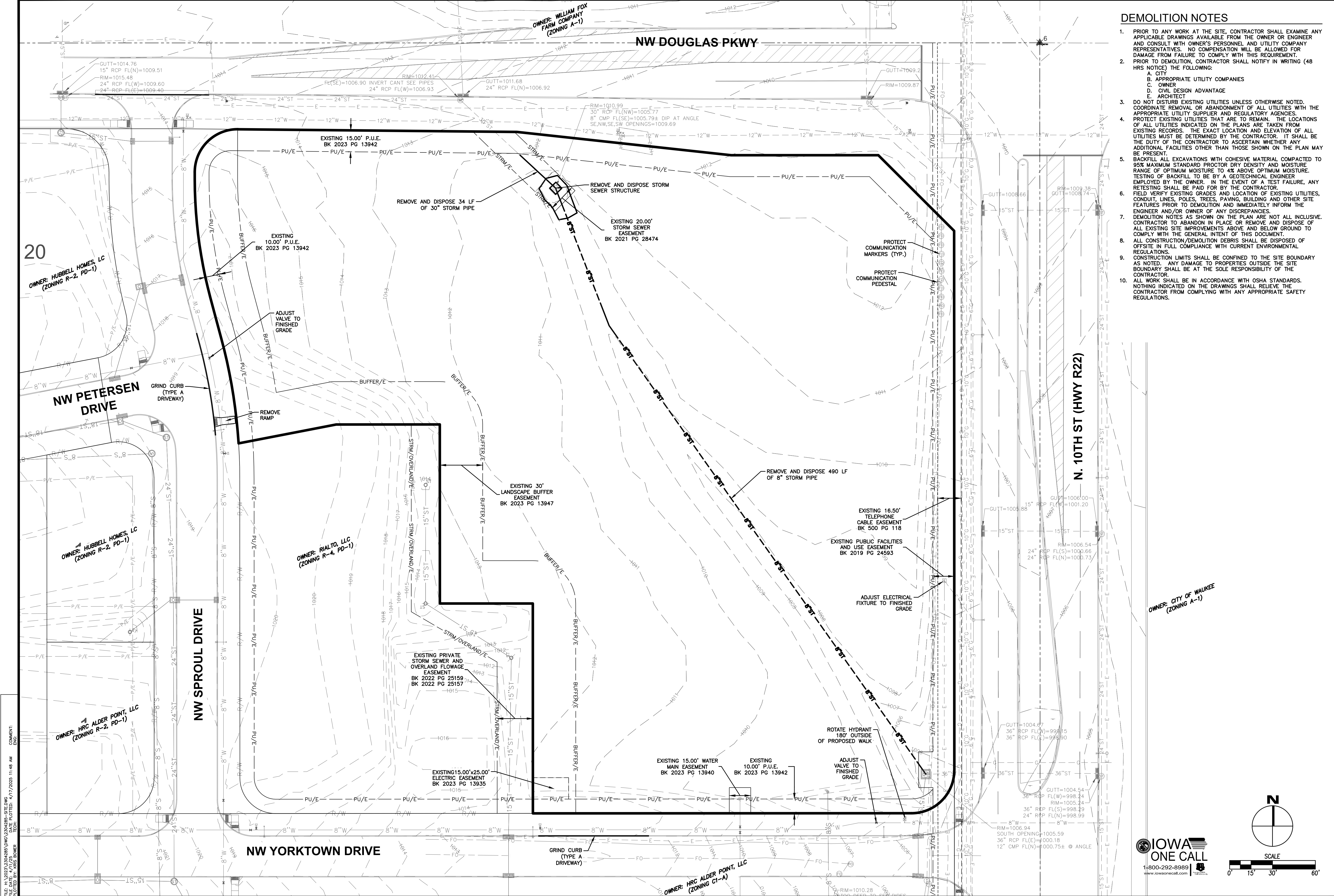
**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE CHARGE. I AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

KEITH WEGGEN, ASLA DATE \_\_\_\_\_

MY LICENSE RENEWAL DATE IS JUNE 30, 2026  
PAGES OR SHEETS COVERED BY THIS SEAL: \_\_\_\_\_

ALL SHEETS \_\_\_\_\_

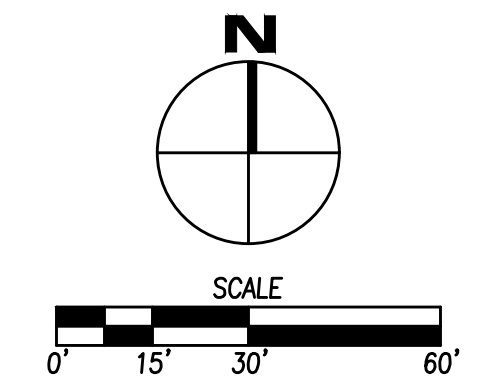


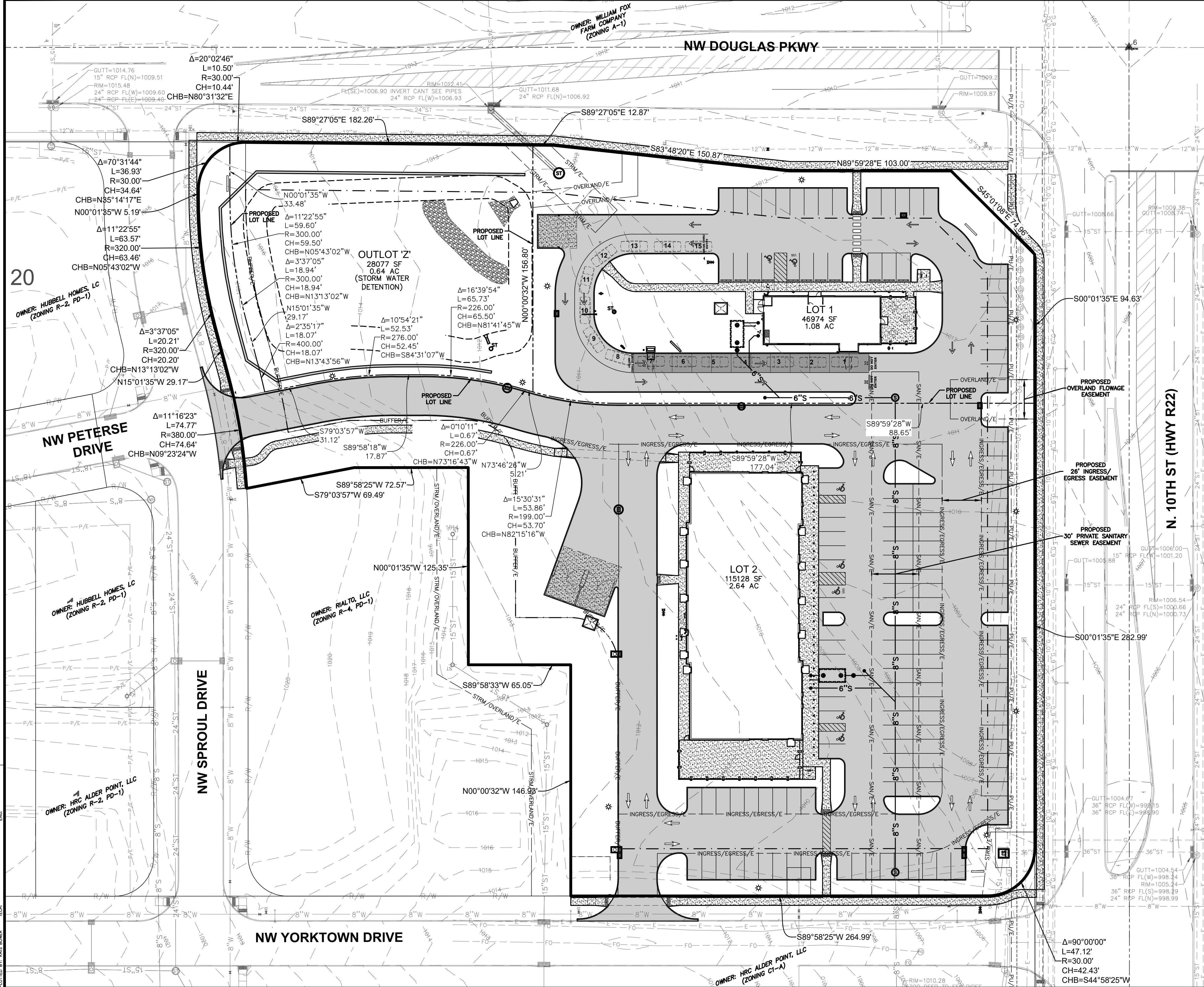
**DEMOLITION NOTES**

- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
  - CITY
  - APPROPRIATE UTILITY COMPANIES
  - OWNER
  - CIVIL DESIGN ADVANTAGE
  - ARCHITECT
- DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES. PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
- BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
- FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
- DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
- ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
- CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

DATE	04/11/2025
REVISIONS	
ENGINEER	CIVIL DESIGN ADVANTAGE
ENGINEER	4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400
ENGINEER	WAUKEE, IOWA
PROJECT	ALDER POINT RETAIL TOPOGRAPHIC SURVEY/ DEMOLITION PLAN
SHEET NUMBER	C1.1 2304.285

COMMENT: 4/11/2025 11:48 AM  
DRAWN BY: ANNE BOWEN  
CHECKED BY: ANNE BOWEN  
FILE: H:\2023\2304285\DWG\2304285-STE.DWG  
PLOT: 4/11/2025 11:48 AM  
PLOT: 4/11/2025 11:48 AM  
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**GENERAL NOTES**

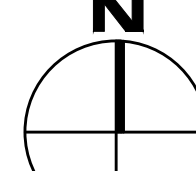
- THE 2025 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND THE 2024 EDITION OF THE WAUKEE STANDARD SPECIFICATIONS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC UTILITIES CONTRACTOR SHALL NOTIFY THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE 2024 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS.
- ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
- PLACE 3/4" INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2" INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
- REMOVE ALL DEBRIS AND MUD SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
- THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK. ANY PAVEMENT REPLACEMENT SHALL COMPLY WITH THE 2024 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
- ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACT BID.
- ALL STAKING, INCLUDING PEDESTRIAN FACILITIES, IS TO BE DONE UNDER THE DIRECTION OF A LICENSED ENGINEER OR SURVEYOR.
- IT IS THE CONTRACTORS RESPONSIBILITY TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT AT LEAST ONE WEEK PRIOR TO CONSTRUCTION ACTIVITIES COMMENCING.
- THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE CITY OF WAUKEE ENGINEERING DEPARTMENT 72 HOURS PRIOR TO ANY PLANNED WEEKEND OR HOLIDAY WORK.
- CONTRACTOR IS RESPONSIBLE TO OBTAIN WRITTEN APPROVAL FOR ANY PLAN CHANGES DURING CONSTRUCTION FROM THE COMMUNITY DEVELOPMENT DEPARTMENT. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR ANY CHANGES THAT HAVE NOT RECEIVED WRITTEN APPROVAL FROM THE COMMUNITY DEVELOPMENT DEPARTMENT.
- IF ADDITIONAL PAVEMENT REMOVAL IS REQUIRED OTHER THAN A STANDARD BOX OUT, FULL PANEL REMOVAL WILL BE REQUIRED. NO HALF PANEL REMOVAL WILL BE ALLOWED.
- COORDINATE STAGING AND TRAFFIC CONTROL WITH WAUKEE PUBLIC WORKS.
- LANE CLOSURE NOTICES MUST BE SUBMITTED TO WAUKEE PUBLIC WORKS FOR APPROVAL A MINIMUM OF 48 HOURS IN ADVANCE OF CLOSURE.
- ALL CONNECTIONS TO PUBLIC SEWERS SHALL BE CORE DRILLED.
- ALL SIGNAGE IS REVIEWED AND APPROVED UNDER A SEPARATE PROCESS.
- THE PATIO SHALL BE A MINIMUM OF 350 SF AT A MAXIMUM SLOPE OF 2 PERCENT IN ANY DIRECTION. THE PATIO AREA SHALL BE ADA COMPLIANT. CONCRETE FINISH IN THE PATIO AREA SHALL BE FLOAT TROWELED WITH TRANSVERSE BRUSH AND STEEL FINISH. PROVIDE 2-INCH W/2" SMOOTH TROWELED DETAIL AT CONTROL JOINT. MOISTURE CURE CONCRETE FOR A MINIMUM OF 7 DAYS AND APPLY 2 COATS PENETRATING SEALER TO FINISH.

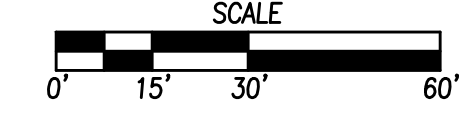
**TRAFFIC CONTROL NOTES**

- ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
- SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 124-4.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

**PAVEMENT THICKNESS**

- |                                      |                                |
|--------------------------------------|--------------------------------|
| 1. SIDEWALKS                         | 4" P.C.C. (C-4 MIX)            |
| 2. SIDEWALK RAMPS AND TURNING SPACES | 6" P.C.C. (C-4 MIX)            |
| 3. STANDARD DUTY                     | 6" P.C.C. (C-4 MIX)            |
| 4. HEAVY DUTY (DUMPSTER ENCLOSURES)  | 8" P.C.C. (C-4 MIX)            |
| 5. REINFORCED (DRIVE THROUGH)        | 6" P.C.C. (C-4 MIX) REINFORCED |

  
**IOWA ONE CALL**  
 1-800-292-8989  
 www.iowaonecall.com

  
 SCALE

**ALDER POINT RETAIL**  
**SITE REFERENCE PLAN**

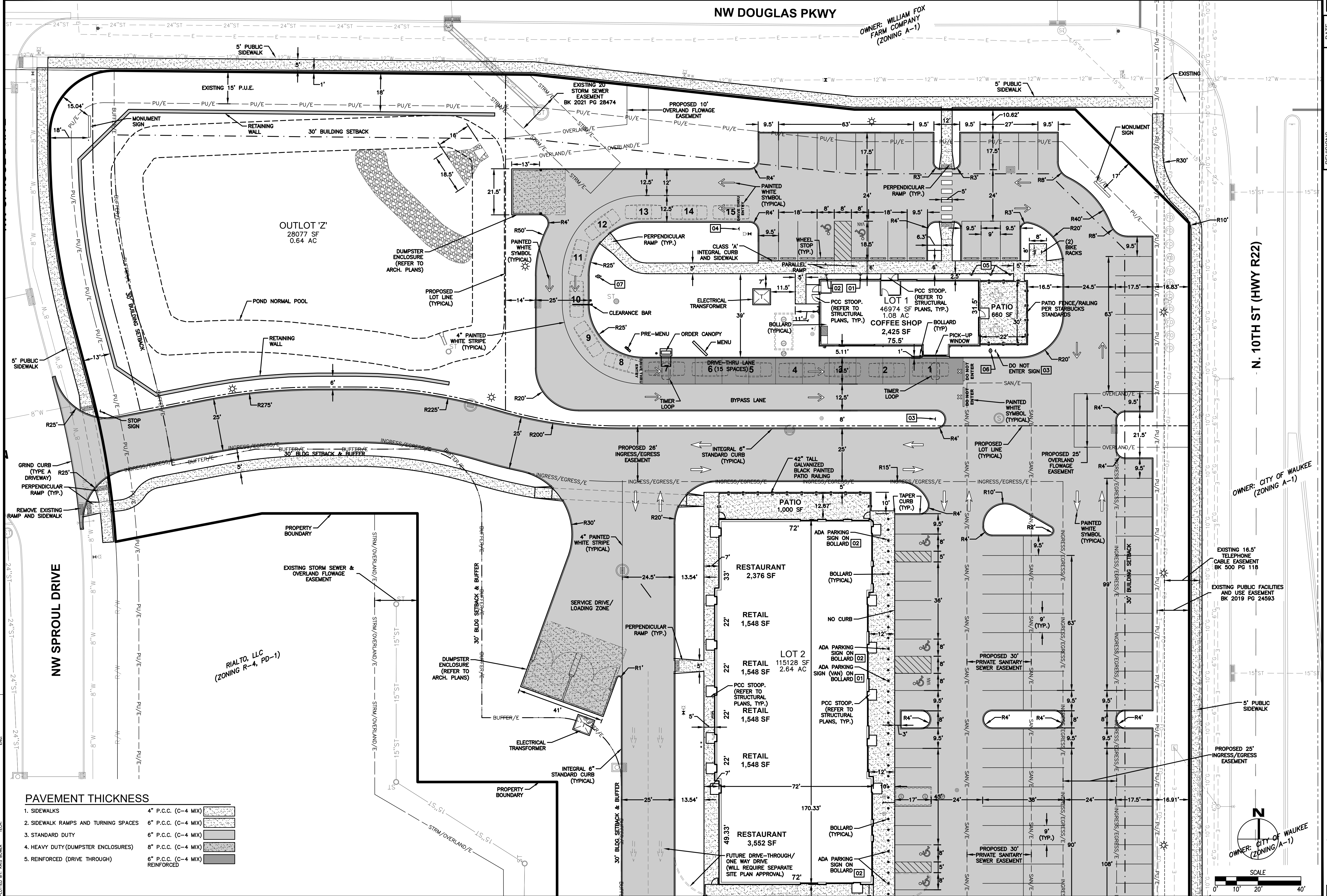
DATE: 04/11/2025  
 SHEET NUMBER: **C2.1**  
 2304.285

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400

ENGINEER: **CIVIL DESIGN ADVANTAGE**  
 DRAFTED:

WAUKEE, IOWA

COMMENT: 4/11/2025 11:48 AM  
 PLOTTED BY: ANNE BOWEN



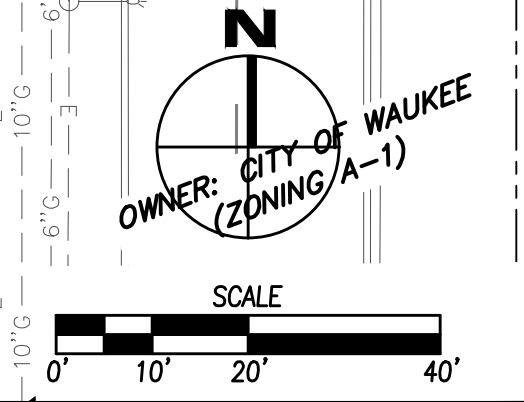
OWNER: WILLIAM FOX FARM COMPANY (ZONING A-1)

OWNER: CITY OF WAUKEE (ZONING A-1)

RIALTO, LLC (ZONING R-4, PD-1)

**PAVEMENT THICKNESS**

1. SIDEWALKS	4" P.C.C. (C-4 MIX)	
2. SIDEWALK RAMPS AND TURNING SPACES	6" P.C.C. (C-4 MIX)	
3. STANDARD DUTY	6" P.C.C. (C-4 MIX)	
4. HEAVY DUTY (DUMPSTER ENCLOSURES)	8" P.C.C. (C-4 MIX)	
5. REINFORCED (DRIVE THROUGH)	6" P.C.C. (C-4 MIX) REINFORCED	



DATE: \_\_\_\_\_

REVISIONS:

