

**SITE ADDRESS**  
3090 GRAND PRAIRIE PARKWAY  
WAUKEE, IOWA 50263

**SITE AREA**  
1.51 ACRES (66,323 SQ.FT.)

**ZONING**  
EXISTING: K-RR, K-RC KETTLESTONE RETAIL REGIONAL DISTRICT  
NORTH: K-RR, K-RC KETTLESTONE RETAIL COMMUNITY DISTRICT  
EAST: K-RR, K-RC KETTLESTONE RETAIL COMMUNITY DISTRICT  
SOUTH: A-1 AGRICULTURAL DISTRICT  
WEST: A-1 AGRICULTURAL DISTRICT

**SETBACKS**  
FRONT SETBACK (SOUTH AND EAST PROPERTY LINE): NO MINIMUM FOR PRINCIPAL PERMITTED USE.  
20 FEET FOR ACCESSORY STRUCTURES.  
SIDE SETBACK (NORTH PROPERTY LINE): NO MINIMUM FOR PRINCIPAL PERMITTED USE UNLESS  
ADJACENT TO ADJOINING SINGLE FAMILY, IN WHICH CASE THE MINIMUM SETBACK SHALL BE 50 FEET.  
5 FEET FOR ACCESSORY STRUCTURES.  
REAR SETBACK (WEST PROPERTY LINE): NO MINIMUM FOR PRINCIPAL PERMITTED USE UNLESS  
ADJACENT TO ADJOINING SINGLE FAMILY, IN WHICH CASE THE MINIMUM SETBACK SHALL BE 50 FEET.  
5 FEET FOR ACCESSORY STRUCTURES.

**BUILDINGS**  
EXISTING: NONE  
PROPOSED: ~ 42'-10" x 100'-10" - 4,569 SQ.FT.  
ROOFTOP SCREENING IS REQUIRED. REFER TO BUILDING PLANS

**BUILDING USES**  
CONVENIENCE STORE WITH GAS SALES

**BUILDING HEIGHT**  
MAX BUILDING HEIGHT: 8 STORIES, ACCESSORY BUILDING: 1 STORY  
PROPOSED HEIGHT: 25 FEET

**PAVING**  
APPROACHES: 7" THICK NON REINFORCED P.C.C. WITH MINIMUM 6" CRUSHED ROCK SUBBASE\*\*\*  
PARKING LOT: 6" THICK NON REINFORCED P.C.C. WITH MINIMUM 6" CRUSHED ROCK SUBBASE\*\*  
CURB: 6" TALL STANDARD CURB  
SIDEWALK: 6" THICK P.C.C.  
UGST: 8" THICK REINFORCED P.C.C. WITH MINIMUM 6" CRUSHED ROCK SUBBASE\*\*\*

\*\*\*6" CRUSHED ROCK SUBBASE THAT COMPLIES WITH AASHTO M147 GRADE C OR GRADE D AND SUBGRADE THAT IS COMPACTED TO 95% STANDARD PROCTOR DENSITY. VERIFY SUBBASE DEPTH WITH ENGINEER PRIOR TO CONSTRUCTION.

MAXIMUM JOINT SPACING = PAVEMENT THICKNESS \* 1.5 = 6 \* 1.5 = 9 FT

**OPEN SPACE**  
PROPOSED: 31% (20,244 SQ.FT.)  
REQUIRED: 25% OF TOTAL GROSS AREA OF SITE (16,581 SQ. FT.)

**IMPERVIOUS SPACE**  
PROPOSED: 69% (46,079 SQ.FT.)

**PARKING**  
REQUIRED: 5 SPACE PER 1000 SQ. FT. OF GROSS FLOOR AREA PLUS 1 ADA SPACE.  
(4,569 / 1000 x 5 + 1 ADA = 24 SPACES REQUIRED)  
PROVIDED AT BUILDING: 19 SPACES (INCLUDING 1 HANDICAP PARKING STALL)  
PROVIDED AT CANOPY: 10 FUEL PUMP ISLAND SPACES  
  
TOTAL SPACES PROVIDED: 29 (INCLUDING 1 HANDICAP PARKING STALL)

**BICYCLE PARKING**  
REQUIRED: 3% OF THE NUMBER OF AUTO PARKING SPACES.  
TOTAL AUTO PARKING SPACES: 29 (29 x .03 = .87)

PROVIDED: 5 BICYCLE PARKING SPACES.

**SIGN**  
PROPOSED CASEY'S 2-PRODUCT MONUMENT - SOUTHEAST CORNER OF SITE  
ALL SIGNS REQUIRE A SEPARATE SIGN PERMIT APPLICATION TO BE REVIEWED AND APPROVED BY THE WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT

**DISTURBED AREAS**  
ESTIMATED: ~ 101,907 SQ.FT.  
ALL DISTURBED AREAS SHALL BE SEEDED OR SODDED.  
THE DISTURBED AREA FOR THIS SITE IS GREATER THAN 1 ACRE, THEREFORE A NPDES PERMIT IS REQUIRED.

**GEOTECHNICAL REPORT**  
NOT AVAILABLE AT THIS TIME

**LEAKING UNDERGROUND STORAGE TANKS**  
PER IOWA DNR MAPPING, THIS SITE IS NOT A LUST SITE

**FLOODPLAIN**  
PER FEMA MAP #19049C0355F, THE SITE IS LOCATED IN ZONE X, AREAS OF MINIMAL FLOOD HAZARD

**FAA**  
PER FAA NOTICE CRITERIA TOOL, SITE DOES NOT EXCEED NOTICE CRITERIA UP TO 100 FT HEIGHT (FOR POSSIBLE CRANE HEIGHT) THEREFORE FILING WITH THE FAA IS NOT REQUIRED.

**IOWA ONECALL CONTACT LIST**

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# SITE PLAN

FOR

## CASEY'S GENERAL STORE #4658

### 3090 GRAND PRAIRIE PARKWAY

### WAUKEE, IOWA



**SHEET INDEX**

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**PROJECT CONTACTS**

**CASEY'S SDM**  
CASEY'S MARKETING COMPANY  
ONE SE CONVENIENCE BLVD.  
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PROJECT CONTACT: SARAH PHILLIPPI  
PHONE: (515) 965-6537  
EMAIL: SARAH.PHILLIPPI@CASEYS.COM

**CITY CONTACT**  
CITY OF WAUKEE  
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WAUKEE, IOWA 50263  
PROJECT CONTACT: MELISSA DEBOER  
PHONE: (515) 978-7898  
EMAIL: MDEBOER@WAUKEE.ORG

**ENGINEER/ LAND SURVEYOR**  
PELDS DESIGN SERVICES  
2323 DIXON ST  
DES MOINES, IOWA 50316  
PROJECT CONTACT: ELARA JONDLE  
PHONE: (515) 265-8196  
EMAIL: ELARA@PELDS.COM

**ARCHITECT**  
PELDS DESIGN SERVICES  
2323 DIXON ST  
DES MOINES, IOWA 50316  
PROJECT CONTACT: DANIEL WILRICH  
PHONE: (515) 265-8196  
EMAIL: DANIEL@PELDS.COM

**LEGAL DESCRIPTION:**  
PARCEL 24-91 OF THE SURVEY OF PART OF NORTH 45 ACRES OF THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 9, TOWNSHIP 78 NORTH, RANGE 26 WEST OF THE 5TH P.M., WAUKEE, AS SHOWN IN INST. 2024-16448 IN THE OFFICE OF THE RECORDER OF DALLAS COUNTY, IOWA.

NOTE: CASEY'S PROPERTY IS ONLY A PORTION OF PARCEL 24-91.

LEGAL DESCRIPTION (TO BE KNOWN AS)

LOT 1, KEE WEST PLAT 1, AN OFFICIAL PLAT, NOW INCLUDED IN AND FORMING A PART OF THE CITY OF WAUKEE, DALLAS COUNTY, IOWA, AS SHOWN IN BOOK XXXX, PAGE XXXX IN THE OFFICE OF THE RECORDER OF DALLAS COUNTY, IOWA.

ITEM	QUANTITY INFORMATION*	UNITS
6" CONCRETE PAVEMENT	ON-SITE: 46,899	SQ. FT.
8" REINFORCED CONCRETE PAVEMENT	ON-SITE: 1,518	SQ. FT.
CONCRETE CURB	1,617	LIN. FT.
SIDEWALK, NOT ADJACENT TO STORE	2,162	SQ. FT.
SANITARY SEWER SERVICE - 6" PVC	DIRECT BURY: 113 - BORE: NONE	LIN. FT.
WATER SERVICE - 2" HDPE	DIRECT BURY: 274 - BORE: NONE	LIN. FT.
GAS SERVICE	DIRECT BURY: 134 - BORE: NONE	LIN. FT.
6" HDPE STORM SERVICE	18	LIN. FT.
8" HDPE STORM SERVICE	477	LIN. FT.
12" HDPE STORM SEWER MAIN	164	LIN. FT.
15" RCP STORM SERVICE	230	LIN. FT.
STRUCTURES - STORM CLEANOUT	8	EACH
STRUCTURES - NYLOPLAST BASIN W/MH	1	EACH
STRUCTURES - NYLOPLAST BASIN W/ INTAKE	1	EACH
STRUCTURES - FES	1	EACH
STRUCTURES - SANITARY CLEANOUT	1	EACH
EARTHWORK CUT & HAUL	1,292	CU. YD.
EARTHWORK CUT & RESPREAD	1,876	CU. YD.
TOPSOIL REQUIRED	8,669	CU. YD.
FENCING	NONE	LIN. FT.
SOD AREA	34,356	SQ. FT.
P.C.C. DEMOLITION	3,211	SQ. FT.

\*IN THE EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.  
\*CONTRACTOR TO PROVIDE A COMPLETE PROJECT PER THE CONSTRUCTION DOCUMENTS, QUANTITIES PROVIDED AS PART OF THIS SUMMARY ARE FOR REFERENCE PURPOSES ONLY AND ARE NOT A BASIS FOR CHANGE ORDER IF ADDITIONAL QUANTITY IS INSTALLED AS PART OF THE ORIGINAL BID DOCUMENTS\*  
\*EARTHWORK VALUES ARE TO FINISH GRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR EXACT QUANTITIES

**NOTE TO CONTRACTORS:**  
The applicant will be required to provide the following as a part of the completion of the public improvements prior to approval of a certificate of occupancy:  
a. Post Construction What practices are considered for this site?  
i. Provide a site plan specific to the storm water management facilities of the property indicating the permanent measures utilized by the designer and requirements for maintenance of said facilities.  
ii. A maintenance covenant will need to be created and provided for review.  
b. As-built plans of all storm water management facilities on site and a certification statement signed by SWPPP designer indicating that facilities were constructed as designed will be required.  
c. Provide finished grade spot elevations at all locations where an overland flowage easement crosses a property line, including locations where said easements run to the street.

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

VOLDEMARS L. PELDS, P.E. IA. LIC. NO. 18842 DATE \_\_\_\_\_

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2025

ADDITIONAL PAGES OR SHEETS COVERED BY THIS SEAL (NONE UNLESS INDICATED HERE) - C-001 - C-701

**PELDS Design Services**  
Architecture | Engineering | Surveying  
2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4626, Des Moines, Iowa 50305 | Ph: 515 265 8196

**REVISIONS:**

NO.	DATE	DESCRIPTION

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**LEGEND:**

△	CALCULATED SECTION CORNER	⊕	ELEC. MANHOLE	▬	SINGLE INTAKE	— CATV —	CABLE TELEVISION
▲	FOUND SECTION CORNER	⊖	ELEC. VAULT	— FO —	AREA INTAKE	— FO —	FIBER OPTIC
□	PARKING SPACE	⊙	GUY ANCHOR	— G —	THROAT INTAKE	— G —	GAS LINE
⊙	SIGN	⊗	UTILITY PEDESTAL	— OHE —	FLARED END SECTION	— OHE —	OVERHEAD ELEC.
⊙	STREET LIGHT	⊕	CABLE TV JUNCTION BOX	— OHT —	VALVE	— OHT —	OVERHEAD TEL.
⊙	POWER POLE	⊕	GAS VALVE	— SAN —	FIRE HYDRANT	— SAN —	SANITARY SEWER
⊙	LIGHT POLE	⊕	GAS METER	— ST —	WATER METER	— ST —	STORM SEWER
⊙	AREA LIGHT	⊕	SANITARY SEWER MANHOLE	— UGE —	WATER VALVE	— UGE —	UNDERGROUND ELEC.
⊙	ELEC. TRANSFORMER	⊕	STORM SEWER MANHOLE	— UGT —	WATER TEE	— UGT —	UNDERGROUND TEL.
⊙	ELEC. METER	⊕	CLEANOUT	— W —	PROPOSED UTILITY LINE	— W —	WATER
⊙	FOUND CORNER	⊕	DOWNSPOUT	— E XX —	EXISTING UTILITY LINE	— E XX —	EXISTING UTILITY LINE
⊙		⊕		— FENCE —		— FENCE —	FENCE LINE

**PRELIMINARY**

**CASEY'S GENERAL STORE #4658**  
3090 GRAND PRAIRIE PARKWAY  
WAUKEE, IOWA

COPYRIGHT DATE: _____	DRAWN BY: L. BURKE	SCALE: _____	DATE: 05.14.2025	DRAWING NO: 24-013
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FILE PATH: J:\2024 Projects\24-013 CGS Waukee - NWC Grand Prairie & Kettlestone\Engineering\Sheet Set

**C-001 - COVER SHEET**

## GENERAL NOTES

- THE LOCAL JURISDICTION MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK. THE LOCAL JURISDICTION IS THE CITY OF WAUKEE.
- ALL PROPOSED MATERIALS AND STRUCTURES SHALL BE APPROVED BY THE LOCAL JURISDICTION AND BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST SUDAS STANDARDS. ALL PROVIDED SUDAS DETAILS ARE FOR REFERENCE ONLY AND THE LATEST VERSIONS SHALL BE IMPLEMENTED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES, AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- PELDS DESIGN SERVICES SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLAN.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE THIS MEETING WITH THE CITY OF WAUKEE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNER'S REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE LOCAL JURISDICTION.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES OR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
- ALL CONSTRUCTION WITHIN THE PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE LOCAL JURISDICTION STANDARD SPECIFICATIONS.
- THE CONTRACTOR SHALL CONTACT THE LOCAL JURISDICTION TO SCHEDULE ANY REQUIRED INSPECTIONS AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS
- IN THE EVENT OF ANY CONFLICTING NOTES BETWEEN THE COVER SHEET AND ALL OTHER SHEETS, THE NOTES ON THE COVER SHEET SHALL SUPERCEDE ALL OTHERS
- IN THE EVENT OF ANY CONFLICTING INFORMATION BETWEEN THE LABEL, ELECTRONIC CAD FILE, AND THE ELECTRONIC SURFACE, THE DESIGN ENGINEER SHALL BE CONTACTED FOR CLARIFICATION
- THE LOCAL JURISDICTION HAS NO SPECIFIC REQUIREMENTS FOR TANK BALLAST WATER IN ADDITION TO IDNR GENERAL PERMIT NO. 2 AUTHORIZATION REQUIREMENTS.

## SURVEY NOTES

- SURVEY WORK WAS COMPLETED BY PELDS DESIGN SERVICES IN SEPTEMBER 2024. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.

## STAKING NOTES

- IT IS RECOMMENDED FOR THE CONTRACTOR TO HAVE ALL STAKING DONE UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR AND IN COORDINATION WITH THE PROJECT ENGINEER.
- IT IS RECOMMENDED FOR THE CONTRACTOR TO HAVE ALL STAKING DONE DIRECTLY UNDER THE GENERAL CONTRACTOR BY A SINGLE COMPANY.
- STAKING DOES NOT RELIEVE CONTRACTOR OF ULTIMATE RESPONSIBILITY TO CONSTRUCT THE PROJECT PER PLAN.

## DEMO NOTES

- SAWCUT & REMOVE ALL PAVEMENT TO FULL DEPTH OF SLAB.
- PROTECT ALL TREES NOT CALLED OUT FOR REMOVAL WITH ORANGE CONSTRUCTION FENCE AT THE DRIP LINE.
- PAVEMENT STRIPING CALLED OUT FOR REMOVAL SHALL BE SANDBLASTED. NO GRINDING WILL BE ALLOWED.
- PROPERLY DISCONNECT ALL PUBLIC AND PRIVATE UTILITIES, AS NECESSARY.
- COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS TO REMOVE AND PROPERLY DISPOSE OF SIDEWALKS, STEPS, DRIVEWAYS, AND STRUCTURES (INCLUDING BOTH ABOVE GROUND AND BELOW GROUND ELEMENTS).
- COMPLY WITH LOCAL, STATE, AND FEDERAL REGULATIONS TO REMOVE FUEL TANKS, SEPTIC TANKS, CISTERNS, AND ANY OTHER UNDERGROUND FACILITIES; AND TO PROPERLY DISPOSE OF ANY LIQUIDS OR PRODUCTS CONTAINED WITHIN THESE ITEMS.
- PLACE BACKFILL MATERIAL IN HOLES AND DEPRESSIONS, GRADE THE SITE, AND ESTABLISH GROUND COVER.
- PROTECT EXISTING FIRE HYDRANTS, STREET LIGHTS, TRAFFIC SIGNALS, UTILITY POLES, FIRE ALARM BOXES, WIRE CABLES, UNDERGROUND UTILITIES, AND OTHER APPURTENANCES IN THE VICINITY OF THE DEMOLITION SITE
- COMPLY WITH NOISE POLLUTION REQUIREMENTS AND ANY WORKING HOUR RESTRICTIONS OF THE JURISDICTION.
- MAINTAIN OR RE-ESTABLISH ALL TILES, ROADWAY SUBDRAINS, CULVERTS, OR OTHER DRAINAGE FACILITIES NOT IDENTIFIED IN THE CONTRACT DOCUMENTS FOR REMOVAL.
- IMPLEMENT THE APPROVED EROSION AND SEDIMENT CONTROL PLAN FOR EACH SITE PRIOR TO INITIATING DEMOLITION BY PLACING ALL REQUIRED DEVICES; INCLUDE MEASURES TO PREVENT TRACKING OF MUD ONTO ADJACENT STREETS OR ALLEYS.
- COMPLY WITH ALL APPLICABLE AIR POLLUTION REQUIREMENTS OF THE JURISDICTION. USE WATER OR APPROPRIATE CHEMICALS FOR CONTROL OF DUST IN THE DEMOLITION AREA, ON HAULING EQUIPMENT, ON ADJACENT ROADWAYS, AND WHEN GRADING THE SITE.
- TAKE STEPS TO PREVENT THE GENERATION OF LITTER DURING DEMOLITION AND COLLECT ALL LITTER FROM THE DEMOLITION AREA AT THE END OF EACH WORKING DAY. LOAD TRUCKS TO PREVENT LEAKAGE OR BLOWING OF DEBRIS.
- REMOVE ALL CONCRETE, ASPHALT, OR MASONRY SLABS AND APPURTENANCES.
- REMOVE AND DISPOSE OF ALL BRUSH, SHRUBS, TREES, LOGS, DOWNED TIMBER, AND OTHER YARD WASTE ON THE SITE UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS. DO NOT MIX WITH DEMOLITION MATERIAL. REMOVE STUMPS TO A MINIMUM OF 2 FEET BELOW FINISH GRADE. PROTECT ANY TREES OR OTHER VEGETATION NOT DESIGNATED FOR REMOVAL BY PLACING A FENCE AT THE DRIP LINE ENCOMPASSING THE ENTIRE TREE AND KEEPING ALL OPERATIONS OUTSIDE OF THE FENCED IN AREA, INCLUDING STORAGE OF EQUIPMENT OR MATERIALS. AT NO ADDITIONAL COST TO THE CONTRACTING AUTHORITY, REPLACE ANY TREES THAT ARE DESIGNATED FOR PROTECTION BUT ARE DAMAGED BEYOND TREATMENT. THE ENGINEER WILL DETERMINE SIZE AND SPECIES OF THE REPLACEMENT TREE.
- SAW-CUT ALL HARD SURFACING AT LOCATION OF REMOVAL LIMITS.
- WHERE SELECTIVE DEMOLITION IS SHOWN AT PAVED AREAS, DEMOLISH THE EXISTING PAVING BACK TO AN EXISTING CONTROL JOINT NEAR THE LOCATION SHOWN.

