

# APPLE INC. PROJECT MORGAN - WKE.SITE



**PROJECT MORGAN  
WKE.SITE**  
2995 W. HICKMAN RD  
WAUKEE, IA 50263

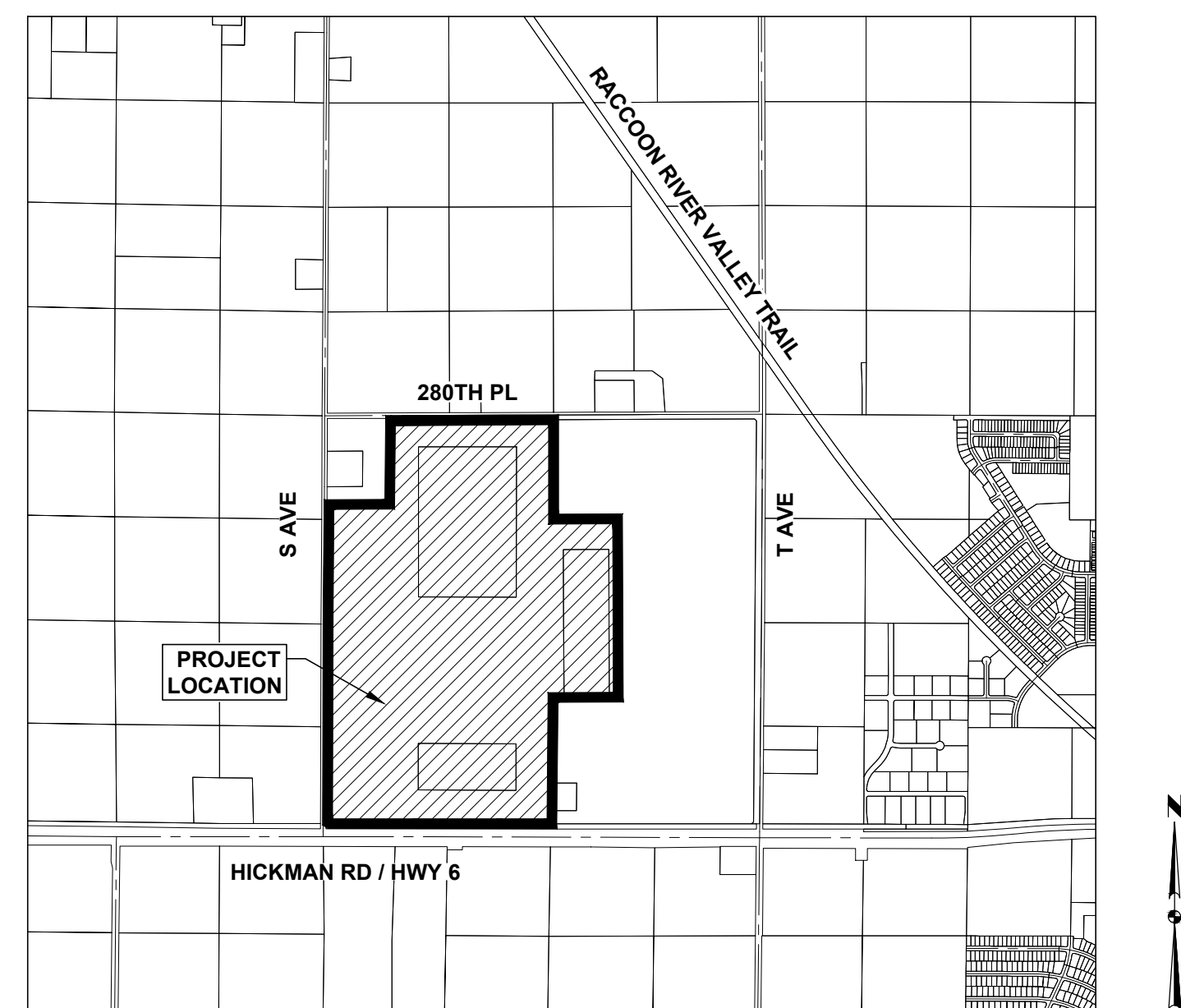


**Civil Design Advantage**  
4121 NW Urbandale Drive  
Urbandale, IA 50322  
515-369-4400

APPLICABLE CODES		PROJECT ADDRESS	DOCUMENT PACKAGES	
BUILDING	2018 INTERNATIONAL BUILDING CODE	2995 W. HICKMAN RD WAUKEE, IA 50263	2025.03.13	100% DESIGN DEVELOPMENT
PLUMBING	2018 UNIFORM PLUMBING CODE		2025.04.17	90% CONSTRUCTION DOCUMENTS
MECHANICAL	2018 INTERNATIONAL MECH. CODE			
ELECTRICAL	2018 NATIONAL ELECTRICAL CODE			
FIRE	2018 INTERNATIONAL FIRE CODE			
ENERGY	2012 IECC			
MUNICIPALITY	CITY OF WAUKEE ORDINANCES			
DISABILITY	2010 ADA			

## VICINITY MAP (1"=2000')

2995 W. HICKMAN RD  
WAUKEE, IA 50263



WAUKEE, IOWA

### BULK REGULATIONS

FRONT YARD BUILDING SETBACK (MIN): 50'  
REAR YARD BUILDING SETBACK (MIN): 50'  
SIDE YARD BUILDING SETBACK (MIN): 25'  
SETBACK BETWEEN BUILDINGS (MIN): 25'  
MAXIMUM BUILDING HEIGHT: 80'

### SITE ZONING AND LAND USE

SITE:  
EXISTING LAND USE: AGRICULTURE  
PROPOSED LAND USE: DATA CENTER  
ZONING: M-1 / PD-1

### GOVERNING AGENCIES

REVIEW AGENCY:  
CITY OF WAUKEE  
230 HICKMAN ROAD  
WAUKEE, IA 50263  
PH: (515) 978-7897  
CONTACT: ANDY KASS  
FIRE DISTRICT:  
CITY OF WAUKEE FIRE DEPARTMENT  
1300 SE L.A. GRANT PARKWAY  
WAUKEE, IA 50263  
PH: (515) 978-7982  
CONTACT: FIRE MARSHAL - JUSTIN FREDERICK

### UTILITIES

GAS, STORM SEWER, SANITARY SEWER, AND WATER:  
CITY OF WAUKEE PUBLIC WORKS  
805 UNIVERSITY AVENUE  
WAUKEE, IA 50263  
PH: (515) 978-7920  
CONTACT: ASSISTANT PUBLIC WORKS DIRECTOR OF OPERATIONS - TIM ROYER

### OPEN SPACE CALCULATIONS

LOT 1:  
TOTAL LAND AREA: 218.93 ACRES (9,536,718 SF) (100.00%)  
OPEN SPACE AREA REQUIRED: 43.79 ACRES (1,907,344 SF) (20.00%)  
PROPOSED IMPERVIOUS AREA: 43.71 ACRES (1,903,853 SF) (19.96%)  
PROPOSED OPEN SPACE AREA: 175.22 ACRES (7,632,865 SF) (80.04%)

### PARKING CALCULATIONS

PARKING REQUIREMENTS: 30 PARKING STALLS PER DATA CENTER  
PARKING REQUIRED:  
WKE02 DATA CENTER X 30 STALLS/DATA CENTER = 30 STALLS  
TOTAL STALLS REQUIRED = 30 STALLS  
PROPOSED STALLS = 52 STALLS

### BENCHMARKS

- ALUMINUM ROD W/CAP STAMPED G-121 EAST SIDE OF R AVENUE (R16) 0.1 MILE SOUTH OF 300TH STREET. ELEVATION=1032.83
- USGS MONUMENT STAMPED #259 HALF MILE NORTH OF HWY 6, WEST SIDE OF T AVENUE @ HOUSE #28461

### LEGAL DESCRIPTION

A PART OF SECTION 30, TOWNSHIP 79 NORTH, RANGE 26 WEST OF THE FIFTH PRINCIPAL MERIDIAN, ALL OF PARCEL '17-271' AS SHOWN ON PLAT OF SURVEY RECORDED IN BOOK 2017, PAGE 24441, ALL OF PARCELS 'B' AND 'CC' AS SHOWN ON PLAT OF SURVEY RECORDED IN BOOK 2015, PAGE 11658, ALL OF PARCEL '2018-52' AS SHOWN ON PLAT OF SURVEY RECORDED IN BOOK 2018, PAGE 21204, AND ALL OF PARCEL '2018-53' AS SHOWN ON PLAT OF SURVEY RECORDED IN BOOK 2018, PAGE 21203, ALL BEING IN SAID SECTION 30 AND IN THE CITY OF WAUKEE, DALLAS COUNTY, IOWA AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 30; THENCE SOUTH 00°19'44" WEST ALONG THE EAST LINE OF THE NORTHEAST QUARTER OF SAID SECTION 30, A DISTANCE OF 2642.76 FEET TO THE EAST QUARTER CORNER OF SAID SECTION 30; THENCE SOUTH 00°19'21" WEST ALONG THE EAST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 30, A DISTANCE OF 2559.41 FEET TO THE NORTH LINE OF THE FORMER RAILROAD RIGHT OF WAY; THENCE SOUTH 89°55'20" WEST ALONG SAID NORTH LINE, 2640.56 FEET TO THE WEST LINE OF SAID SOUTHEAST QUARTER; THENCE SOUTH 89°34'55" WEST CONTINUING ALONG SAID NORTH LINE, 1319.80 FEET TO THE WEST LINE OF THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 30; THENCE SOUTH 89°34'41" WEST CONTINUING ALONG SAID NORTH LINE, 1572.46 FEET TO THE WEST LINE OF SAID SOUTHWEST QUARTER; THENCE NORTH 00°02'31" EAST ALONG SAID WEST LINE, 2544.70 FEET TO THE WEST QUARTER CORNER OF SAID SECTION 30; THENCE NORTH 00°21'50" EAST ALONG THE WEST LINE OF THE NORTHWEST QUARTER OF SAID SECTION 30, A DISTANCE OF 1518.05 FEET TO THE SOUTHWEST CORNER OF PARCEL '17-270' AS SHOWN ON THE PLAT OF SURVEY RECORDED IN BOOK 2017, PAGE 24441; THENCE NORTH 89°34'38" EAST ALONG THE SOUTH LINE OF SAID PARCEL '17-270', A DISTANCE OF 831.16 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL '17-270'; THENCE NORTH 00°21'56" EAST ALONG THE EAST LINE OF SAID PARCEL '17-270', A DISTANCE OF 1124.82 FEET TO THE NORTH LINE OF SAID NORTHWEST QUARTER OF SAID SECTION 30; THENCE NORTH 89°34'43" EAST ALONG SAID NORTH LINE, 742.77 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF SAID NORTHWEST QUARTER; THENCE NORTH 89°34'37" EAST CONTINUING ALONG SAID NORTH LINE, 1318.75 FEET TO THE NORTH QUARTER CORNER OF SAID SECTION 30; THENCE NORTH 89°36'38" EAST ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER, 1325.51 FEET TO THE NORTHEAST CORNER OF THE NORTHWEST QUARTER OF SAID NORTHEAST QUARTER; THENCE NORTH 89°36'36" EAST CONTINUING ALONG SAID NORTH LINE, 1325.59 FEET TO THE POINT OF BEGINNING AND CONTAINING 638.94 ACRES (27,832,099 SQUARE FEET). THE PROPERTY IS SUBJECT TO ROADWAY EASEMENTS AND OTHER EASEMENTS OF RECORD.

### NOTES

- SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE PROJECT SPECIFICATIONS AND 2025 SUDAS STANDARD SPECIFICATIONS.
- THE DESIGN SHOWN IS BASED UPON THE ENGINEER'S UNDERSTANDING OF THE EXISTING CONDITIONS. THIS PLAN DOES NOT REPRESENT A DETAILED FIELD SURVEY. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING FIELD CONDITIONS PRIOR TO BIDDING. THE PROPOSED SITE WORK IMPROVEMENTS, IF CONFLICTS ARE DISCOVERED, THE CONTRACTOR SHALL NOTIFY THE OWNER PRIOR TO INSTALLATION OF ANY PORTION OF THE SITE WORK WHICH WOULD BE AFFECTED. IF CONTRACTOR DOES NOT ACCEPT EXISTING SURVEY, INCLUDING TOPOGRAPHY AS SHOWN ON THE PLANS, WITHOUT EXCEPTION, HE SHALL HAVE MADE, AT HIS/HER OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.
- CAUTION - NOTICE TO CONTRACTOR**  
THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- ALL CONSTRUCTION WITHIN PUBLIC ROW/EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS SHALL COMPLY WITH THE CITY OF WAUKEE 2020 STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND 2021 SUDAS STANDARD SPECIFICATIONS SHALL APPLY TO ALL WORK PERFORMED ON THIS PROJECT EXCEPT AS MODIFIED HEREIN. ON-SITE PRIVATE WORK SHALL COMPLY WITH 2021 SUDAS STANDARD SPECIFICATIONS AND PROJECT MORGAN SPECIFICATIONS.
- AT LEAST ONE WEEK PRIOR TO ANY CONSTRUCTION WITHIN PUBLIC ROW/EASEMENTS AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, THE CONTRACTOR SHALL CONTACT THE CITY OF WAUKEE TO SCHEDULE ANY REQUIRED INSPECTIONS. IT IS IMPORTANT TO NOTE CITY APPROVAL OF THIS PLAN IS SUBJECT TO THE APPLICANT OBTAINING ALL NECESSARY EASEMENTS/AGREEMENTS AND APPLICABLE PERMITS.

### SHEET INDEX

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C-1109	DIMENSION PLAN
C-1110	DIMENSION PLAN
C-1111	DIMENSION PLAN
C-1115	DIMENSION PLAN
C-1116	DIMENSION PLAN
C-1117	DIMENSION PLAN
C-4101	DIMENSION PLAN
C-1200	GRADING PLAN - OVERALL
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C-1423	EROSION CONTROL PLAN
C-5101	DETAILS
L-1100	LANDSCAPE PLAN - OVERALL
L-1109	LANDSCAPE PLAN
L-1115	LANDSCAPE PLAN
L-1116	LANDSCAPE PLAN
L-4101	LANDSCAPE PLAN

### ISSUES

- 2025-03-13 100% DESIGN DEVELOPMENT
- 2025-04-17 90% CONSTRUCTION DOCUMENT
- 2025-05-02 CITY SUBMITTAL #2

### REVISIONS

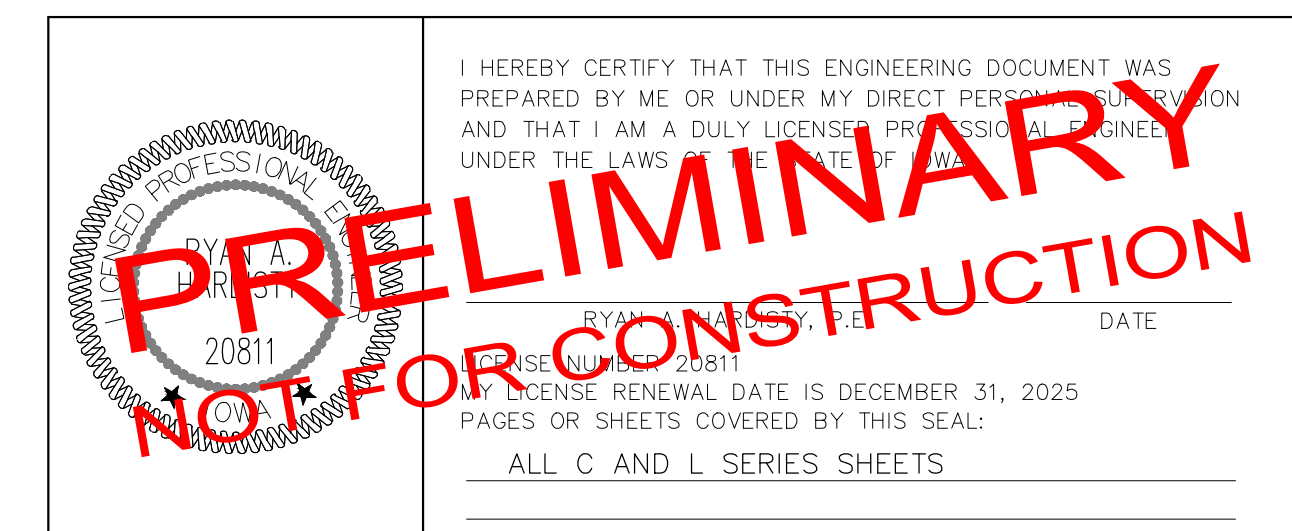
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**RYAN HARDISTY**



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Date of issue:  
04.17.2025



## PROJECT TEAM

### OWNER

Apple Inc.