NO.	DATE	DESCRIPTION

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400



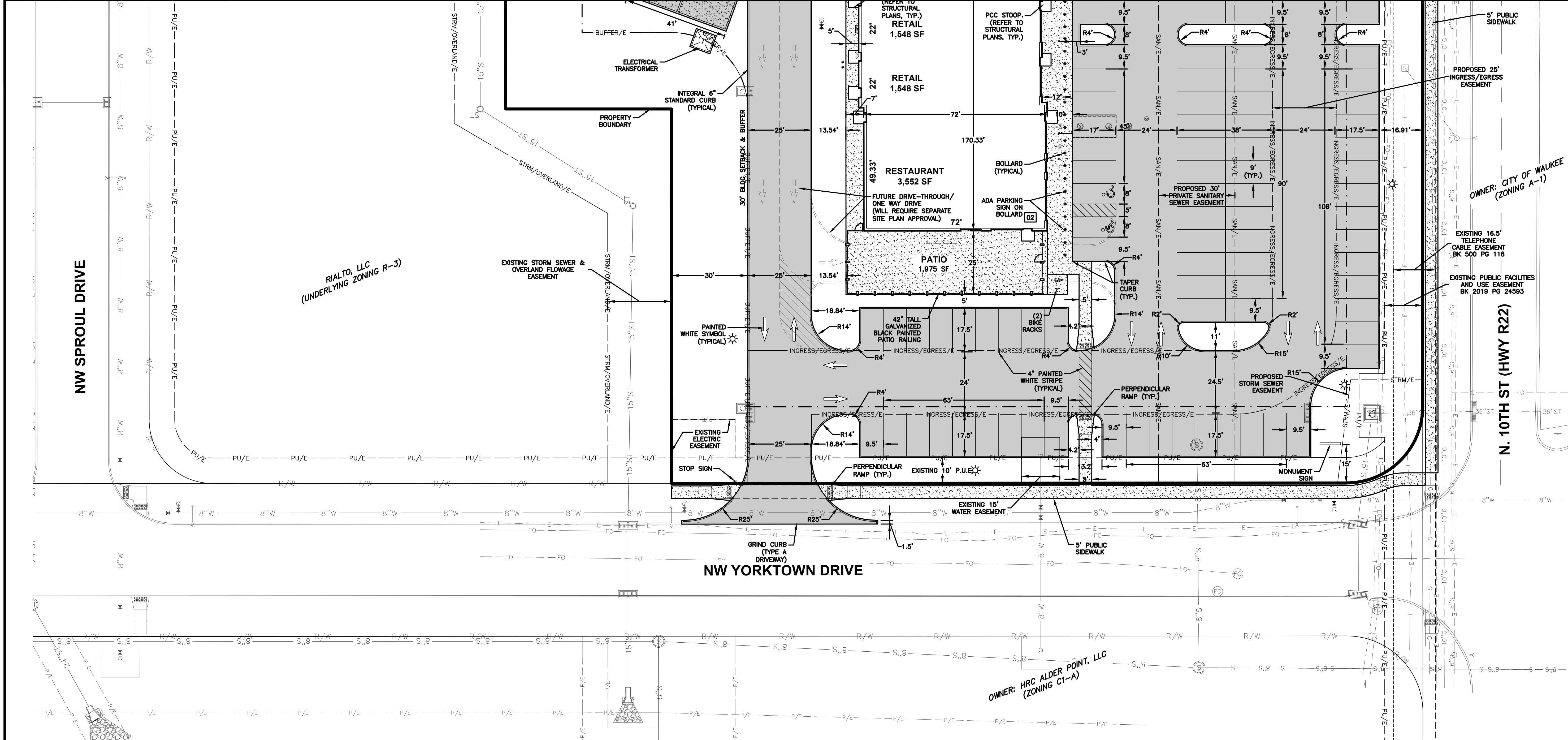
CIVIL DESIGN ADVANTAGE  
 WAUKEE, IOWA

**ALDER POINT RETAIL**  
**DIMENSION PLAN**

DATE: 04/11/2025  
 SHEET NUMBER: **C2.2**  
 2304.285

ENGINEER: \_\_\_\_\_

DRAFTED: \_\_\_\_\_

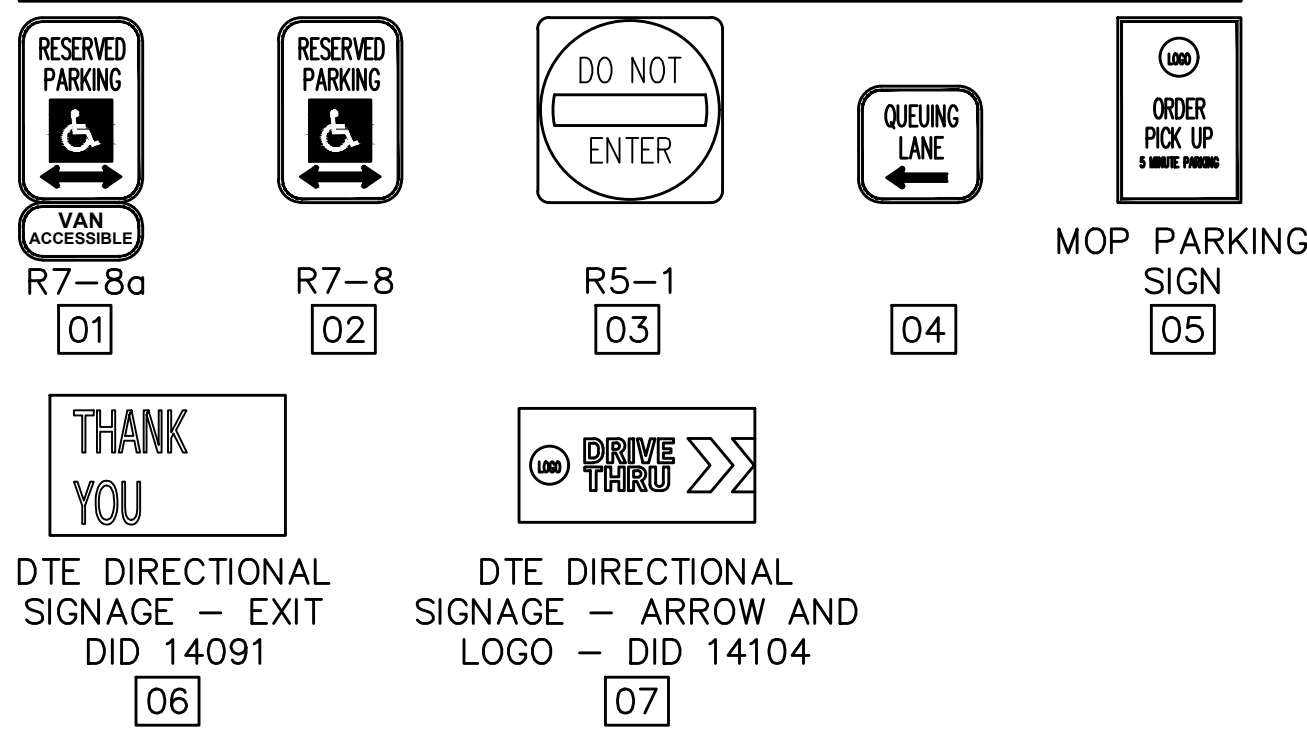


RIALTO, LLC  
(UNDERLYING ZONING R-3)

OWNER: HRC ALDER POINT, LLC  
(ZONING C1-A)

OWNER: CITY OF WAUKEE  
(ZONING A-1)

**SIGN LEGEND**

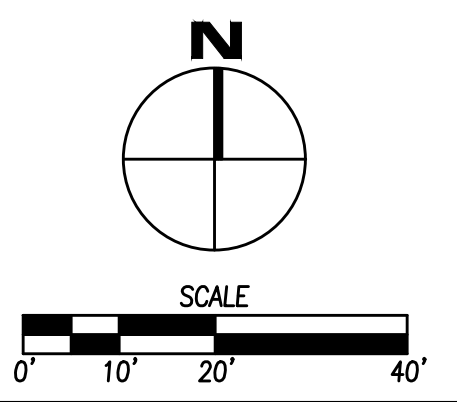


**GENERAL NOTES**

1. THE 2025 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND THE 2024 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC UTILITIES CONTRACTOR SHALL NOTIFY THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE 2024 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS AND MUD SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK. ANY PAVEMENT REPLACEMENT SHALL COMPLY WITH THE 2024 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACT BID.
18. ALL STAKING, INCLUDING PEDESTRIAN FACILITIES, IS TO BE DONE UNDER THE DIRECTION OF A LICENSED ENGINEER OR SURVEYOR.
19. IT IS THE CONTRACTORS RESPONSIBILITY TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT AT LEAST ONE WEEK PRIOR TO CONSTRUCTION ACTIVITIES COMMENCING.
20. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE CITY OF WAUKEE ENGINEERING DEPARTMENT 72 HOURS PRIOR TO ANY PLANNED WEEKEND OR HOLIDAY WORK.
21. CONTRACTOR IS RESPONSIBLE TO OBTAIN WRITTEN APPROVAL FOR ANY PLAN CHANGES DURING CONSTRUCTION FROM THE COMMUNITY DEVELOPMENT DEPARTMENT. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR ANY CHANGES THAT HAVE NOT RECEIVED WRITTEN APPROVAL FROM THE COMMUNITY DEVELOPMENT DEPARTMENT.
22. IF ADDITIONAL PAVEMENT REMOVAL IS REQUIRED OTHER THAN A STANDARD BOX OUT, FULL PANEL REMOVAL WILL BE REQUIRED. NO HALF PANEL REMOVAL WILL BE ALLOWED.
23. COORDINATE STAGING AND TRAFFIC CONTROL WITH WAUKEE PUBLIC WORKS.
24. LANE CLOSURE NOTICES MUST BE SUBMITTED TO WAUKEE PUBLIC WORKS FOR APPROVAL A MINIMUM OF 48 HOURS IN ADVANCE OF CLOSURE.
25. ALL CONNECTIONS TO PUBLIC SEWERS SHALL BE CORE DRILLED.
26. ALL SIGNAGE IS REVIEWED AND APPROVED UNDER A SEPARATE PROCESS.
27. THE PATIO SHALL BE A MINIMUM OF 350 SF AT A MAXIMUM SLOPE OF 2 PERCENT IN ANY DIRECTION. THE PATIO AREA SHALL BE ADA COMPLIANT. CONCRETE FINISH IN THE PATIO AREA SHALL BE FLOAT TROWELED WITH TRANSVERSE BRUSH AND STEEL FINISH. PROVIDE 2-INCH WIDE SMOOTH TROWELED DETAIL AT CONTROL JOINT. MOISTURE CURE CONCRETE FOR A MINIMUM OF 7 DAYS AND APPLY 2 COATS PENETRATING SEALER TO FINISH.
28. ANY FUTURE DRIVE-THROUGH WILL REQUIRE SEPARATE SITE PLAN APPROVAL.

**PAVEMENT THICKNESS**

1. SIDEWALKS	4" P.C.C. (C-4 MIX)
2. SIDEWALK RAMPS AND TURNING SPACES	6" P.C.C. (C-4 MIX)
3. STANDARD DUTY	6" P.C.C. (C-4 MIX)
4. HEAVY DUTY (DUMPSTER ENCLOSURES)	8" P.C.C. (C-4 MIX)
5. REINFORCED (DRIVE THROUGH)	6" P.C.C. (C-4 MIX) REINFORCED



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DATE

REVISIONS

4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
PHONE: (515) 369-4400

OWNER: HRC ALDER POINT, LLC  
(ZONING C1-A)

OWNER: CITY OF WAUKEE  
(ZONING A-1)

4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
PHONE: (515) 369-4400

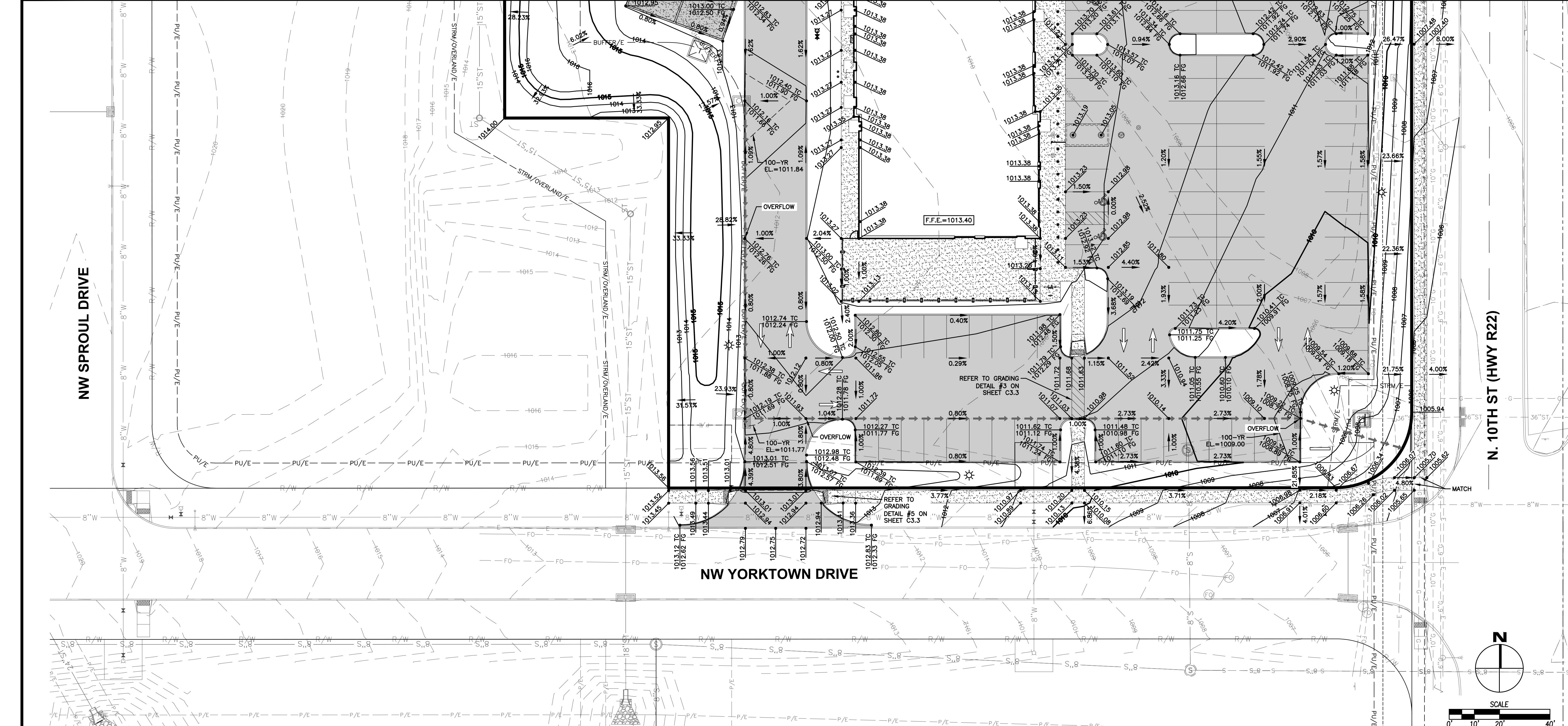
ENGINEER: CIVIL DESIGN ADVANTAGE

DRAFTED:

DATE: 04/11/2025

SHEET NUMBER: C2.3  
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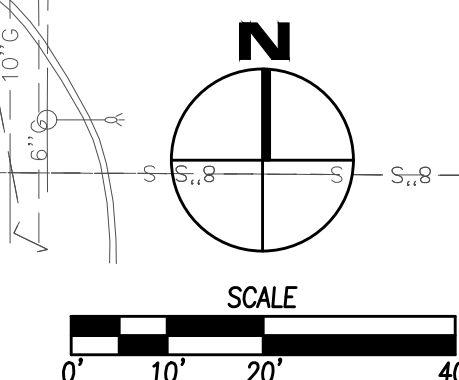
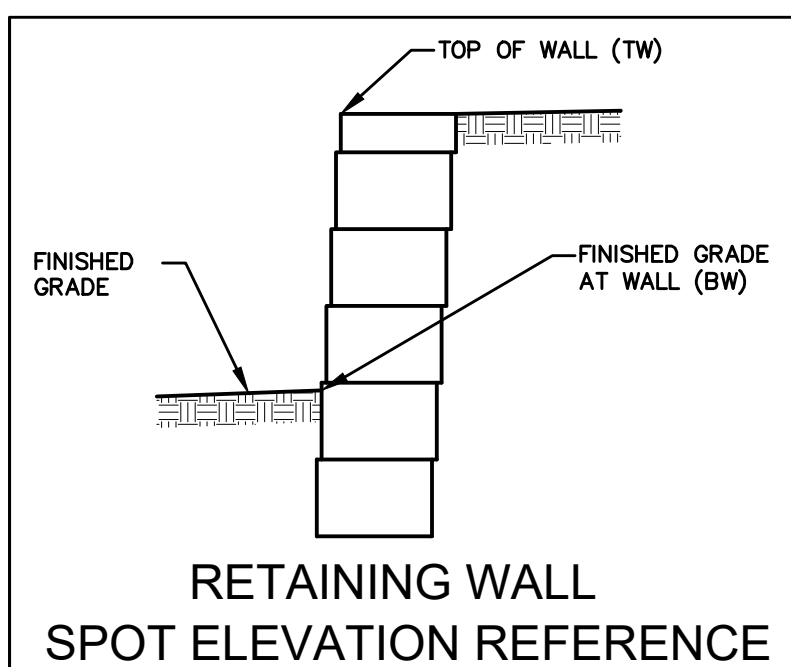


**REFERENCE NOTES**

- TC - TOP OF CURB
- FG - FORM GRADE
- TW - TOP OF WALL
- BW - BOTTOM OF WALL (FINISHED GRADE)

**GRADING NOTES**

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION. A COSESCO PERMIT NEEDS TO BE ISSUED BY THE STORMWATER DEPARTMENT.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 8" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2023 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND THE 2024 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
13. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORIFICE PLATE (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS PRACTICAL.