## WETLAND NOTES

- PELDS DESIGN SERVICES DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

## DISCLAIMER

- THIS DRAWING IS BEING MADE AVAILABLE BY PELDS DESIGN SERVICES (P.D.S.) FOR USE ON THIS PROJECT IN ACCORDANCE WITH P.D.S.'S AGREEMENT FOR PROFESSIONAL SERVICES. P.D.S. ASSUMES NO RESPONSIBILITY OR LIABILITY (CONSEQUENTIAL OR OTHERWISE) FOR ANY USE OF THESE DRAWINGS (OR ANY PART THEREOF) EXCEPT IN ACCORDANCE WITH THE TERMS OF SAID AGREEMENT.
- P.D.S. DISCLAIMS ANY AND ALL LIABILITY OR RESPONSIBILITY FOR INFORMATION THAT DOES NOT BEAR THE ORIGINAL SEAL AND SIGNATURE OF THE PROFESSIONAL IN CHARGE.

# CIVIL ENGINEERING NOTES FOR CASEY'S GENERAL STORE #4658 3090 GRAND PRAIRIE PARKWAY WAUKEE, IOWA

## UTILITY NOTES

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- PIPE LENGTHS CALLED OUT ON PLANS DO NOT INCLUDE FLARED END SECTION, WHERE APPLICABLE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED TO THE SATISFACTION OF THE OWNER AT THE CONTRACTORS EXPENSE.
- THE CONTRACTOR SHALL RELOCATE EXISTING UTILITIES AS NECESSARY, SHOWN OR NOT SHOWN.
- THE CONTRACTOR SHALL COORDINATE WITH THE CITY ON ALL SIZE, DEPTHS, AND MATERIALS OF ALL PROPOSED UTILITIES.
- THE CONTRACTOR MUST PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES IF REQUIRED BY CITY.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE APPROPRIATE UTILITY COMPANIES PRIOR TO CONNECTION OR DISCONNECTION OF A SERVICE LINE.
- CONTRACTOR IS TO COMPLY WITH THE LATEST SUDAS SPECIFICATIONS FOR MAINTENANCE, INSTALLATION, AND TESTING FOR CONSTRUCTION.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE. THE TILE SHOULD BE DIRECTED TO PUBLIC STORM SEWER IF POSSIBLE. THE CONTRACTOR SHALL RECORD THE ELEVATION AND LOCATION OF ALL TILES.
- ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- ALL STRUCTURE SIZES CALLED OUT ON PLANS ARE MINIMUM INSIDE WALL DIMENSIONS.
- ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
- ALL STRUCTURES CALLED OUT AS "MODIFIED" OR "SPECIAL" SHALL BE ENGINEERED BY THE PRECASTER TO ENSURE STRUCTURE STABILITY. MODIFICATIONS INCLUDE ADDITIONAL WALL LENGTH TO ACCOUNT FOR LARGE PIPE DIAMETERS AND ADDITIONAL WALL WIDTH & BASE DEPTH TO ACCOUNT FOR DEEPER STRUCTURES. ANY AND ALL MODIFICATIONS TO STANDARD STRUCTURES SHALL BE CONSIDERED INCIDENTAL TO BID

### ELECTRICAL SERVICE NOTES

- ALL SITE LIGHTING SHALL NOT SPILL ONTO ADJACENT PROPERTIES OR RIGHT-OF-WAYS
- TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.

### SANITARY SERVICE NOTES

- SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2% FOR A 4" PIPE AND 1% FOR A 6" PIPE. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATER MAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.

### STORM WATER SERVICE NOTES

- ALL STORM SEWER IN THE ROW SHALL BE RCP (CLASS III RCP), UNLESS OTHERWISE SPECIFIED.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- ALL SUMP SERVICE LINES SHALL HAVE TRACE WIRE

### WATER SERVICE NOTES

- WATER SERVICE SHALL BE TYPE K COPPER, DIP OR HDPE, DEPENDING ON SIZE AND JURISDICTIONAL REQUIREMENTS. IF CONTAMINATED OR "HOT" SOILS, ENSURE APPROPRIATE PIPE IS BEING UTILIZED. SIZE OF WATER MAIN AS SHOWN ON PLANS.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATER MAIN CONSTRUCTION.
- ANY AND ALL HYDRANT AND VALVE EXTENSIONS, TOGETHER WITH VERTICAL BENDS, SHALL BE CONSIDERED INCIDENTAL TO WATER MAIN CONSTRUCTION. NO ADDITIONAL PAYMENT WILL BE PROVIDED FOR INCIDENTAL ITEMS.
- ALL WATER LINES SHALL HAVE A MINIMUM OF 5.5 FEET OF COVER UNLESS NOTED OTHERWISE.

## EXISTING UTILITIES NOTE

- THE LOCATIONS OF THE EXISTING UTILITIES SHOWN HEREON ARE APPROXIMATE. THEY HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND/OR RECORDS. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ANY EXISTING UTILITIES (SHOWN OR NOT SHOWN) ARE NOT DAMAGED DURING CONSTRUCTION: IOWA ONE-CALL (1-800-292-8989).

## UTILITY CONFLICT NOTES

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION THAT ARE EITHER CALLED OUT ON THE PLANS OR NOT CALLED OUT.
- CONTRACTOR SHALL COMPLY WITH ALL DNR REQUIREMENTS FOR PIPE MATERIAL, PIPE JOINTS, AND ANY OTHER APPLICABLE REQUIREMENTS ANY TIME A STORM SEWER OR SANITARY SEWER CROSSES OVER OR LESS THAN 18" BELOW A WATER MAIN.
- FOR ALL CRITICAL CROSSINGS WITH EXISTING UTILITIES, THE ELEVATION OF THE EXISTING UTILITY SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. NOTIFY PELDS DESIGN SERVICES PRIOR TO CONSTRUCTION IF A CONFLICT EXISTS.

## SPECIFICATIONS NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST VERSION OF THE URBAN STANDARDS SPECIFICATIONS FOR PUBLIC IMPROVEMENTS ON THE DATE OF APPROVAL AND THE CITY OF WAUKEE SUPPLEMENTAL SPECIFICATIONS.
- IN THE EVENT OF A DISCREPANCY BETWEEN THE PROJECT SPECIFICATIONS AND THE LOCAL JURISDICTION REQUIREMENTS AND SPECIFICATIONS, PLUMBING CODE, AND URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENT, THE LOCAL JURISDICTION STANDARD SPECIFICATIONS SHALL GOVERN.
- FOR ALL SPECIFICATION DISCREPANCIES, THE PROJECT ENGINEER SHALL BE CONTACTED PRIOR TO PROCEEDING WITH CONSTRUCTION. IF THE ENGINEER IS NOT CONTACTED, CONTRACTOR SHALL BE RESPONSIBLE FOR ANY PROBLEMS THAT RESULT FROM SAID DISCREPANCIES.

## REQUIRED AS-BUILT NOTES

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COST OF AS-BUILT TOPO.
- CONTRACTOR SHALL CONTACT PELDS DESIGN SERVICES TO PERFORM SAID AS-BUILT SURVEYS.
- IF ANYTHING HAS BEEN CONSTRUCTED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.

## PAVING NOTES

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL ROW AREAS SHALL BE SODDED IN ACCORDANCE WITH THE LOCAL JURISDICTION SPECIFICATIONS AND THE LATEST VERSION OF SUDAS.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- DETECTABLE WARNING PANEL(S) CALLED OUT ON PLANS SHALL BE PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- SIDEWALKS SHALL HAVE EXPANSION JOINTS AT 100 FOOT INTERVALS AS REQUIRED BY CITY CODE
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

## PAVEMENT SAWCUT NOTES

- CONTRACTOR TO PROVIDE SAWCUT JOINTING PLAN PRIOR TO ANY CONCRETE PAVEMENT INSTALLATION.
- PAVEMENT MAY BE REQUIRED TO BE REMOVED AND REPLACED IF PLACED WITHOUT AN APPROVED PLAN.
- LONGITUDINAL JOINTS IN DRIVE LANES & THE OUTER MOST JOINT OF ALL PARKING AREAS SHALL BE SUDAS TYPE 'L-1' OR 'L-2' JOINTS AND HAVE STEEL. INTERIOR PARKING LOT JOINTS, OTHER THAN THE OUTER MOST JOINT, DO NOT NEED STEEL AND SHALL BE SUDAS TYPE 'B' OR TYPE 'K' JOINTS. ALL TRANSVERSE JOINTS SHALL BE SUDAS TYPE 'C' OR TYPE 'DW' JOINTS WITH STEEL IN THE CASE OF A DAY'S WORK JOINT.

## SOIL NOTES

- STRIP AND STOCKPILE THE TOP 8 INCHES OF SOIL ON ALL DISTURBED AREAS. GRADING CONTRACTOR SHALL STOCKPILE TOPSOIL FOR SHOULDERING.
- SOD REQUIREMENT PER SUDAS: IN AREAS WHERE TOPSOIL HAS BEEN STRIPPED, A SODBED SHOULD BE CONSTRUCTED BY SPREADING A MINIMUM OF 8 INCHES OF TOPSOIL PRIOR TO SODDING. DEEPER TOPSOIL DEPTHS (8 TO 12 INCHES OR GREATER) ARE DESIRABLE AS THEY INCREASE THE ORGANIC MATTER AVAILABLE FOR USE BY THE PLANTS, ALLOW FOR DEEPER ROOT PENETRATION AND INCREASE THE MOISTURE HOLDING ABILITY OF THE SOIL.
- PERMANENT SEED REQUIREMENT PER SUDAS: IN ORDER TO PROVIDE AN ADEQUATE GROWING MEDIUM, A MINIMUM OF 8 INCHES OF TOPSOIL SHOULD BE PLACED OVER THE DISTURBED AREA PRIOR TO SEEDING. DEEPER TOPSOIL DEPTHS (8-12 INCHES OR GREATER) ARE DESIRABLE AS THEY INCREASE THE ORGANIC MATTER AVAILABLE FOR USE BY THE PLANTS, ALLOW FOR DEEPER ROOT PENETRATION AND INCREASE THE MOISTURE HOLDING ABILITY OF THE SOIL.
- TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
- TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5; CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.
- REFERENCE GEOTECHNICAL REPORT FOR ADDITIONAL SOILS INFORMATION INCLUDING BUT NOT LIMITED TO SUBGRADE INFORMATION, FOOTING DESIGN, AND ANY POSSIBLE OVER EXCAVATION DUE TO POOR SOILS. PAVEMENT SECTIONS ON THE PLANS GOVERN OVER PAVEMENT THICKNESS IN THE SOILS REPORT.

## GRADING NOTES


- AREAS TO RECEIVE STRUCTURAL FILL SHALL BE BENCHED. STRUCTURAL FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR.
- PREPARE BOTTOM OF BENCH FOR FILL BY DISKING TO A DEPTH OF 12 INCHES AND COMPACT. ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT AND RE-COMPACTED WITH ON-SITE FILL MATERIALS.
- ALL AREAS WHICH ARE TO RECEIVE PAVING SHALL HAVE THE TOP 12 INCHES DISKED AND COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- MAINTAIN ALL CUT AND FILL AREAS TO ACCOMMODATE SURFACE DRAINAGE.
- FINISH GRADE ON ALL NON-PAVED AREAS SHALL BE WITHIN 0.10 FT, AND PAVED AREAS SHALL BE WITHIN 0.10 FT OF THE PROPOSED GRADES SHOWN ON THE PLAN
- MAXIMUM ALLOWABLE GRADE ON ALL PROPOSED SLOPES IS 3:1.
- THE MOISTURE CONTENT SHALL NOT DEVIATE FROM THE OPTIMUM BY MORE THAN 2% IN STRUCTURAL FILL.
- MAXIMUM 2% CROSS-SLOPE ON ALL SIDEWALKS.
- GRADING AND EROSION CONTROL SHALL BE DONE IN ACCORDANCE WITH THE APPROVED GRADING PLAN, SWPPP, NPDES DOCUMENTS, AND IOWA DEPARTMENT OF NATURAL RESOURCES REQUIREMENTS.

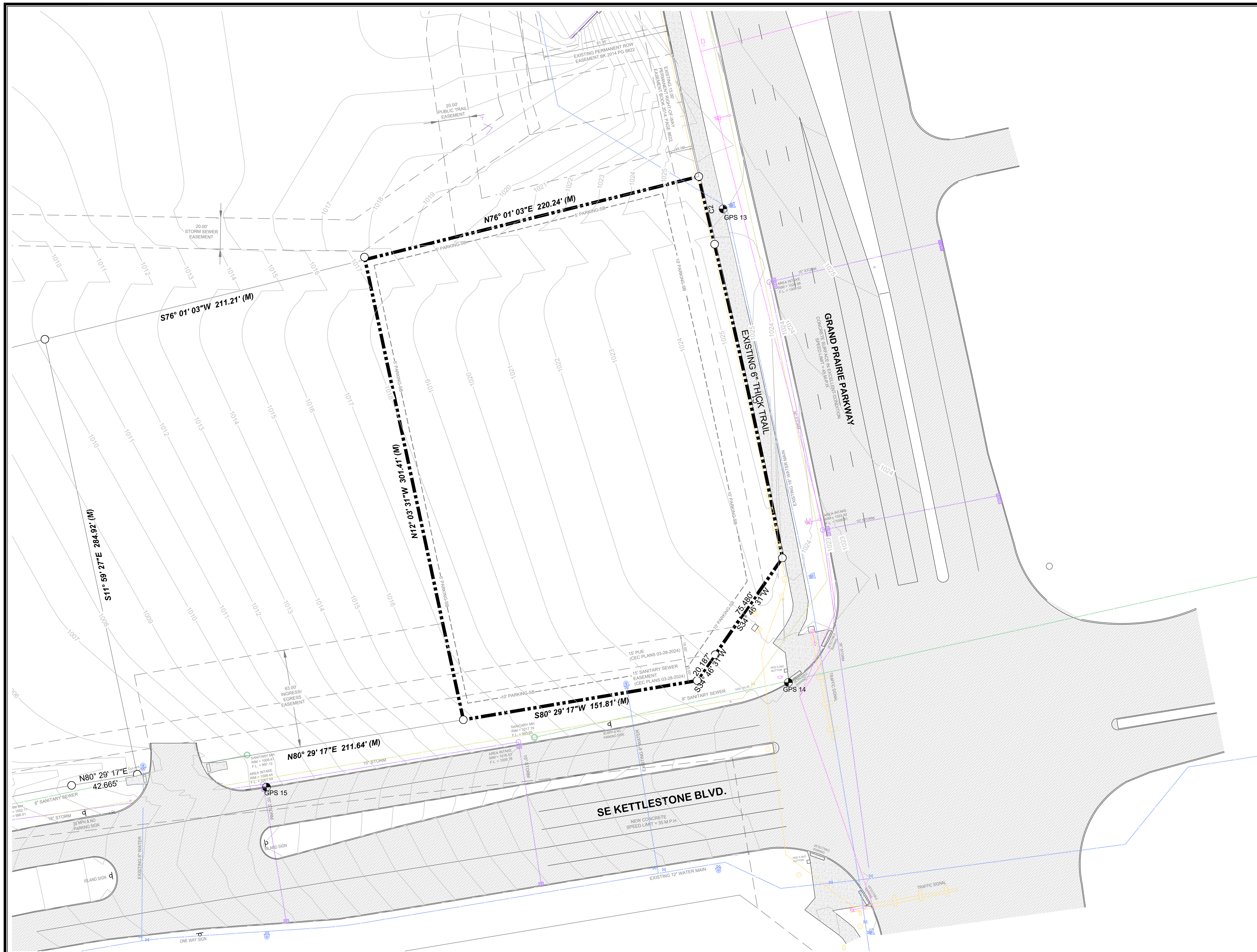
## LANDSCAPING NOTES

- ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, UNLESS NOTED OTHERWISE. SOD LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES. SEED ALL DISTURBED AREAS OFF-SITE
- STAKE SOD ON ALL SLOPES 4:1 OR GREATER.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF ACCEPTANCE.
- CONTRACTOR SHALL PLACE BRICK CHIPS OR WASHED STONE AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- PROVIDE 6MIL MINIMUM PLASTIC BELOW ROCK/BRICK.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- CONTRACTOR SHALL DESIGN AND PROVIDE IRRIGATION SYSTEM. COORDINATION WITH ARCHITECT REQUIRED.
- ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.
- RELOCATION OF UTILITIES IN RIGHT-OF-WAY ARE AT OWNER'S EXPENSE.

## FIRE SAFETY CONSTRUCTION NOTES

- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES.
- IF PAVING IS NOT INSTALLED PRIOR TO BUILDING CONSTRUCTION COMMENCING AFTER FOOTING INSTALLED, AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING TO EXTEND WITHIN 100 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS SHALL BE PROVIDED AND COMPLY WITH THE REQUIREMENTS OF SECTION 503.2 OF THE IFC.