### ARCHITECT

**HDR**  
1917 S 67th Street  
Omaha, NE 68106  
T: 402-369-4096  
CONTACT: Kristopher Tourek  
email: kristopher.tourek@hdrinc.com

### CIVIL/ LANDSCAPE

**Civil Design Advantage**  
4121 NW Urbandale Drive  
Urbandale, IA 50322  
T: 515-369-4400  
F: 515-369-4410  
CONTACT: Ryan Hardisty  
email: ryanh@cdca-eng.com

### STRUCTURAL

**HDR**  
1917 S 67th Street  
Omaha, NE 68106  
T: 402-369-4099  
CONTACT: Joel Fairfax  
email: joel.fairfax@hdrinc.com

### MEP

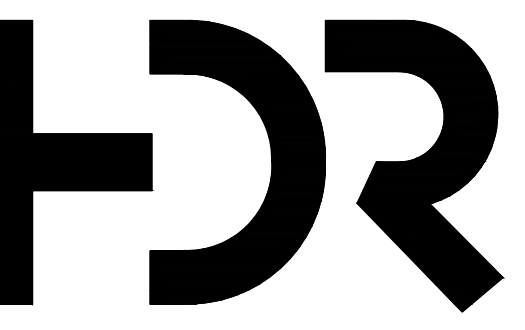
**HDR**  
1917 S 67th Street  
Omaha, NE 68106  
T: 402-369-1029  
CONTACT: Mitch Hain  
email: mitch.hain@hdrinc.com

C-0000 COVER SHEET - CIVIL

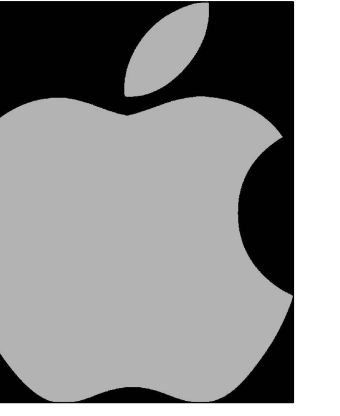
COVER SHEET - CIVIL

SCALE  
JOB 10424474  
DATE 2025.04.17  
SHEET

C-0000



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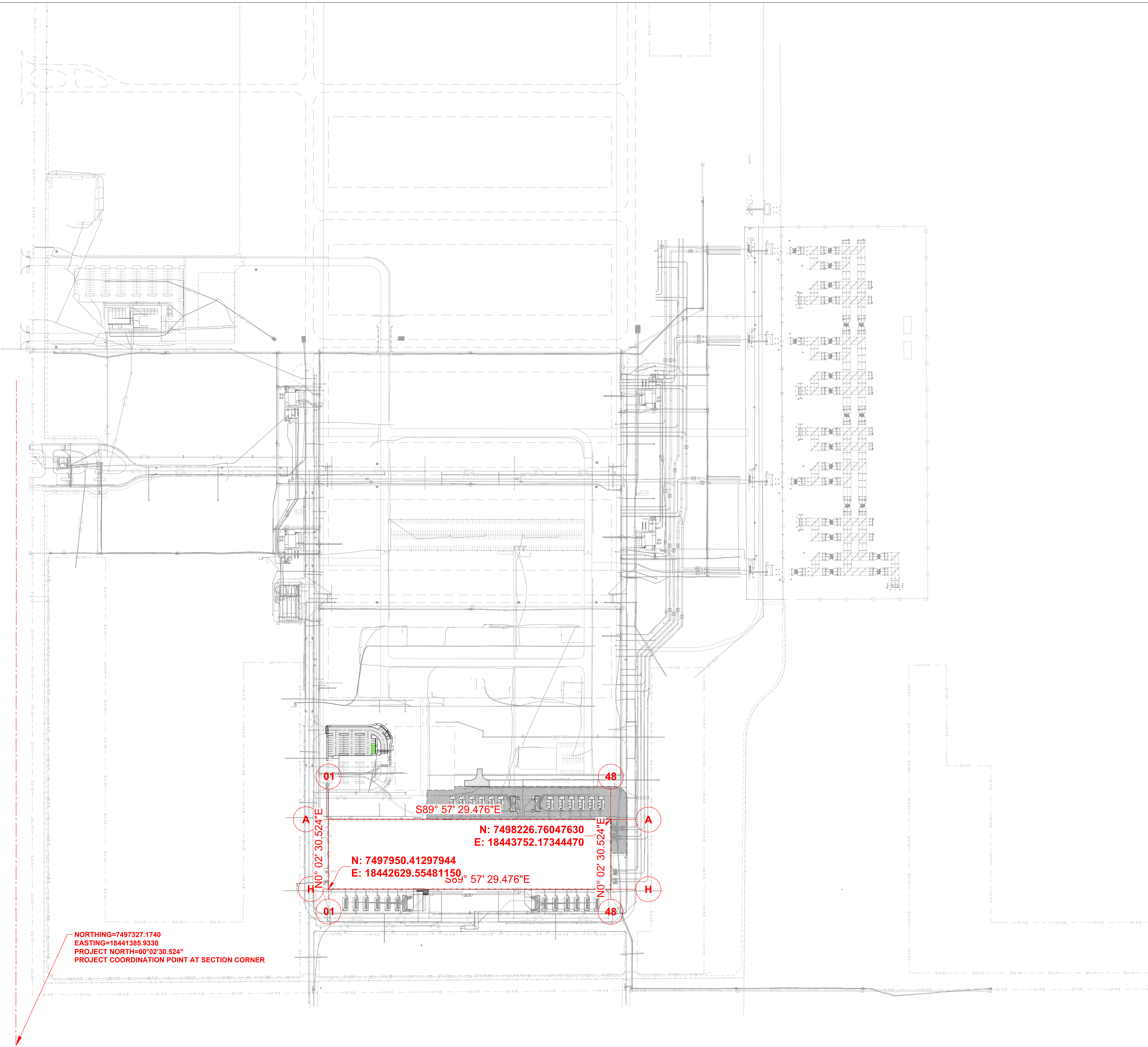
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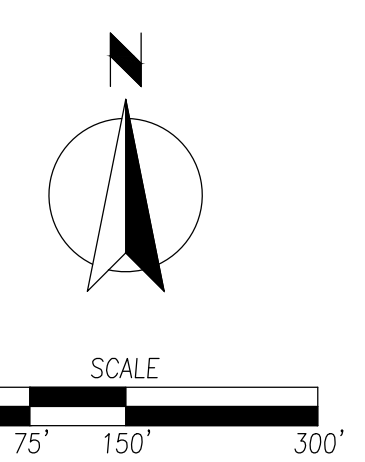
**HORIZONTAL CONTROL PLAN**

**SCALE**  
**JOB** 10424474  
**DATE** 2025.04.17  
**SHEET**

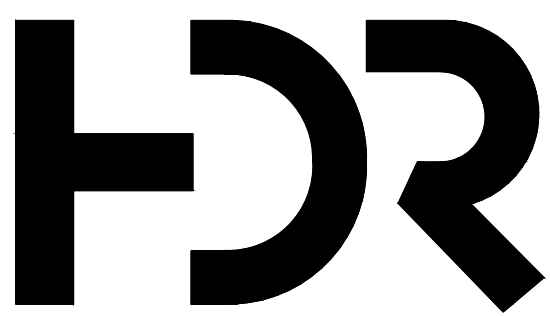
**C-1000**



NORTHING=7497327.1740  
EASTING=18441385.9330  
PROJECT NORTH=00°02'30.524"  
PROJECT COORDINATION POINT AT SECTION CORNER



C-1000 HORIZONTAL CONTROL PLAN



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**DIMENSION PLAN -  
OVERALL**  
**SCALE**  
**JOB** 10424474  
**DATE** 2025.04.17  
**SHEET**

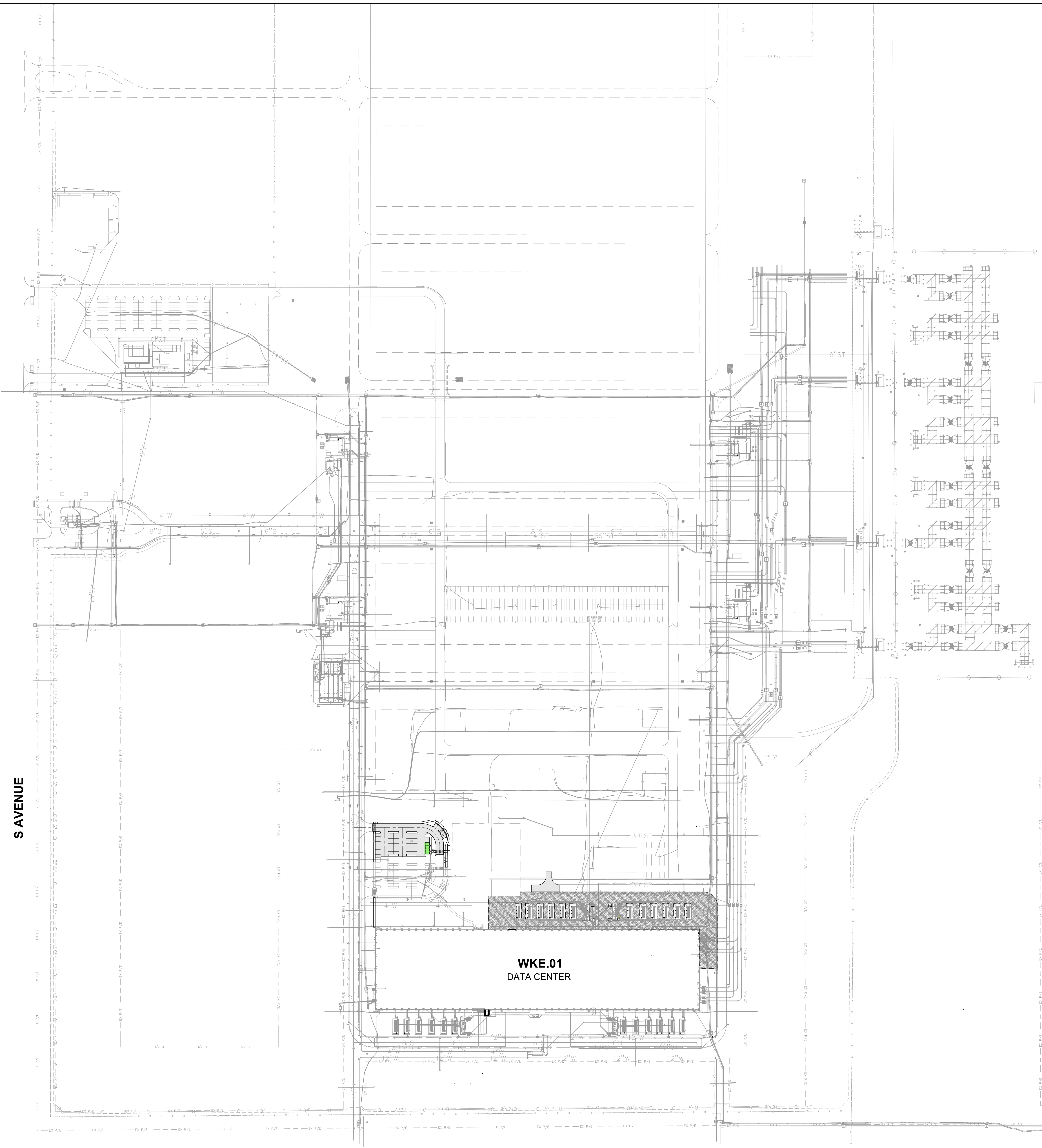
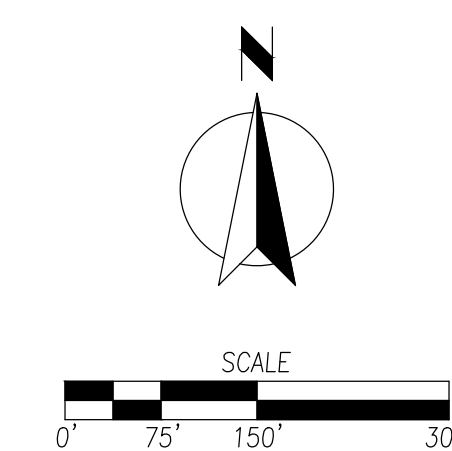
**C-1100**

**LEGEND**

	PROPERTY LINE
	LOT LINE
	PAVEMENT EDGE
	8' CHAIN LINK FENCE
	8' AMARISTAR IMPASSE II FENCE
	8' TEMPORARY CHAIN LINK FENCE
	4' CABLE GUARDRAIL
	PROPOSED WATER MAIN EASEMENT
	PROPOSED STORM SEWER EASEMENT
	PROPOSED DETENTION EASEMENT
	8" PCC PAVEMENT
	6" PCC PAVEMENT
	GRAVEL
	6" PCC SIDEWALK
	4" PCC SIDEWALK
	BOLLARD
	SIGN
	WHEEL STOP
	ELECTRIC VEHICLE CHARGING STATION
	DETECTABLE WARNING PANEL

**GENERAL NOTES**

- ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS OR WATER MAIN THE CONTRACTOR SHALL NOTIFY THE CITY'S PUBLIC WORKS DEPARTMENT.
- ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY'S STANDARDS.
- ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
- PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT. REFER TO THE PROJECT SPECIFICATIONS FOR JOINT SEALANT REQUIREMENTS.
- REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
- ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
- DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
- THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS, STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
- THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
- THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
- ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.
- MINIMUM FROST PROTECTION SHALL BE AT A DEPTH OF 42 INCHES BELOW FINISH GRADE.
- APPLICANT AGREES TO PROVIDE ADDITIONAL SCREENING MEASURES IN FRONT OF THE LOADING DOCK IF THE LANDSCAPE BUFFER AND FENCING ALONG HICKMAN ROAD DO NOT ADEQUATELY SCREEN THE LOADING DOCK AND/OR ANY TRASH CONTAINMENT RECEPTACLES FROM PUBLIC VIEW. SCREENING MEASURES INCLUDE, BUT ARE NOT LIMITED TO ARCHITECTURAL WALLS, LANDSCAPING, OR FENCING.