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REVISIONS

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
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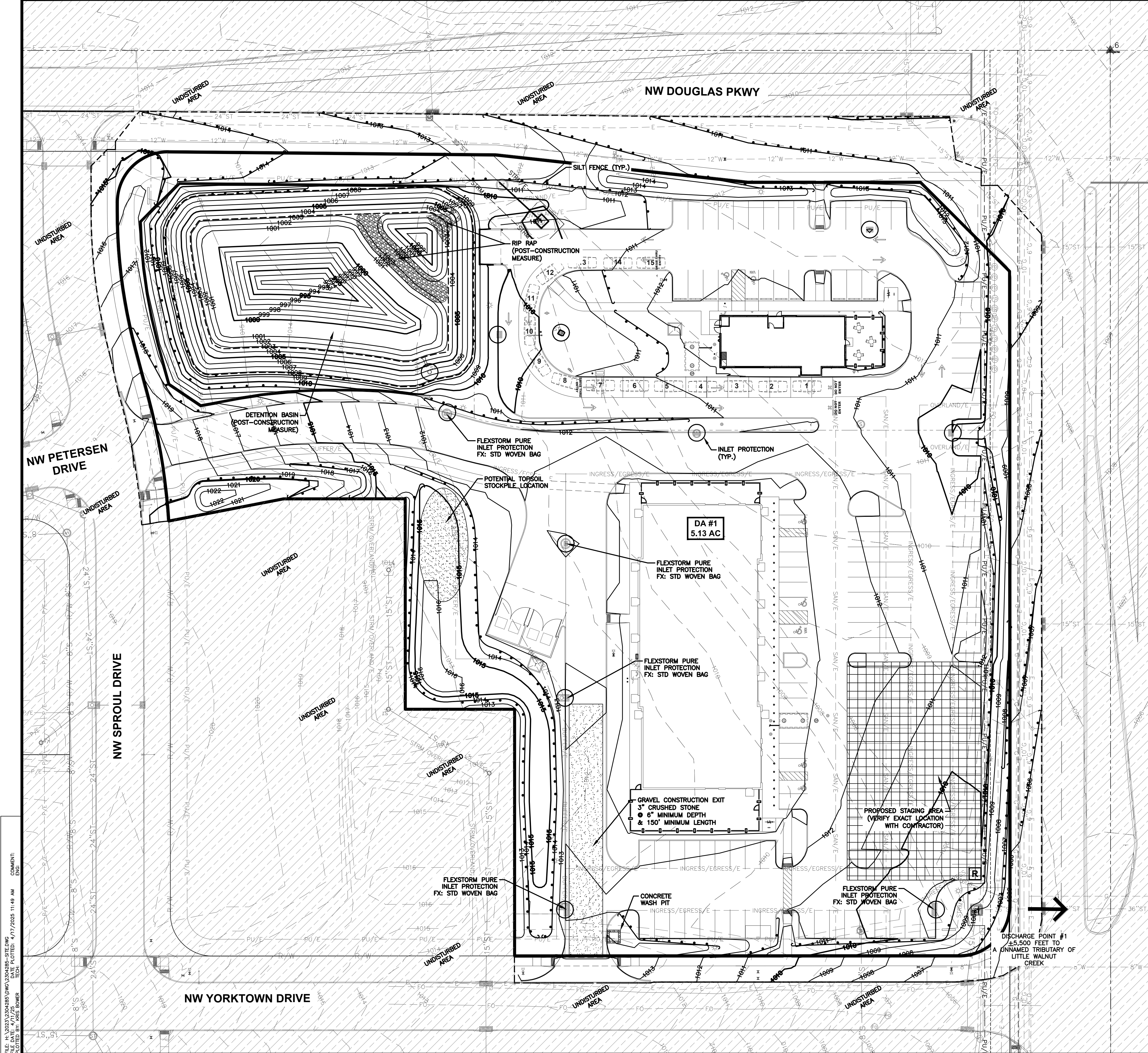
**ALDER POINT RETAIL  
 GRADING PLAN**

DATE: 04/11/2025  
 SHEET NUMBER: **C3.2**  
 2304.285

ENGINEER: DRAFTED:

WAUKEE, IOWA





### DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 TO AN UNNAMED TRIBUTARY OF LITTLE WALNUT CREEK ±5,500 FT	
TOTAL AREA DISTURBED TO DISCHARGE POINT	5.13 ACRES
STORAGE VOLUME REQUIRED (5.13 ACRES*3600 CU FT)	18,468 CU FT
VOLUME PROVIDED IN SILT FENCE (4,230 LF @ 4.5 CU FT/LF OF FENCE)	19,035 CU FT
TOTAL VOLUME PROVIDED	19,035 CU FT

### STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	4,230
2	TYPE 4 SEED	AC	5.13
3	INLET PROTECTION DEVICES	EA	11
4	CONCRETE WASHOUT PIT	EA	1

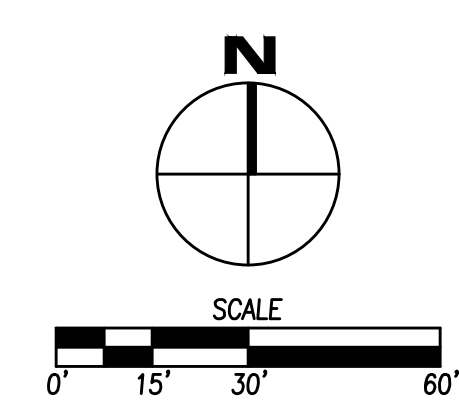
### SWPPP LEGEND

DRAINAGE ARROW	
GRADING LIMITS	
FILTER SOCK	
SILT FENCE	
DITCH CHECK	
INLET PROTECTION	
PORTABLE RESTROOM	
TEMPORARY STANDPIPE	
CONCRETE WASHOUT PIT	
AREA TO BE SEEDED	
STRAW MAT	
UNDISTURBED AREA	
RIP-RAP	
GRAVEL ENTRANCE	
STAGING AREA	
TEMPORARY SEDIMENT TRAP	
TEMPORARY SEDIMENT BASIN	

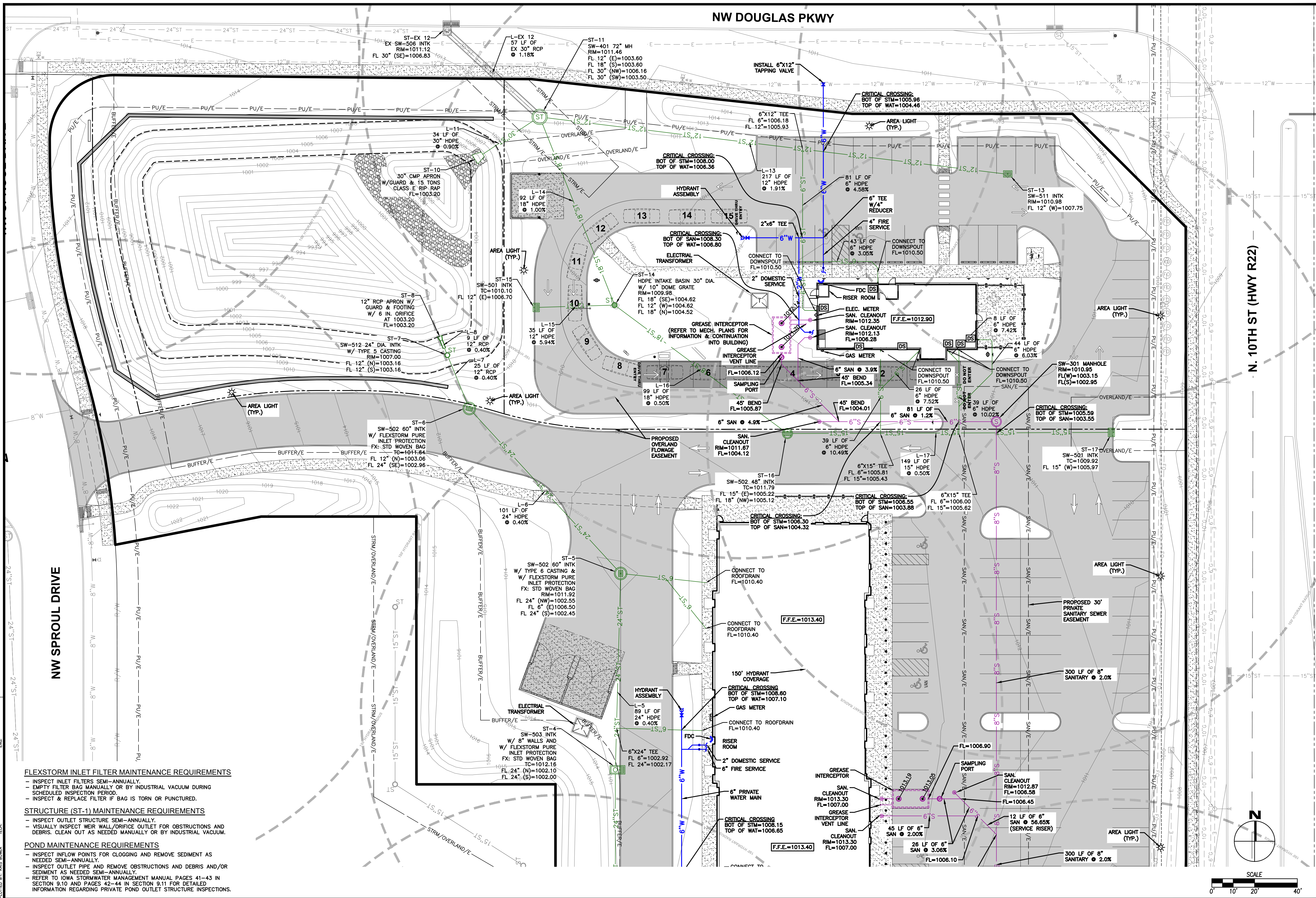
### NOTES:

- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED WITH TYPE 4 (URBAN TEMPORARY EROSION CONTROL MIXTURE) SEEDING OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.
- DEBRIS SPILLED ONTO THE STREET SHALL BE CLEANED UP BY THE END OF THE WORK DAY OR PRIOR TO A RAIN EVENT.
- GENERAL PERMIT #2 AND COSESCO PERMIT REQUIRED. COSESCO PERMIT TO BE ISSUED PRIOR TO CONSTRUCTION.

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 PLOTTED BY: ANNE BOWEN



DATE		REVISIONS		ENGINEER:		DRAFTED:	
<b>ALDER POINT RETAIL</b> <b>EROSION &amp; SEDIMENT</b> <b>CONTROL PLAN</b>							
CIVIL DESIGN ADVANTAGE							
WAUKEE, IOWA							
4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400							
DATE: 04/11/2025 SHEET NUMBER: <b>C4.1</b> 2304.285							



**FLEXSTORM INLET FILTER MAINTENANCE REQUIREMENTS**

- INSPECT INLET FILTERS SEMI-ANNUALLY.
- EMPTY FILTER BAG MANUALLY OR BY INDUSTRIAL VACUUM DURING SCHEDULED INSPECTION PERIOD.
- INSPECT & REPLACE FILTER IF BAG IS TORN OR PUNCTURED.

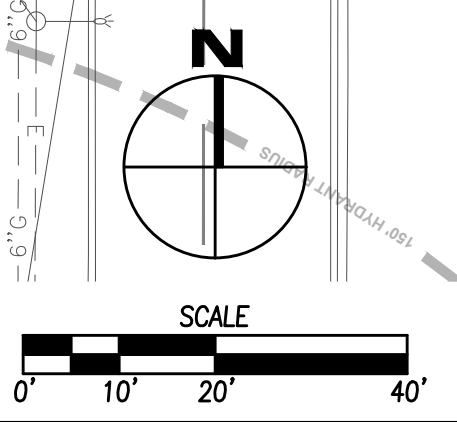
**STRUCTURE (ST-1) MAINTENANCE REQUIREMENTS**

- INSPECT OUTLET STRUCTURE SEMI-ANNUALLY.
- VISUALLY INSPECT WEIR WALL/ORIFICE OUTLET FOR OBSTRUCTIONS AND DEBRIS. CLEAN OUT AS NEEDED MANUALLY OR BY INDUSTRIAL VACUUM.

**POND MAINTENANCE REQUIREMENTS**

- INSPECT INFLOW POINTS FOR CLOGGING AND REMOVE SEDIMENT AS NEEDED SEMI-ANNUALLY.
- INSPECT OUTLET PIPE AND REMOVE OBSTRUCTIONS AND DEBRIS AND/OR SEDIMENT AS NEEDED SEMI-ANNUALLY.
- REFER TO IOWA STORMWATER MANAGEMENT MANUAL PAGES 41-43 IN SECTION 9.10 AND PAGES 42-44 IN SECTION 9.11 FOR DETAILED INFORMATION REGARDING PRIVATE POND OUTLET STRUCTURE INSPECTIONS.

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 CHECKED BY: ANNE BOWEN  
 PLOTTED BY: ANNE BOWEN



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 URBANDALE, IA 50322  
 PHONE: (515) 369-4400

CIVIL DESIGN ADVANTAGE  
 WAUKEE, IOWA

ENGINEER: \_\_\_\_\_

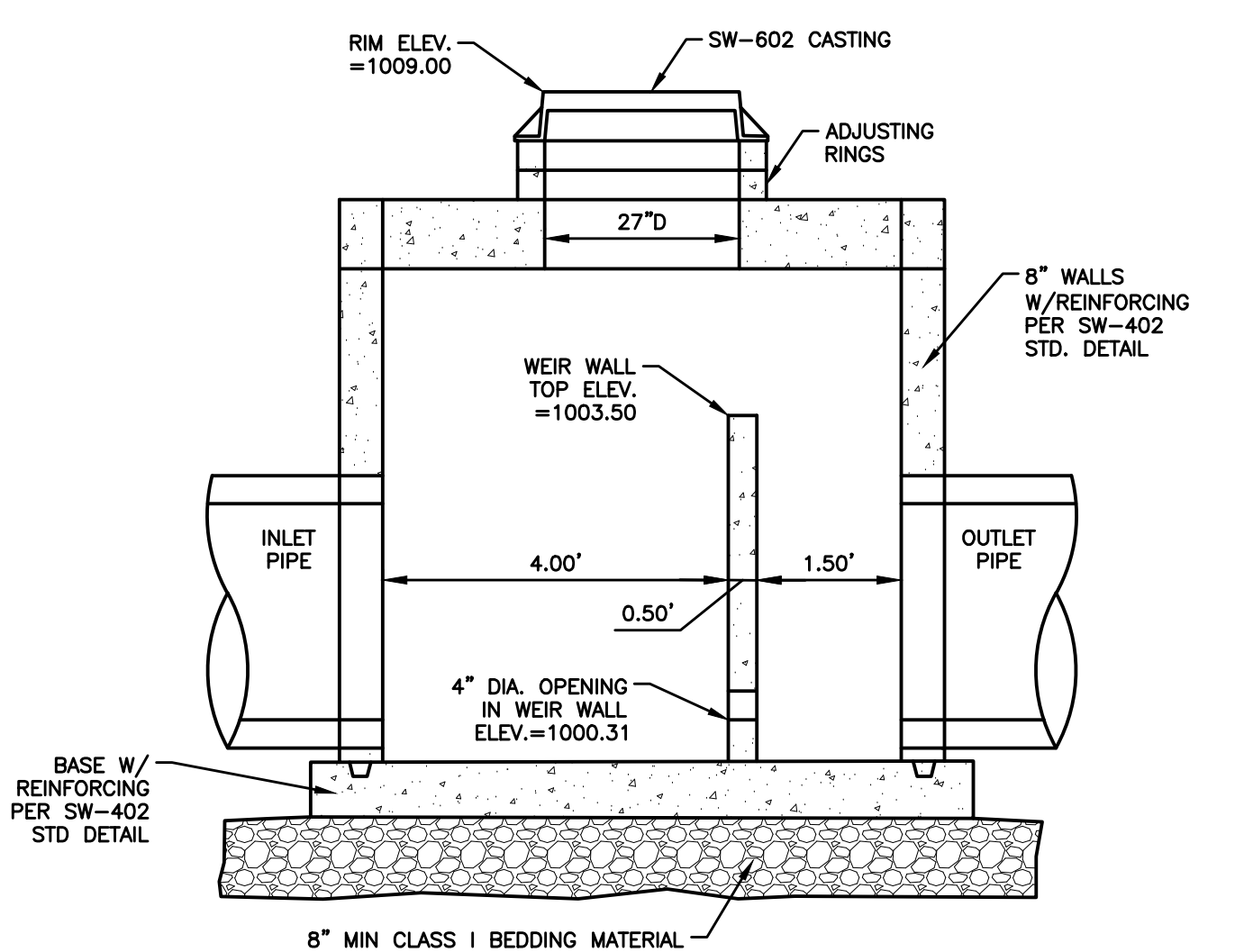
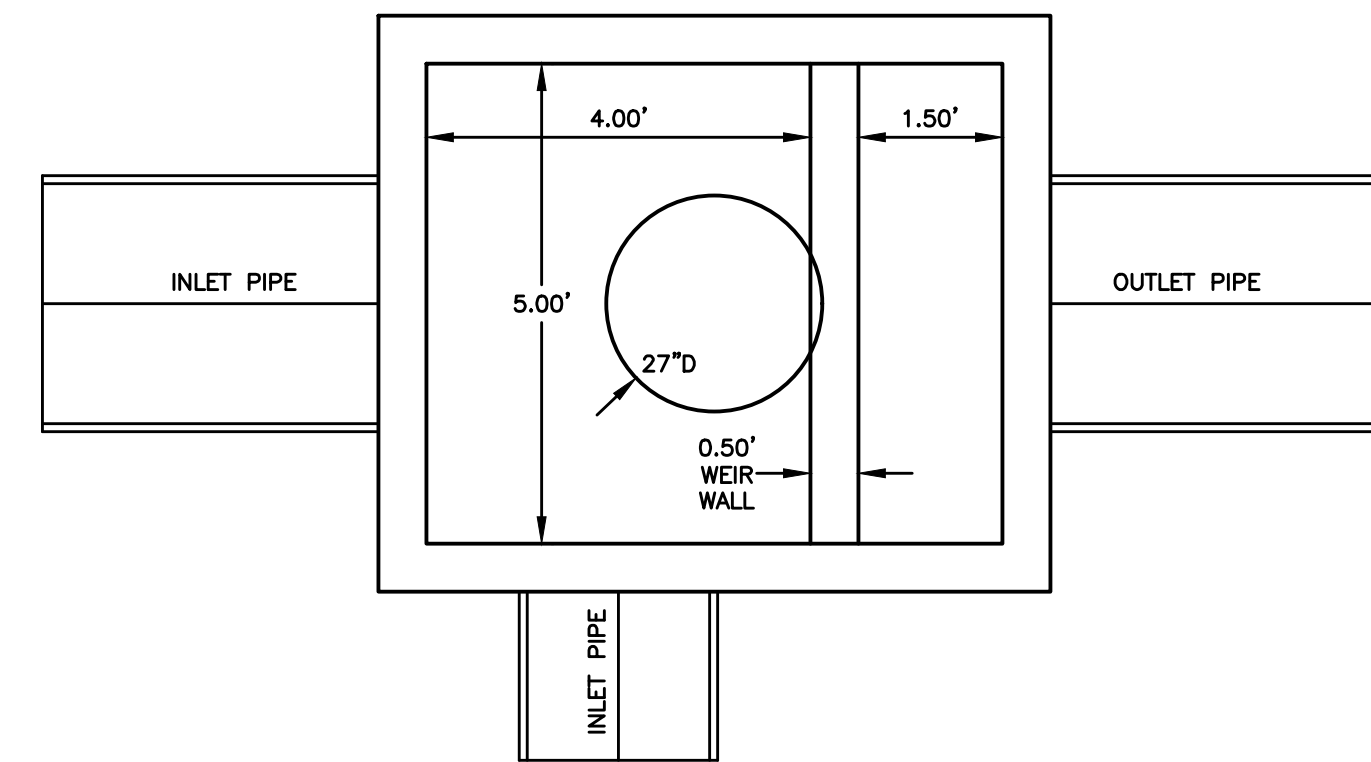
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**ALDER POINT RETAIL**  
**UTILITY PLAN**