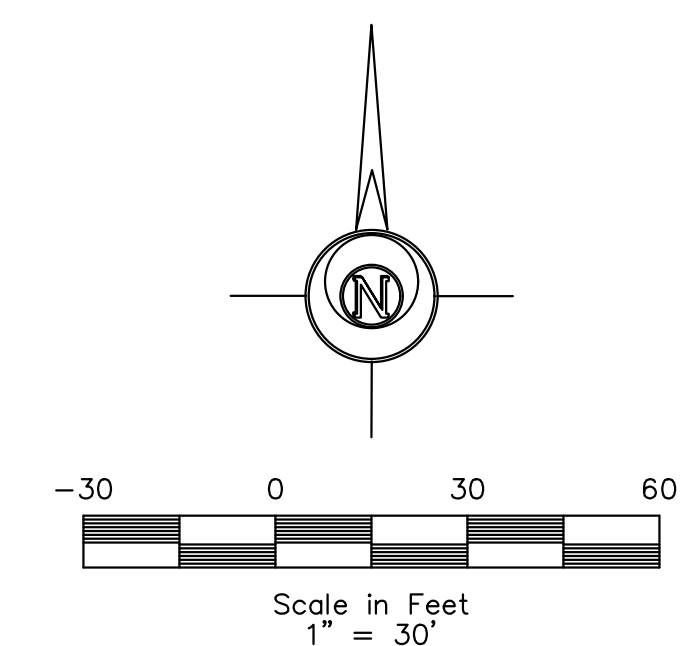
 <b>PELDS Design Services</b> Architecture   Engineering   Surveying 2323 Dixon Street, Des Moines, Iowa 50316   PO Box 4626, Des Moines, Iowa 50305   Ph: 515 265 8196			
<b>CASEY'S GENERAL STORE #4658</b> <b>3090 GRAND PRAIRIE PARKWAY</b> <b>WAUKEE, IOWA</b>			
DATE:		<b>PRELIMINARY</b>	
REVISIONS:		REVISIONS:	
COPYRIGHT DATE: 2024	DRAWN BY: L. BURKE	SCALE:	LATEST REVISION: 05.14.2025
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			<b>C-002 - NOTE SHEET</b>



Curve Table						
Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Tangent
C2	44.52	5086.50	0°30'05"	S13° 08' 31"E	44.52'	22.26'
C1	205.61	4913.50	2°23'51"	S12° 11' 38"E	205.59'	102.82'

CONTROL POINTS TABLE				
Point#	North	East	Elevation	Description
GPS 10:	573820.717	1542842.748	996.387	SET CUT "X"
GPS 11:	574051.336	1542853.638	1000.765	SET CUT "X"
GPS 12:	574601.332	1543397.604	1026.532	SET CUT "X"
GPS 13:	574267.460	1543463.779	1026.026	SET CUT "X"
GPS 14:	573964.087	1543505.555	1022.497	SET CUT "X"
GPS 15:	573897.076	1543171.331	1008.420	SET CUT "X"
GPS 16:	574757.551	1543374.513	1025.305	SET CUT "X"

**NOTE:**  
EXISTING CONTOURS SHOWN PER KETTLESTONE LAKES, PLAT 1 DATED 01/21/2025 BY CDA.



LEGEND:	
F.F.	FINISHED FLOOR
+/-	MORE OR LESS
123.45G	GUTTER ELEVATION
123.45TC	TOP OF CURB ELEVATION
123.45/123.45	EXISTING/PROPOSED ELEVATION
FL	FLOWLINE ELEVATION
⊙	CONTROL POINT
○	CALCULATED CORNER
●	FOUND CORNER
▲	CALCULATED SECTION CORNER
△	FOUND SECTION CORNER
□	PARKING SPACE
⊙	SIGN
⊙	STREET LIGHT
⊙	POWER POLE
⊙	LIGHT POLE
⊙	AREA LIGHT
⊙	ELEC. TRANSFORMER
⊙	ELEC. METER
⊙	ELEC. BOX
⊙	ELEC. MANHOLE
⊙	ELEC. VAULT
⊙	GUY ANCHOR
⊙	UTILITY PEDESTAL
⊙	CABLE TV JUNCTION BOX
⊙	GAS VALVE
⊙	GAS METER
⊙	SANITARY SEWER MANHOLE
⊙	STORM SEWER MANHOLE
⊙	CLEANOUT
⊙	DOWNSPOUT
⊙	SINGLE INTAKE
⊙	AREA INTAKE
⊙	THROAT INTAKE
⊙	FLARED END SECTION
⊙	VALVE
⊙	FIRE HYDRANT
⊙	WATER METER
⊙	WATER VALVE
⊙	WATER TEE
⊙	WATER TIE
⊙	PROPOSED UTILITY LINE
⊙	EXISTING UTILITY LINE
⊙	CATV — CABLE TELEVISION
⊙	FO — FIBER OPTIC
⊙	G — GAS LINE
⊙	O — OVERHEAD ELEC.
⊙	OHT — OVERHEAD TEL.
⊙	SAN — SANITARY SEWER
⊙	ST — STORM SEWER
⊙	UGT — UNDERGROUND ELEC.
⊙	UGT — UNDERGROUND TEL.
⊙	W — WATER
⊙	— FENCE LINE



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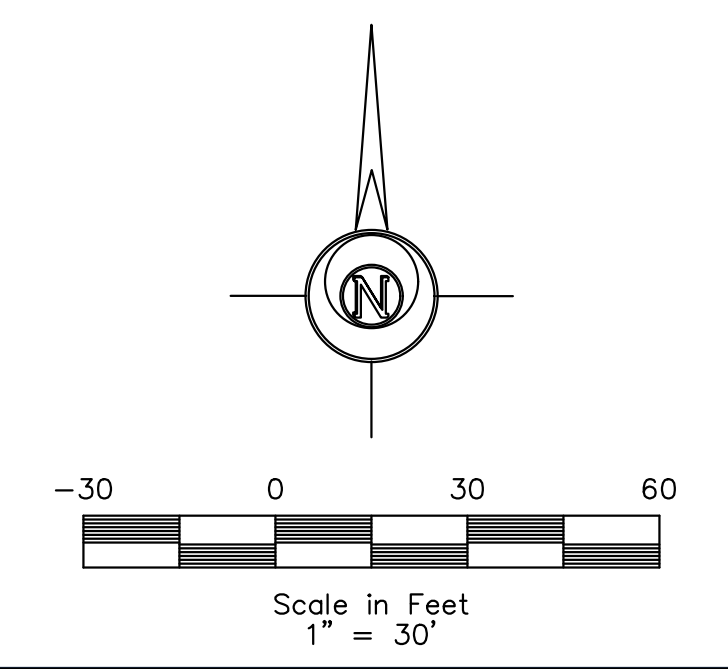
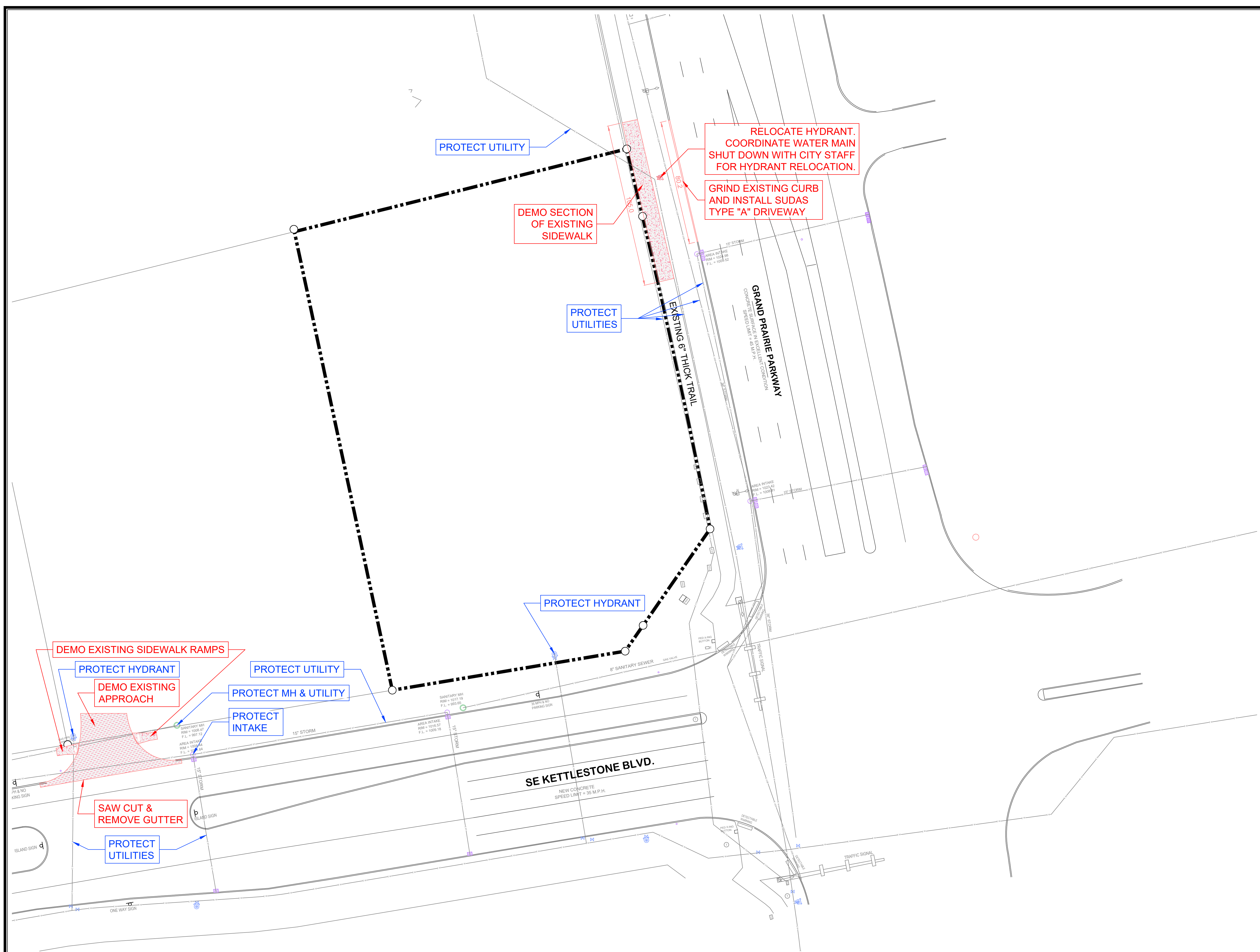
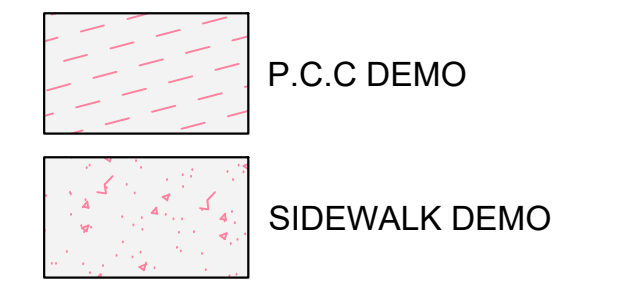
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**CASEY'S GENERAL STORE #4658**  
3090 GRAND PRAIRIE PARKWAY  
WAUKEE, IOWA

**PRELIMINARY**

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**NOTES:**  
 -IF ANY WAUKEE UTILITIES REQUIRE LOWERING FOR THE PROPOSED IMPROVEMENTS, THE COST TO MOVE THESE UTILITIES WILL BE THE DEVELOPER/OWNER'S RESPONSIBILITY.



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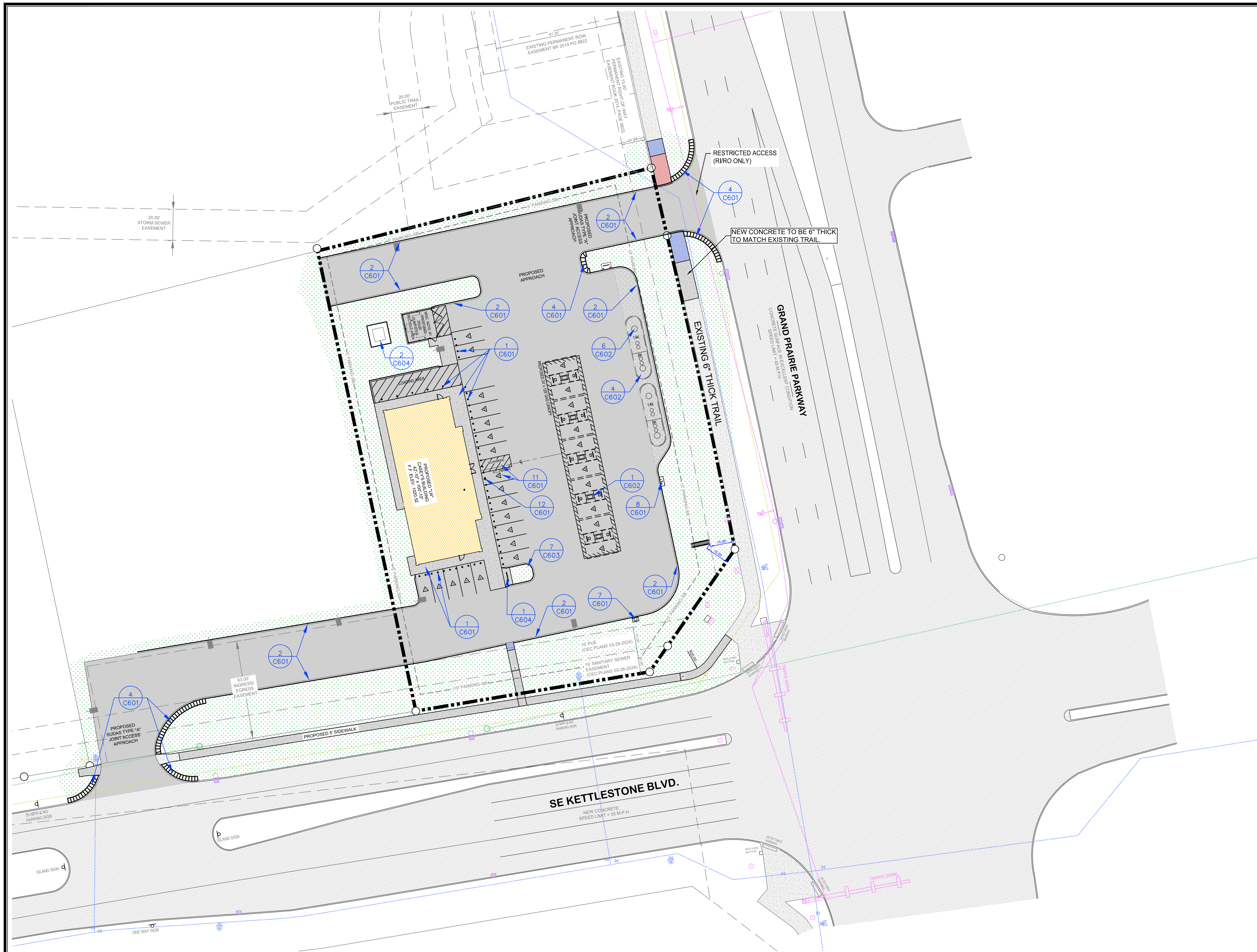
**CASEY'S GENERAL STORE #4658**  
 3090 GRAND PRAIRIE PARKWAY  
 WAUKEE, IOWA

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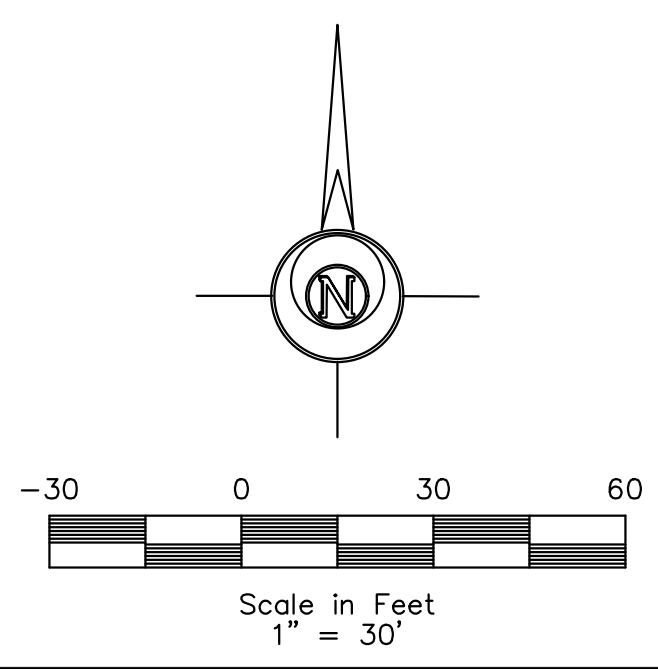
**LEGEND:**

F.F.	FINISHED FLOOR	▲	CALCULATED SECTION CORNER	⊙	ELEC. MANHOLE	⊖	SINGLE INTAKE	— CATV —	CABLE TELEVISION
+/-	MORE OR LESS	△	FOUND SECTION CORNER	⊙	ELEC. VAULT	⊖	AREA INTAKE	— FO —	FIBER OPTIC
123.45G	GUTTER ELEVATION	□	PARKING SPACE	⊙	GUY ANCHOR	⊖	THROAT INTAKE	— G —	GAS LINE
123.45TC	TOP OF CURB ELEVATION	⊙	SIGN	⊙	UTILITY PEDESTAL	⊖	FLARED END SECTION	— OHE —	OVERHEAD ELEC.
123.45/123.45	EXISTING/ PROPOSED ELEVATION	⊙	STREET LIGHT	⊙	CABLE TV JUNCTION BOX	⊖	VALVE	— OHT —	OVERHEAD TEL.
FL	FLOWLINE ELEVATION	⊙	POWER POLE	⊙	GAS VALVE	⊖	FIRE HYDRANT	— SAN —	SANITARY SEWER
⊙	CONTROL POINT	⊙	LIGHT POLE	⊙	GAS METER	⊖	WATER METER	— ST —	STORM SEWER
⊙	CALCULATED CORNER	⊙	AREA LIGHT	⊙	SANITARY SEWER MANHOLE	⊖	WATER VALVE	— UGE —	UNDERGROUND ELEC.
●	FOUND CORNER	⊙	ELEC. TRANSFORMER	⊙	STORM SEWER MANHOLE	⊖	WATER TEE	— UGT —	UNDERGROUND TEL.
		⊙	ELEC. METER	⊙	CLEANOUT	⊖	PROPOSED UTILITY LINE	— W —	WATER
		⊙	ELEC. BOX	⊙	DOWNSPOUT	⊖	EXISTING UTILITY LINE	— F —	FENCE LINE



- EXISTING ROAD
- EXISTING SIDEWALK
- 8" REINFORCED P.C.C.
- 6" P.C.C.
- PROPOSED SIDEWALK
- SIDEWALK LANDING
- SIDEWALK RAMP
- PROPOSED BUILDING
- SOD & IRRIGATION LIMITS

**NOTES:**  
 ALL WORK IN/ON THE R.O.W. AREA IS SUBJECT TO THE CITY OF WAUKEE APPROVAL AND SPECIFICATIONS  
 CONTRACTOR IS RESPONSIBLE FOR DESIGN AND INSTALL OF IRRIGATION SYSTEM