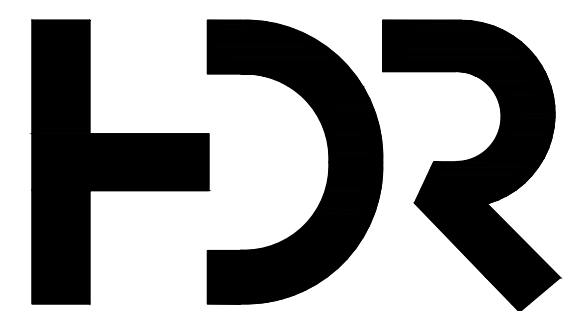


S AVENUE

HICKMAN ROAD/HWY 6

WKE.01  
DATA CENTER

C-1100 DIMENSION PLAN - OVERALL



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**DIMENSION PLAN**

**SCALE**  
JOB 10424474  
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SHEET

**C-1109**

**LEGEND**

- PROPERTY LINE
- LOT LINE
- PAVEMENT EDGE
- 8' CHAIN LINK FENCE
- 8' AMARISTAR IMPASSE II FENCE
- 8' TEMPORARY CHAIN LINK FENCE
- 4' CABLE GUARDRAIL
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- PROPOSED STORM SEWER EASEMENT
- PROPOSED DETENTION EASEMENT
- 8" PCC PAVEMENT
- 6" PCC PAVEMENT
- GRAVEL
- 6" PCC SIDEWALK
- 4" PCC SIDEWALK
- BOLLARD
- SIGN
- WHEEL STOP
- ELECTRIC VEHICLE CHARGING STATION
- DETECTABLE WARNING PANEL

**SITE KEY (ALL CALLOUTS ARE TYPICAL)**

- (A) 6" STANDARD CONCRETE CURB
- (B) CLASS 'A' INTEGRAL CONCRETE CURB
- (C) CONCRETE PAVEMENT
- (D) CONCRETE SIDEWALK
- (E) GRAVEL
- (F) SIDEWALK RAMP
- (G) GRAVEL ROAD
- (H) BOLA BIKE RACK
- (I) BOLLARD
- (J) WHEEL STOP
- (K) DETECTABLE WARNING PANEL

**SITE FEATURES (BY OTHERS)**

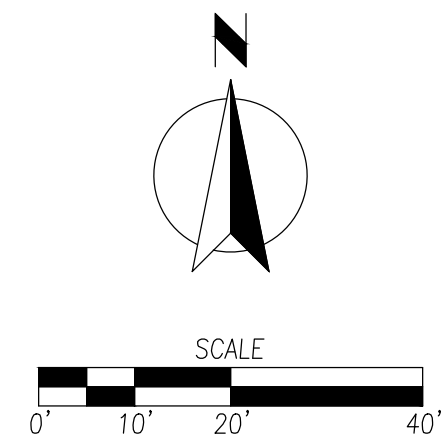
- (B1) ELECTRICAL EQUIPMENT (REFER TO ELECTRICAL PLANS)
- (B2) SITE LIGHTING (REFER TO ELECTRICAL PLANS)
- (B3) TELECOM EQUIPMENT (REFER TO TELECOM PLANS)
- (B4) CONCRETE PAD (REFER TO STRUCTURAL PLANS)
- (B5) DOOR STOOP (REFER TO STRUCTURAL PLANS)
- (B6) LANDSCAPE AREA (REFER TO LANDSCAPE PLANS)
- (B7) MECHANICAL EQUIPMENT (REFER TO MECHANICAL PLANS)
- (B8) SINGLE CHARGING STATION (REFER TO ELECTRICAL PLANS)
- (B9) DUAL CHARGING STATION (REFER TO ELECTRICAL PLANS)
- (B10) DECORATIVE LIGHTED BOLLARD (REFER TO ELECTRICAL PLANS)

**STRIPING AND SIGNAGE KEY**

- (F1) 4" WIDE, YELLOW PARKING STRIPE
- (P2) 4" WIDE, BLUE PARKING STRIPE
- (F3) 4" WIDE, WHITE PARKING STRIPE
- (P4) 4" WIDE, WHITE STRIPING 36" MAX. O.C. AT 45'
- (P5) 36" WHEELCHAIR PARKING SYMBOL, BLUE
- (P6) 12" MIN. HIGH LETTERING, WHITE
- (P7) SOLID GREEN STALL PAINTING
- (P8) CROSSWALK BAR, WHITE
- (P9) SHARED LANE SYMBOL, WHITE
- (P10) ACCESSIBLE PARKING SIGN
- (P11) ACCESSIBLE PARKING SIGN WITH VAN TAG
- (P12) ELECTRIC VEHICLE PARKING SIGN
- (P13) VISITOR PARKING SIGN
- (P14) STOP SIGN (MUTCD R1-1) AND STOP LINE WHITE (DOT SLW2)

**FENCING AND GATE KEY**

- (F1) 8' TALL BLACK VINYL-COATED CHAIN LINK FENCE (TYP.)
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- (F3) SUBSTATION FENCING (REFER TO WKE.21 PLANS)
- (F4) 8' AMARISTAR IMPASSE II FENCE
- (F5) 4' CABLE GUARDRAIL
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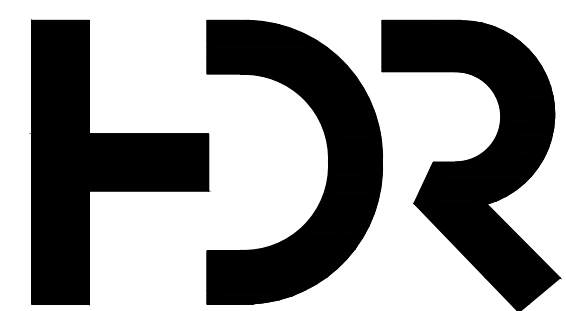


SEE SHEET C-1115 FOR CONTINUATION

SEE SHEET C-1110 FOR CONTINUATION

**WKE01**  
DATA CENTER

C-1109 DIMENSION PLAN



**PROJECT MORGAN  
WKE SITE**  
2995 W. HICKMAN RD  
WAUKEE, IA 50263



**Civil Design Advantage**  
4121 NW Urbandale Drive  
Urbandale, IA 50322  
515-369-4400

**ISSUES**

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**REVISIONS**


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**DIMENSION PLAN**

**SCALE**  
JOB 10424474  
DATE 2025.04.17  
SHEET

**C-1110**

SEE SHEET C-1116 FOR CONTINUATION

**LEGEND**

- PROPERTY LINE
- LOT LINE
- PAVEMENT EDGE
- 8' CHAIN LINK FENCE
- 8' AMARISTAR IMPASSE II FENCE
- 8' TEMPORARY CHAIN LINK FENCE
- 4' CABLE GUARDRAIL
- PROPOSED WATER MAIN EASEMENT
- PROPOSED STORM SEWER EASEMENT
- PROPOSED DETENTION EASEMENT
- 8" PCC PAVEMENT
- 6" PCC PAVEMENT
- GRAVEL
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- SIGN
- WHEEL STOP
- ELECTRIC VEHICLE CHARGING STATION
- DETECTABLE WARNING PANEL

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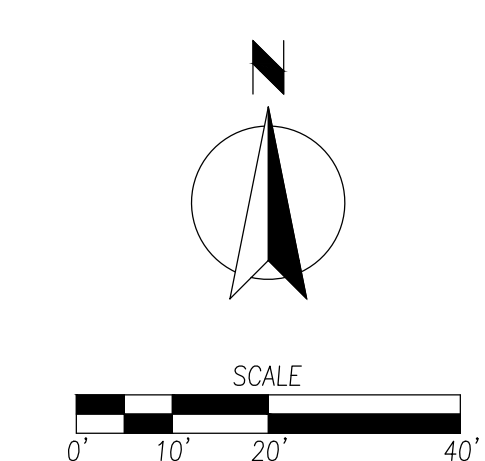
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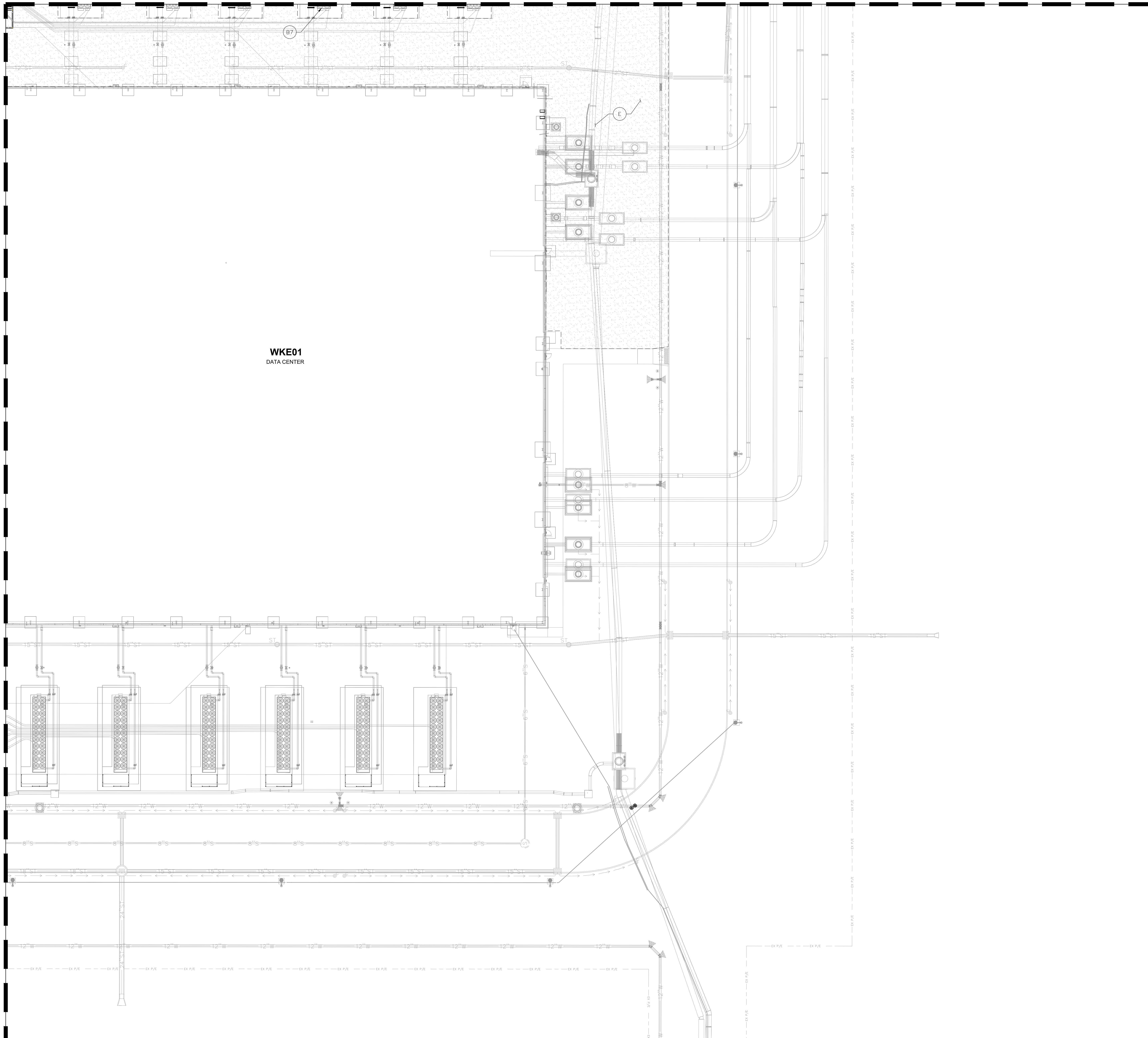
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SEE SHEET C-1111 FOR CONTINUATION

C-1110 DIMENSION PLAN

SEE SHEET C-1117 FOR CONTINUATION



SEE SHEET C-1110 FOR CONTINUATION

**WKE01**  
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C-1111 DIMENSION PLAN

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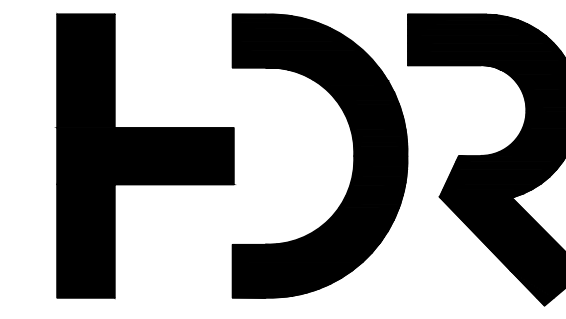
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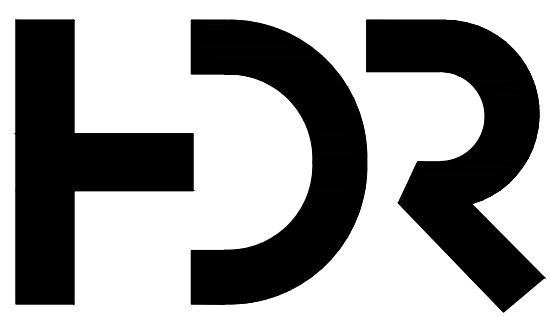
DIMENSION PLAN

**SCALE**  
JOB 10424474  
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**C-1111**







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**DIMENSION PLAN**

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**C-1117**

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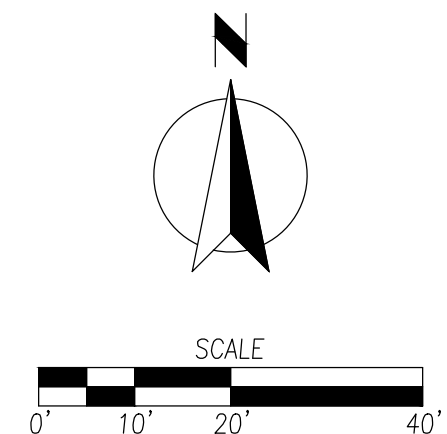
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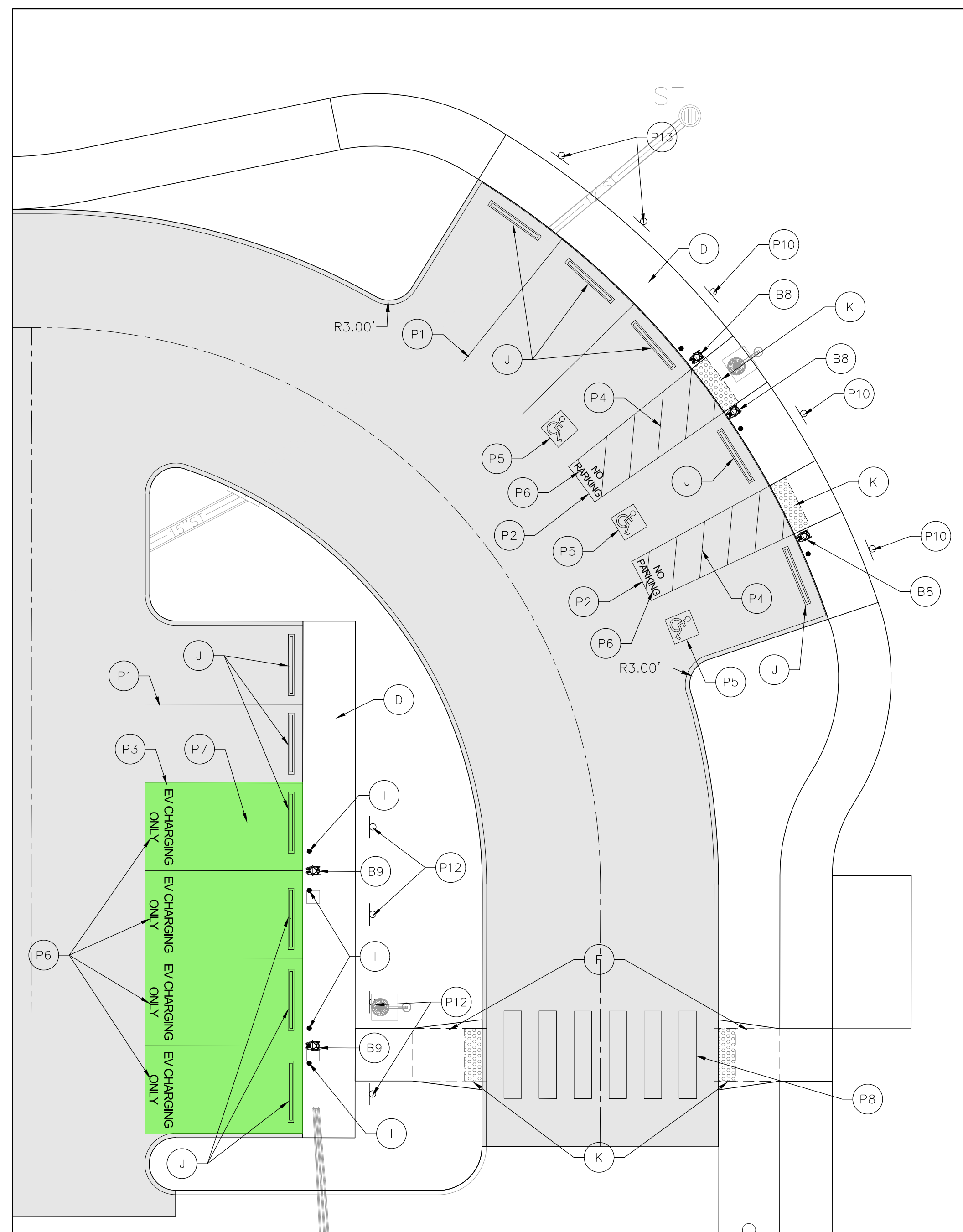


SEE SHEET C-1111 FOR CONTINUATION

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C-1117 DIMENSION PLAN

DETAIL 'A'



LEGEND

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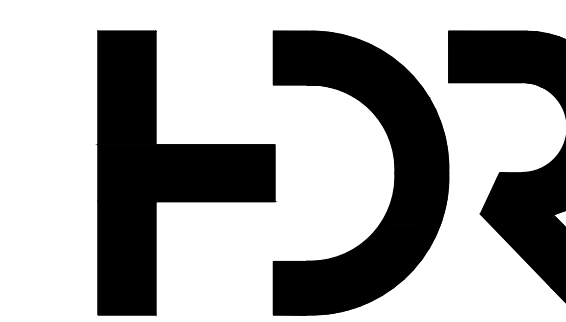
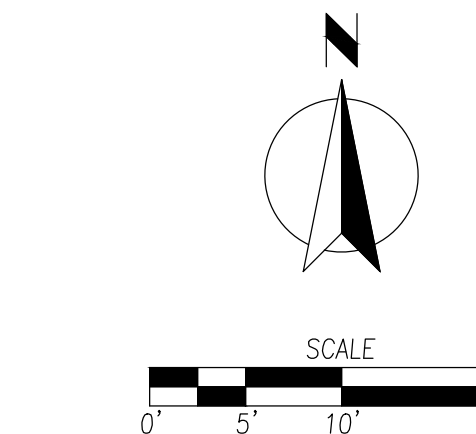
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DIMENSION PLAN

**SCALE**  
JOB 10424474  
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SHEET

**C-4101**



**GRADING NOTES**

1. PRIOR TO ANY GRADING ON SITE, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY OF WAUKEE STORMWATER DEPARTMENT AND A CITY OF WAUKEE COSESCO PERMIT IS REQUIRED TO BE ISSUED.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 8 INCHES OF TOPSOIL SHALL TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. THE TOPSOIL RESPREAD DEPTH SHALL BE A MINIMUM OF 8 INCHES THICK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
4. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
5. THE SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.
6. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
7. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
8. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
9. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.