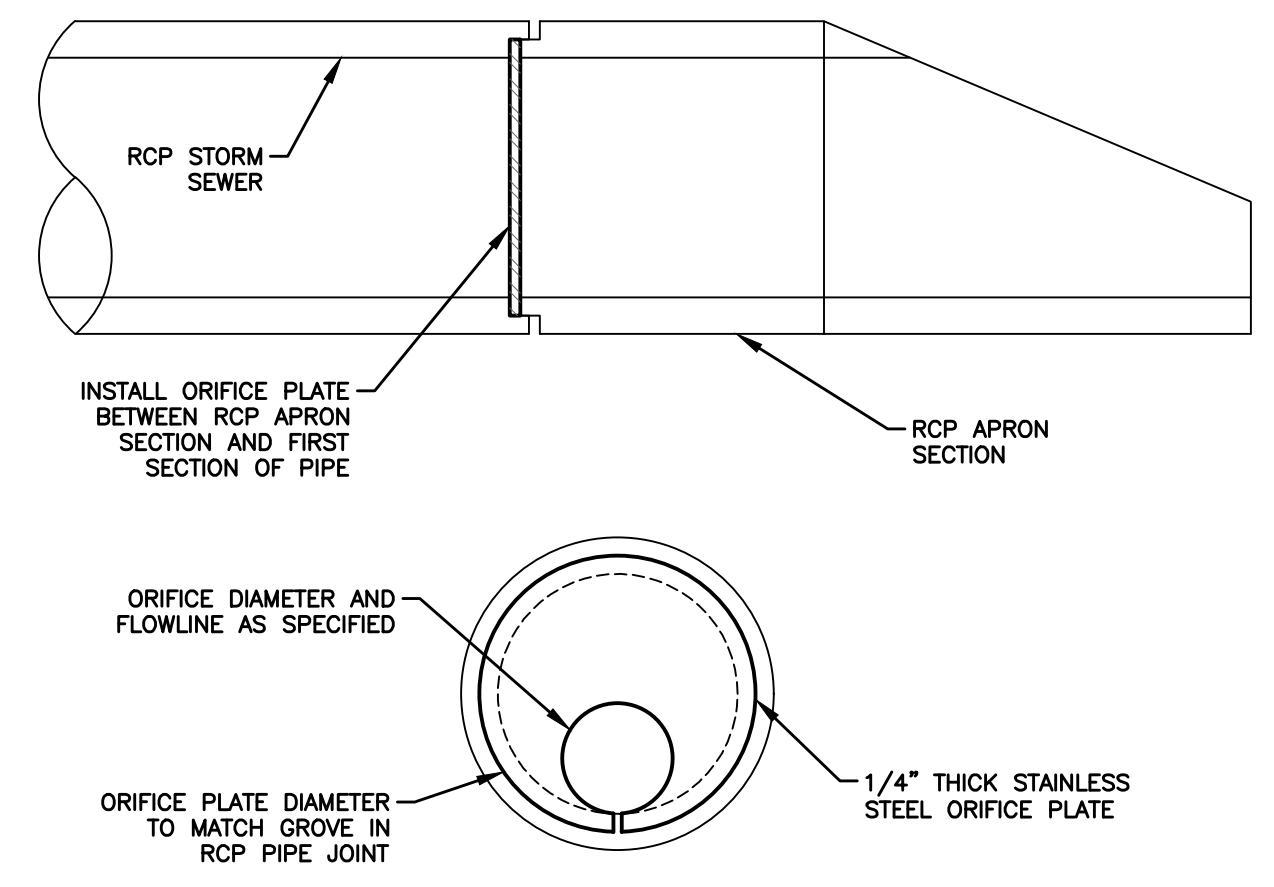
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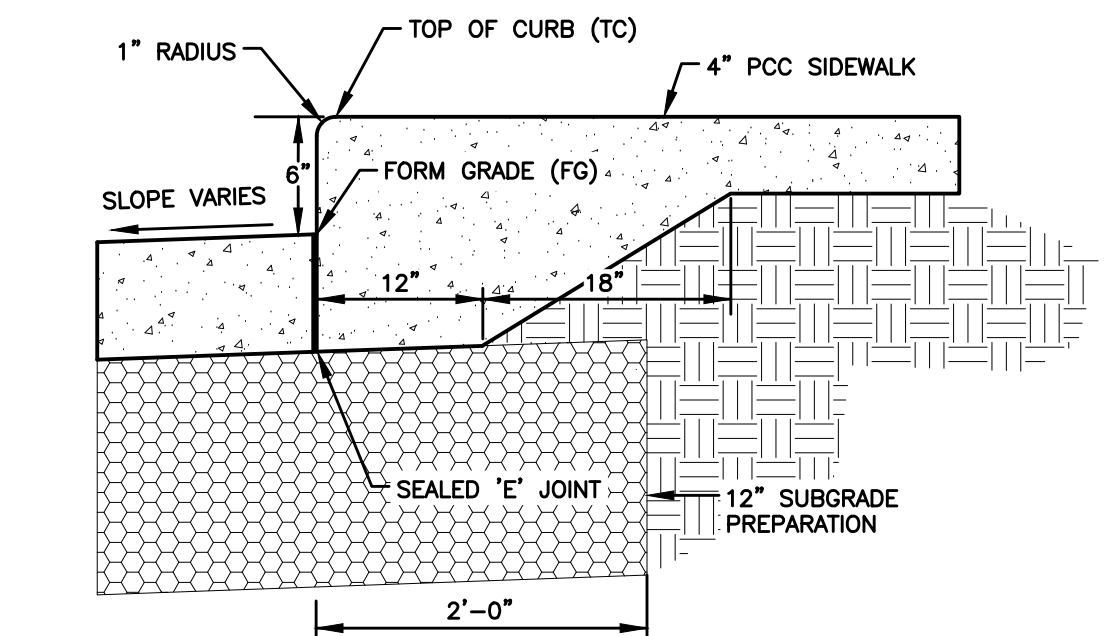
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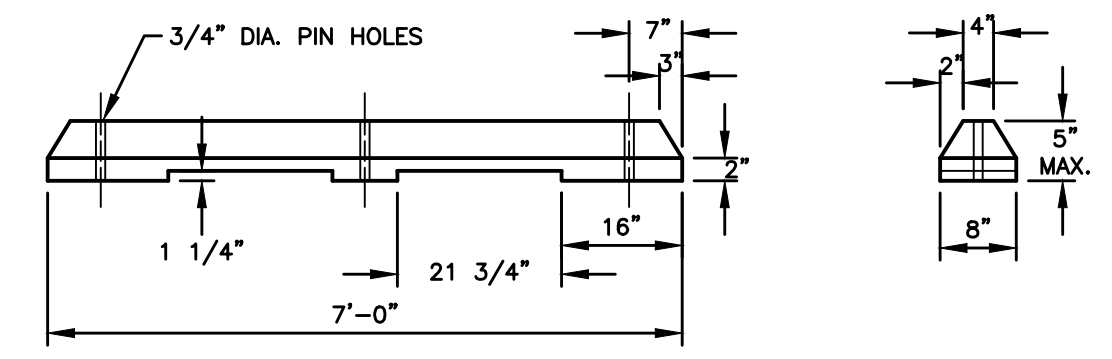
11 ST-1 STRUCTURE W/ WEIR WALL DETAIL  
 NOT TO SCALE



10 ST-8 WITH ORIFICE PLATE  
 NOT TO SCALE



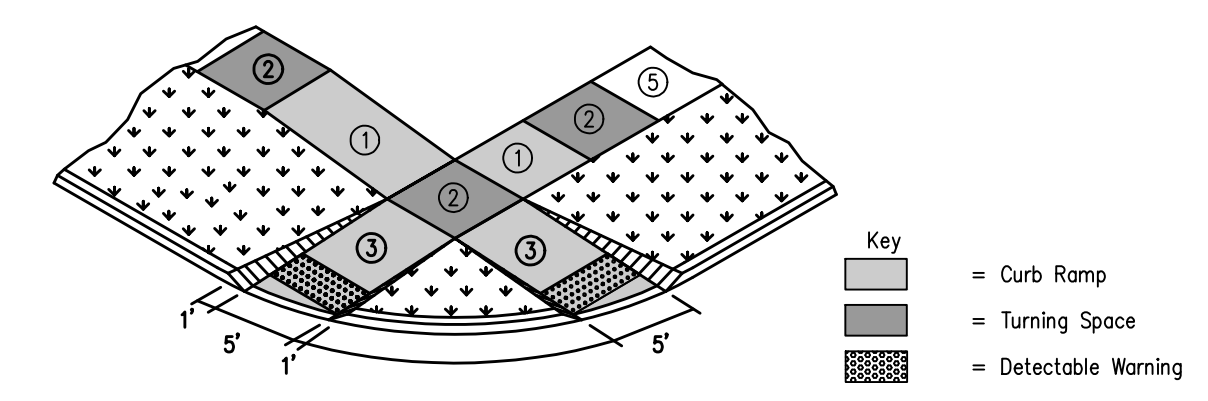
9 CLASS 'A' INTEGRAL CURB AND SIDEWALK  
 NOT TO SCALE



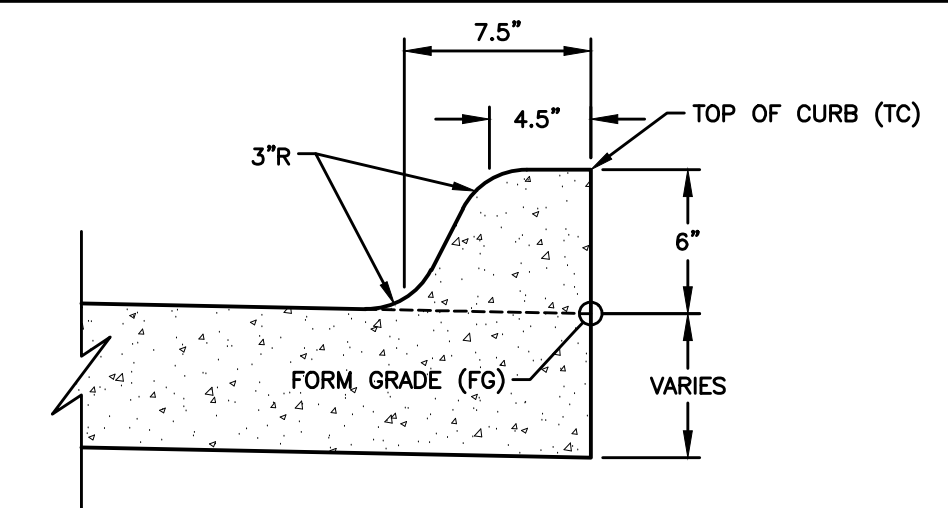
- GENERAL NOTES:
1. DETAILS INDICATED HEREON ARE TYPICAL ONLY. ALTERNATE DESIGNS MAY BE SUBMITTED TO THE ENGINEER FOR APPROVAL. ANY ALTERNATE DESIGN APPROVED FOR USE ON CONSTRUCTION SHALL CONFORM TO THE MINIMUM REQUIREMENTS AS SHOWN. REFER TO ADDITIONAL PORTIONS OF THE PROJECT PLANS FOR COMPLETE DATA AS TO INSTALLATION, LOCATION, ETC.
  2. ANY PRECAST P.C.C. WHEELSTOP MEASURING LONGER THAN 6'-0" WILL REQUIRE 3 ANCHOR PINS TO HOLD WHEELSTOP IN POSITION.
  3. ANCHOR PINS SHALL BE 5/8" DIAMETER, 1'-6" LONG. ANCHOR PINS THAT ARE NOT BEDDED IN CONCRETE SHALL BE GALVANIZED. GROUT ANCHOR PINS MINIMUM OF 2" DEEP.
  4. REINFORCING STEEL USED IN PRECAST P.C.C. WHEELSTOPS SHALL HAVE A MINIMUM OF 2" CLEARANCE TO THE CONCRETE SURFACES.
  5. MINIMUM CONCRETE STRENGTH IS 4,000 PSI. LOCATE 6" FROM EDGE OF PAVEMENT TO CENTER OF WHEELSTOP. CENTER WHEELSTOP IN EACH SPACE.

8 P.C.C. WHEELSTOP  
 NOT TO SCALE

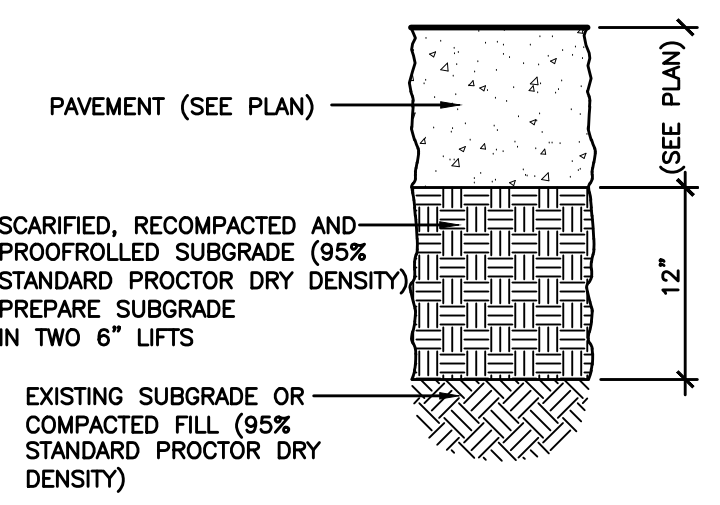
- 1 Parallel Curb Ramp: If normal sidewalk elevation cannot be achieved with the perpendicular ramp between the street and landing due to limited ramp length, provide a parallel ramp to make up the elevation difference between the landing and the standard sidewalk.  
 The length of the parallel ramp is not required to exceed 15 feet, regardless of the resulting slope. Do not exceed 8.3% slope for parallel ramps shorter than 15 feet.
- 2 Turning Space: Target slope of 1.5% with maximum slope perpendicular to the travel directions of 2.0%. Minimum 5 feet by 5 feet.
- 3 Perpendicular Curb Ramp: Target running slope of 6.25% with maximum running slope of 8.3%.
- 4 Target cross slope of 1.5% with a maximum cross slope of 2.0%
- 5 Match pedestrian street crossing cross slope or flatter



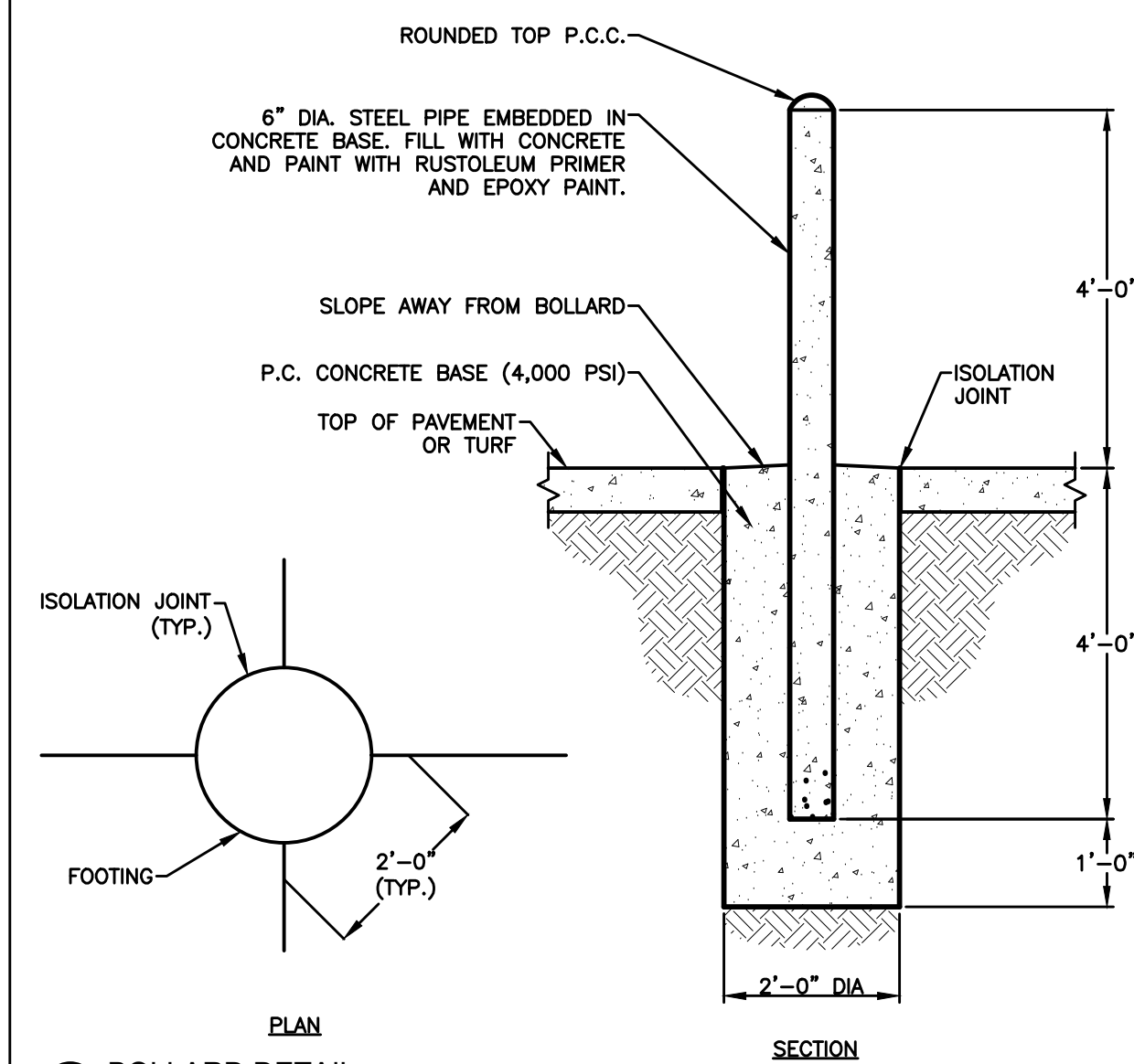
7 CURB RAMP FOR CLASS B OR C SIDEWALK  
 NOT TO SCALE



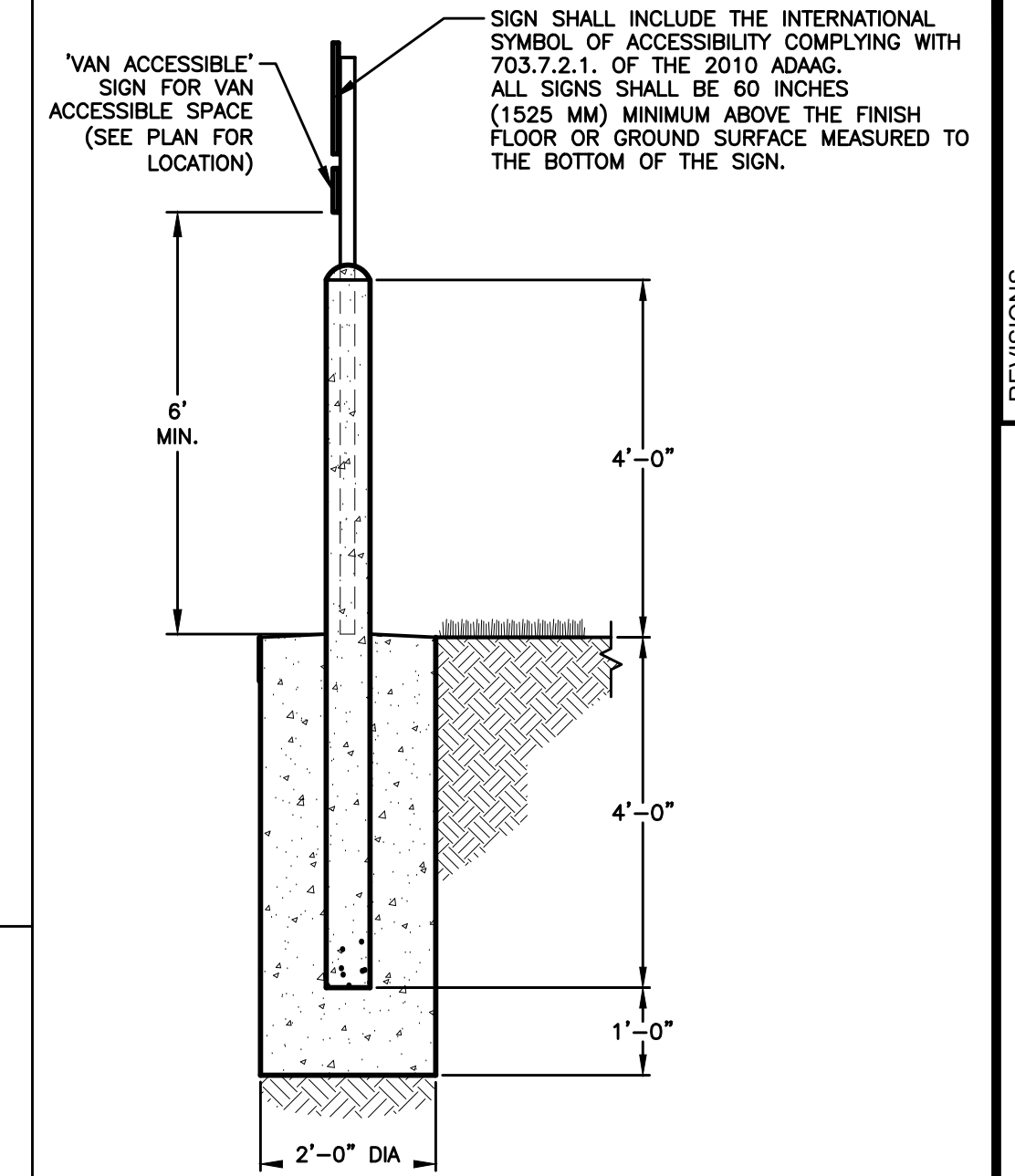
6 INTEGRAL 6" STANDARD CURB  
 NOT TO SCALE