LEGEND:	
F.F.	FINISHED FLOOR
+/-	MORE OR LESS
123.45G	GUTTER ELEVATION
123.45TC	TOP OF CURB ELEVATION
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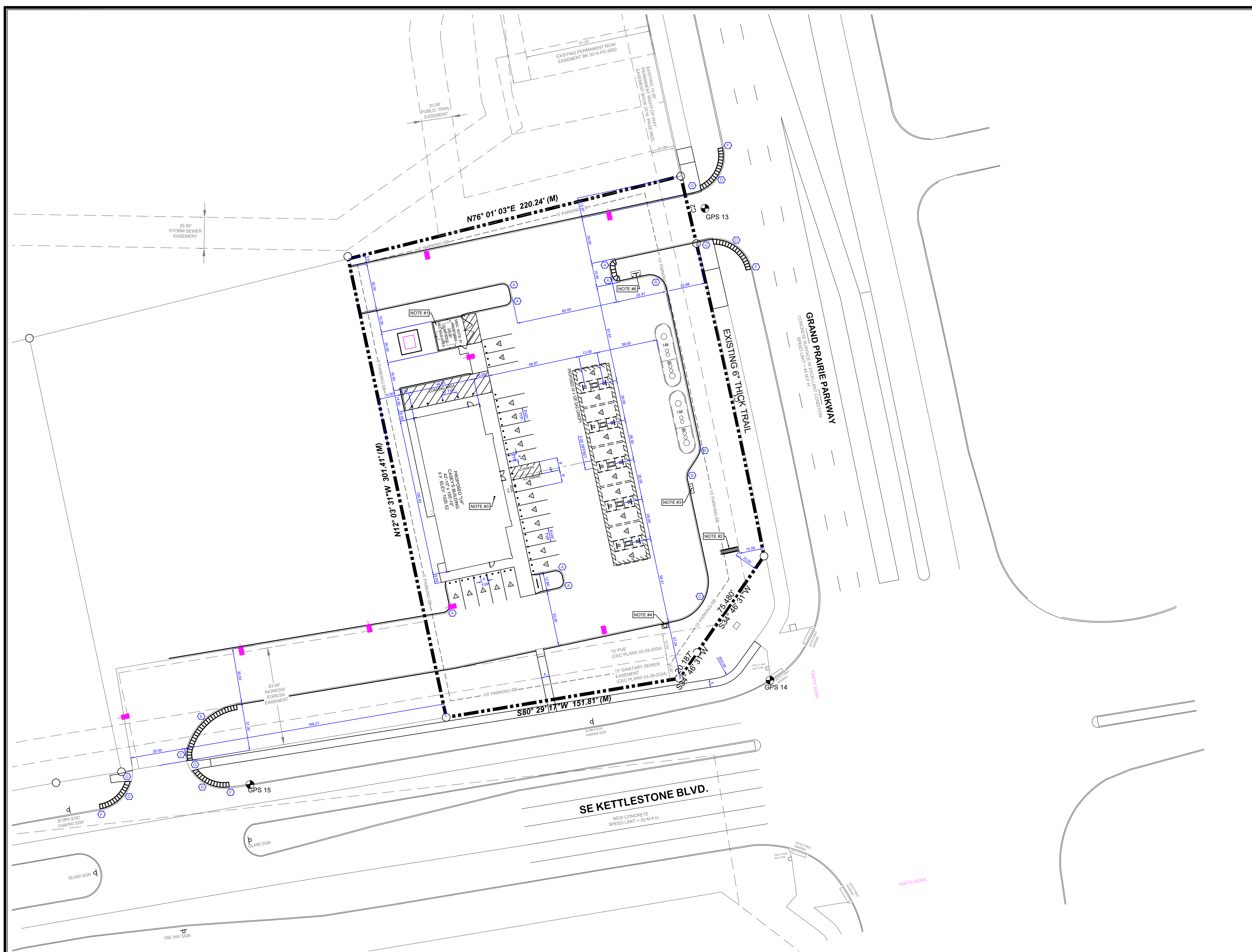
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			DRAWING NO: 24-013

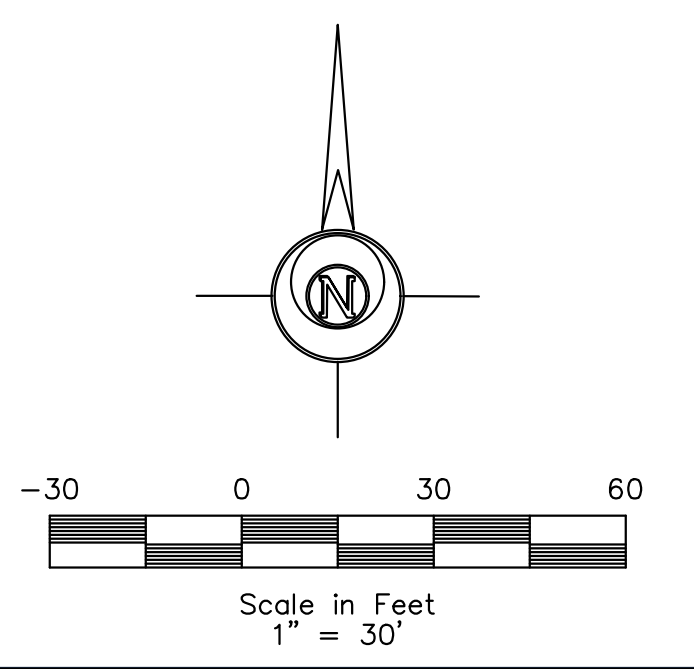
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- KEYED CONSTRUCTION NOTES:**
- Ⓐ PROPOSED 5' RADIUS
  - Ⓑ PROPOSED 10' RADIUS
  - Ⓒ PROPOSED 15' RADIUS
  - Ⓓ PROPOSED 25' RADIUS
  - Ⓔ PROPOSED 40' RADIUS
  - Ⓢ TIE INTO AND MATCH EXISTING CURB & FLOW LINE.
  - Ⓣ ADA TRUNCATED DOMES
- NOTE #1**  
DUMPSTER ENCLOSURE 6' HEIGHT WITH BRICK 2-9" GATES AND 4' SERVICE GATE
- NOTE #2**  
2 PRODUCT MONUMENT PRICE SIGN - REFER TO SIGN PACKET
- NOTE #3**  
ALL FUEL DISPENSERS FALL WITHIN A 100 FOOT RADIUS OF THE EMERGENCY SHUT-OFF SWITCH LOCATED INSIDE AT THE SALES COUNTER FOR THE CONVENIENCE STAFF. A SECONDARY SHUTOFF SHALL BE INSTALLED ON A POST AT THE CURB WITHIN A 100 RADIUS, ALONG WITH A 10LB ABC 4-A-8BC FIRE EXTINGUISHER MOUNTED TO POST @ 32" TO HANDLE ABOVE FINISH GRADE.
- NOTE #4**  
AIR COMPRESSOR BOX, MOUNTED TO STEEL POLE, INSTALLED ON CONCRETE PAD 16" FROM BACK OF CURB. 110 VOLT-60HZ-5.5 AMP. 8 GAUGE MINIMUM RECOMMENDED.
- NOTE #5**  
ALL WORK IN/ON THE R.O.W. AREA IS SUBJECT TO THE CITY OF WINDSOR HEIGHTS APPROVAL AND SPECIFICATIONS
- NOTE #6**  
TANK VENTS MOUNTED TO STAND ON 4x6" CONCRETE PAD

Curve #	Length	Radius	Delta	Chord Direction	Chord Length	Tangent
C2	44.52	5086.50	0°30'05"	S13° 08' 31"E	44.52'	22.28'
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- LEGEND:**
- |               |                             |   |                           |   |                        |          |                       |
|---------------|-----------------------------|---|---------------------------|---|------------------------|----------|-----------------------|
| F.F.          | FINISHED FLOOR              | ▲ | CALCULATED SECTION CORNER | Ⓢ | ELEC. MANHOLE          | — CATV — | CABLE TELEVISION      |
| +/-           | MORE OR LESS                | ▲ | FOUND SECTION CORNER      | Ⓣ | ELEC. VAULT            | — FO —   | FIBER OPTIC           |
| 123.45G       | GUTTER ELEVATION            | ▲ | PARKING SPACE             | Ⓢ | GUY ANCHOR             | — G —    | GAS LINE              |
| 123.45TC      | TOP OF CURB ELEVATION       | ▲ | SIGN                      | Ⓢ | UTILITY PEDESTAL       | — OHE —  | OVERHEAD ELEC.        |
| 123.45/123.45 | EXISTING/PROPOSED ELEVATION | ▲ | STREET LIGHT              | Ⓢ | CABLE TV JUNCTION BOX  | — OHT —  | OVERHEAD TEL.         |
| FL            | FLOWLINE ELEVATION          | ▲ | POWER POLE                | Ⓢ | GAS VALVE              | — SAN —  | SANITARY SEWER        |
| ○             | CONTROL POINT               | ▲ | LIGHT POLE                | Ⓢ | GAS METER              | — ST —   | STORM SEWER           |
| ●             | CALCULATED CORNER           | ▲ | AREA LIGHT                | Ⓢ | SANITARY SEWER MANHOLE | — UGE —  | UNDERGROUND ELEC.     |
| ○             | FOUND CORNER                | ▲ | ELEC. TRANSFORMER         | Ⓢ | STORM SEWER MANHOLE    | — UGT —  | UNDERGROUND TEL.      |
|               |                             | ▲ | ELEC. METER               | Ⓢ | CLEANOUT               | — W —    | WATER                 |
|               |                             | ▲ | ELEC. BOX                 | Ⓢ | DOWNSPOUT              | — E XX — | EXISTING UTILITY LINE |
|               |                             | ▲ |                           | Ⓢ |                        | — P XX — | PROPOSED UTILITY LINE |
|               |                             | ▲ |                           | Ⓢ |                        | — E XX — | EXISTING UTILITY LINE |
|               |                             | ▲ |                           | Ⓢ |                        | — F —    | FENCE LINE            |



**Architecture | Engineering | Surveying**  
2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4626, Des Moines, Iowa 50305 | Ph: 515.265.8196

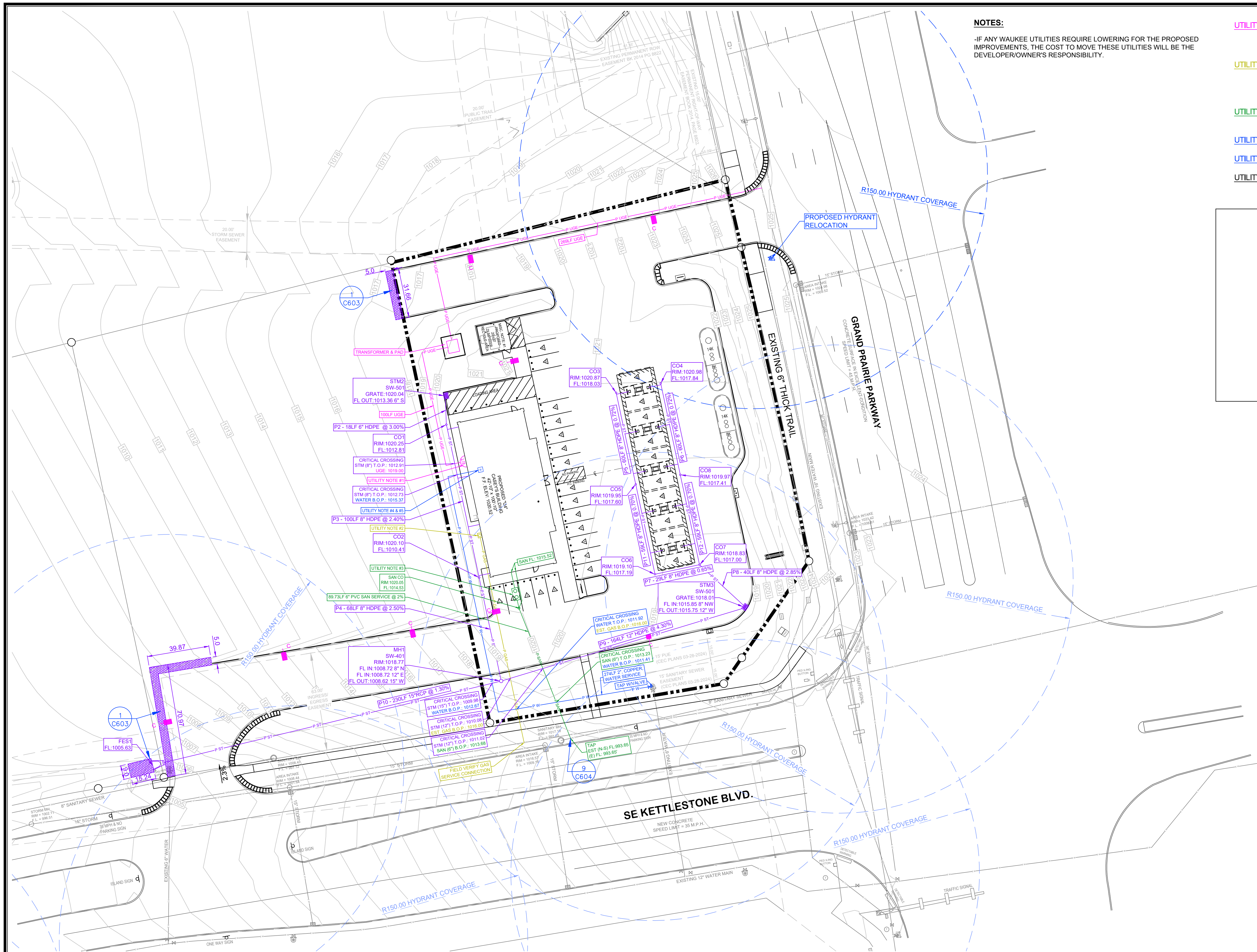
**CASEY'S GENERAL STORE #4658**  
3090 GRAND PRAIRIE PARKWAY  
WAUKEE, IOWA

PRELIMINARY

DATE: 05.14.2025	PROJECT: 24-013
DESIGNER: L. BURKE	DRAWING NO: 24-013
SCALE: 1"=30'	DATE: 05.14.2025

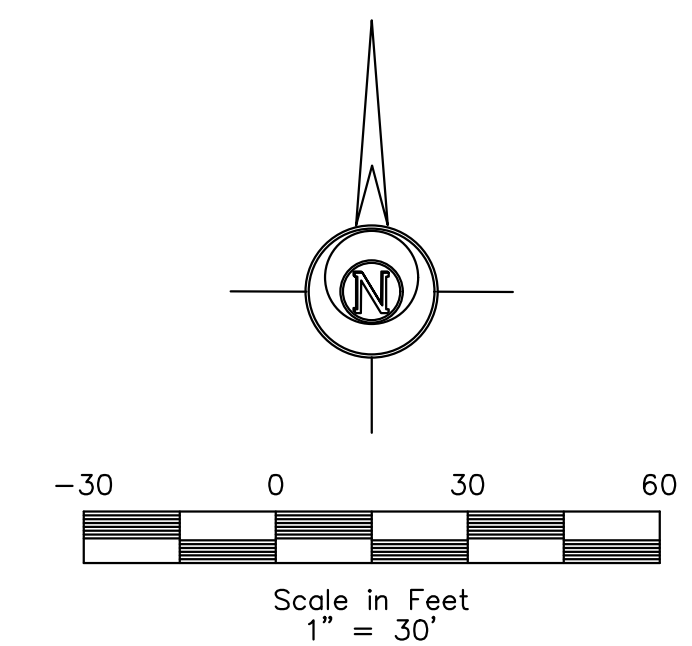
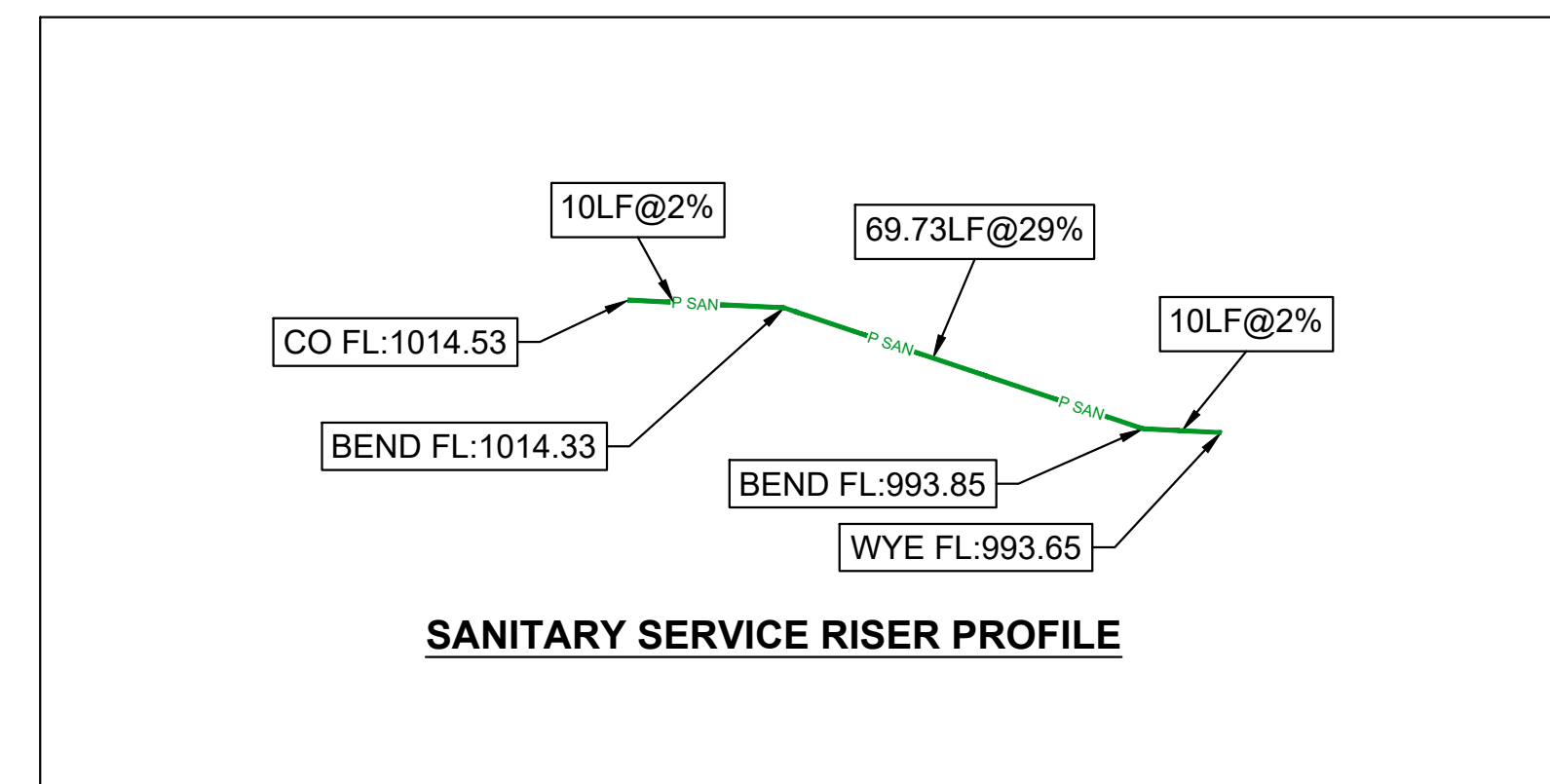
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**NOTES:**  
 -IF ANY WAUKEE UTILITIES REQUIRE LOWERING FOR THE PROPOSED IMPROVEMENTS, THE COST TO MOVE THESE UTILITIES WILL BE THE DEVELOPER/OWNER'S RESPONSIBILITY.