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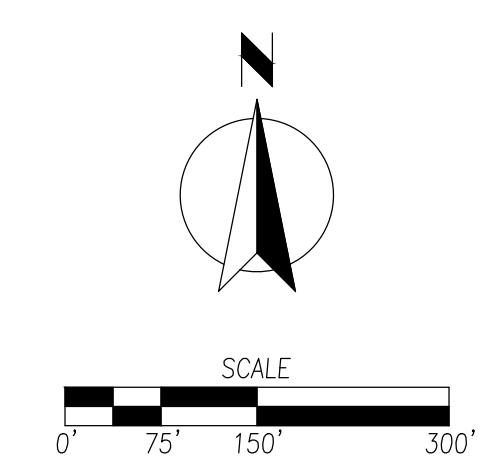
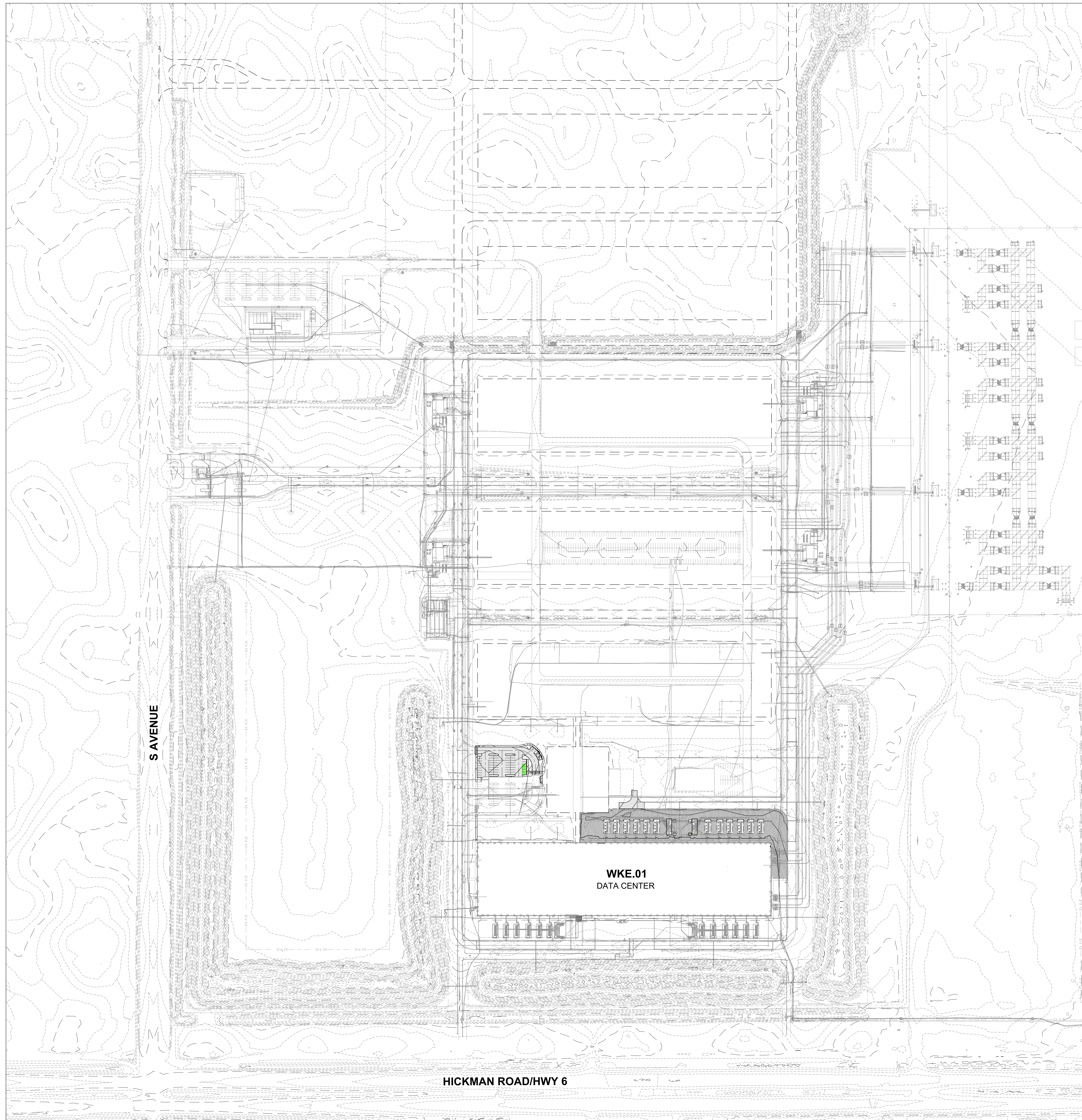
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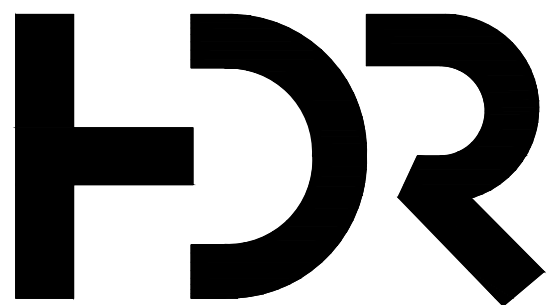
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**GRADING PLAN -  
OVERALL**

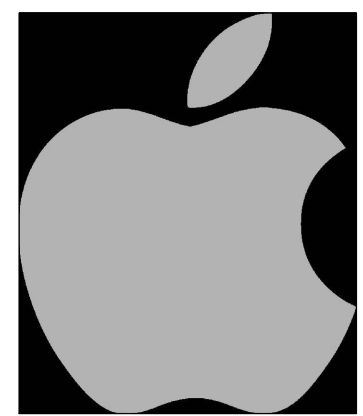
**SCALE**  
**JOB** 10424474  
**DATE** 2025.04.17  
**SHEET**



C-1200 GRADING PLAN - OVERALL



**PROJECT MORGAN  
WKE.SITE**  
2995 W. HICKMAN RD  
WAUKEE, IA 50263



**Civil Design Advantage**  
4121 NW Urbandale Drive  
Urbandale, IA 50322  
515-369-4400

**ISSUES**

1	2025-03-13	100% DESIGN DEVELOPMENT
2	2025-04-17	90% CONSTRUCTION DOCUMENT
3	2025-05-02	CITY SUBMITTAL #2

**REVISIONS**


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Date of issue:  
**04.17.2025**

PLAN N

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**GRADING PLAN**

**SCALE**  
JOB 10424474  
DATE 2025.04.17  
SHEET

**C-1209**

SEE SHEET C-1215 FOR CONTINUATION

**LEGEND**

---	PROPERTY LINE
---	LOT LINE
TP	TOP OF PAVEMENT
HP	HIGH POINT
LP	LOW POINT
FG	FINISH GRADE
TC	TOP OF CURB
BC	BOTTOM OF FACE OF CURB
TW	TOP OF WALL
BW	BOTTOM OF WALL
RIM	RIM ELEVATION
ME	MATCH ELEVATION

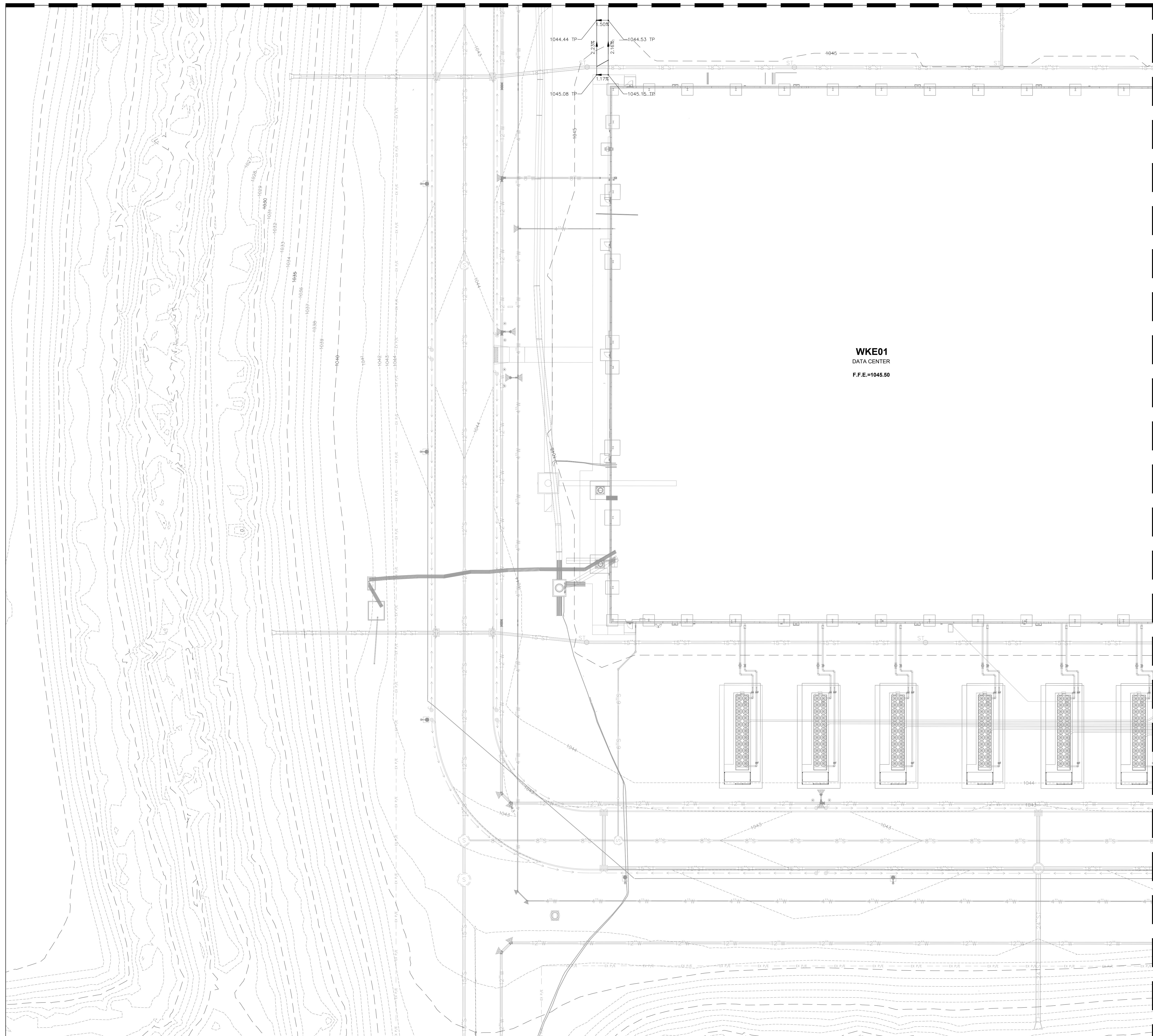
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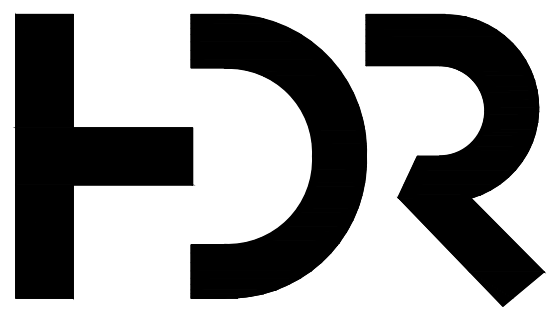
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- TAKE CARE TO ENSURE A 2.0% MAXIMUM SLOPE IN ANY DIRECTION FOR ALL ACCESSIBLE PARKING STALLS AND TURNING SPACES.

**WKE01**  
DATA CENTER  
F.F.E.=1045.50

SEE SHEET C-1210 FOR CONTINUATION

C-1209 GRADING PLAN





**PROJECT MORGAN  
WKE SITE**  
2995 W. HICKMAN RD  
WAUKEE, IA 50263



**Civil Design Advantage**  
4121 NW Urbandale Drive  
Urbandale, IA 50322  
515-369-4400

SEE SHEET C-1216 FOR CONTINUATION

**LEGEND**

- PROPERTY LINE
- LOT LINE
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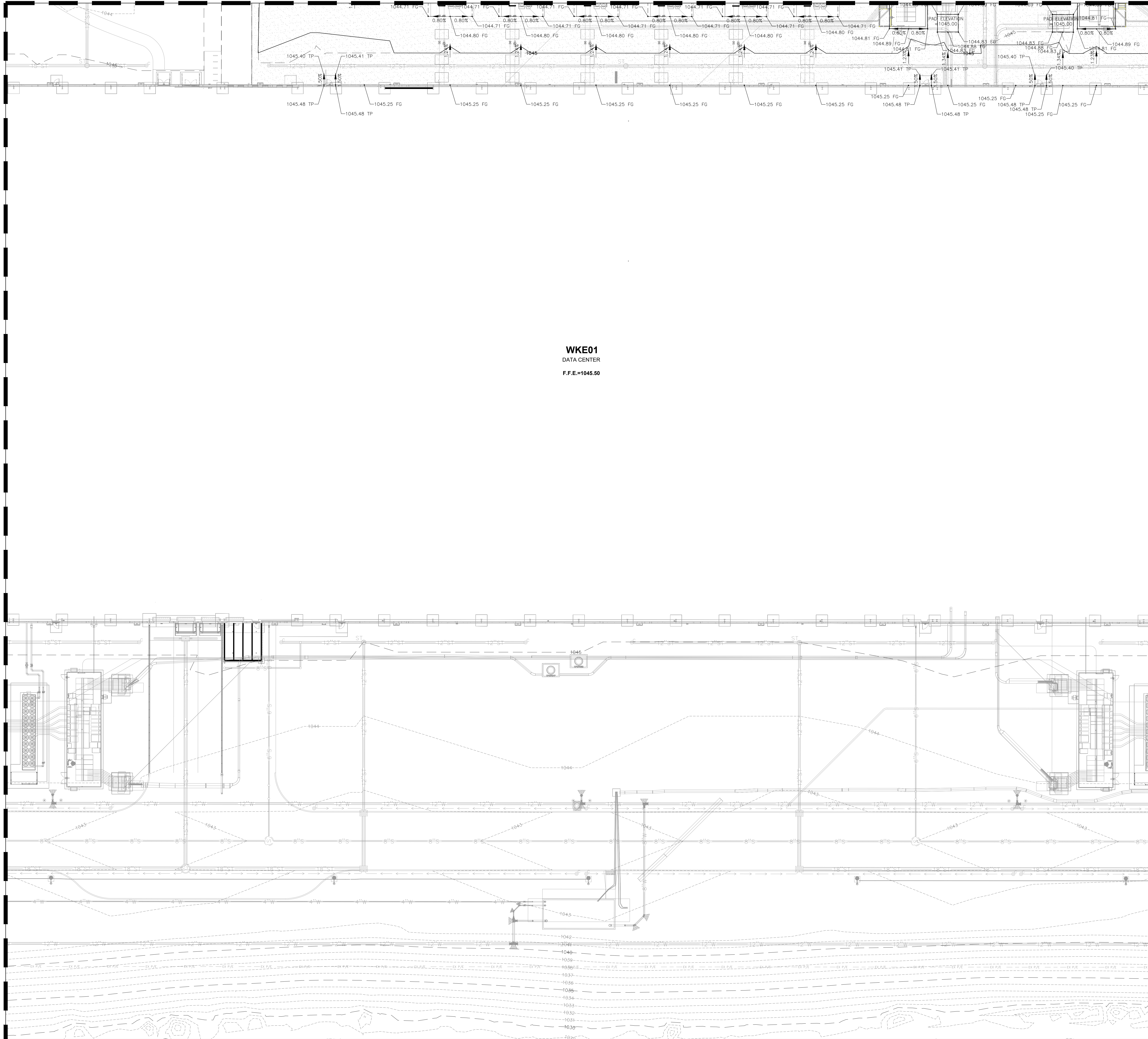
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**WKE01**  
DATA CENTER  
F.F.E.=1045.50