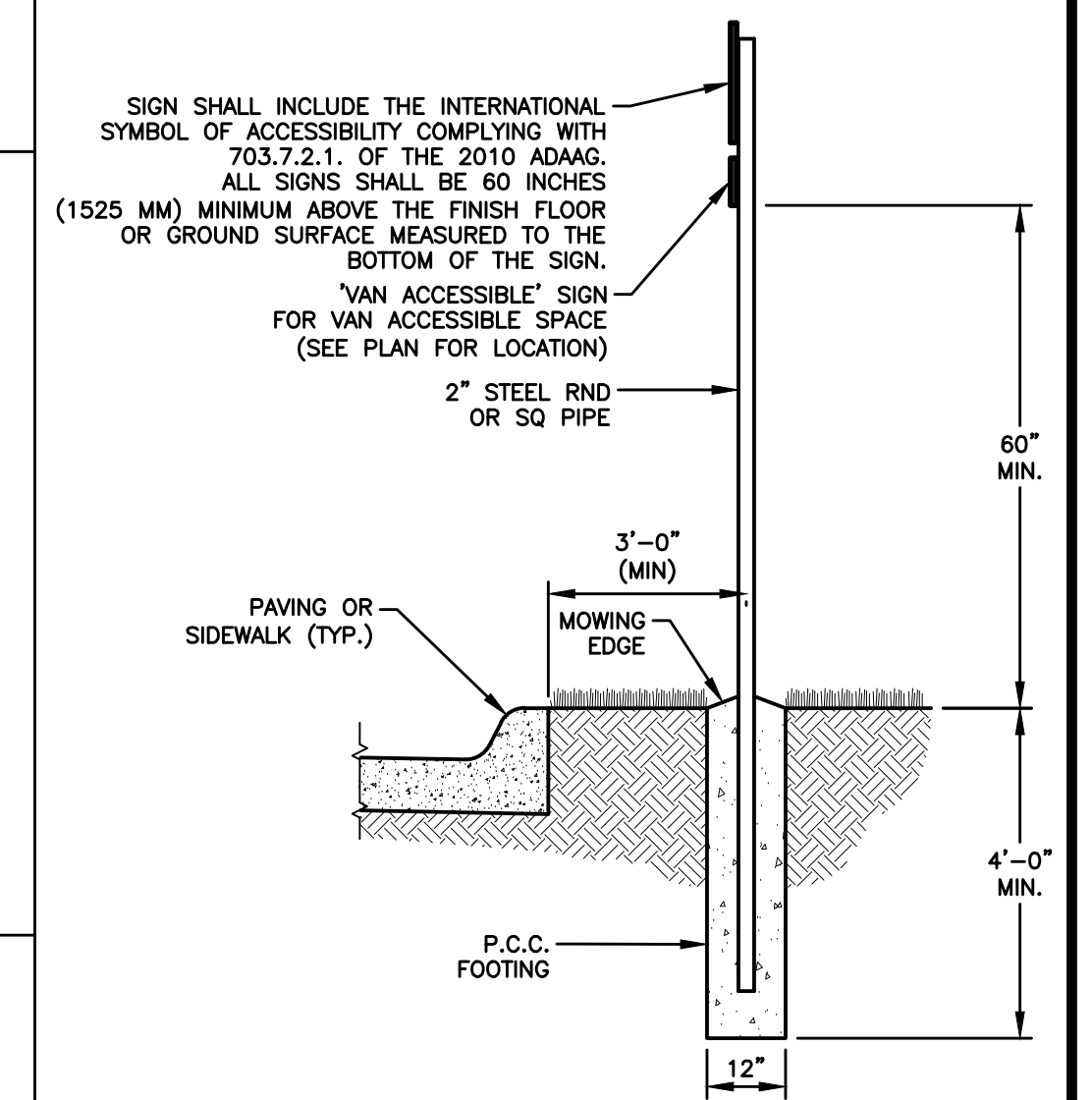
5 12" SUBGRADE PREPARATION  
 NOT TO SCALE



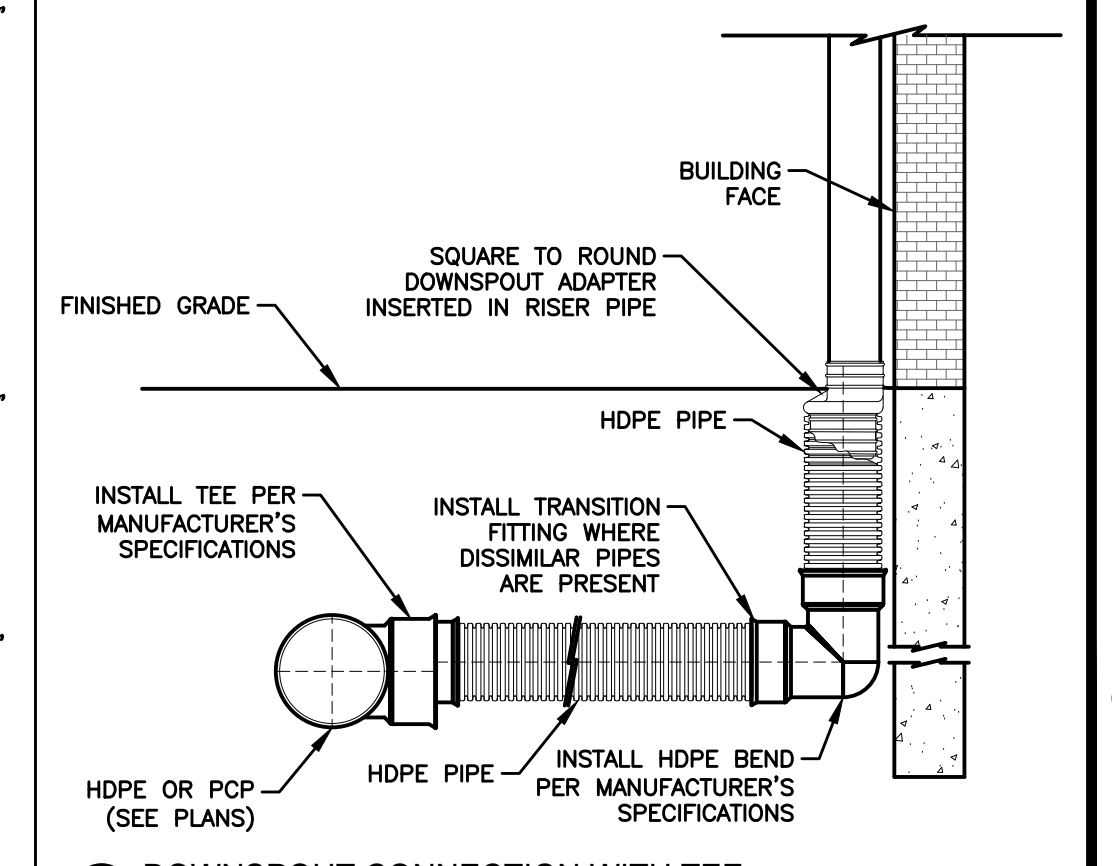
4 BOLLARD DETAIL  
 NOT TO SCALE



3 SIGN ON BOLLARD  
 NOT TO SCALE

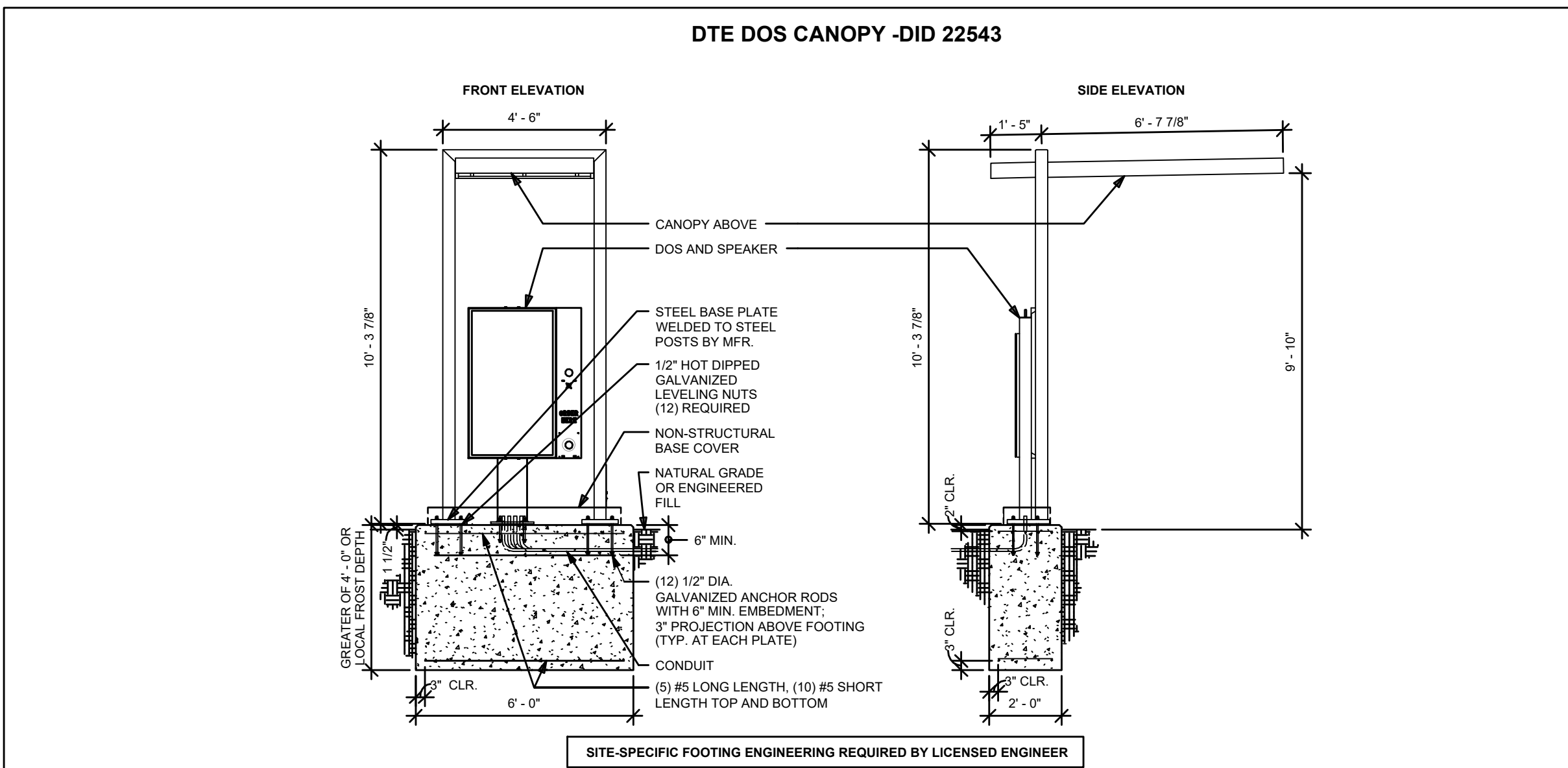


2 SIGN ON POST  
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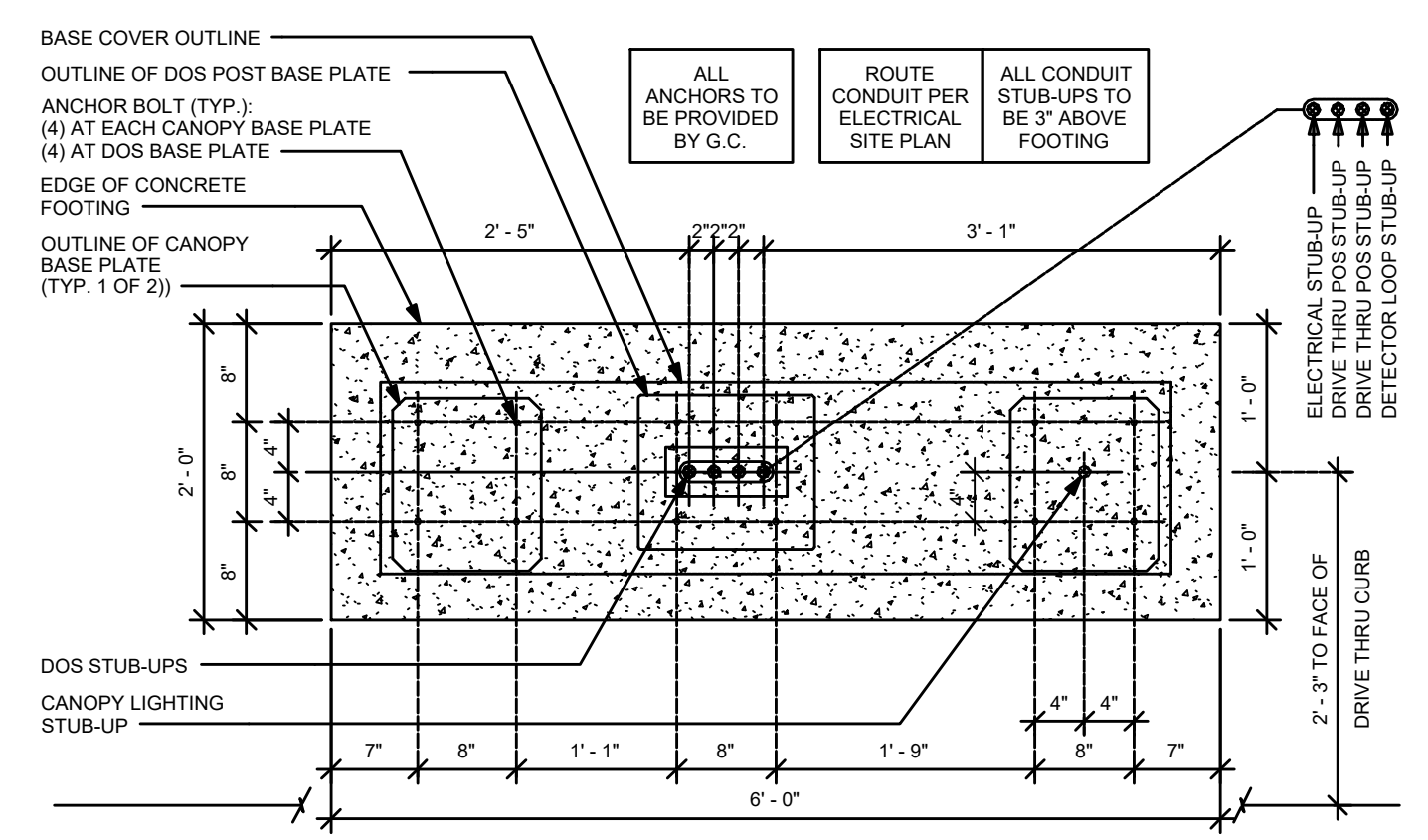


1 DOWNSPOUT CONNECTION WITH TEE  
 NOT TO SCALE

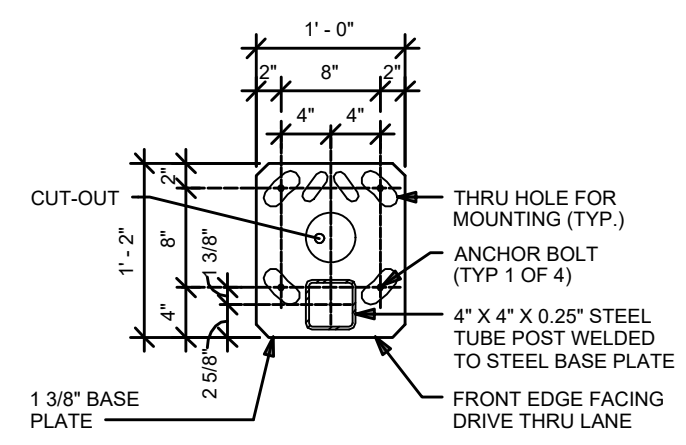
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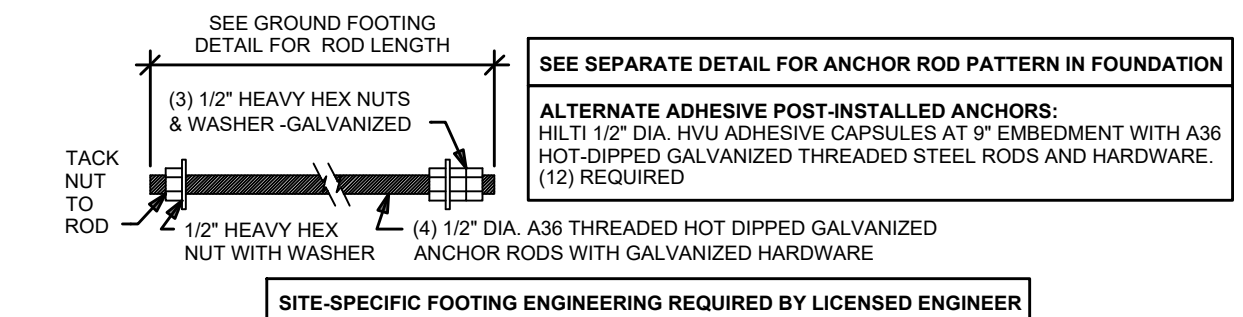
DTE DOS CANOPY GROUND FOOTING