- UTILITY NOTE #1:** ELECTRICAL (C-STORE); ELECTRICAL SERVICE ENTRANCE.  
 -ELECTRIC 3 PHASE, 800 AMP, 480 VOLTS, 4 WIRE  
 -TELEPHONE 20 PAIR, 8 LINES
- UTILITY NOTE #2:** GAS (C-STORE); SERVICE ENTRANCE.  
 BLACK SCHEDULE 40 SCREWED PIPE (SIZED BY CITY OF WAUKEE)  
 CONNECTION LOAD IS 985 MBH. TOTAL CONNECTED LOAD IS 985,000 BTU  
 985 CU/FT. HR.
- UTILITY NOTE #3:** SANITARY SEWER (C-STORE); 6" PVC SANITARY SEWER SERVICE CONNECTION  
 1,000 GALLON BELOW GRADE GREASE INTERCEPTOR WITH 2 MANHOLES
- UTILITY NOTE #4:** WATER (C-STORE); 2" COPPER WATER SERVICE CONNECTION
- UTILITY NOTE #5:** IRRIGATION (C-STORE); IRRIGATION DESIGNED AND PROVIDED BY DEVELOPER
- UTILITY NOTE #6:** MAINTAIN A MINIMUM HORIZONTAL DISTANCE OF 10' BETWEEN SANITARY AND WATER SERVICES



**LEGEND:**

+/-	MORE OR LESS	⊙	ELEC. MANHOLE
F.F.	FINISHED FLOOR	⊙	SANITARY SEWER MANHOLE
123.45G	GUTTER ELEVATION	⊙	STORM SEWER MANHOLE
123.45TC	TOP OF CURB ELEVATION	⊙	TRAFFIC MANHOLE
123.45/123.45	EXISTING/ PROPOSED ELEVATION	⊙	CLEANOUT
FL	FLOWLINE ELEVATION	⊙	DOWNSPOUT
⊙	CONTROL POINT	⊙	AREA INTAKE
⊙	CALCULATED CORNER	⊙	SINGLE INTAKE
⊙	FOUND CORNER	⊙	THROAT INTAKE
⊙	CALCULATED SECTION CORNER	⊙	FLARED END SECTION
⊙	FOUND SECTION CORNER	⊙	GAS VALVE
⊙	PARKING SPACE	⊙	FIRE HYDRANT
⊙	SIGN	⊙	WATER VALVE
⊙	STREET LIGHT	⊙	P XX PROPOSED UTILITY LINE
⊙	POWER POLE	⊙	E XX EXISTING UTILITY LINE
⊙	LIGHT POLE	⊙	CATV CABLE TELEVISION
⊙	AREA LIGHT	⊙	FO FIBER OPTIC
⊙	GUY ANCHOR	⊙	GAS LINE
⊙	UTILITY PEDESTAL	⊙	OHE OVERHEAD ELEC.
⊙	ELEC. TRANSFORMER	⊙	OHT OVERHEAD TEL.
⊙	ELEC. METER	⊙	SAN SANITARY SEWER
⊙	ELEC. BOX	⊙	ST STORM SEWER
⊙	ELEC. VAULT	⊙	UGE UNDERGROUND ELEC.
⊙	FIBER OPTIC VAULT	⊙	UGT UNDERGROUND TEL.
⊙	GAS METER	⊙	W WATER
⊙	CABLE TV JUNCTION BOX	⊙	⊙-⊙-⊙ FENCE LINE
⊙	WATER METER		

Luminaire Schedule - See Photometric Plans for additional lighting components and information

Symbol	Qty	Label	Arrangement	Description	Mounting Height	LLF	Arr. Lum. Lumens	Arr. Watts	BUG Rating
⊙	8	C	Single	SLM-LED-18L-SIL-FT-50-70CRI-IL	17'	1.000	12043	135	B1-U0-G2

**LEGEND:**

▲	CALCULATED SECTION CORNER	⊙	ELEC. MANHOLE	⊙	SINGLE INTAKE	⊙	CATV CABLE TELEVISION
▲	FOUND SECTION CORNER	⊙	ELEC. VAULT	⊙	AREA INTAKE	⊙	FO FIBER OPTIC
▲	PARKING SPACE	⊙	GUY ANCHOR	⊙	THROAT INTAKE	⊙	GAS LINE
▲	SIGN	⊙	UTILITY PEDESTAL	⊙	FLARED END SECTION	⊙	OHE OVERHEAD ELEC.
▲	STREET LIGHT	⊙	CABLE TV JUNCTION BOX	⊙	VALVE	⊙	OHT OVERHEAD TEL.
▲	POWER POLE	⊙	GAS VALVE	⊙	FIRE HYDRANT	⊙	SAN SANITARY SEWER
▲	LIGHT POLE	⊙	SANITARY SEWER MANHOLE	⊙	WATER METER	⊙	ST STORM SEWER
▲	AREA LIGHT	⊙	STORM SEWER MANHOLE	⊙	WATER VALVE	⊙	UGE UNDERGROUND ELEC.
▲	ELEC. TRANSFORMER	⊙	CLEANOUT	⊙	WATER TEE	⊙	UGT UNDERGROUND TEL.
▲	ELEC. METER	⊙	DOWNSPOUT	⊙	PROPOSED UTILITY LINE	⊙	W WATER
▲	ELEC. BOX	⊙		⊙	EXISTING UTILITY LINE	⊙	⊙-⊙-⊙ FENCE LINE

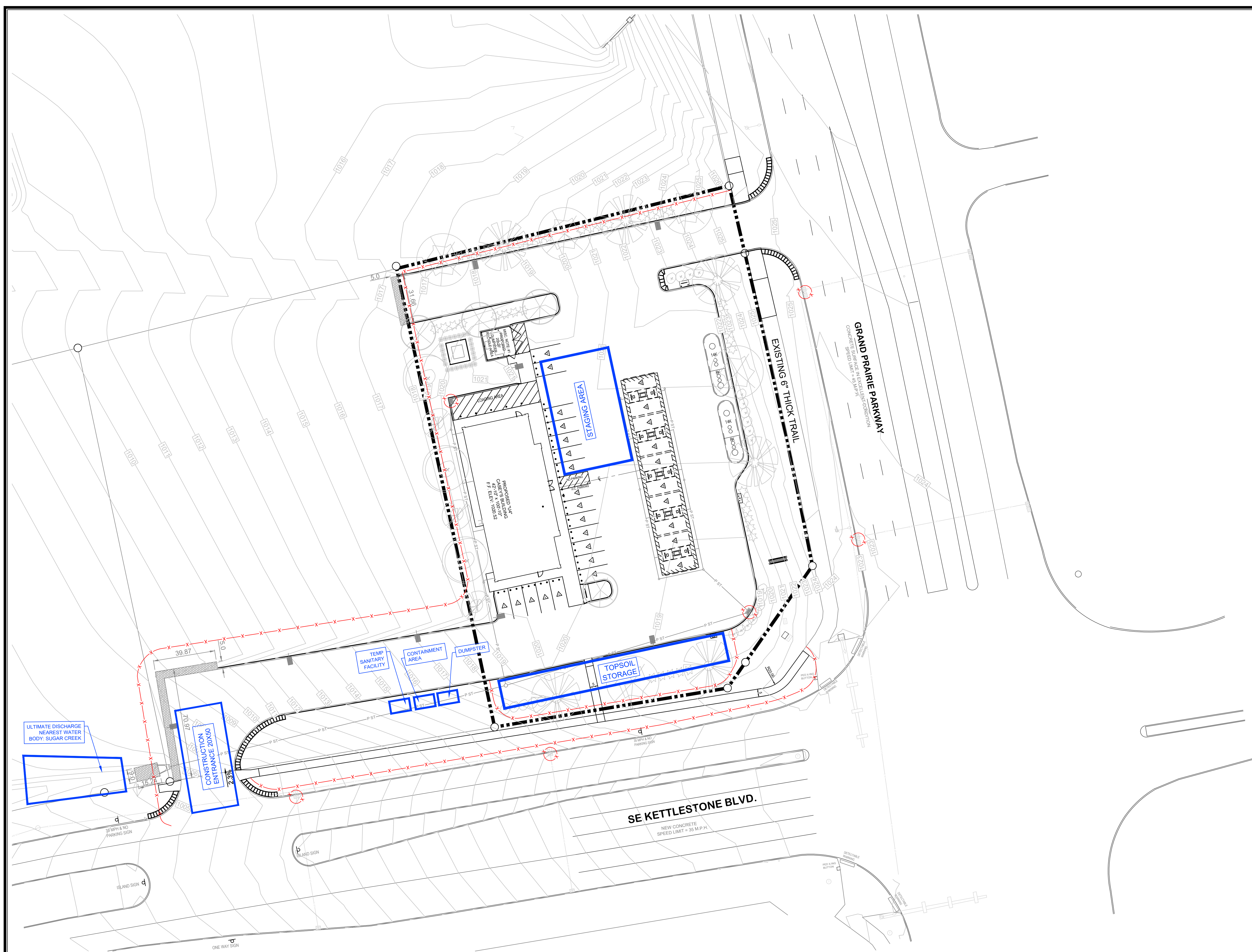
**P**ELDS DESIGN SERVICES  
 Architecture | Engineering | Surveying  
 2323 Dixon Street, Des Moines, Iowa 50316 | PO Box 4626, Des Moines, Iowa 50305 | Ph: 515.265.8196

**CASEY'S GENERAL STORE #4658**  
 3090 GRAND PRAIRIE PARKWAY  
 WAUKEE, IOWA

**PRELIMINARY**

DATE: 05.14.2025  
 DRAWN BY: L. BURKE  
 SCALE: 1"=30'  
 SHEET NO: 24-013

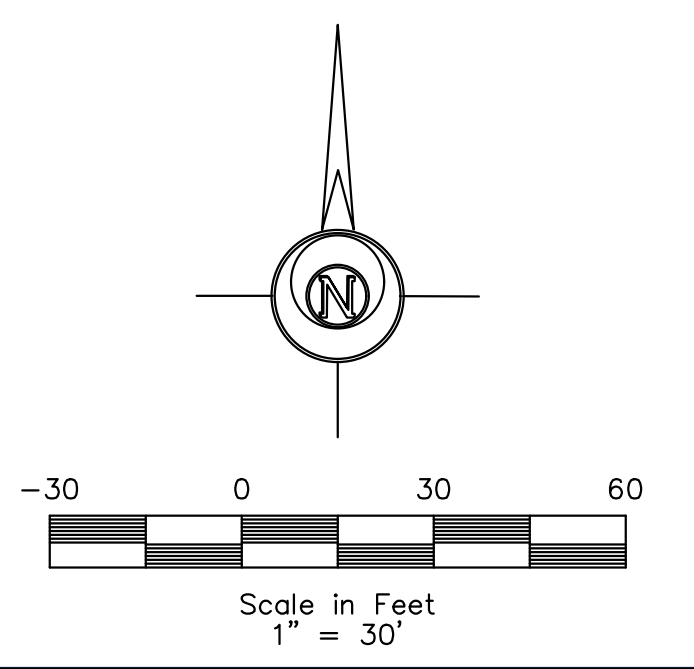
C-301 - UTILITY SHEET



- SWPPP NOTES:**
1. LOCATION OF STAGING AREAS TO CONTAIN: JOB TRAILERS, FUELING LOCATION, TEMPORARY SANITARY FACILITIES, MATERIALS STORAGE, CONCRETE WASHOUT AREA. CONTROL RUNOFF WITH DIVERSION BERMS OR SILT FENCE WHERE POSSIBLE.
  2. ALL INTERIOR & PERIMETER SILT FENCE NOT SHOWN. SEE EROSION CONTROL PLAN.
  3. SEED OR SOD ALL DISTURBED AREAS NOT PAVED OR DEVELOPED.
  4. ADDITIONAL CONTROLS MAY BE REQUIRED DEPENDING ON PHASING & SITE CONDITIONS. CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING, NOTING & IMPLEMENTING.
  5. A MINIMUM 8" LAYER OF TOPSOIL SHALL BE RESPREAD FROM THE STOCKPILE ONSITE TO SODDED PERVIOUS SURFACES THAT WERE DISTURBED DURING CONSTRUCTION. SEEDED AREAS TO RECEIVE A MINIMUM 8" OF TOPSOIL.
  6. ALL BARE AREAS THAT WILL REMAIN INACTIVE FOR 14 DAYS OR MORE REQUIRE IMMEDIATE STABILIZATION MEASURES (TEMPORARY SEEDING OR MULCHING). TYPE 4 WILL BE USED.
  7. ALL SLOPES 4:1 OR GREATER REQUIRE SEEDING AND MATTING

**EROSION CONTROL QUANTITIES:**

FINAL STABILIZATION (SOD):	.79 AC
SEDIMENT AND EROSION CONTROL	
EROSION FLOW TRANSITION MAT:	92 SY
SILT FENCING:	755 LF
INTAKE PROTECTION:	9 EA
CONSTRUCTION ENTRANCE:	1 EA
CONCRETE WASHOUT:	1 EA
ANNUAL RYE GRASS:	31.60 LB
OATS:	51.35 LB



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 3090 GRAND PRAIRIE PARKWAY  
 WAUKEE, IOWA

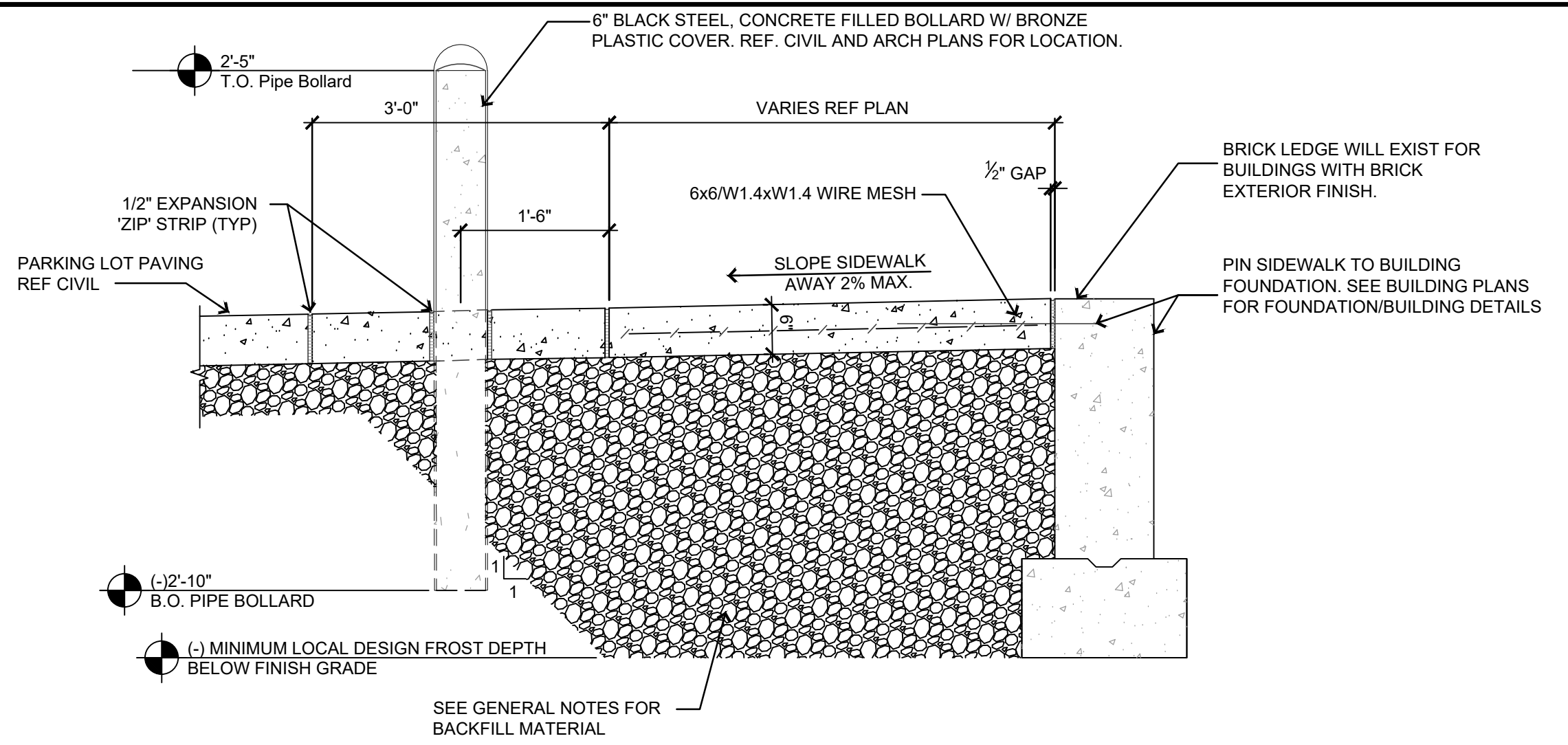
**PRELIMINARY**

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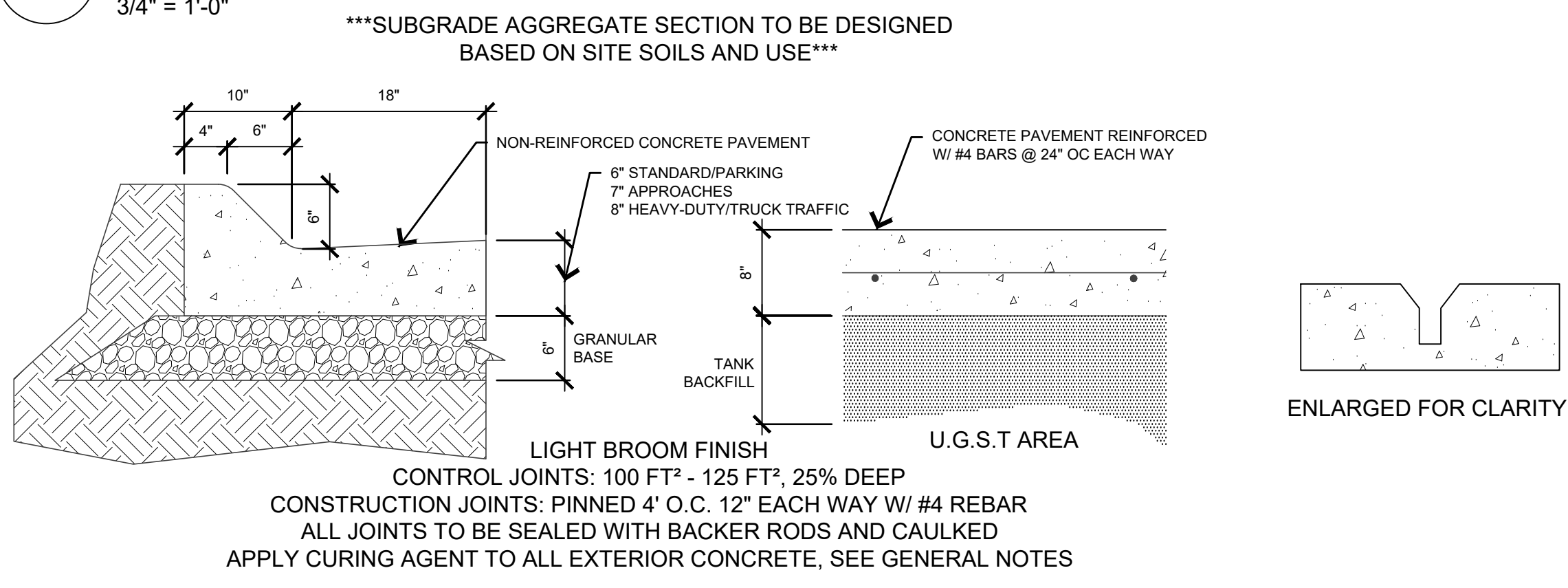
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**LEGEND:**