SEE SHEET C-1209 FOR CONTINUATION

SEE SHEET C-1211 FOR CONTINUATION

C-1210 GRADING PLAN



**ISSUES**

- |   |            |                           |
|---|------------|---------------------------|
| 1 | 2025-03-13 | 100% DESIGN DEVELOPMENT   |
| 2 | 2025-04-17 | 90% CONSTRUCTION DOCUMENT |
| 3 | 2025-05-02 | CITY SUBMITTAL #2         |

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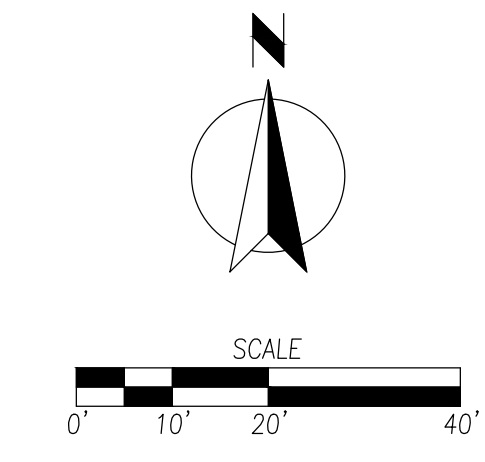
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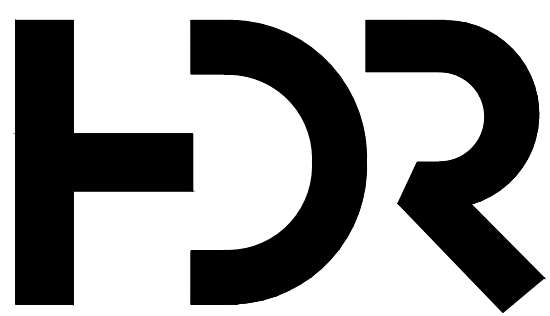
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**GRADING PLAN**

**SCALE**  
JOB 10424474  
DATE 2025.04.17  
SHEET

**C-1210**





**PROJECT MORGAN  
WKE.SITE**  
2995 W. HICKMAN RD  
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**GRADING PLAN**

**SCALE**  
JOB 10424474  
DATE 2025.04.17  
SHEET

**C-1211**

SEE SHEET C-1217 FOR CONTINUATION

**LEGEND**

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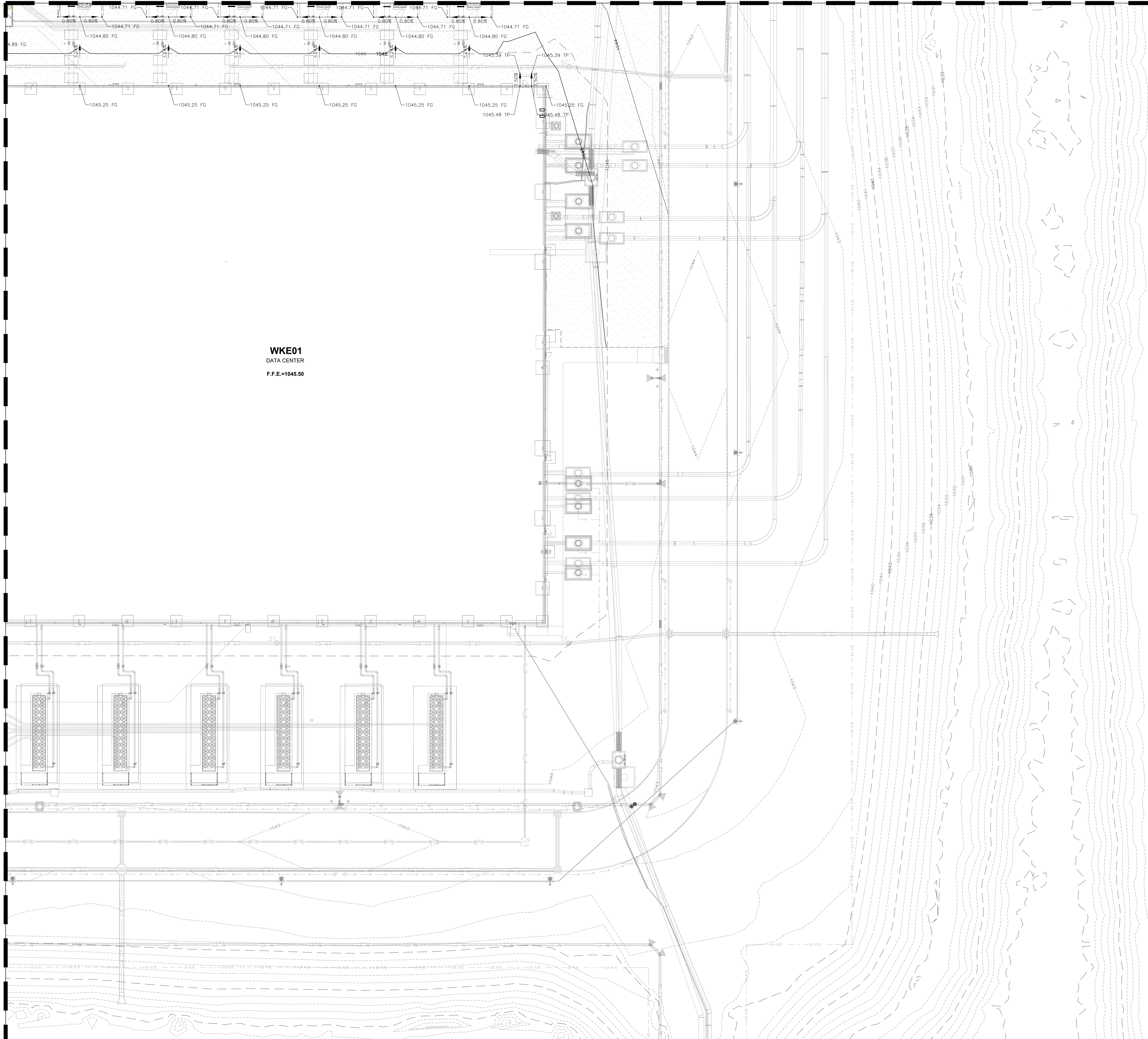
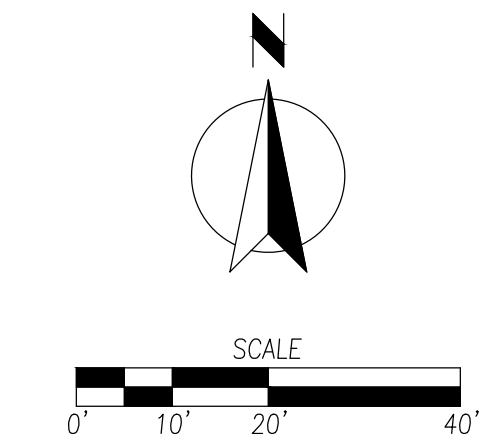
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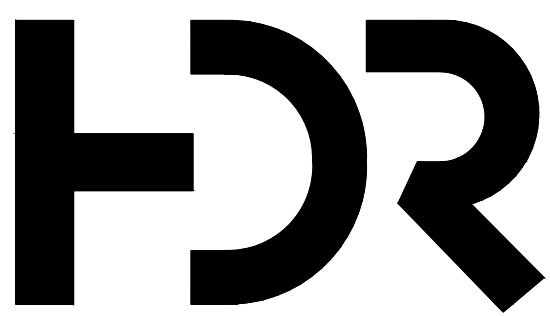
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**WKE01**  
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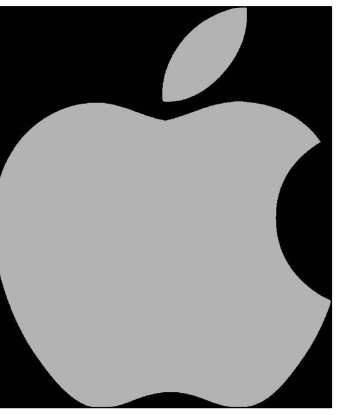
SEE SHEET C-1210 FOR CONTINUATION

C-1211 GRADING PLAN





**PROJECT MORGAN  
WKE.SITE**  
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WAUKEE, IA 50263



**Civil Design Advantage**  
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Urbandale, IA 50322  
515-369-4400

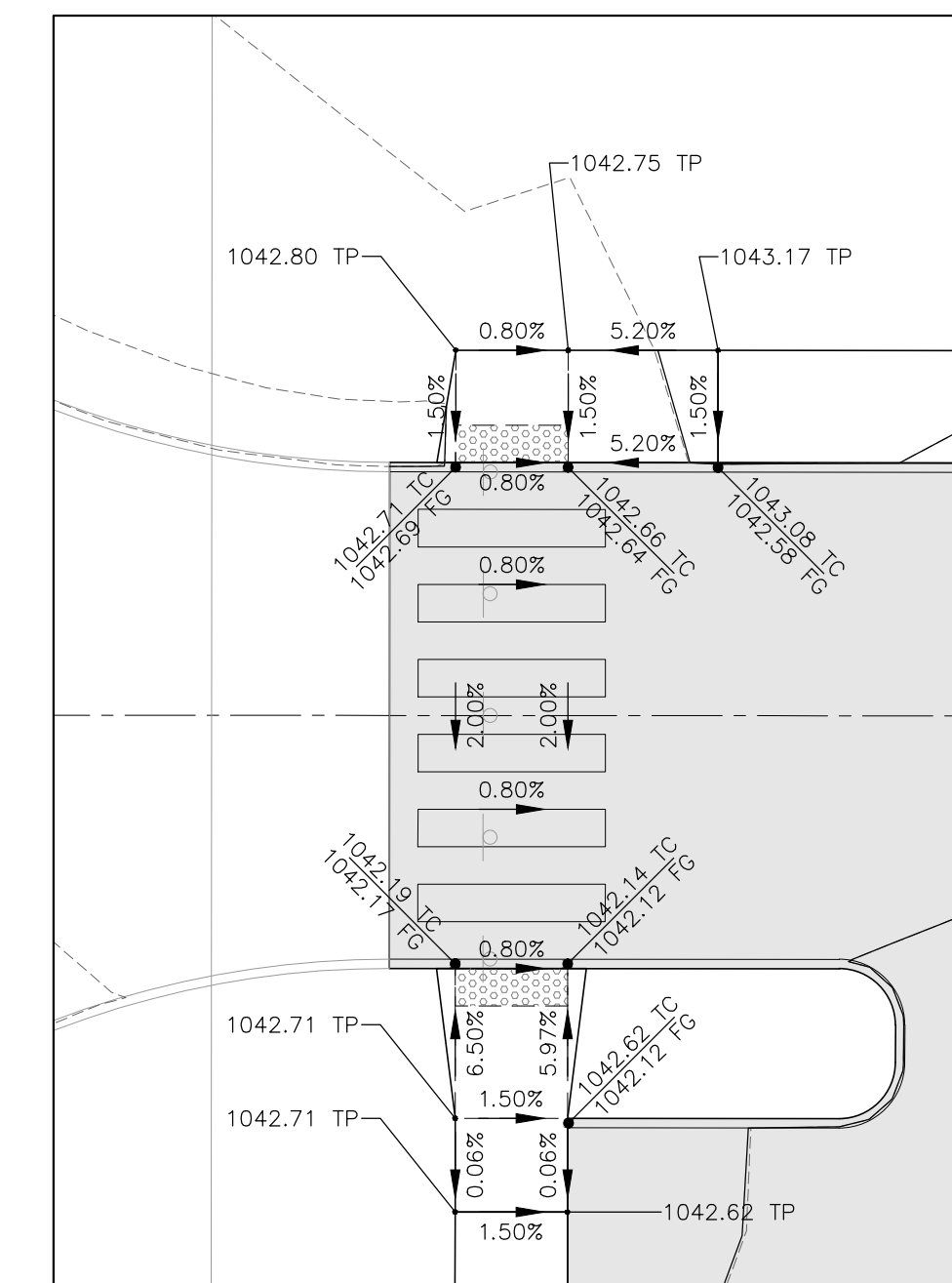
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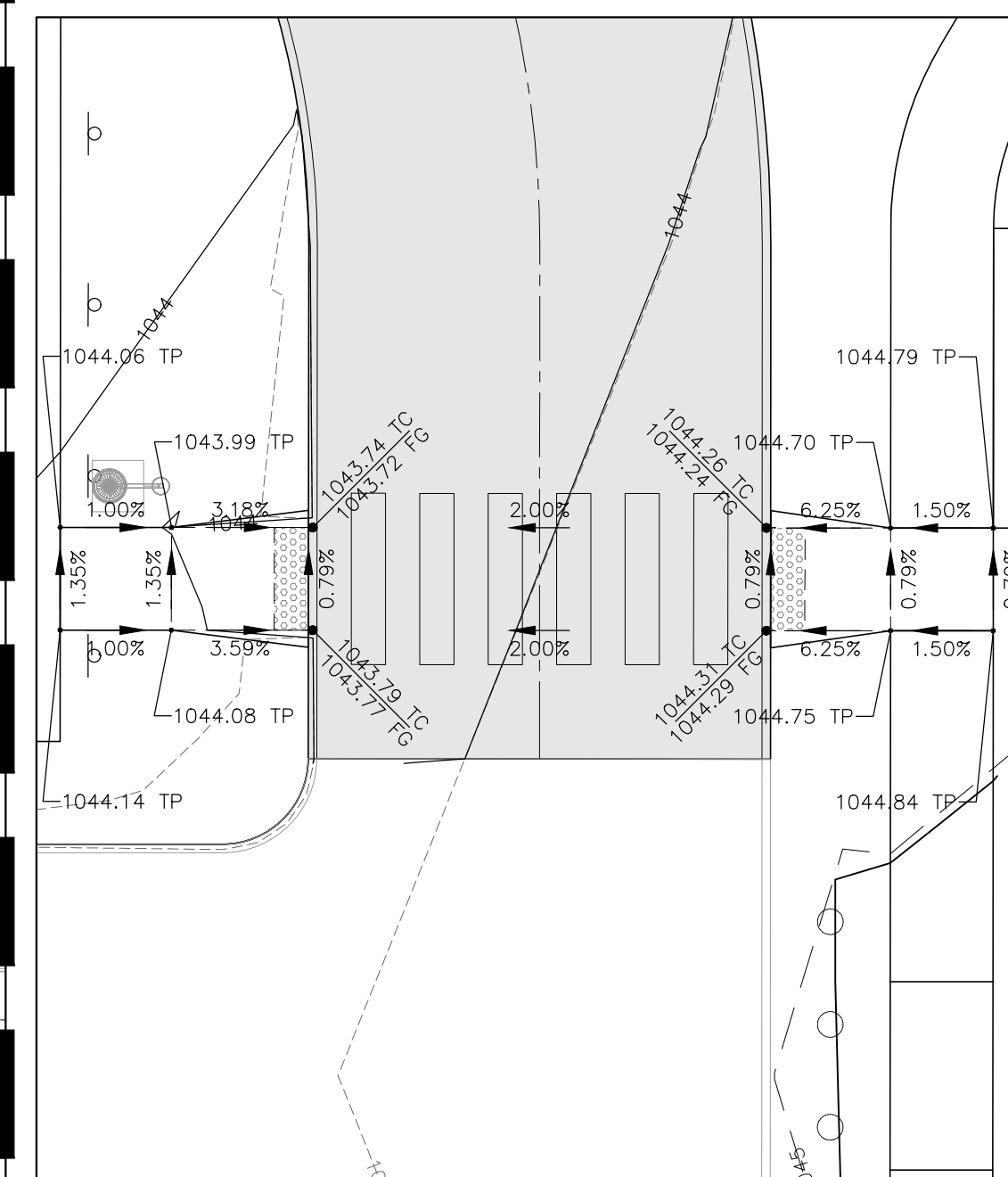
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SEE SHEET C-1216 FOR CONTINUATION