DTE DOS CANOPY BOLT PATTERN (TOP VIEW)

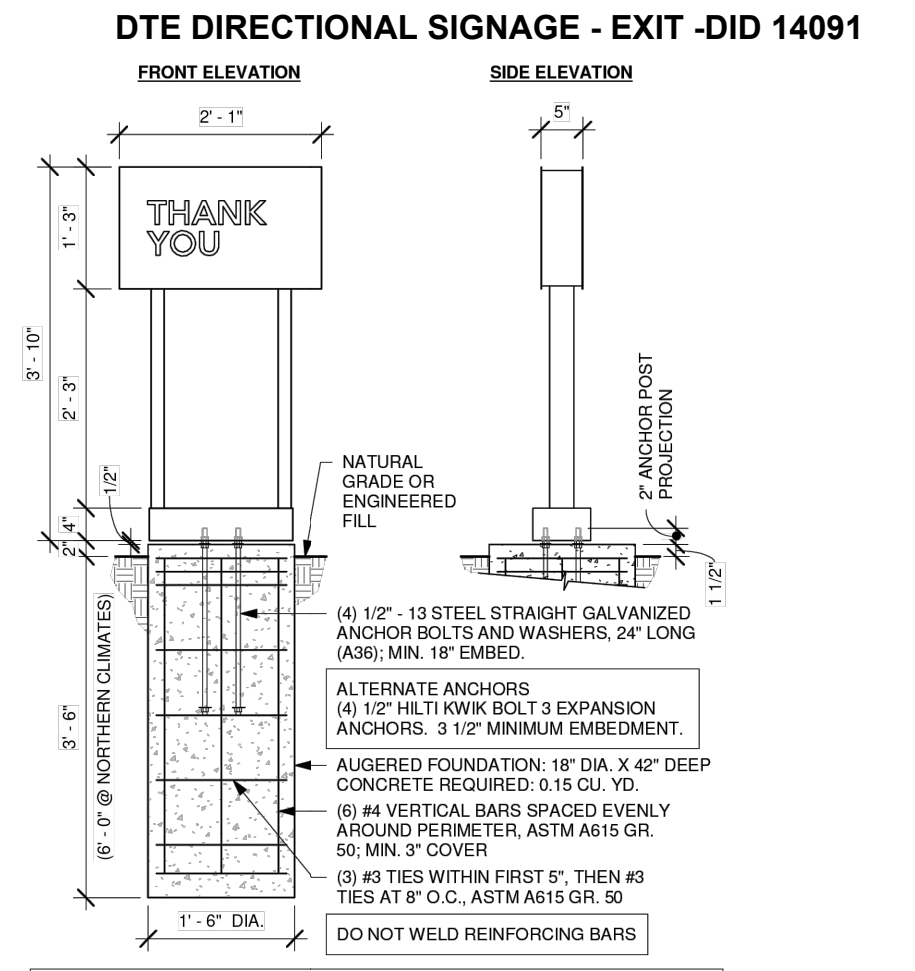


DTE DOS CANOPY BASE PLATE

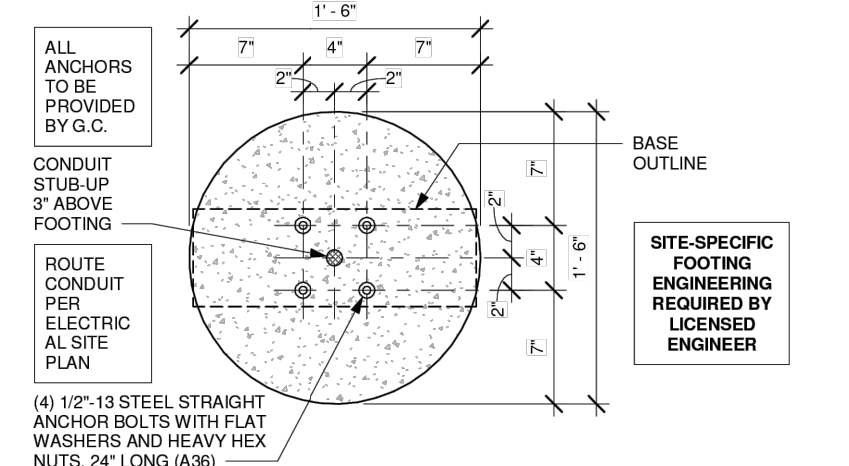


DTE DOS CANOPY ANCHOR ROD

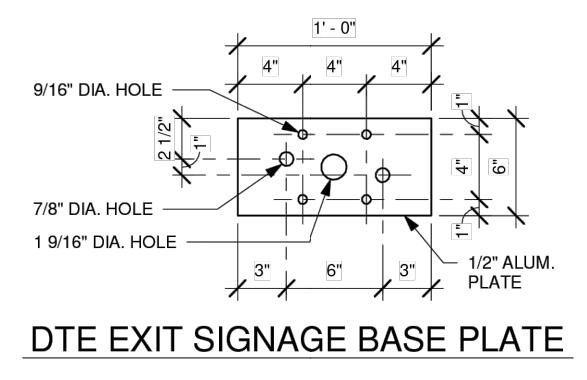
3 STARBUCKS - CANOPY FOOTING DETAILS  
 NOT TO SCALE



DTE EXIT SIGNAGE GROUND FOOTING

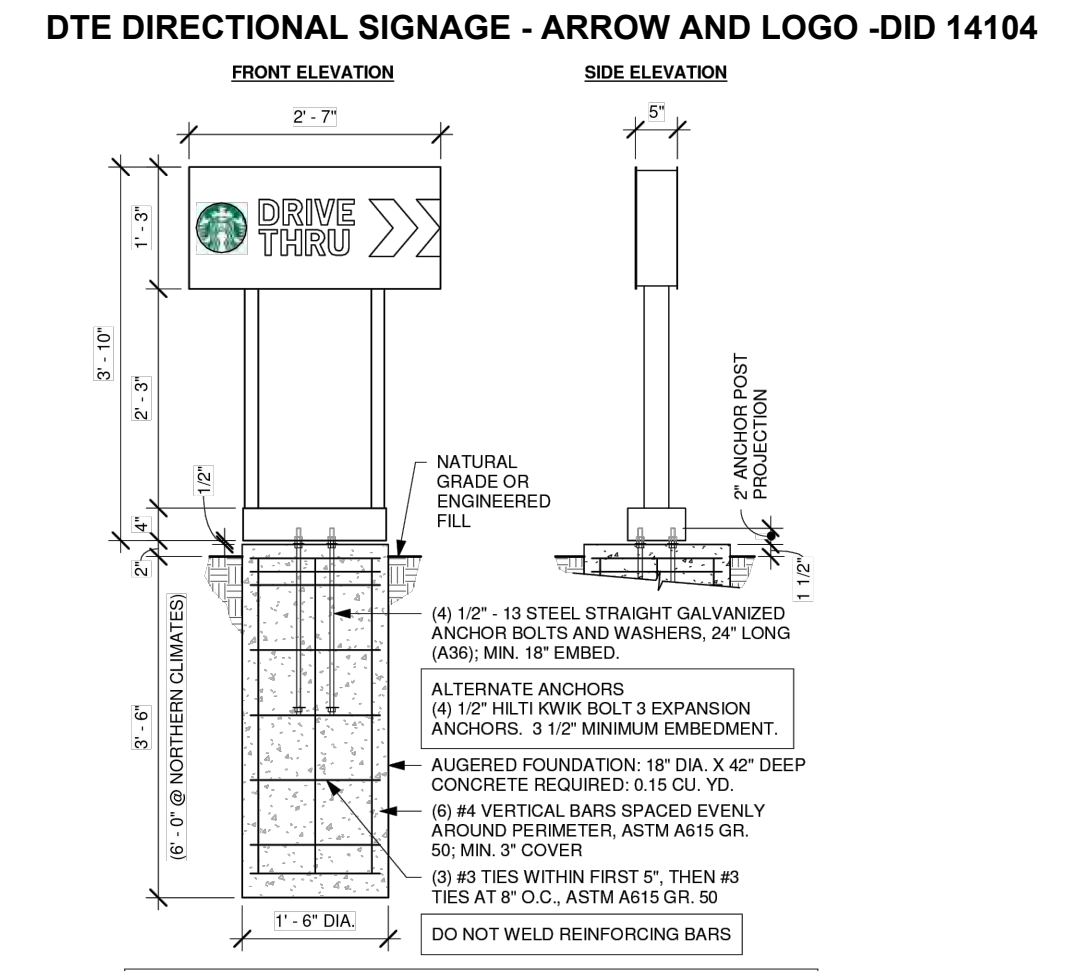


DTE EXIT SIGNAGE BOLT PATTERN (TOP VIEW)

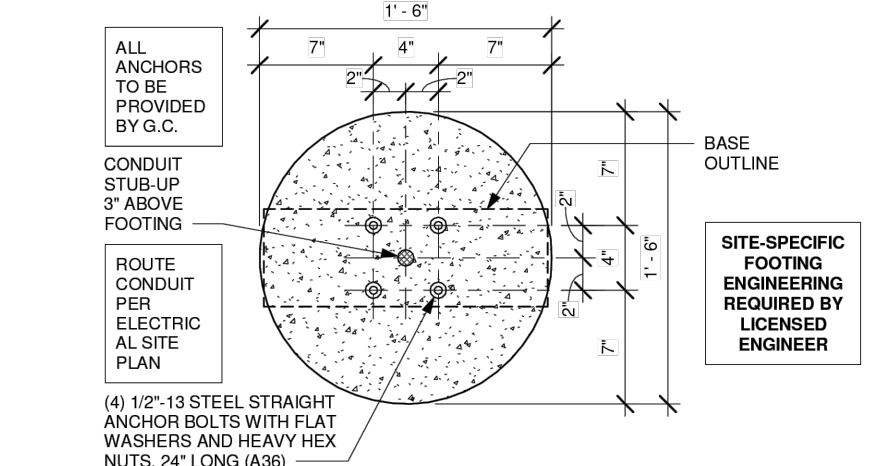


DTE EXIT SIGNAGE BASE PLATE

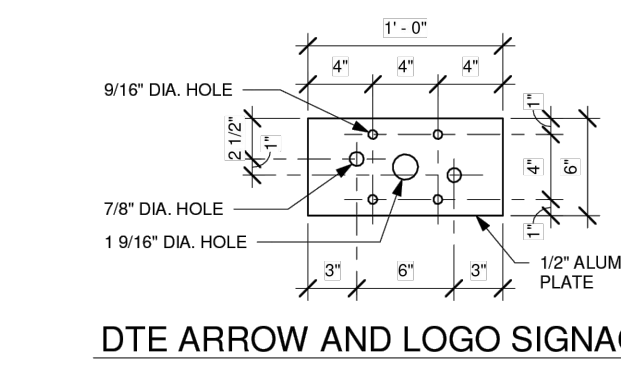
2 STARBUCKS - EXIT SIGN FOOTING DETAILS  
 NOT TO SCALE



DTE ARROW AND LOGO SIGNAGE GROUND FOOTING



DTE ARROW AND LOGO SIGNAGE BOLT PATTERN (TOP VIEW)

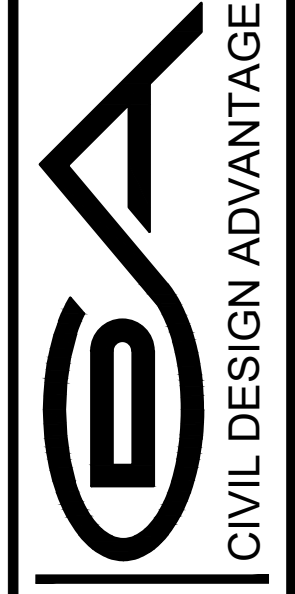


DTE ARROW AND LOGO SIGNAGE BASE PLATE

1 STARBUCKS - ARROW SIGN FOOTING DETAILS  
 NOT TO SCALE

DATE	REVISIONS

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 URBANDALE, IA 50322  
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ALDER POINT RETAIL  
 DETAILS

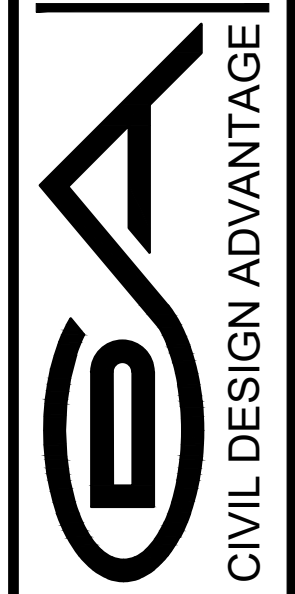
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 SHEET NUMBER: C6.2  
 2304.285

ENGINEER: DRAFTED:

WAUKEE, IOWA

DATE	
REVISIONS	

4121 NW URBANDALE DRIVE  
URBANDALE, IA 50322  
PHONE: (515) 369-4400



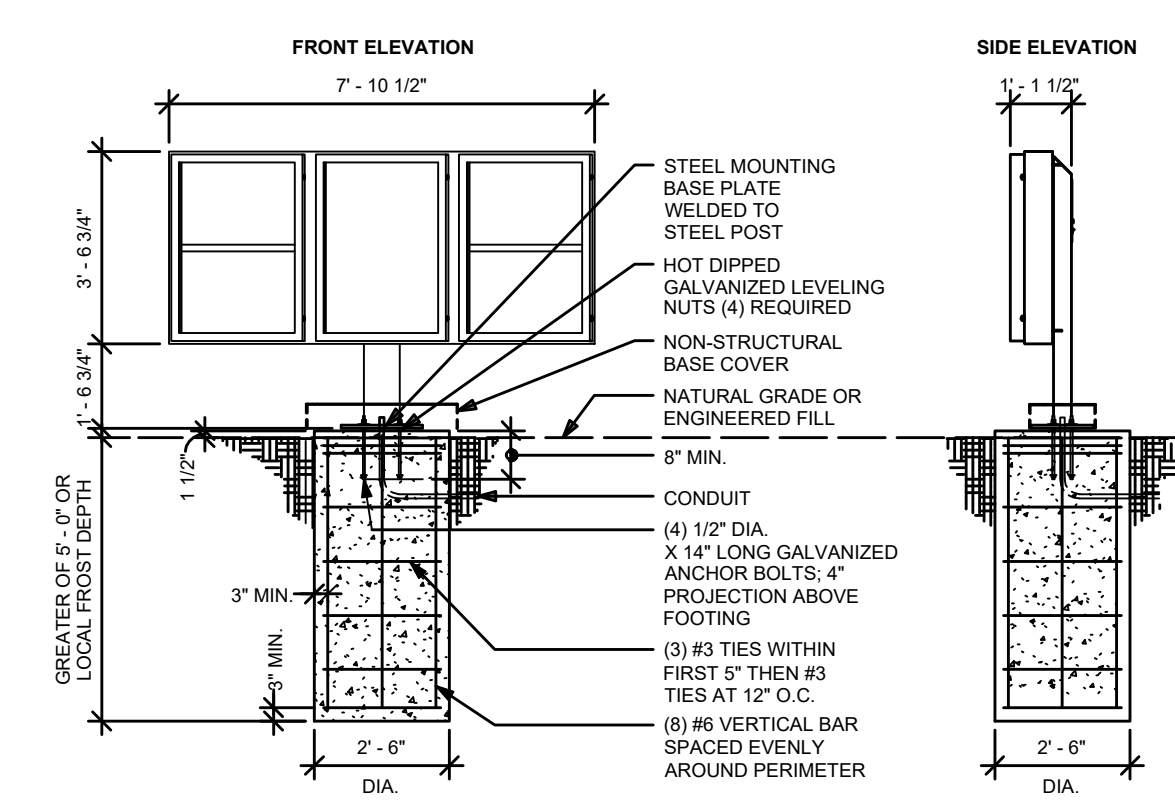
WAUKEE, IOWA  
ENGINEER:

**ALDER POINT RETAIL**  
DETAILS

DATE: 04/11/2025  
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2304.285

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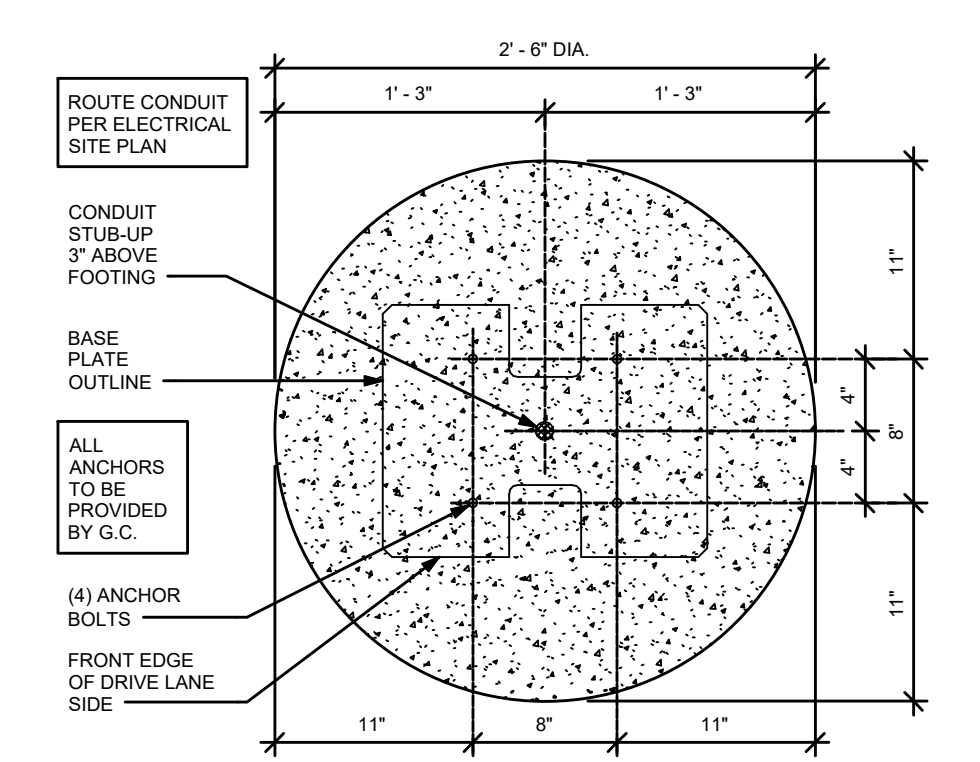
**DTE 5 PANEL MENU BOARD - DID 22540**



G.C. RESPONSIBLE FOR FOUNDATIONS AND FOOTINGS ON ALL MENU BOARD AND DRIVE THRU ELEMENTS. SIGNAGE VENDOR TO SUPPLY TEMPLATES AND INSTALL MENU BOARDS ONLY.