F.F. FINISHED FLOOR	▲ CALCULATED SECTION CORNER	⊙ ELEC. MANHOLE	⊞ SINGLE INTAKE	— CATV — CABLE TELEVISION
+/- MORE OR LESS	△ FOUND SECTION CORNER	⊙ ELEC. VAULT	⊞ AREA INTAKE	— FO — FIBER OPTIC
123.45G GUTTER ELEVATION	□ PARKING SPACE	⊙ GUY ANCHOR	⊞ THROAT INTAKE	— G — GAS LINE
123.45TC TOP OF CURB ELEVATION	⊞ SIGN	⊙ UTILITY PEDESTAL	⊞ FLARED END SECTION	— OHT — OVERHEAD ELEC.
123.45/123.45 EXISTING/PROPOSED ELEVATION	⊞ STREET LIGHT	⊙ CABLE TV JUNCTION BOX	⊞ VALVE	— OHT — OVERHEAD TEL.
FL FLOWLINE ELEVATION	⊞ POWER POLE	⊙ GAS VALVE	⊞ FIRE HYDRANT	— SAN — SANITARY SEWER
⊙ CONTROL POINT	⊞ LIGHT POLE	⊙ GAS METER	⊞ WATER METER	— ST — STORM SEWER
⊙ CALCULATED CORNER	⊞ AREA LIGHT	⊙ SANITARY SEWER MANHOLE	⊞ WATER VALVE	— UGT — UNDERGROUND ELEC.
● FOUND CORNER	⊞ ELEC. TRANSFORMER	⊙ STORM SEWER MANHOLE	⊞ WATER TEE	— UGT — UNDERGROUND TEL.
	⊞ ELEC. METER	⊙ CLEANOUT	⊞ WATER TEE	— W — WATER
	⊞ ELEC. BOX	⊙ DOWNSPOUT	— P XX — PROPOSED UTILITY LINE	— — — FENCE LINE
			— E XX — EXISTING UTILITY LINE	

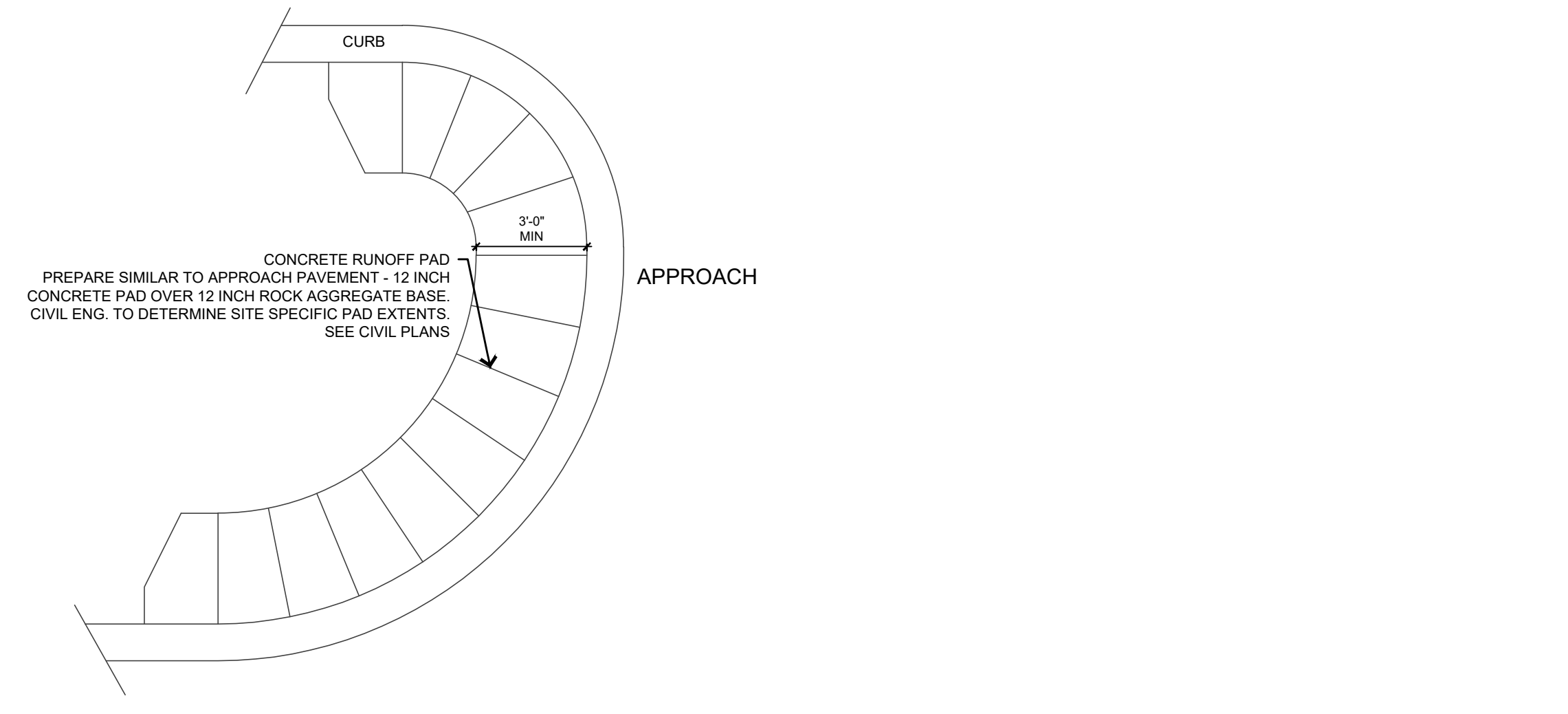


**1 TYPICAL BUILDING SIDEWALK AND BOLLARD**  
3/4" = 1'-0"

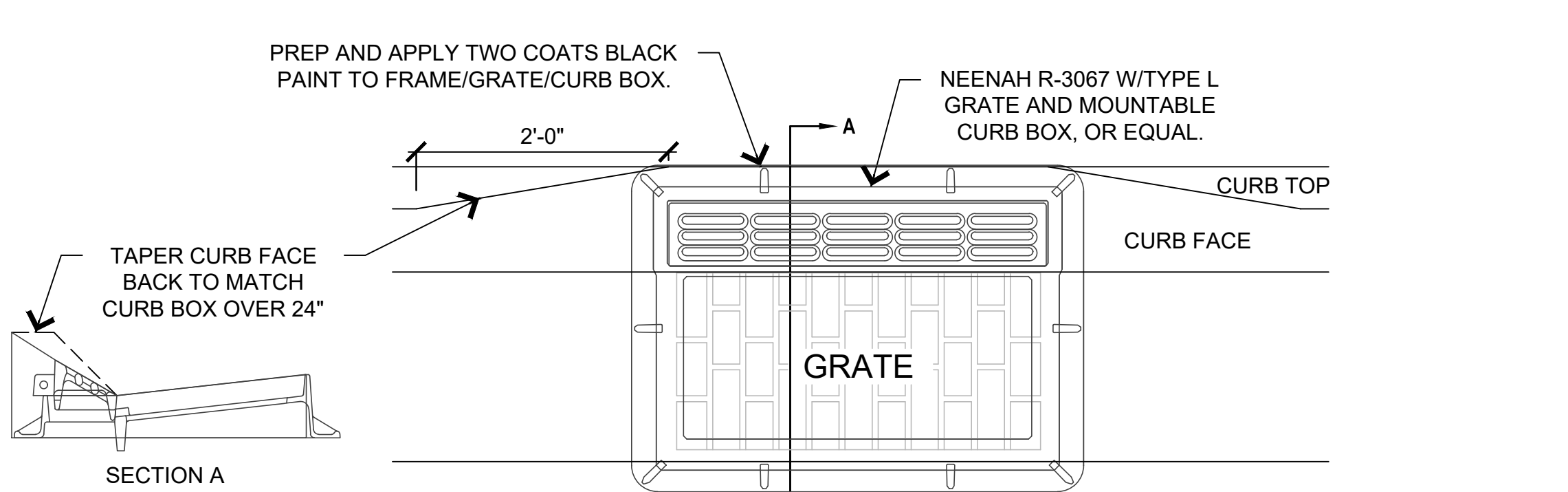


**2 CONCRETE PAVING AND CURB** Not to Scale

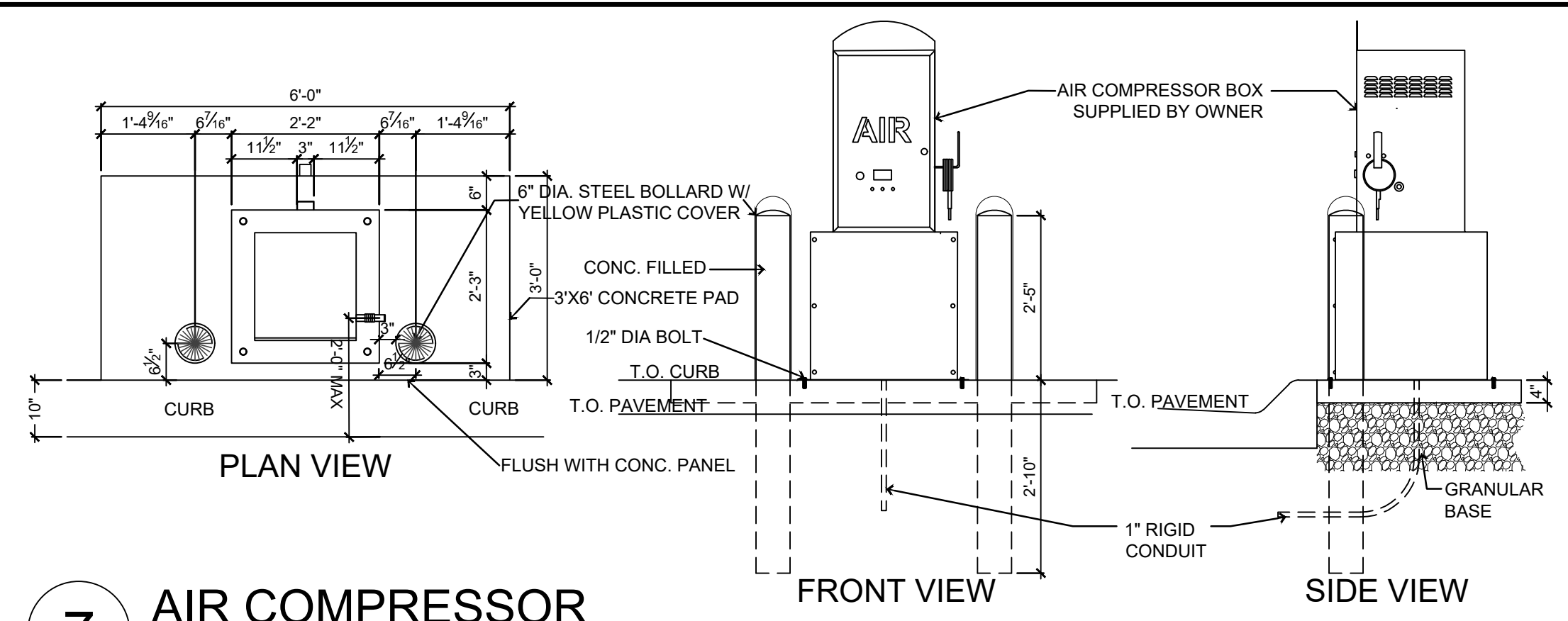
**3 PAVING SAW-CUT** Not to Scale



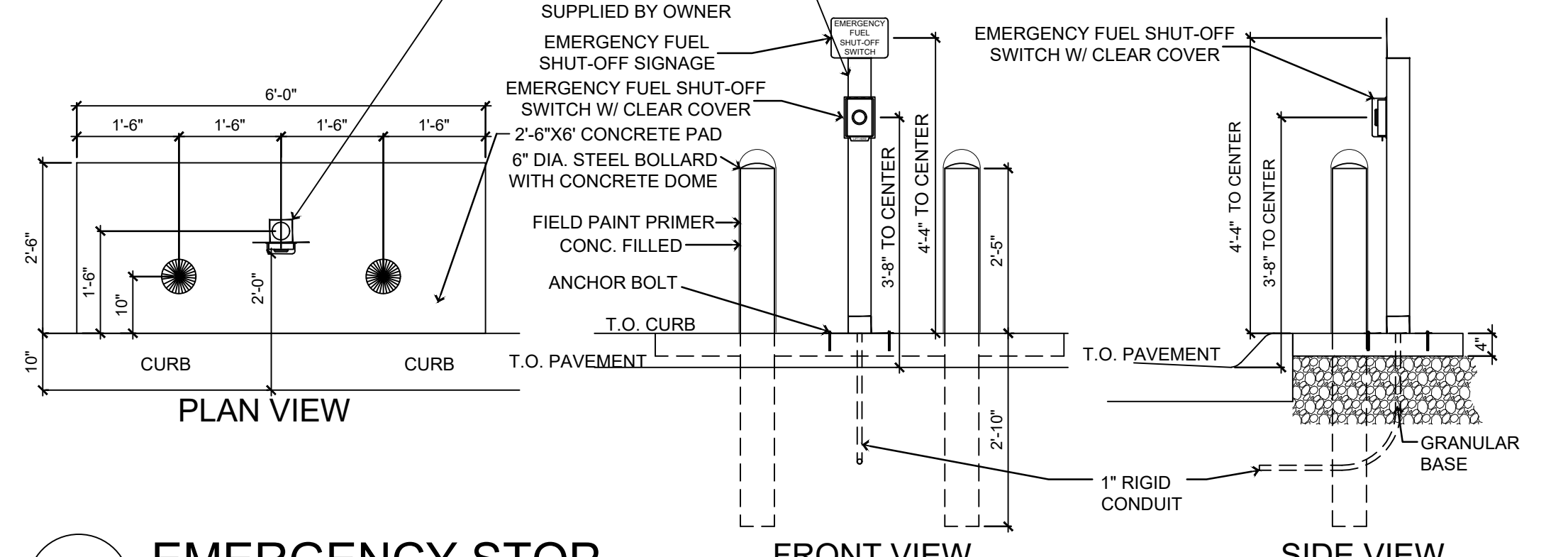
**4 LANDSCAPE PROTECTOR** Not to Scale



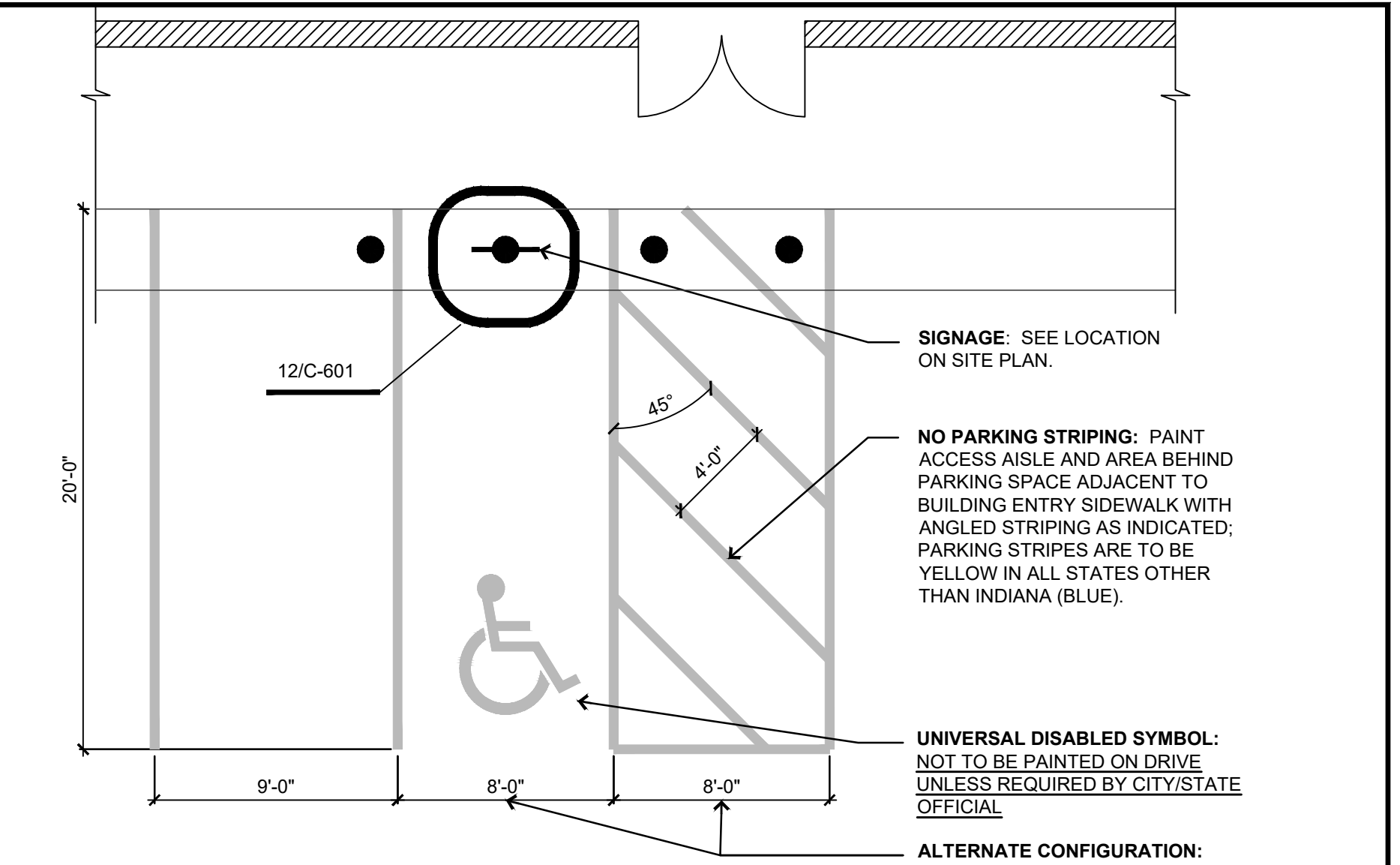
**6 CURB INLET** Not to Scale



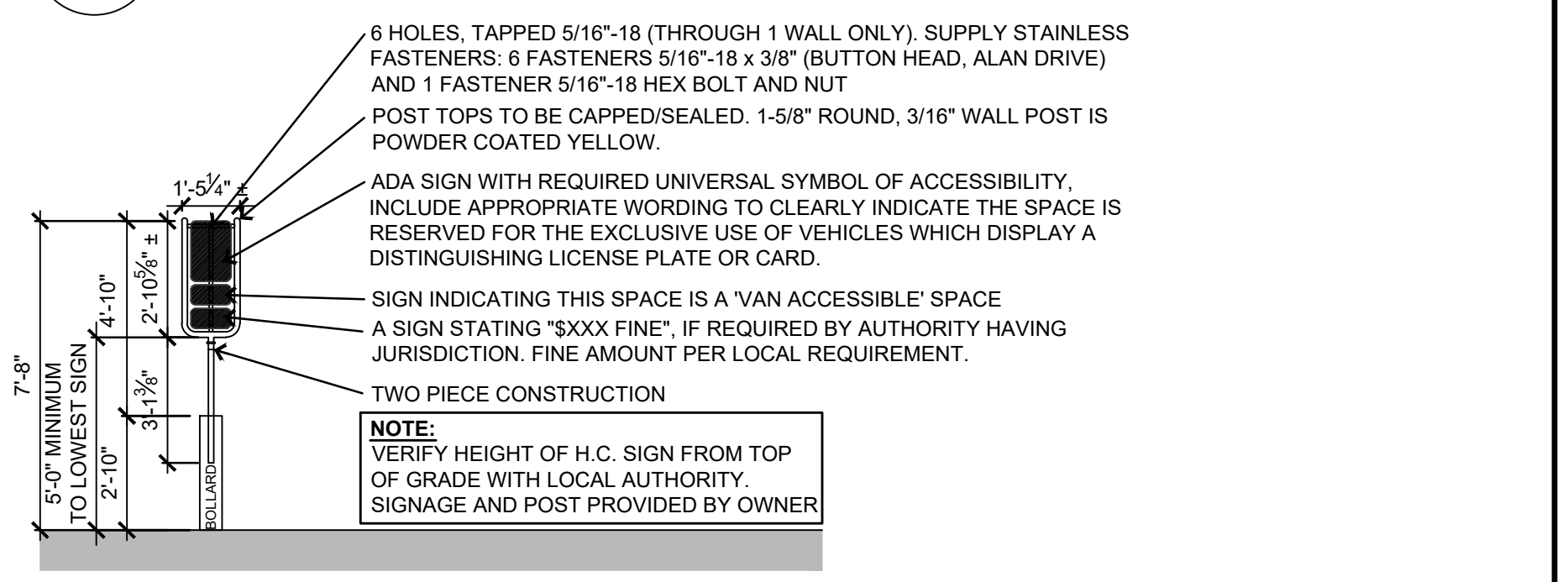
**7 AIR COMPRESSOR**  
1/2" = 1'-0"