SEE SHEET C-1209 FOR CONTINUATION



**ISSUES**

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- 2025-05-02 CITY SUBMITTAL #2

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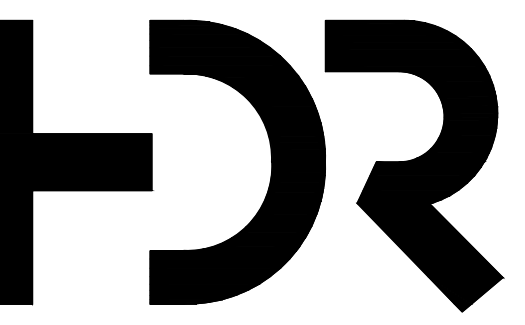
**GRADING PLAN**

**SCALE**  
JOB 10424474  
DATE 2025.04.17  
SHEET

**C-1215**

C-1215 GRADING PLAN

SEE SHEET C-1209 FOR CONTINUATION



**PROJECT MORGAN  
WKE SITE**  
2995 W. HICKMAN RD  
WAUKEE, IA 50263



**Civil Design Advantage**  
4121 NW Urbandale Drive  
Urbandale, IA 50322  
515-369-4400

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**ISSUES**

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**GRADING PLAN**

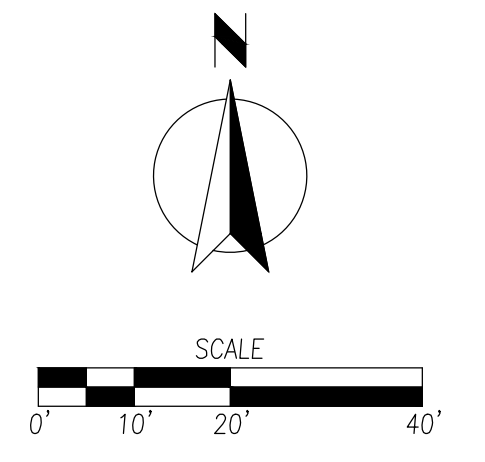
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SHEET

**C-1216**

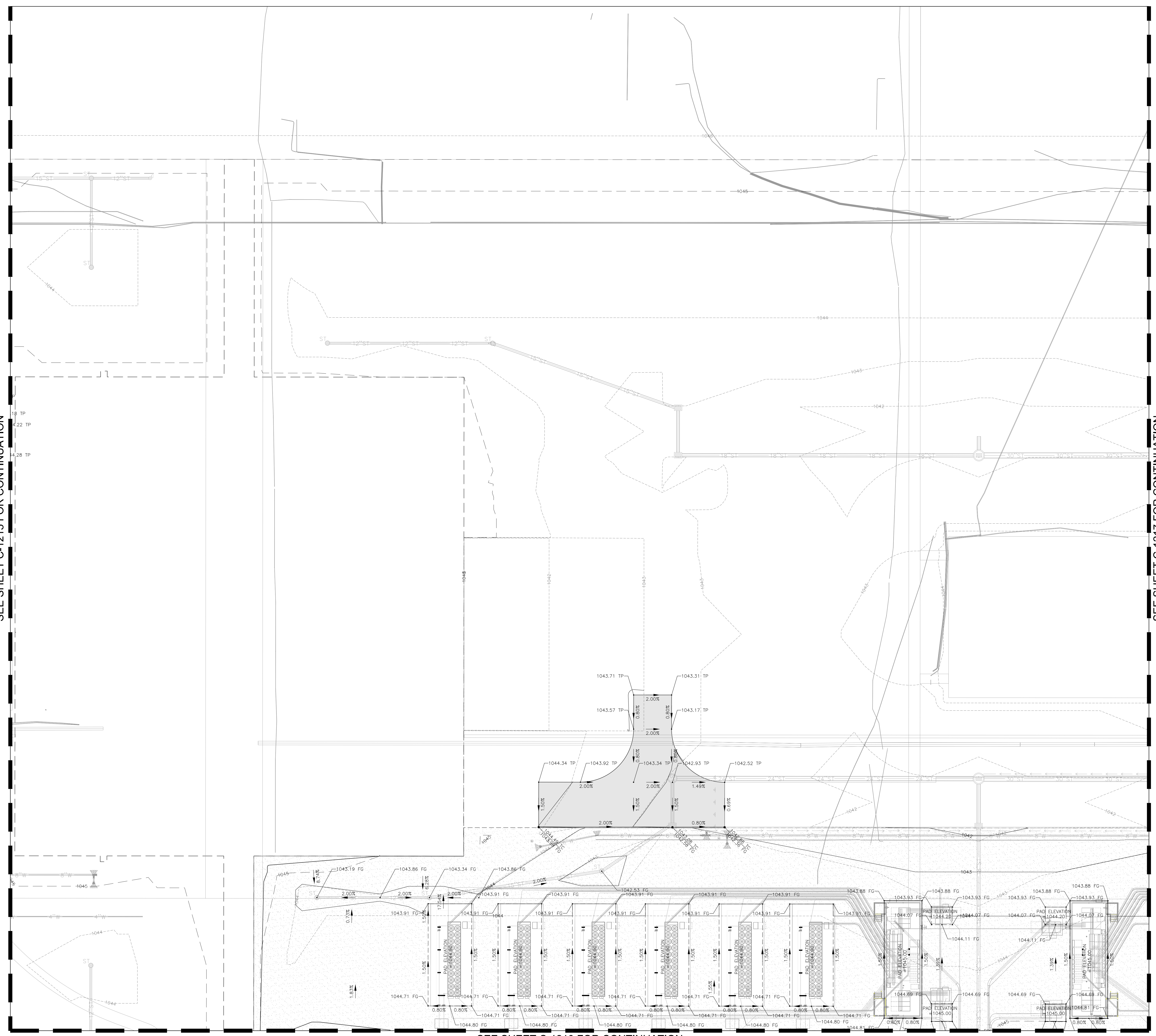
SEE SHEET C-1215 FOR CONTINUATION

SEE SHEET C-1217 FOR CONTINUATION

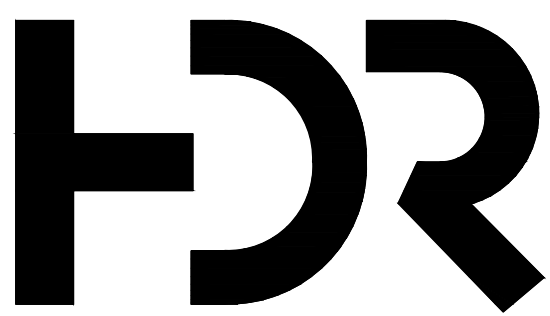
SEE SHEET C-1210 FOR CONTINUATION



C-1216 GRADING PLAN







**PROJECT MORGAN  
WKE.SITE**  
2995 W. HICKMAN RD  
WAUKEE, IA 50263



**Civil Design Advantage**  
4121 NW Urbandale Drive  
Urbandale, IA 50322  
515-369-4400

**ISSUES**

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**EROSION CONTROL  
PLAN - OVERALL**

**SCALE**  
JOB 10424474  
DATE 2025.04.17  
SHEET

**C-1400**

**EROSION AND SEDIMENT CONTROL NOTES**

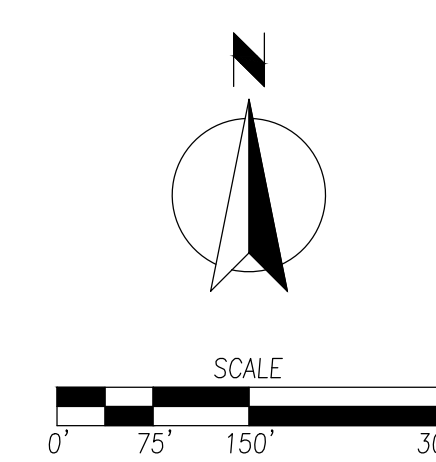
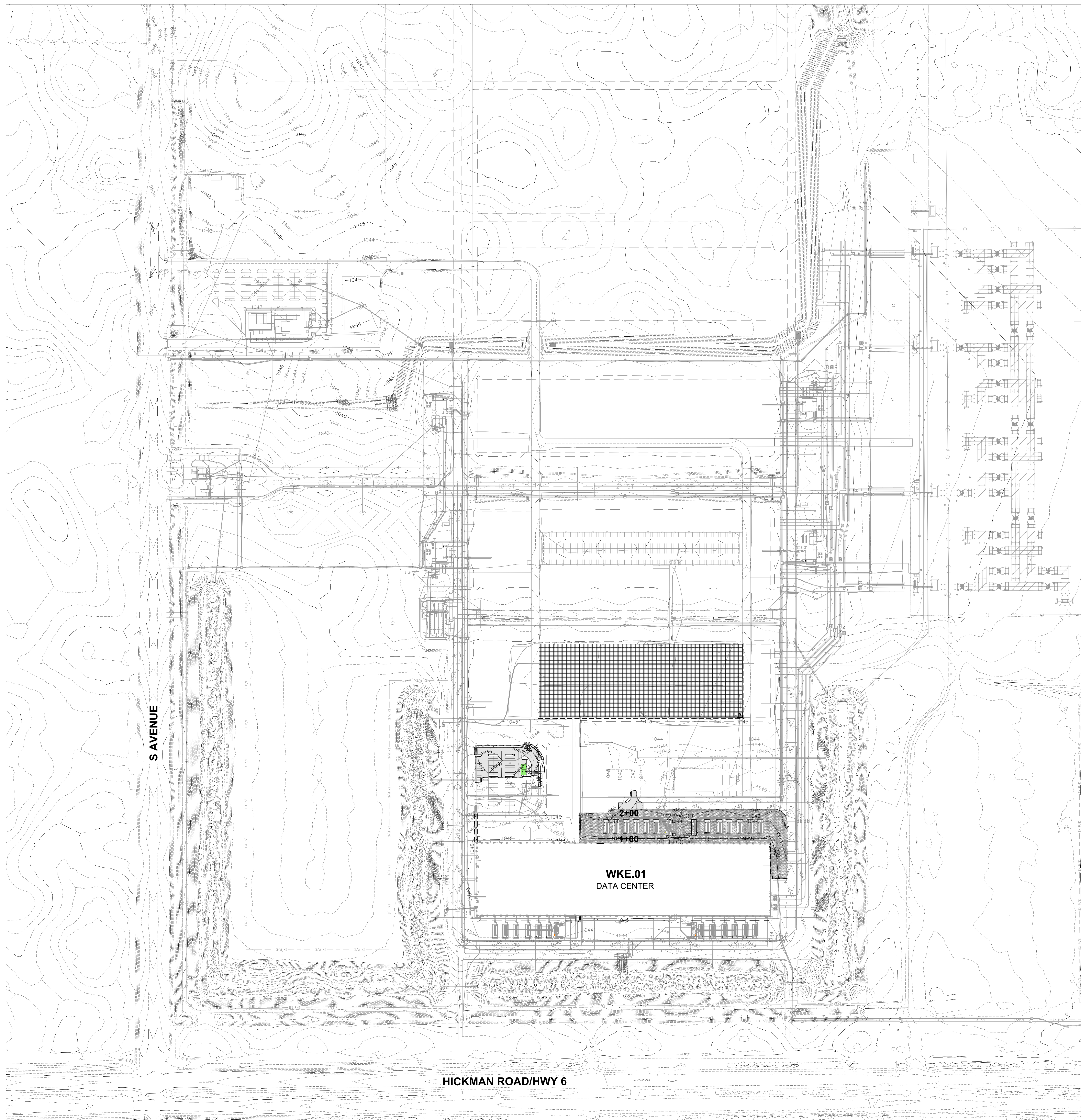
1. NO STANDPIPES ARE SHOWN IN THE TEMPORARY SEDIMENT BASINS. WATER RELEASES FROM THE PONDS FROM THE SURFACE. THE LENGTH AND DEPTHS OF THE PONDS AND THE DISTANCE FROM THE INLET TO THE OUTLET STRUCTURES WILL ALLOW SEDIMENT TO SETTLE PRIOR TO DISCHARGING FROM THE PONDS.
2. PROPERLY TREAT ALL WATER TO REMOVE SUSPENDED SEDIMENT BEFORE IT RE-ENTERS A BODY OF WATER OR DISCHARGES FROM THE SITE.
3. WATER FROM ANY DEWATERING ACTIVITIES SHALL BE DISCHARGED INTO A TEMPORARY SEDIMENT BASIN OR SHALL RUN THROUGH A DEWATERING SILT SACK PRIOR TO LEAVING THE SITE. MEASURES SHALL ALSO BE TAKEN TO PREVENT SCOUR EROSION AT THE DEWATERING DISCHARGE POINT.
4. DISTURBED AREAS SHALL BE TEMPORARILY SEEDED AND/OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
5. DISTURBED AREAS SHALL BE TEMPORARILY SEEDED AND/OR MULCHED PRIOR TO THE SITE SHUTTING DOWN FOR WINTER CONDITIONS.
6. STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAW CUTTING AND CONCRETE GRINDING.
7. REFER TO LANDSCAPE SHEETS FOR PERMANENT SEED MIX TYPES, SPECIFIC QUANTITIES, AND LOCATIONS.