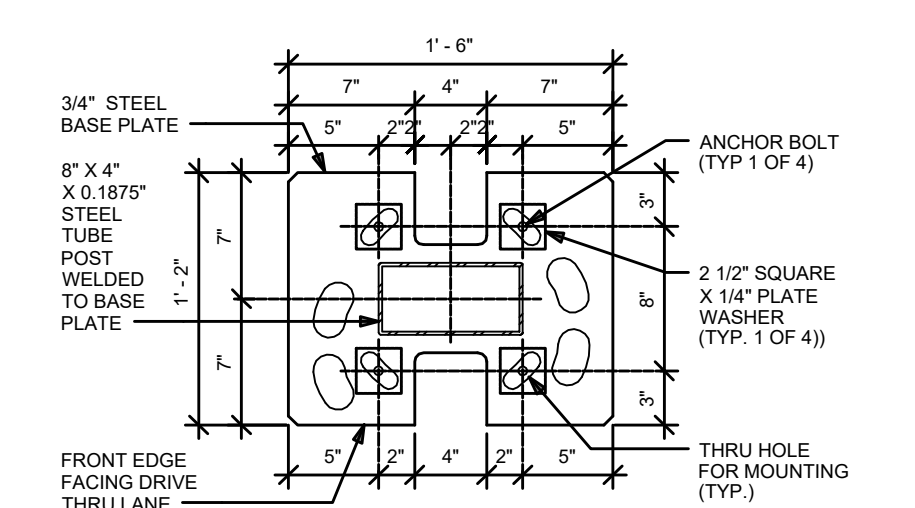
SITE-SPECIFIC FOOTING ENGINEERING REQUIRED BY LICENSED ENGINEER

**DT 5-PANEL MENU BOARD GROUND FOOTING**

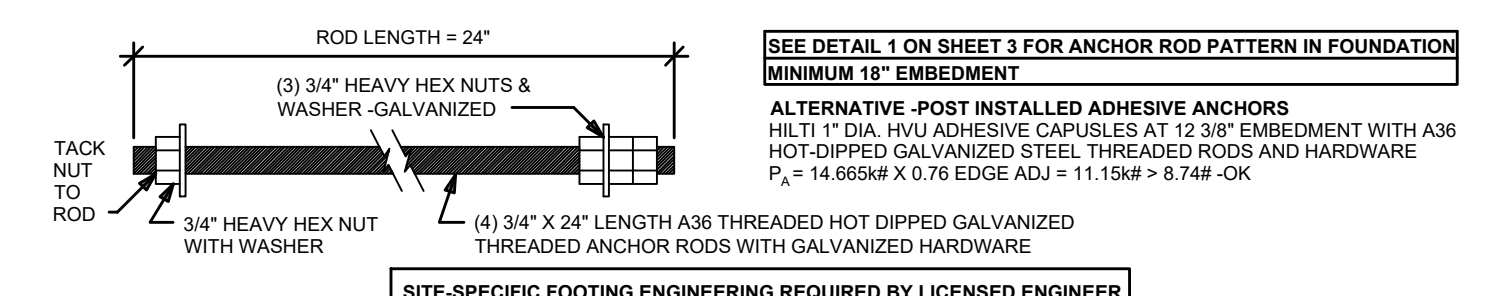


SITE-SPECIFIC FOOTING ENGINEERING REQUIRED BY LICENSED ENGINEER

**DTE 5-PANEL MENU BOARD BOLT PATTERN (TOP VIEW)**

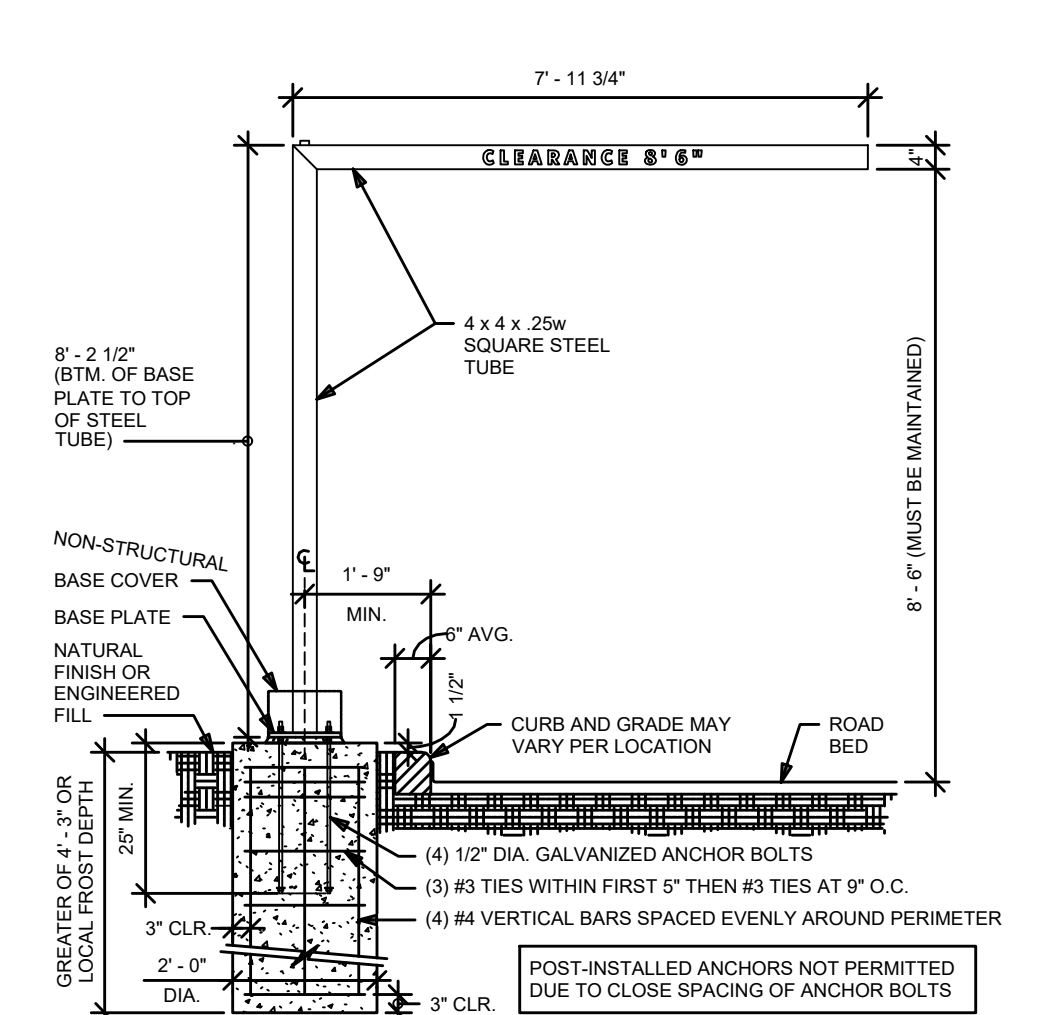


**DTE 5-PANEL MENU BOARD BASE PLATE**



**DTE 5-PANEL MENU BOARD ANCHOR ROD**

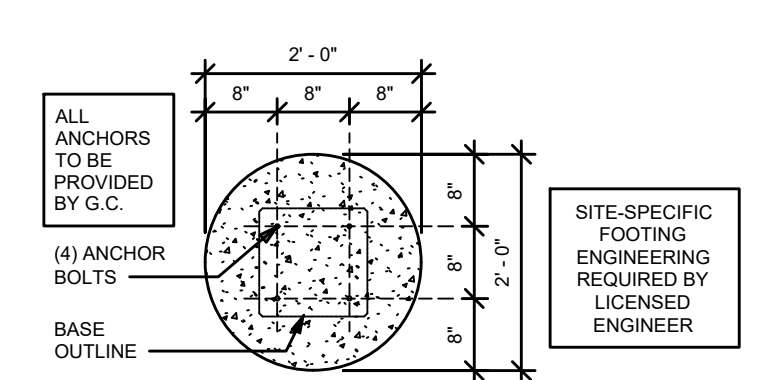
**DTE CLEARANCE BAR SIGNAGE - DID 23111**



G.C. RESPONSIBLE FOR FOUNDATIONS AND FOOTINGS ON ALL MENU BOARD AND DRIVE THRU ELEMENTS. SIGNAGE VENDOR TO SUPPLY TEMPLATES AND INSTALL MENU BOARDS ONLY.

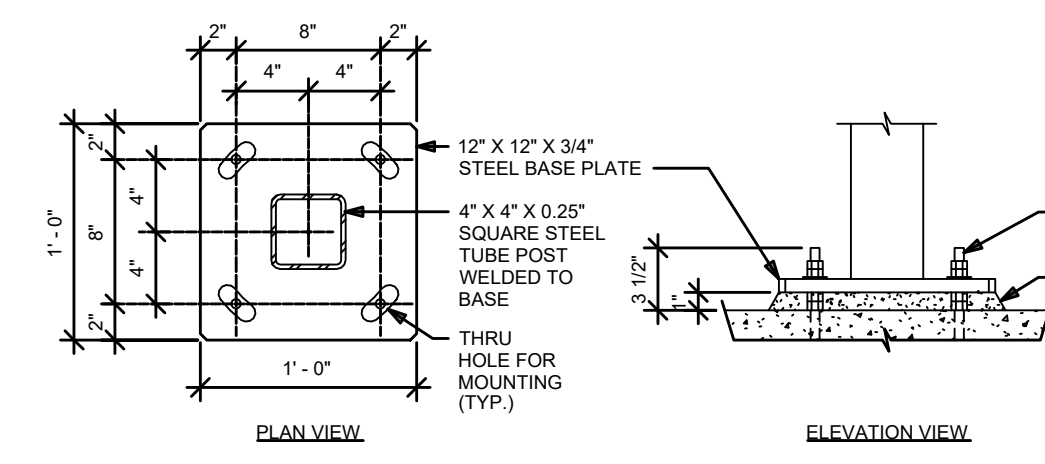
SITE-SPECIFIC FOOTING ENGINEERING REQUIRED BY LICENSED ENGINEER

**DTE CLEARANCE BAR GROUND FOOTING**

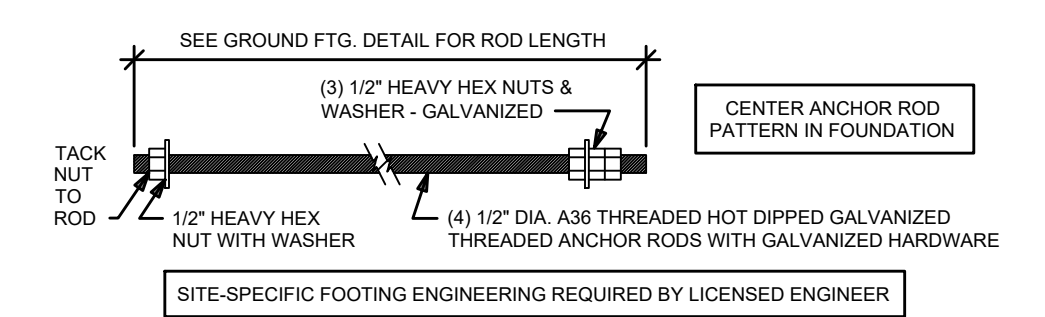


SITE-SPECIFIC FOOTING ENGINEERING REQUIRED BY LICENSED ENGINEER

**DTE CLEARANCE BAR BOLT PATTERN (TOP VIEW)**

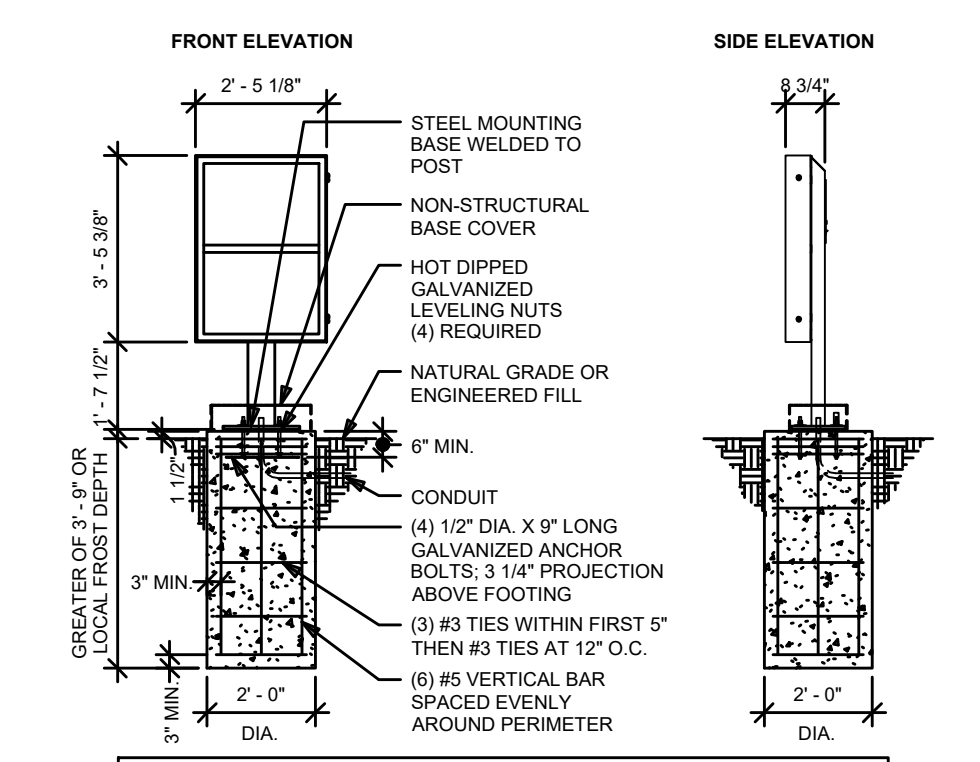


**DTE CLEARANCE BAR BASE PLATE**



**DTE CLEARANCE BAR ANCHOR ROD**

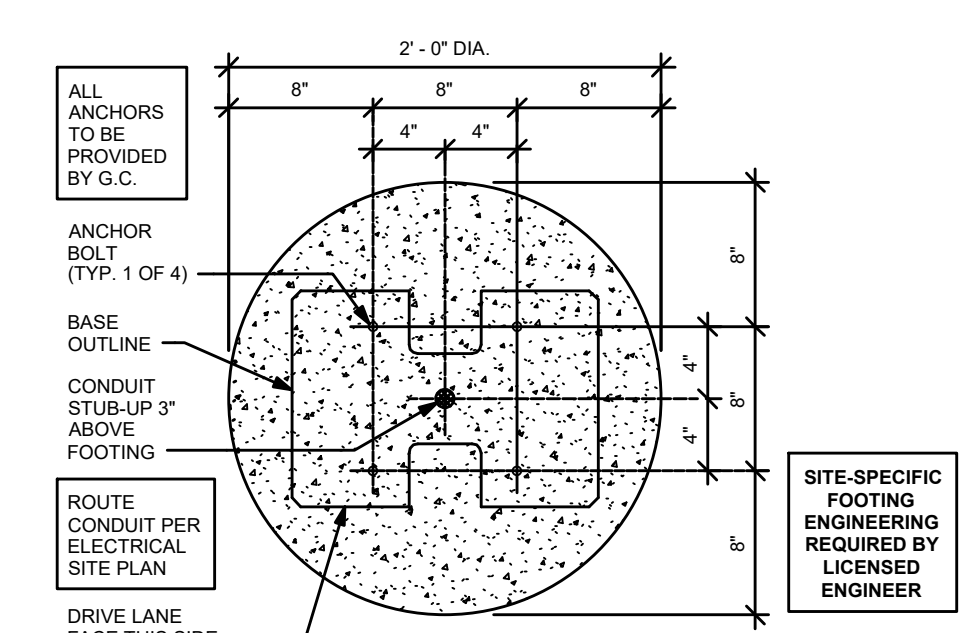
**DTE PRE-MENU BOARD - DID 22542**



G.C. RESPONSIBLE FOR FOUNDATIONS AND FOOTINGS ON ALL MENU BOARD AND DRIVE THRU ELEMENTS. SIGNAGE VENDOR TO SUPPLY TEMPLATES AND INSTALL MENU BOARDS ONLY.