**8 EMERGENCY STOP**  
1/2" = 1'-0"



**11 ADA PARKING SPACES**  
3/16" = 1'-0"



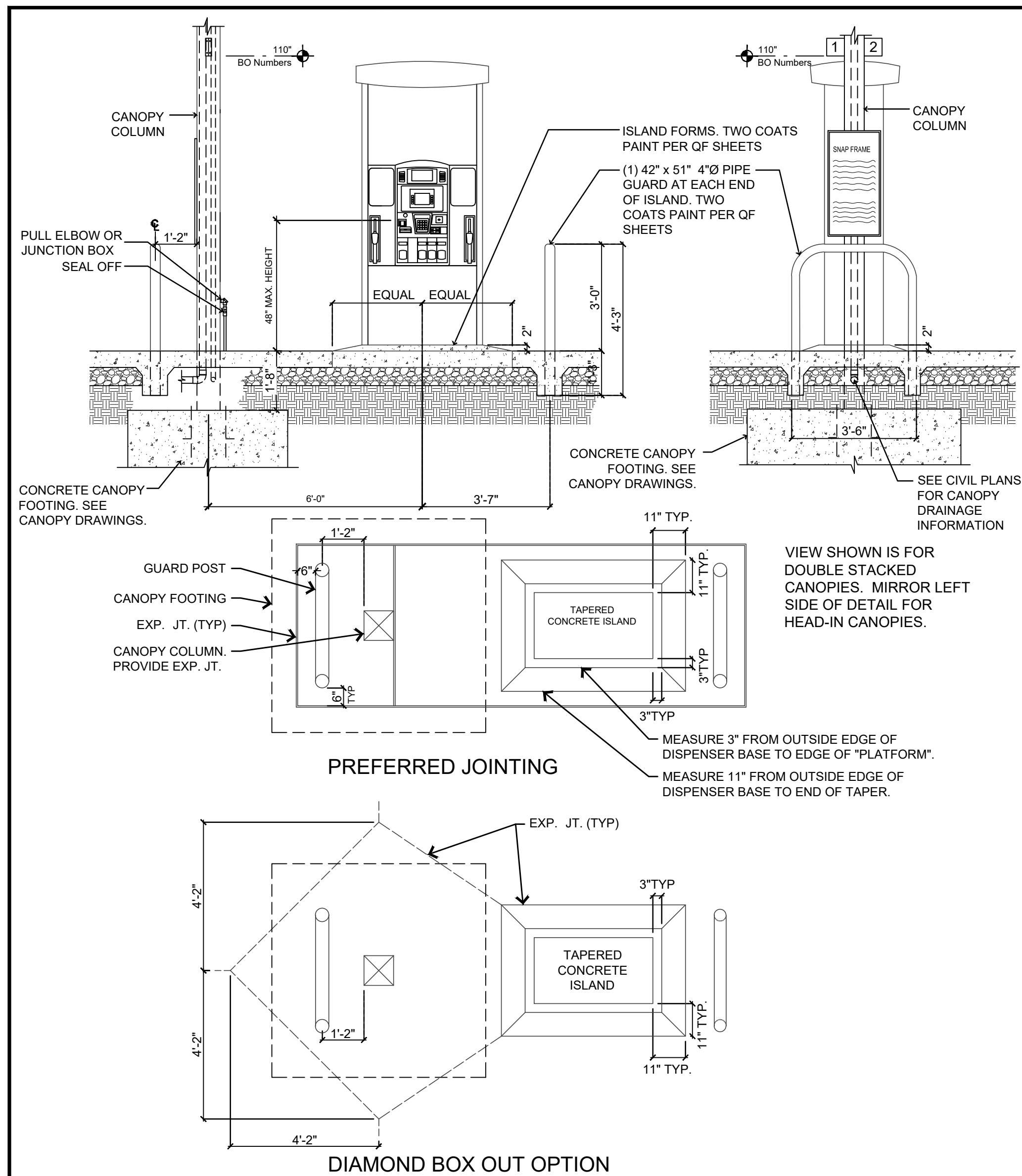
**12 ADA PARKING SIGN**  
1/4" = 1'-0"

**GENERAL NOTES**

- Concrete:**
- All concrete and reinforcing work shall conform to the latest edition of the American Concrete Institute's "Standard Building Code Requirements for Reinforced Concrete," (ACI 318) and "Specifications for Structural Concrete for Buildings," (ACI 301).
  - Concrete shall use type II cement. Concrete mix designs shall meet the following requirements:

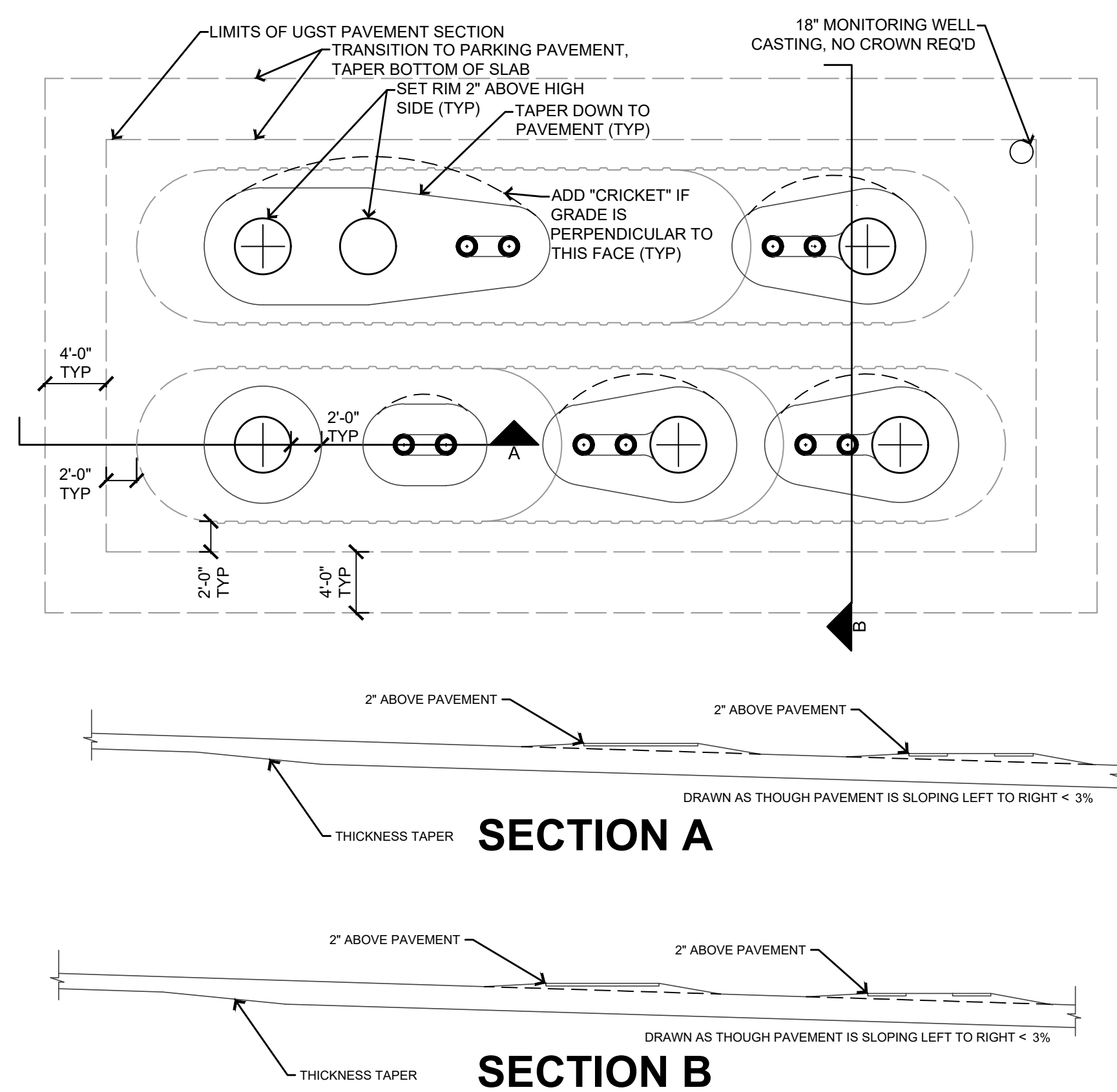
	MINIMUM 28-DAY f <sub>c</sub>	MAXIMUM W/C RATIO	SLUMP	AIR ENTRAIN.
Exterior exposed concrete	4,000 psi	0.42	4" ± 1"	6% ± 1%
  - If Contractor desires to increase slump above allowable limits to facilitate placement or pumping, this shall be done utilizing a superplasticizer approved by the Ready Mix Designer at a dosage rate provided by Ready Mix Designer.
  - The Contractor shall reject any concrete that exceeds the slump limits noted above (prior to adding superplasticizer) or concrete that can not be placed within ninety (90) minutes of batch time.
  - No aluminum shall be placed in concrete.
  - All concrete is reinforced unless specifically noted as Unreinforced. Reinforce all concrete not otherwise shown with the same reinforcing as in similar sections or areas.
  - During hot weather (80 degrees F and above), the Contractor shall comply with the recommendations ACI-305 "Hot Weather Concrete". During cold weather (40 degrees and below), the Contractor shall comply with the recommendations of ACI-306 "Cold Weather Concreting".
  - The concrete mix designs are to be submitted as a formal submittal to the Owner for acceptance PRIOR to concrete being delivered to the site.
  - Verify with local authorities the required thickness of poured concrete for approaches and parking lot.
  - Contractor to spray apply 'SpecChem Cure Shield' or 'Certi-Vex Guard Clear AIM' to all exterior concrete surfaces per manufacturer instructions. Use Swissmex DS-8350 Acetone Sprayer, or equivalent. Casey's recommended application rate is 200 sq.ft. per gallon. Contractor to ensure site install is appropriate. Substitute products must be pre-approved by Casey's.
- Sub-Base And Aggregate:**
- Sub-base Course Under Exterior Concrete Paved Surfaces: Spread and compact sub-base in 6"-9" lifts compacted to 98% Standard Proctor.
  - Aggregate backfill as follows or approved equal by Casey's:
    - Building Slab - 3/4" to 1-1/2" max. clean stone
    - Building Sidewalk - 3/4" to 1-1/2" max. clean stone
    - Pavement - 1" to 1-1/2" max. stone with fines
    - Sidewalk Not Adjacent to Building - Same as pavement
    - Tank pit - See QF sheets

<b>Casey's</b>		<b>Casey's</b>	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., Ankeny, IA. 50021 515-965-6100			
PROJECT	2024 Civil Details	DATE: 07/22/24	REVISIONS
DRAWING INFORMATION	CONSTRUCTION DIVISION	CHECKED BY	CIVIL DETAILS
DRAWN BY: ARLON GOFORTH III			<b>C-601</b>



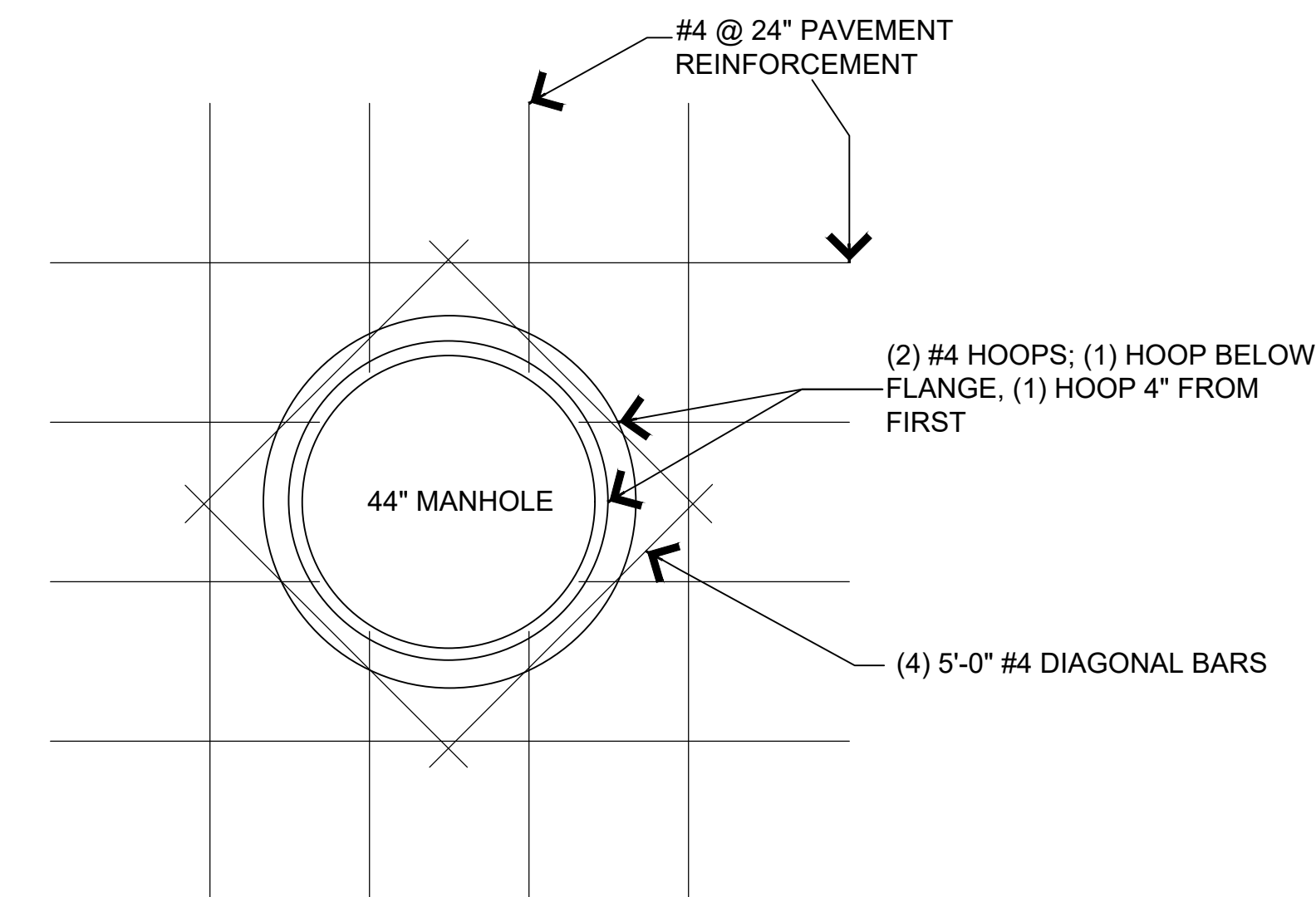
**1 GAS TAPERED FUEL ISLAND (PREFERRED OPTION)**

Not to Scale



**4 UGST PAVING FOR PAVEMENT SLOPE <3%**

Not to Scale



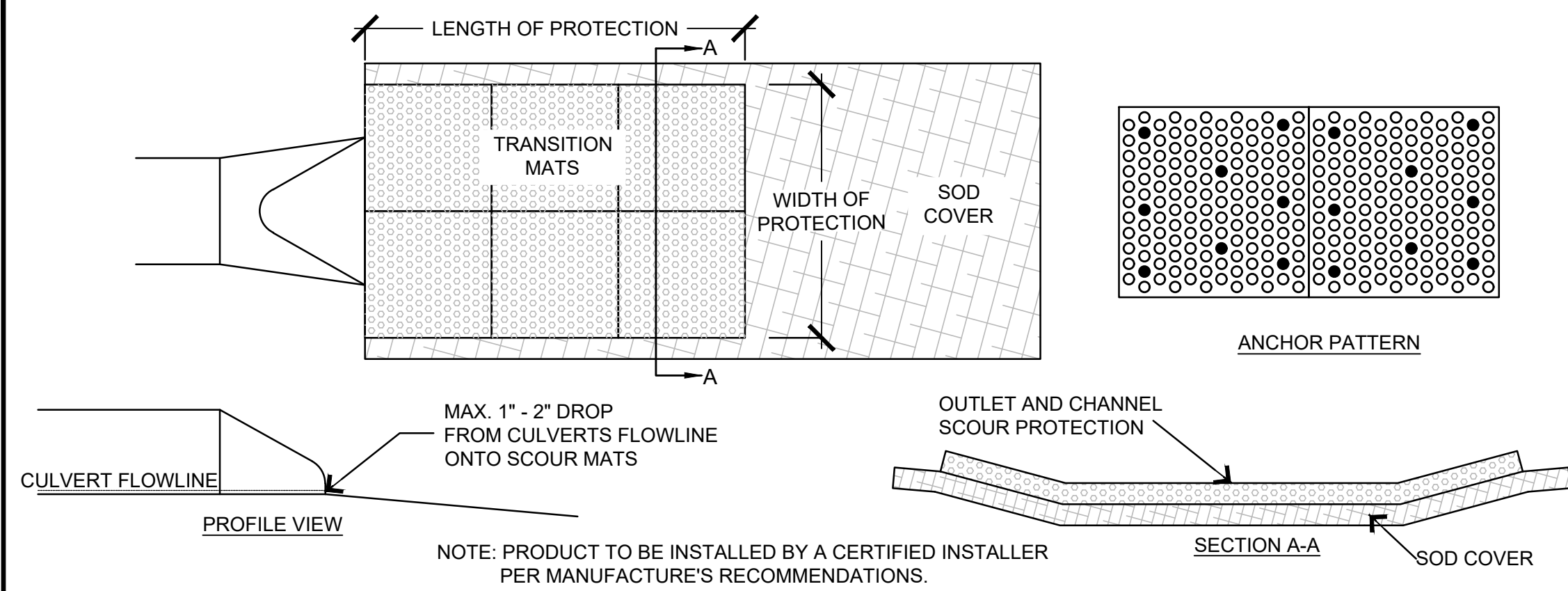
**General Notes:**

(1) ALL REINFORCING IS CENTER OF SLAB.