**STABILIZATION QUANTITIES**

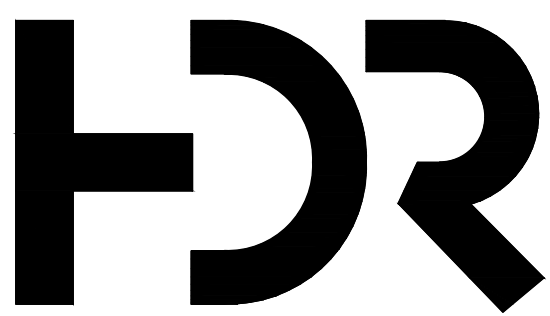
ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	3231
2	FILTER SOCK	LF	190
3	INLET PROTECTION DEVICES	EA	7
4	CONCRETE WASHOUT PIT	LS	1

**DISCHARGE POINT SUMMARY**

DISCHARGE POINT #1 TO SUGAR CREEK ±7,800 FT	8.65 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	31,140 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	
VOLUME PROVIDED IN FILTER SOCK (190 LF @ 2.0 CU FT/LF OF SOCK)	380 CU FT
VOLUME PROVIDED IN SILT FENCE (3,231 LF @ 4.5 CU FT/LF OF FENCE)	14,540 CU FT
VOLUME PROVIDED IN TEMPORARY SEDIMENT BASIN #1	1,086,811 CU FT
TOTAL VOLUME PROVIDED	1,101,731 CU FT



C-1400 EROSION CONTROL PLAN - OVERALL



**PROJECT MORGAN  
WKE.SITE**  
2995 W. HICKMAN RD  
WAUKEE, IA 50263



**Civil Design Advantage**  
4121 NW Urbandale Drive  
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515-369-4400

**ISSUES**

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**EROSION CONTROL  
PLAN**  
**SCALE**  
JOB 10424474  
DATE 2025.04.17  
SHEET

**C-1409**

SEE SHEET C-1415 FOR CONTINUATION

**DA #1  
8.65 AC**

**WKE01  
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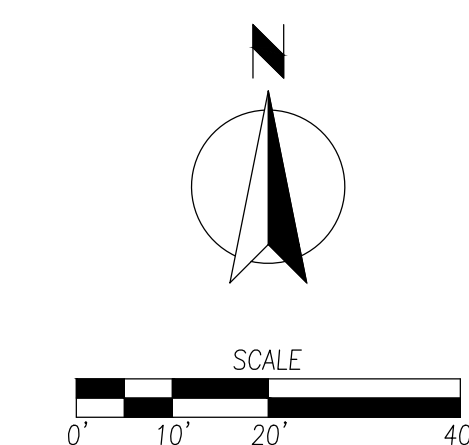
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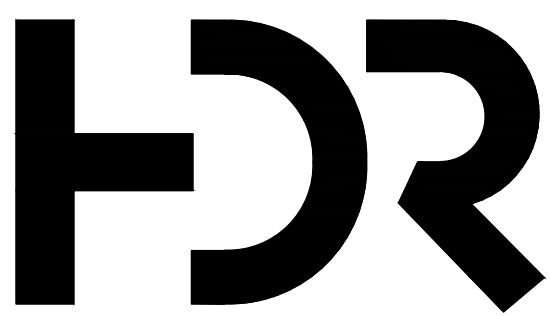
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- DRAINAGE ARROW
- GRADING LIMITS
- FILTER SOCK
- SILT FENCE
- INLET PROTECTION
- PORTABLE RESTROOM
- CONCRETE WASHOUT PIT
- PERMANENT SEEDING
- TEMPORARY SEEDING
- UNDISTURBED AREA
- RIP-RAP
- TOP SOIL STOCK PILE
- GRAVEL ENTRANCE
- STAGING AREA
- TEMPORARY SEDIMENT BASIN

SEE SHEET C-1410 FOR CONTINUATION

C-1409 EROSION CONTROL PLAN





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SEE SHEET C-1416 FOR CONTINUATION

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**WKE01**  
DATA CENTER

SEE SHEET C-1409 FOR CONTINUATION

SEE SHEET C-1411 FOR CONTINUATION

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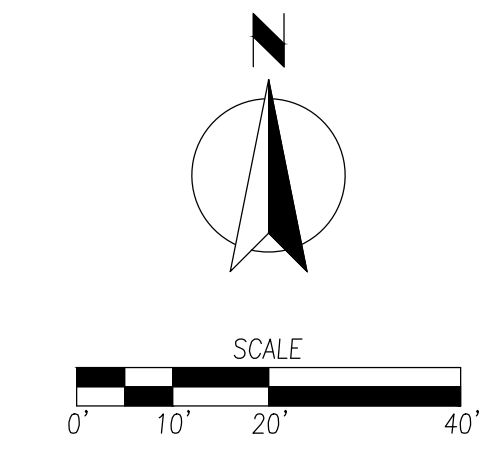
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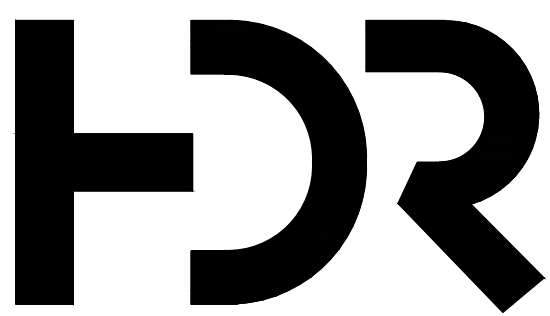
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**EROSION CONTROL PLAN**  
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**C-1410**

C-1410 EROSION CONTROL PLAN





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2	2025-04-17	90% CONSTRUCTION DOCUMENT
3	2025-05-02	CITY SUBMITTAL #2

**REVISIONS**


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**RYAN HARDISTY**



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Date of issue:  
04.17.2025

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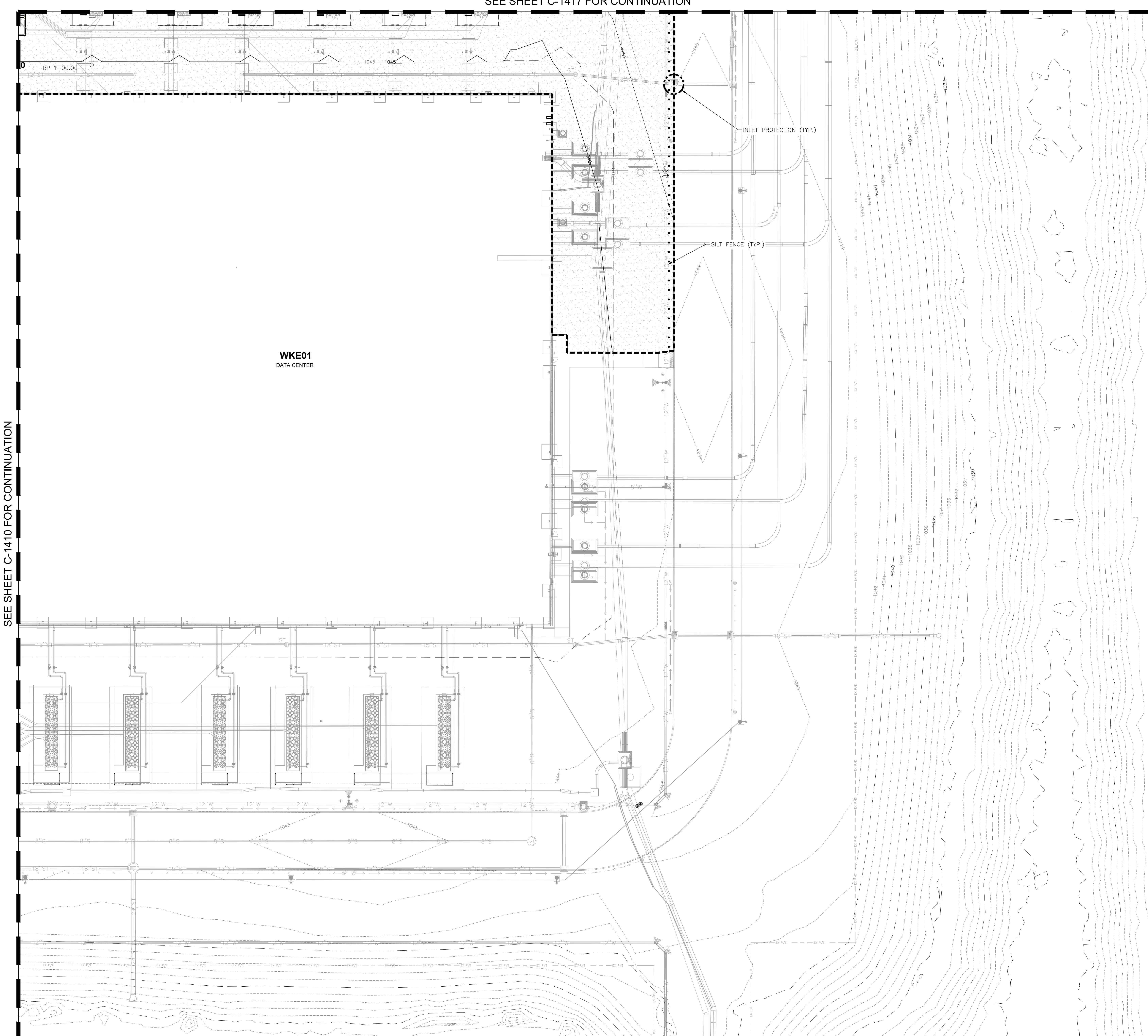
**EROSION CONTROL PLAN**  
**SCALE**  
JOB 10424474  
DATE 2025.04.17  
SHEET

**C-1411**

SEE SHEET C-1417 FOR CONTINUATION

**LEGEND**

- DRAINAGE ARROW
- GRADING LIMITS
- FILTER SOCK
- SILT FENCE
- INLET PROTECTION
- PORTABLE RESTROOM
- CONCRETE WASHOUT PIT
- PERMANENT SEEDING
- TEMPORARY SEEDING
- UNDISTURBED AREA
- RIP-RAP
- TOP SOIL STOCK PILE
- GRAVEL ENTRANCE
- STAGING AREA
- TEMPORARY SEDIMENT BASIN



**WKE01**  
DATA CENTER

SEE SHEET C-1410 FOR CONTINUATION

C-1411 EROSION CONTROL PLAN



**ISSUES**

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**EROSION CONTROL PLAN**  
**SCALE**  
JOB 10424474  
DATE 2025.04.17  
SHEET

SEE SHEET C-1421 FOR CONTINUATION

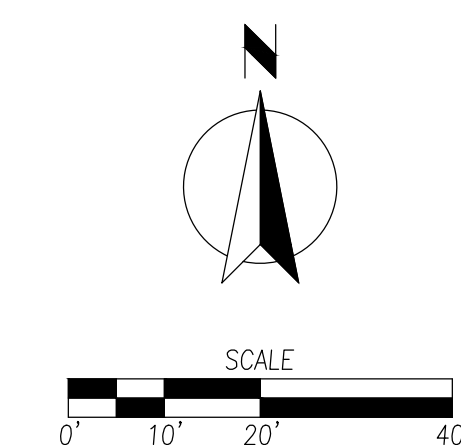


**LEGEND**

- DRAINAGE ARROW
- GRADING LIMITS
- FILTER SOCK
- SILTY FENCE
- INLET PROTECTION
- PORTABLE RESTROOM
- CONCRETE WASHOUT PIT
- PERMANENT SEEDING
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- UNDISTURBED AREA
- RIP-RAP
- TOP SOIL STOCK PILE
- GRAVEL ENTRANCE
- STAGING AREA
- TEMPORARY SEDIMENT BASIN

SEE SHEET C-1416 FOR CONTINUATION

SEE SHEET C-1409 FOR CONTINUATION





**ISSUES**

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**EROSION CONTROL PLAN**  
**SCALE**  
JOB 10424474  
DATE 2025.04.17  
SHEET

SEE SHEET C-1422 FOR CONTINUATION

**DA #1  
8.65 AC**

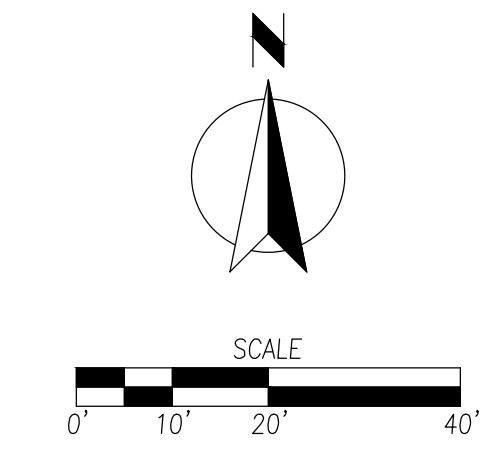
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**LEGEND**

- DRAINAGE ARROW
- GRADING LIMITS
- FILTER SOCK
- SILT FENCE
- INLET PROTECTION
- PORTABLE RESTROOM
- CONCRETE WASHOUT PIT
- PERMANENT SEEDING
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- UNDISTURBED AREA
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- TOP SOIL STOCK PILE
- GRAVEL ENTRANCE
- STAGING AREA
- TEMPORARY SEDIMENT BASIN

SEE SHEET C-1410 FOR CONTINUATION

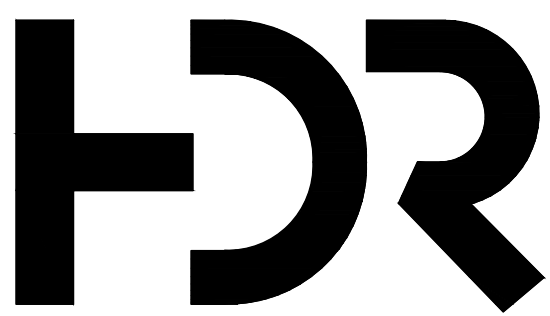
**DA #1  
8.65 AC**



SEE SHEET C-1415 FOR CONTINUATION

C-1416 EROSION CONTROL PLAN

SEE SHEET C-1417 FOR CONTINUATION



**PROJECT MORGAN  
WKE.SITE**  
2995 W. HICKMAN RD  
WAUKEE, IA 50263



**Civil Design Advantage**  
4121 NW Urbandale Drive  
Urbandale, IA 50322  
515-369-4400

**ISSUES**

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**EROSION CONTROL PLAN**  
**SCALE**  
JOB 10424474  
DATE 2025.04.17  
SHEET

**C-1417**

SEE SHEET C-1423 FOR CONTINUATION

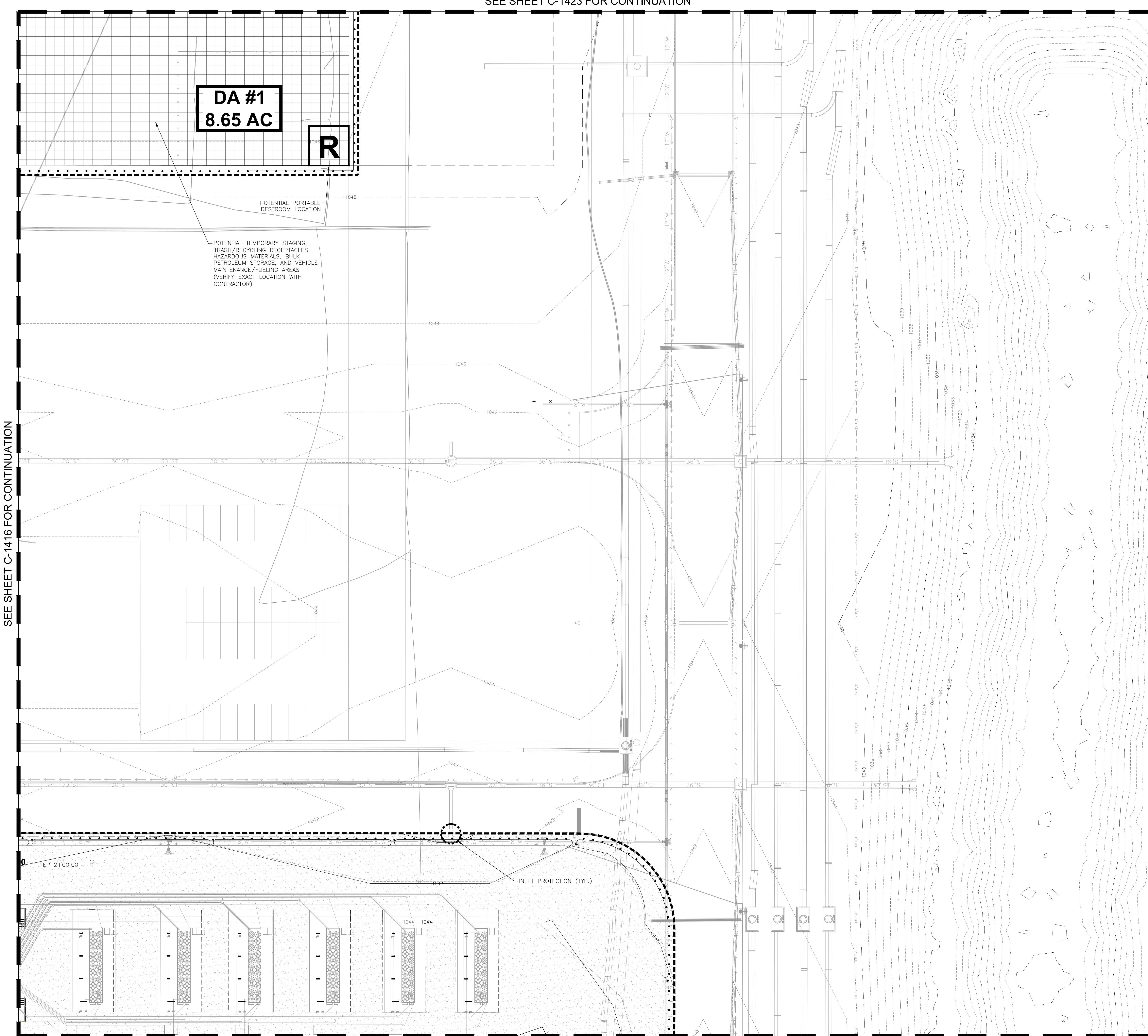
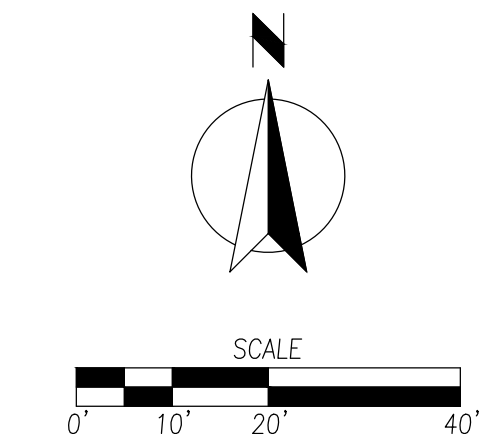
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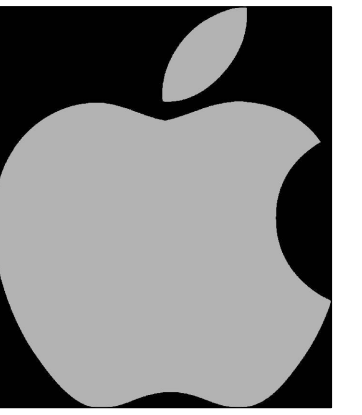
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- GRAVEL ENTRANCE
- STAGING AREA
- TEMPORARY SEDIMENT BASIN