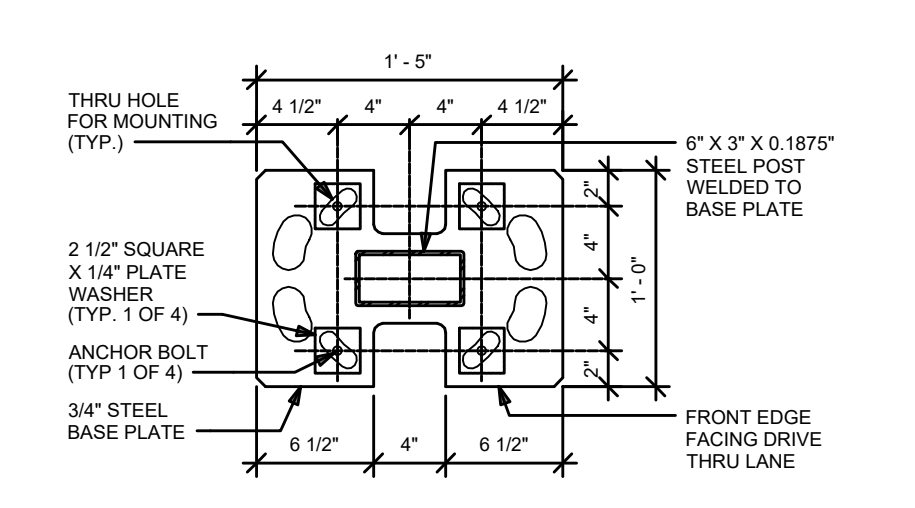
SITE-SPECIFIC FOOTING ENGINEERING REQUIRED BY LICENSED ENGINEER

**DTE PRE-MENU GROUND FOOTING**

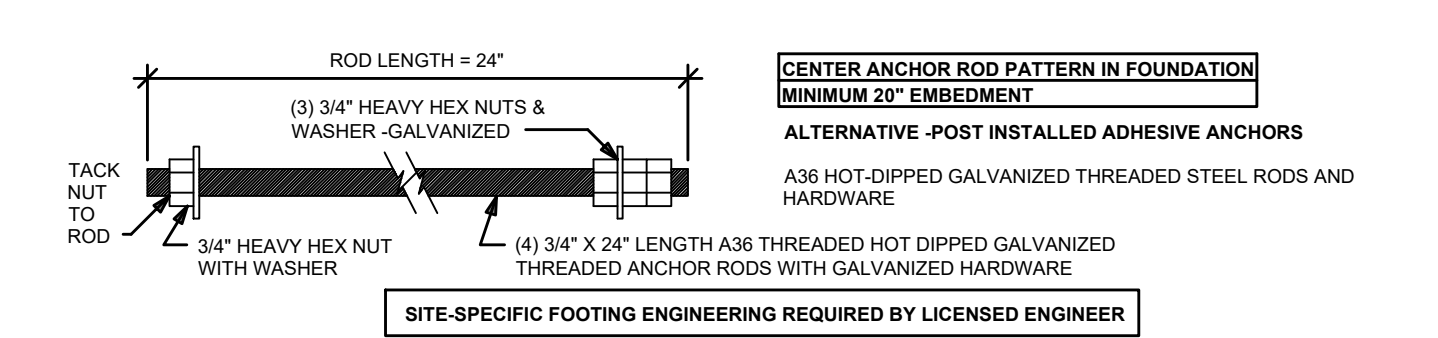


SITE-SPECIFIC FOOTING ENGINEERING REQUIRED BY LICENSED ENGINEER

**DTE PRE-MENU BOLT PATTERN (TOP VIEW)**



**DTE PRE-MENU BASE PLATE**



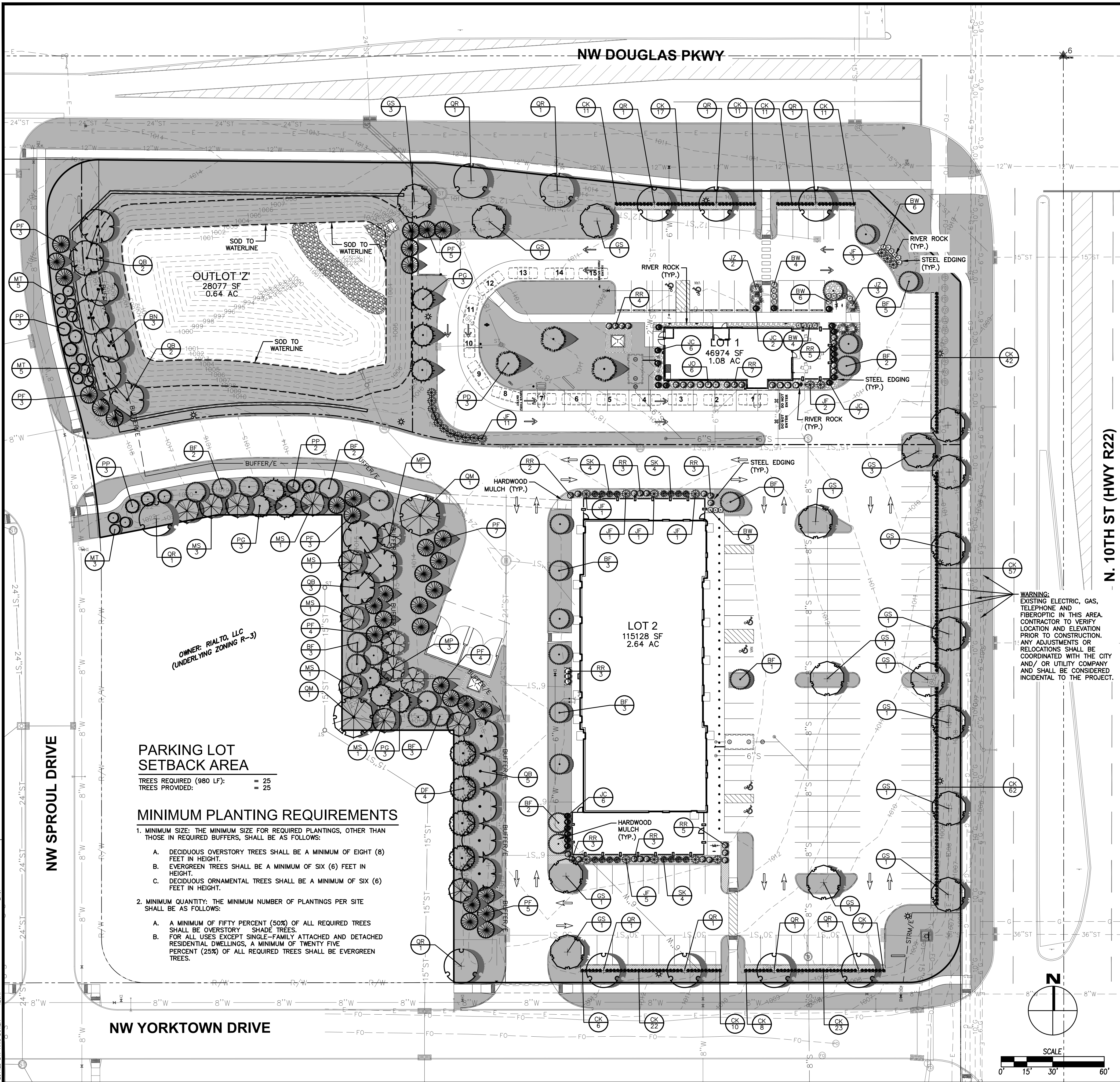
**DTE PRE-MENU ANCHOR ROD**

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PLOT DATE: 4/11/2025 11:49 AM  
DRAWN BY: ANS BOWEN  
CHECKED BY: ANS BOWEN

6 STARBUCKS - MENU BOARD FOOTING DETAILS  
NOT TO SCALE

5 STARBUCKS - CLEARANCE BAR FOOTING DETAILS  
NOT TO SCALE

4 STARBUCKS - PRE-MENU FOOTING DETAILS  
NOT TO SCALE



**LANDSCAPE NOTES**

- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
- THE 2025 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND THE 2024 Waukee SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
- ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
- SOD ALL DISTURBED AREAS.
- BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
- WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
- SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES AND SHRUBS TO A (MIN) DEPTH OF 3".
- SHREDDED HARDWOOD MULCH SHALL BE PLACED IN ALL LOT 2 PLANTING BEDS TO A (MIN) DEPTH OF 3". (SEE PLAN FOR LOCATION)
- 2" RIVER ROCK W/ WEED BARRIER FABRIC SHALL BE PLACED IN ALL LOT 1 PLANTING BEDS TO A (MIN) DEPTH OF 3". (SEE PLAN FOR LOCATION)
- ALL EDGING SHALL BE 6" STEEL EDGE.
- PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
- ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY AND PRIOR TO ANY RAIN EVENT.
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

**OFF-STREET PARKING AREAS**

- ALL ROWS OF PARKING SPACES SHALL BE PROVIDED A TERMINAL LANDSCAPED ISLAND, WITH A MINIMUM WIDTH OF TEN FEET AND A MINIMUM LENGTH OF 17 FEET FOR SINGLE PARKING ROWS AND 34 FEET FOR DUAL PARKING ROWS, TO PROTECT PARKED VEHICLES, PROVIDE VISIBILITY, CONFINE MOVING TRAFFIC TO DRIVEWAYS, AND PROVIDE SPACE FOR LANDSCAPING.
- THERE SHALL BE PROVIDED WITHIN EACH ROW OF PARKING SPACES, LANDSCAPED ISLANDS, WITH A MINIMUM WIDTH OF 6 FEET AND A MINIMUM LENGTH OF 17 FEET FOR SINGLE PARKING ROWS AND 34 FEET FOR DUAL PARKING ROWS, LOCATED SO AS TO PREVENT MORE THAN 15 VEHICLES FROM BEING PARKED SIDE BY SIDE IN AN ABUTTING CONFIGURATION.
- ALL LANDSCAPED ISLANDS REQUIRED IN SUBSECTIONS 1 AND 2 OF THIS SECTION SHALL BE PLANTED WITH AT LEAST ONE ORNAMENTAL OR ONE DECIDUOUS OVERSTORY TREE. A MINIMUM OF 50 PERCENT OF THE LANDSCAPED ISLANDS SHALL BE PROVIDED WITH A DECIDUOUS OVERSTORY TREE. THE ENTIRE LANDSCAPED ISLAND AREA SHALL BE COVERED WITH PLANT MATERIALS, LAWN OR MULCH.
- THE SETBACK BETWEEN THE PARKING AREA AND THE PUBLIC RIGHT-OF-WAY SHALL BE LANDSCAPED WITH A MINIMUM OF ONE OVERSTORY DECIDUOUS TREE PER 40 LINEAR FEET OF FRONTAGE. THE FRONTAGE CALCULATION SHALL BE EXCLUSIVE OF THE DRIVEWAYS. THE PLANTINGS MAY BE PLANTED INDIVIDUALLY OR IN CLUSTERS. THIS REQUIREMENT SHALL BE INCLUDED IN THE MINIMUM NUMBER OF TREES REQUIRED FOR THE SITE AND IS NOT IN ADDITION TO.
- TO ENCOURAGE THE USE OF ALTERNATIVE DESIGN PRACTICES AND GREEN INFRASTRUCTURE, THE CITY COUNCIL UPON A RECOMMENDATION OF THE PLANNING AND ZONING COMMISSION, MAY ACCEPT ALTERNATIVE LANDSCAPE COVERS AND/OR DESIGNS FOR PARKING LOT ISLANDS, IF DESIGNED APPROPRIATELY AND IN CONCERT WITH SURROUNDING DEVELOPMENT.

**LOT 1 LANDSCAPE REQUIREMENTS**

LOT 1 SITE AREA: 46,974 SF  
 OPEN SPACE REQUIRED: 9,395 SF (20%)  
 OPEN SPACE PROVIDED: 19,275 SF (41%)

1 TREE PER 1,000 SQUARE FEET OF REQUIRED OPEN SPACE;  
 1 SHRUB PER 1,000 SQUARE FEET OF REQUIRED OPEN SPACE.

REQUIRED:  
 OPEN SPACE TREES = 10  
 SHRUBS REQUIRED = 10  
 PARKING LOT TREES = 6

PROVIDED:  
 OPEN SPACE TREES = 18  
 SHRUBS PROVIDED = 79  
 PARKING LOT TREES = 6

**LOT 2 LANDSCAPE REQUIREMENTS**

LOT 2 SITE AREA: 115,128 SF  
 OPEN SPACE REQUIRED: 23,026 SF (20%)  
 OPEN SPACE PROVIDED: 36,773 SF (32%)

1 TREE PER 1,000 SQUARE FEET OF REQUIRED OPEN SPACE;  
 1 SHRUB PER 1,000 SQUARE FEET OF REQUIRED OPEN SPACE.

REQUIRED:  
 OPEN SPACE TREES = 24  
 SHRUBS REQUIRED = 26  
 PARKING LOT TREES = 12

PROVIDED:  
 OPEN SPACE TREES = 24  
 SHRUBS PROVIDED = 53  
 PARKING LOT TREES = 12

**30' BUFFER REQUIREMENTS**

666 LF. OF BUFFER REQUIRED

2 OVERSTORY, 3 EVERGREEN AND 2 ORNAMENTAL TREES PER 50 LINEAR FEET.  
 A CONTINUOUS EARTHEN BERM, MINIMUM OF THREE FEET IN HEIGHT, SHALL BE PROVIDED IN ADDITION TO THE REQUIRED PLANTINGS.

REQUIRED:  
 OVERSTORY TREES = 27  
 EVERGREEN TREES = 40  
 ORNAMENTAL TREES = 27

PROVIDED:  
 OVERSTORY TREES = 28  
 EVERGREEN TREES = 40  
 ORNAMENTAL TREES = 27

**LEGEND**

- RIVER ROCK (24" DEEP) AROUND TRANSFORMERS
- 2" RIVER ROCK (3" DEEP) W/ WEED BARRIER FABRIC
- SHREDDED HARDWOOD MULCH
- SOD

**PLANT SCHEDULE 30' BUFFER**

CODE	QTY	REMARKS	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
<b>OVERSTORY TREES</b>					
BF 11		MATURE HT. 30'-40'	DAKOTA PINNACLE® ASIAN WHITE BIRCH	BETULA PLATYPHYLLA 'FARGO'	B&B, 8" HEIGHT
BN 3		MATURE HT. 40'-80'	RIVER BIRCH MULTI-TRUNK	BETULA NIGRA	B&B, 8" HEIGHT
GB 12		MATURE HT. 50'-75'	SWAMP WHITE OAK	QUERCUS BICOLOR	B&B, 8" HEIGHT
OR 1		MATURE HT. 60'-100'	BURR OAK	QUERCUS MACROCARPA	B&B, 8" HEIGHT
OR 1		MATURE HT. 60'-100'	RED OAK	QUERCUS RUBRA	B&B, 8" HEIGHT
<b>EVERGREEN TREES</b>					
PF 22		MATURE HT. 40'-60'	DOUGLAS FIR	PINUS STROBUS 'FLETCHER'	B&B, 6" HEIGHT
PF 22		MATURE HT. 30'-40'	PYRAMIDAL WHITE PINE	PINUS STROBUS 'FASTIGIATA'	B&B, 6" HEIGHT
PG 8		MATURE HT. 75'-100'	COLORADO BLUE SPRUCE	PICEA PUNGENS 'GLAUCA'	B&B, 6" HEIGHT
PG 8		MATURE HT. 12'-18'	BAKER COLORADO SPRUCE	PICEA PUNGENS 'BAKER'	B&B, 6" HEIGHT
<b>ORNAMENTAL TREES</b>					
MP 4		MATURE HT. 15'-20'	PRAIRIFIRE CRAB APPLE	MALUS X 'PRAIRIFIRE'	B&B, 6" HEIGHT
MS 10		MATURE HT. 20'-25'	SPRING SNOW CRAB APPLE	MALUS X 'SPRING SNOW'	B&B, 6" HEIGHT
MT 13		MATURE HT. 4'-5'	TINA SARGENT CRABAPPLE	MALUS SARGENTII 'TINA'	B&B, 1" CALIPER

**PLANT SCHEDULE OPEN SPACE - LOT 1**

CODE	QTY	REMARKS	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
<b>OVERSTORY TREES</b>					
BF 15		MATURE HT. 30'-40'	DAKOTA PINNACLE® ASIAN WHITE BIRCH	BETULA PLATYPHYLLA 'FARGO'	B&B, 8" HEIGHT
GS 4		MATURE HT. 60'-80'	SKYLINE HONEY LOCUST	GLEDTISIA TRIACANTHOS 'SKYLINE'	B&B, 8" HEIGHT
OR 5		MATURE HT. 60'-100'	RED OAK	QUERCUS RUBRA	B&B, 8" HEIGHT
<b>EVERGREEN TREES</b>					
PD 13		MATURE HT. 20'-40'	BLACK HILLS WHITE SPRUCE	PICEA GLAUCA 'DENSATA'	B&B, 6" HEIGHT
PF 15		MATURE HT. 30'-40'	PYRAMIDAL WHITE PINE	PINUS STROBUS 'FASTIGIATA'	B&B, 6" HEIGHT
PG 13		MATURE HT. 75'-100'	COLORADO BLUE SPRUCE	PICEA PUNGENS 'GLAUCA'	B&B, 6" HEIGHT
<b>SHRUBS</b>					
BW 20		MATURE HT. 2'-4'	WINTERGREEN BOXWOOD	BUXUS MICROPHYLLA 'WINTERGREEN'	CONT, 3 GAL
JC 16		MATURE HT. 3'-5'	GOLD CONE COMMON JUNIPER	JUNIPERUS COMMUNIS 'GOLD CONE'	CONT, 3 GAL
JF 16		MATURE HT. 4'-6'	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	CONT, 3 GAL
JG 16		MATURE HT. 2'-3'	OLD GOLD JUNIPER	JUNIPERUS CHINENSIS 'OLD GOLD'	CONT, 3 GAL
JZ 5		MATURE HT. 3'-6'	GOLDEN CARPET JUNIPER	JUNIPERUS HORIZONTALIS 'GOLDEN CARPET'	CONT, 3 GAL
RR 15		MATURE HT. 5'-7'	FINE LINE BUCKTHORN	RHAMNUS FRANGULA 'FINE LINE'	CONT, 3 GAL
<b>GRASSES</b>					
CK 103			FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	1 GAL

**PLANT SCHEDULE OPEN SPACE - LOT 2**

CODE	QTY	REMARKS	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
<b>OVERSTORY TREES</b>					
BF 15		MATURE HT. 30'-40'	DAKOTA PINNACLE® ASIAN WHITE BIRCH	BETULA PLATYPHYLLA 'FARGO'	B&B, 8" HEIGHT
GS 13		MATURE HT. 60'-80'	SKYLINE HONEY LOCUST	GLEDTISIA TRIACANTHOS 'SKYLINE'	B&B, 8" HEIGHT
OR 1		MATURE HT. 70'-90'	BURR OAK	QUERCUS MACROCARPA	B&B, 8" HEIGHT
OR 15		MATURE HT. 60'-100'	RED OAK	QUERCUS RUBRA	B&B, 8" HEIGHT
<b>EVERGREEN TREES</b>					
PF 17		MATURE HT. 30'-40'	PYRAMIDAL WHITE PINE	PINUS STROBUS 'FASTIGIATA'	B&B, 6" HEIGHT
<b>SHRUBS</b>					
BW 13		MATURE HT. 2'-4'	WINTERGREEN BOXWOOD	BUXUS MICROPHYLLA 'WINTERGREEN'	CONT, 3 GAL
JC 16		MATURE HT. 3'-5'	GOLD CONE COMMON JUNIPER	JUNIPERUS COMMUNIS 'GOLD CONE'	CONT, 3 GAL
JF 16		MATURE HT. 4'-6'	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	CONT, 3 GAL
RR 22		MATURE HT. 5'-7'	FINE LINE BUCKTHORN	RHAMNUS FRANGULA 'FINE LINE'	CONT, 3 GAL
SK 116		MATURE HT. 4'-9'	MISS KIM KOREAN LILAC	SYRINGA PUBESCENS 'MISS KIM'	CONT, 3 GAL
<b>GRASSES</b>					
CK 1196			FEATHER REED GRASS	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	1 GAL

**PARKING LOT SETBACK AREA**

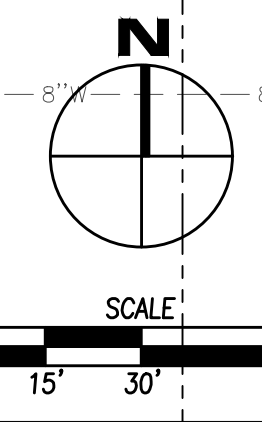
TREES REQUIRED (980 LF): = 25  
 TREES PROVIDED: = 25

**MINIMUM PLANTING REQUIREMENTS**

- MINIMUM SIZE: THE MINIMUM SIZE FOR REQUIRED PLANTINGS, OTHER THAN THOSE IN REQUIRED BUFFERS, SHALL BE AS FOLLOWS:
  - DECIDUOUS OVERSTORY TREES SHALL BE A MINIMUM OF EIGHT (8) FEET IN HEIGHT.
  - EVERGREEN TREES SHALL BE A MINIMUM OF SIX (6) FEET IN HEIGHT.
  - DECIDUOUS ORNAMENTAL TREES SHALL BE A MINIMUM OF SIX (6) FEET IN HEIGHT.
- MINIMUM QUANTITY: THE MINIMUM NUMBER OF PLANTINGS PER SITE SHALL BE AS FOLLOWS:
  - A MINIMUM OF FIFTY PERCENT (50%) OF ALL REQUIRED TREES SHALL BE OVERSTORY SHADE TREES.
  - FOR ALL USES EXCEPT SINGLE-FAMILY ATTACHED AND DETACHED RESIDENTIAL DWELLINGS, A MINIMUM OF TWENTY FIVE PERCENT (25%) OF ALL REQUIRED TREES SHALL BE EVERGREEN TREES.

N. 10TH ST (HWY R22)

WARNING: EXISTING ELECTRIC, GAS, TELEPHONE AND FIBEROPTIC IN THIS AREA. CONTRACTOR TO VERIFY LOCATION AND ELEVATION PRIOR TO CONSTRUCTION. ANY ADJUSTMENTS OR RELOCATIONS SHALL BE COORDINATED WITH THE CITY AND/ OR UTILITY COMPANY AND SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.



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 PLOTTED BY: ANS BOMER

**ALDER POINT RETAIL LANDSCAPE PLAN**

DATE: 04/11/2025  
 SHEET NUMBER: L1.1  
 2304.285

4121 NW URBANDALE DRIVE  
 URBANDALE, IA 50322  
 PHONE: (515) 369-4400

DRAFTED: ENGINEER: WAUKEE, IOWA

CIVIL DESIGN ADVANTAGE