**6 UGST Manhole Detail**

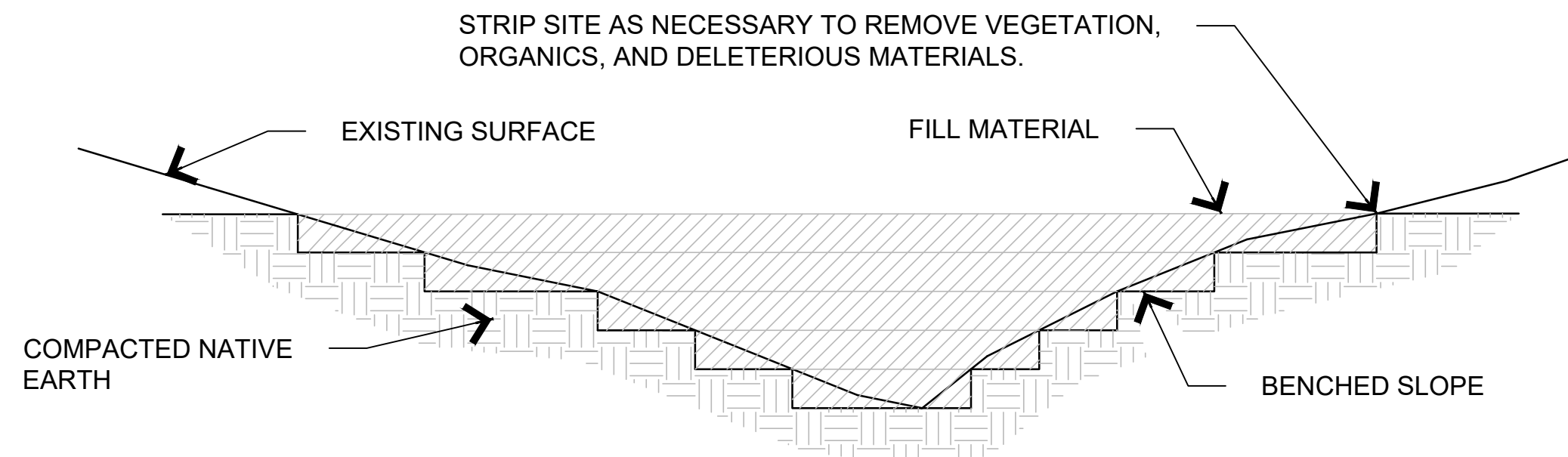
Not to Scale

<b>Casey's</b>	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., Ankeny, IA. 50021 515-965-6100	
PROJECT: 2024 Civil Details	DATE: 07/22/24
DRAWING INFORMATION: CONSTRUCTION DIVISION	CHECKED BY:
DRAWN BY: ARLON GOFORTH III	CHECKED BY:
<b>CIVIL DETAILS</b>	
<b>C-602</b>	



# 1 SCOUR STOP EROSION CONTROL

Not to Scale

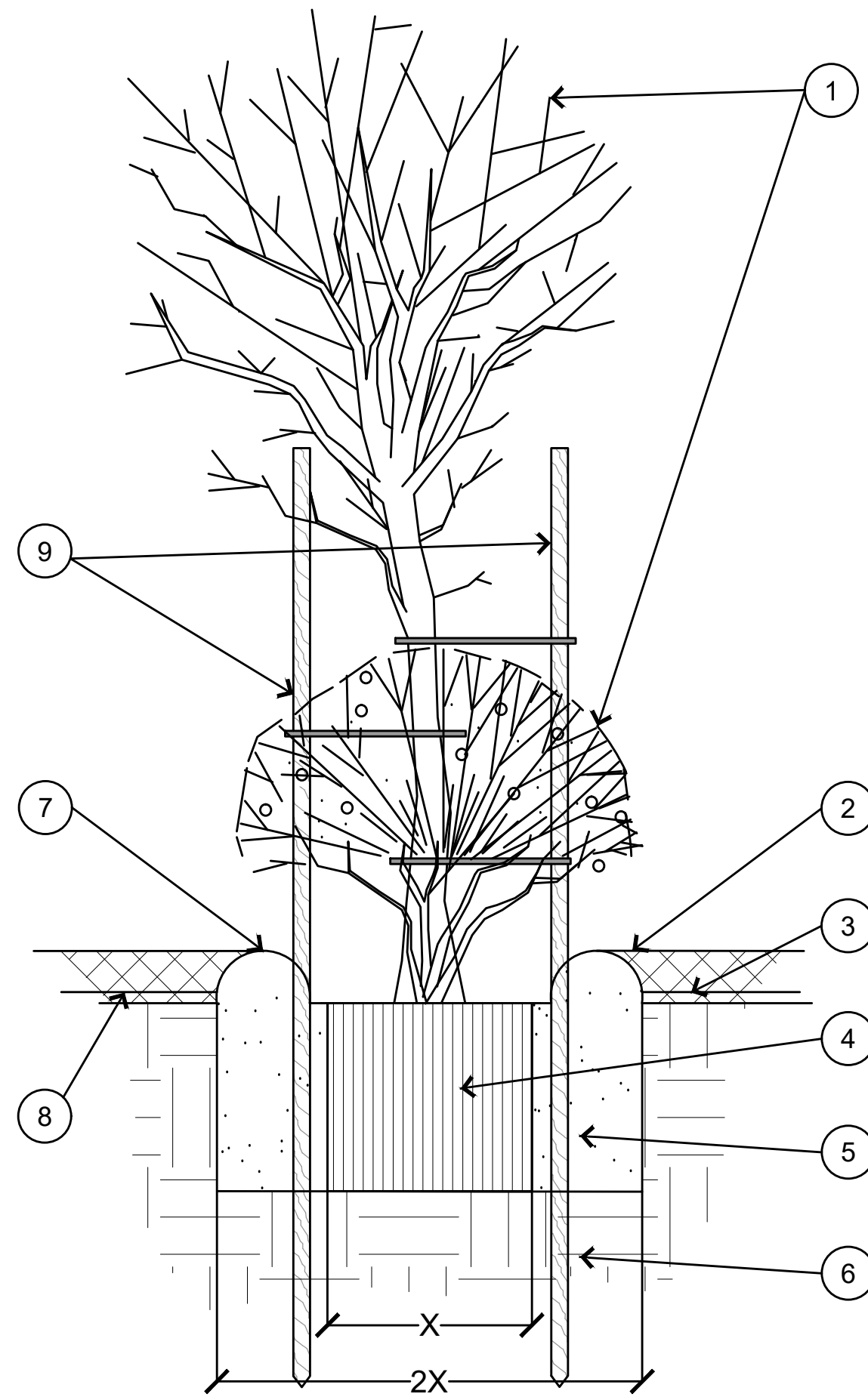


**NOTES:**

1. BENCH SLOPES TO MAINTAIN VERTICAL SIDE SLOPES AT FILL LIMITS +/- 3' VERTICAL TO +/- 8' HORIZONTAL.
2. COMPACTION SHALL BE IN 8" LIFTS TO 95% STANDARD PROCTOR OR OTHERWISE SPECIFIED IN GEOTECHNICAL REPORT.
3. SCARIFY ORIGINAL GROUND AND BLEND WITH FIRST LIFT ON EACH BENCH.
4. ALL FILL MATERIALS, INCLUDING FILL GENERATED ON-SITE, SHALL BE OF SUITABLE MATERIAL. UNSUITABLE FILL MATERIAL INCLUDES, BUT IS NOT LIMITED TO, SOIL THAT CONTAINS LARGE ROCKS, TREE AND PLANT ROOTS, CONCRETE, TRASH, ETC.

# 2 TYPICAL FILL SECTION

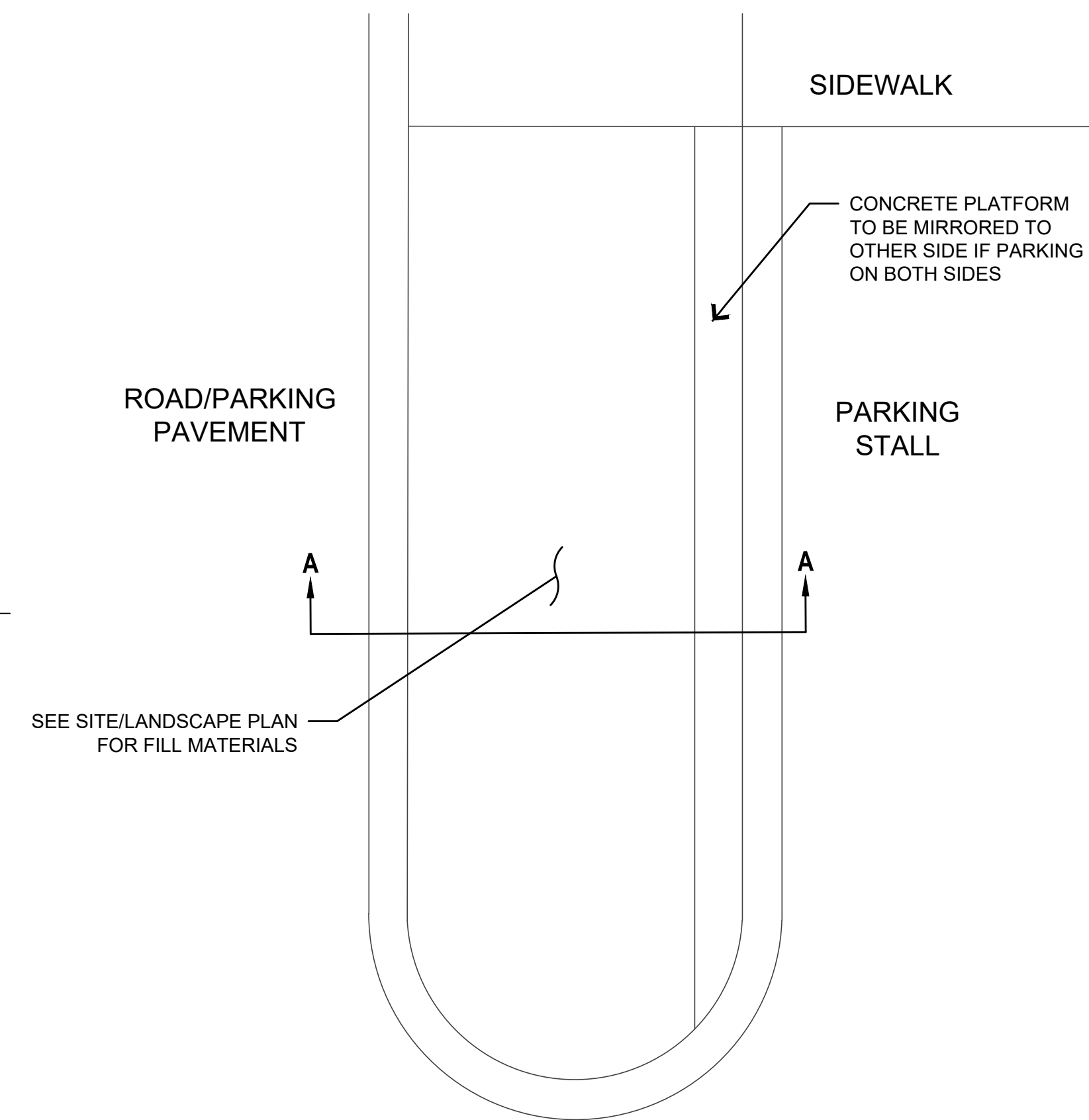
Not to Scale



- 1 TREE/SHRUB, PERENNIAL, OR ORNAMENTAL GRASS.
- 2 GROUND COVER: 3" DEPTH OF 1"-2" LANDSCAPING STONE AS INDICATED IN LANDSCAPING PLAN.
- 3 FINISH GRADE.
- 4 ROOT BALL.
- 5 BACKFILL. AMEND AND FERTILIZE AS RECOMMENDED BY LOCAL SUPPLIER
- 6 UNDISTURBED NATIVE SOIL.
- 7 3" HIGH EARTHEN WATERING BASIN.
- 8 HEAVY WEED FABRIC UNDER GROUND COVER.
- 9 FOR TREES, 2 STAKES/GUIDEPOSTS MIN; 3 REQ ON SLOPES WITH TIES

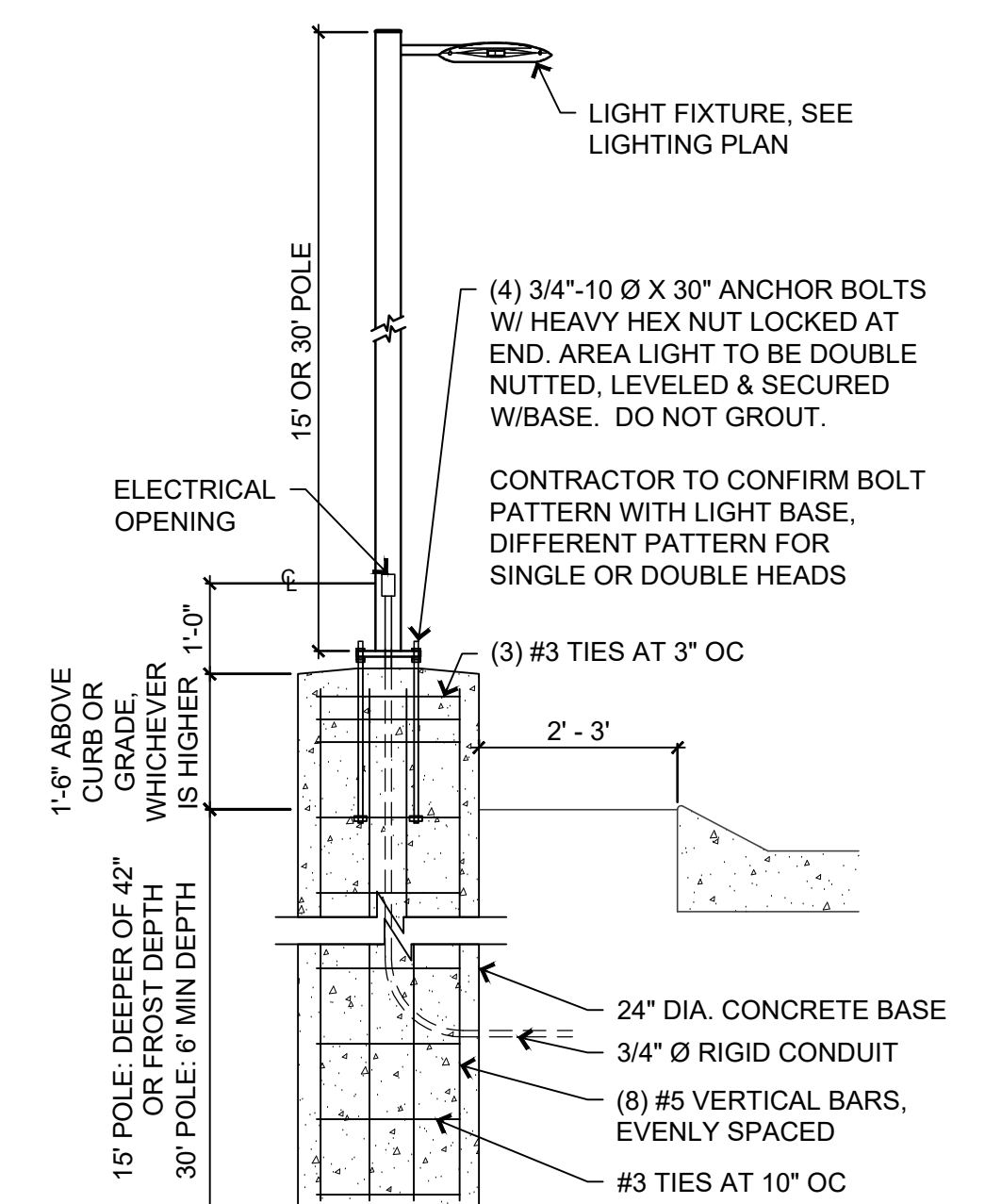
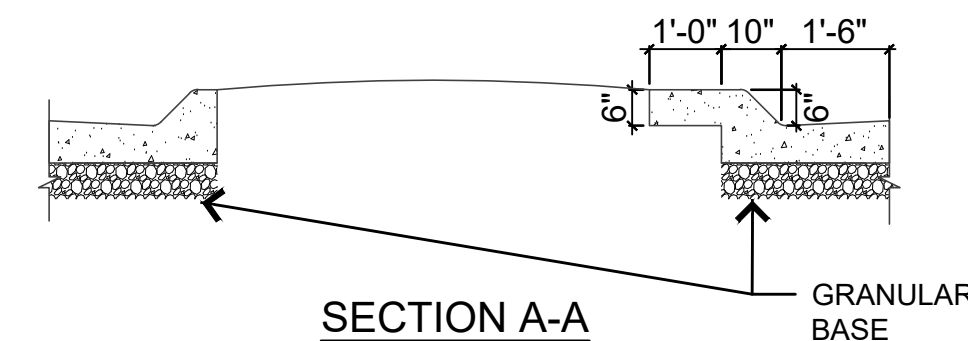
# 4 PLANT/TREE INSTALLATION

Not to Scale



# 7 PARKING LANDSCAPE ISLAND DETAIL

3/8" = 1'-0"



# 8 AREA LIGHTING

1/2" = 1'-0"

<b>Casey's</b>		<b>Casey's</b>	
CASEY'S CONSTRUCTION DIVISION One Convenience Blvd., Ankeny, IA. 50021 515-965-6100			
PROJECT:	2024 Civil Details	PUBLISHED:	07/22/24
DRAWING INFORMATION:	CONSTRUCTION DIVISION	CHECKED BY:	
DRAWN BY:	ARLON GOFORTH III	CHECKED BY:	
			<b>CIVIL DETAILS</b>
			<b>C-603</b>