SEE SHEET C-1416 FOR CONTINUATION

C-1417 EROSION CONTROL PLAN

SEE SHEET C-1411 FOR CONTINUATION





**ISSUES**

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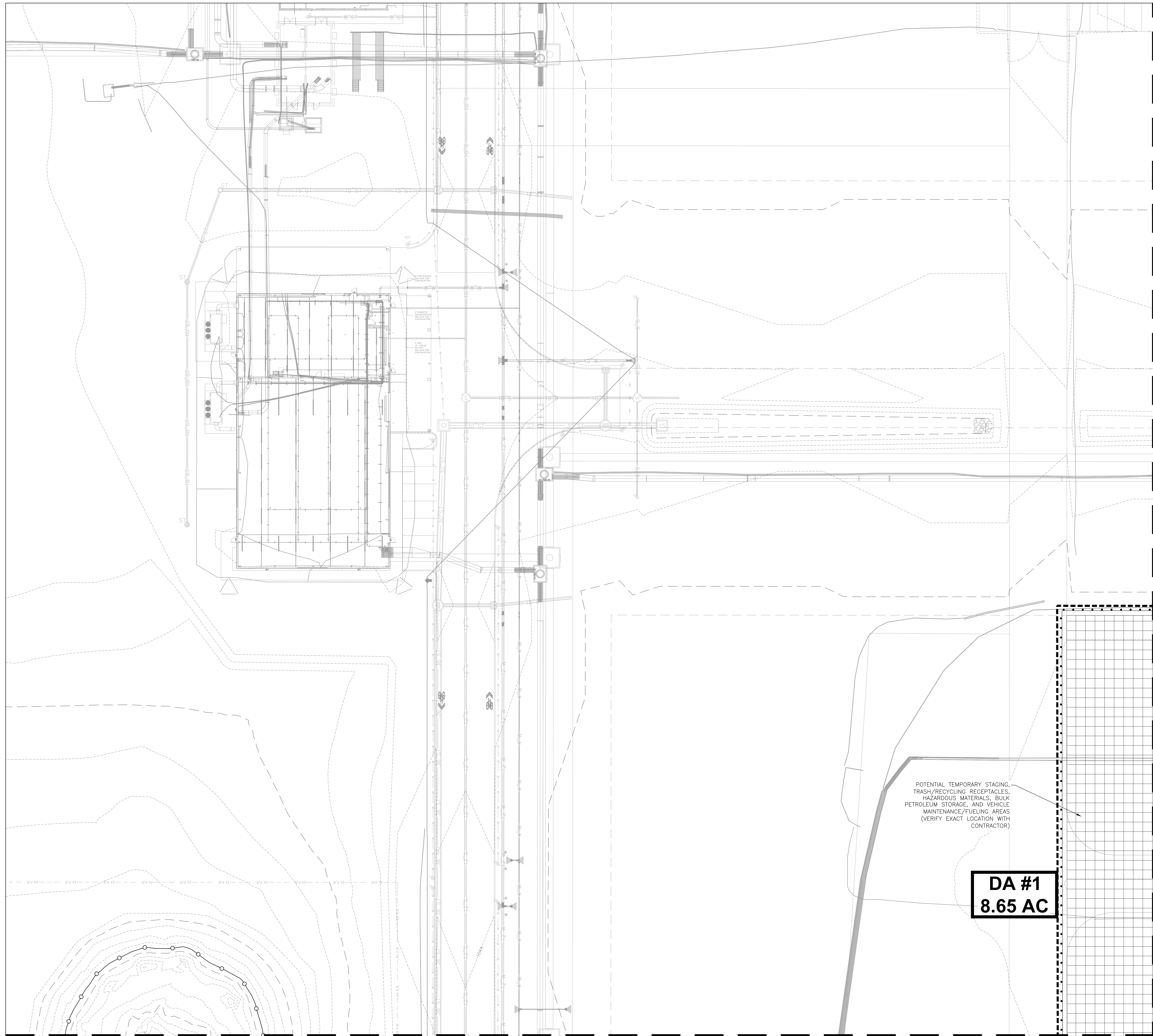
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**EROSION CONTROL PLAN**  
**SCALE**  
JOB 10424474  
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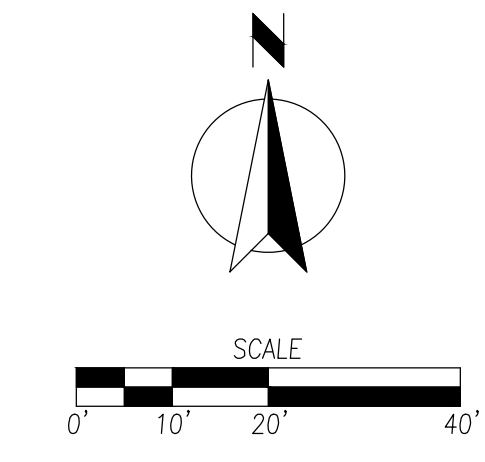
**LEGEND**

- DRAINAGE ARROW
- GRADING LIMITS
- FILTER SOCK
- SILT FENCE
- INLET PROTECTION
- PORTABLE RESTROOM
- CONCRETE WASHOUT PIT
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SEE SHEET C-1422 FOR CONTINUATION

SEE SHEET C-1415 FOR CONTINUATION



C-1421 EROSION CONTROL PLAN



**ISSUES**

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**EROSION CONTROL PLAN**  
**SCALE**  
JOB 10424474  
DATE 2025.04.17  
SHEET

**LEGEND**

- DRAINAGE ARROW
- GRADING LIMITS
- FILTER SOCK
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SEE SHEET C-1421 FOR CONTINUATION

SEE SHEET C-1423 FOR CONTINUATION

SEE SHEET C-1416 FOR CONTINUATION

**DA #1**  
**8.65 AC**

POTENTIAL TEMPORARY STAGING, TRASH/RECYCLING RECEPTACLES, HAZARDOUS MATERIALS, BULK PETROLEUM STORAGE, AND VEHICLE MAINTENANCE/FUELING AREAS (VERIFY EXACT LOCATION WITH CONTRACTOR)



**ISSUES**

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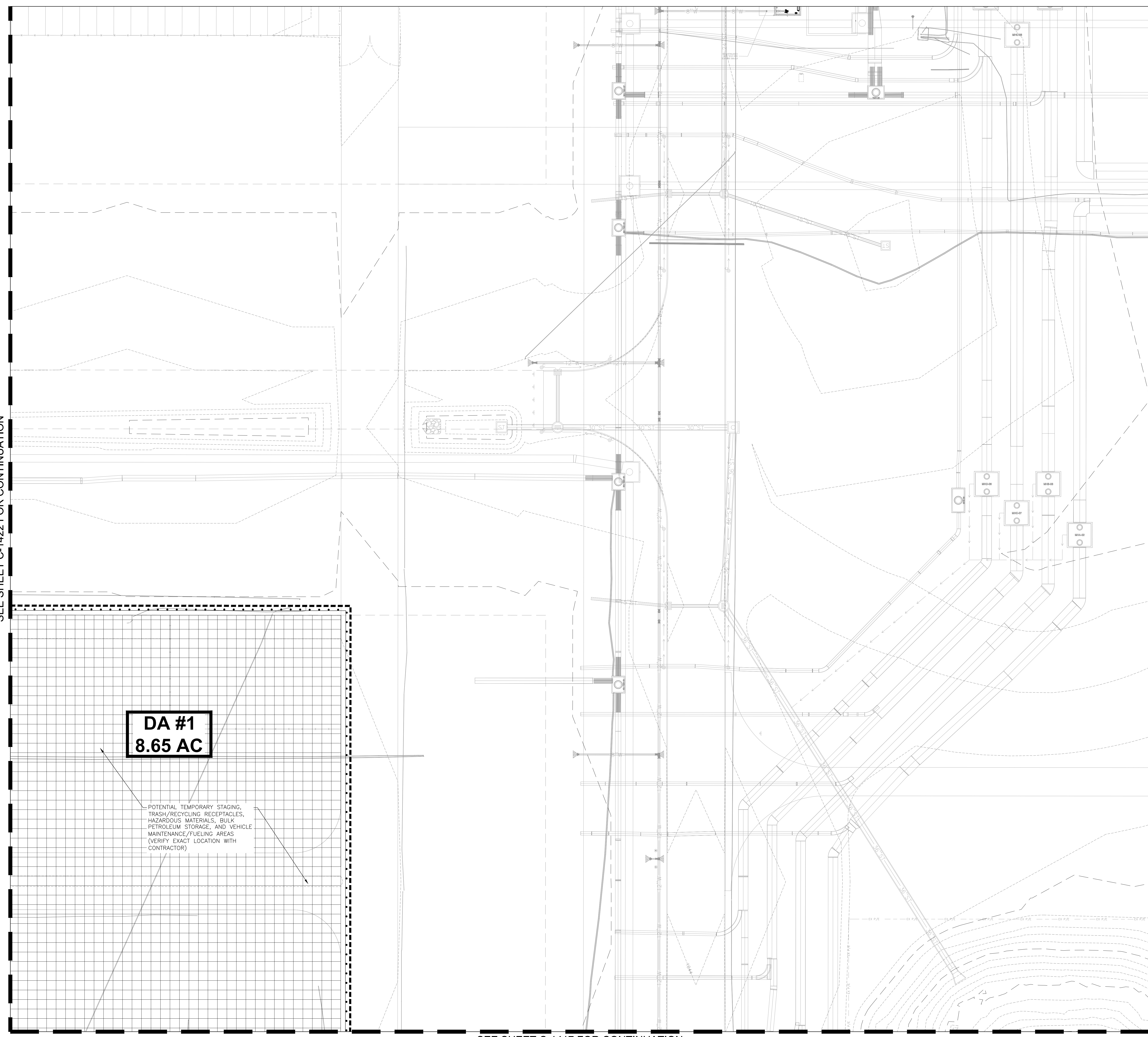
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**EROSION CONTROL  
PLAN**  
**SCALE**  
JOB 10424474  
DATE 2025.04.17  
SHEET

**LEGEND**

- DRAINAGE ARROW
- GRADING LIMITS
- FILTER SOCK
- SILT FENCE
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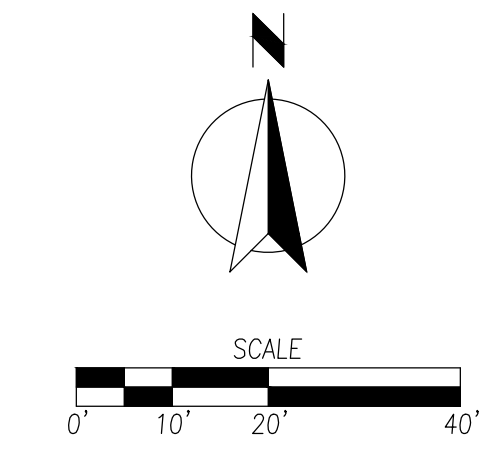


**DA #1  
8.65 AC**

POTENTIAL TEMPORARY STAGING,  
TRASH/RECYCLING RECEPTACLES,  
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PETROLEUM STORAGE, AND VEHICLE  
MAINTENANCE/FUELING AREAS  
(VERIFY EXACT LOCATION WITH  
CONTRACTOR)

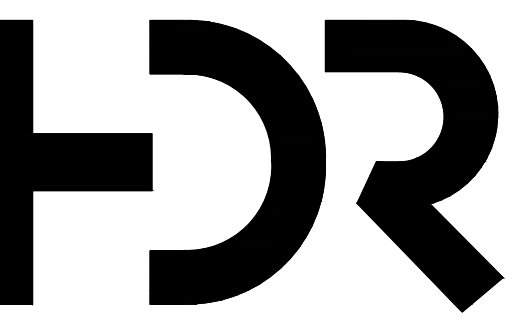
SEE SHEET C-1422 FOR CONTINUATION

SEE SHEET C-1417 FOR CONTINUATION

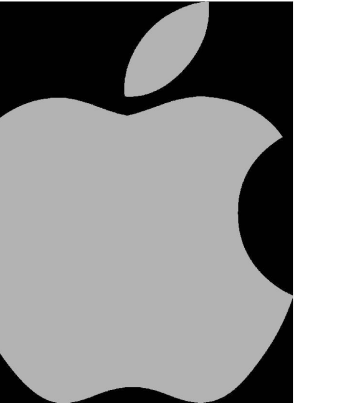






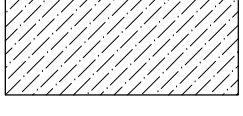
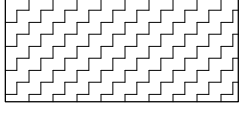

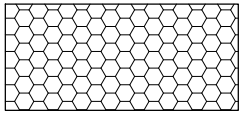


**PROJECT MORGAN  
WKE.SITE**  
2995 W. HICKMAN RD  
WAUKEE, IA 50263



**Civil Design Advantage**  
4121 NW Urbandale Drive  
Urbandale, IA 50322  
515-369-4400

PLANT SCHEDULES ARE LOCATED  
ON SHEET L-1100

-  TURF SEED MIX 1  
SUPER SHADE FINE FESCUE GRASS MIXTURE FROM UNITED SEEDS.  
SEED BETWEEN MARCH 1 AND MAY 31 AND BETWEEN AUGUST 10  
AND OCTOBER 15.
-  TURF SEED MIX 2  
SUPER TURF II LS FROM UNITED SEEDS.  
SEED BETWEEN MARCH 1 AND MAY 31 AND BETWEEN AUGUST 10  
AND OCTOBER 15.
-  TURF SEED MIX 3  
SLUDAS TYPE 2  
SEED BETWEEN MAR. 1 & MAY 31 AND AUG. 10 & SEPT. 30.
-  ROCK MULCH  
17-3" GRANITE CHIPS, SLATE COLOR. MINIMUM DEPTH OF 3" OVER  
LANDSCAPE FABRIC (OR EQUAL). EDGING BETWEEN  
ROCK MULCH AND GRASS SHALL BE 4" STEEL LANDSCAPE EDGING.

**WKE01**  
DATA CENTER

**ISSUES**

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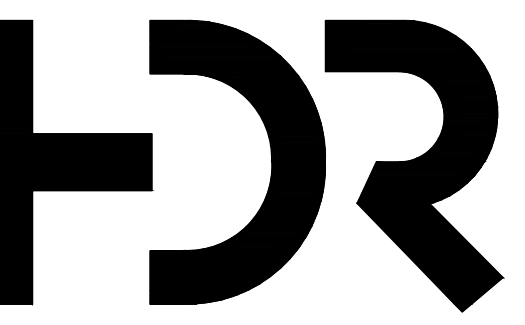
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LANDSCAPE PLAN

**SCALE**  
JOB 10424474  
DATE 2025.04.17  
SHEET

**L-1109**

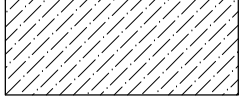
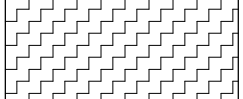

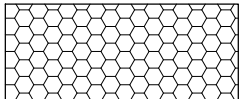


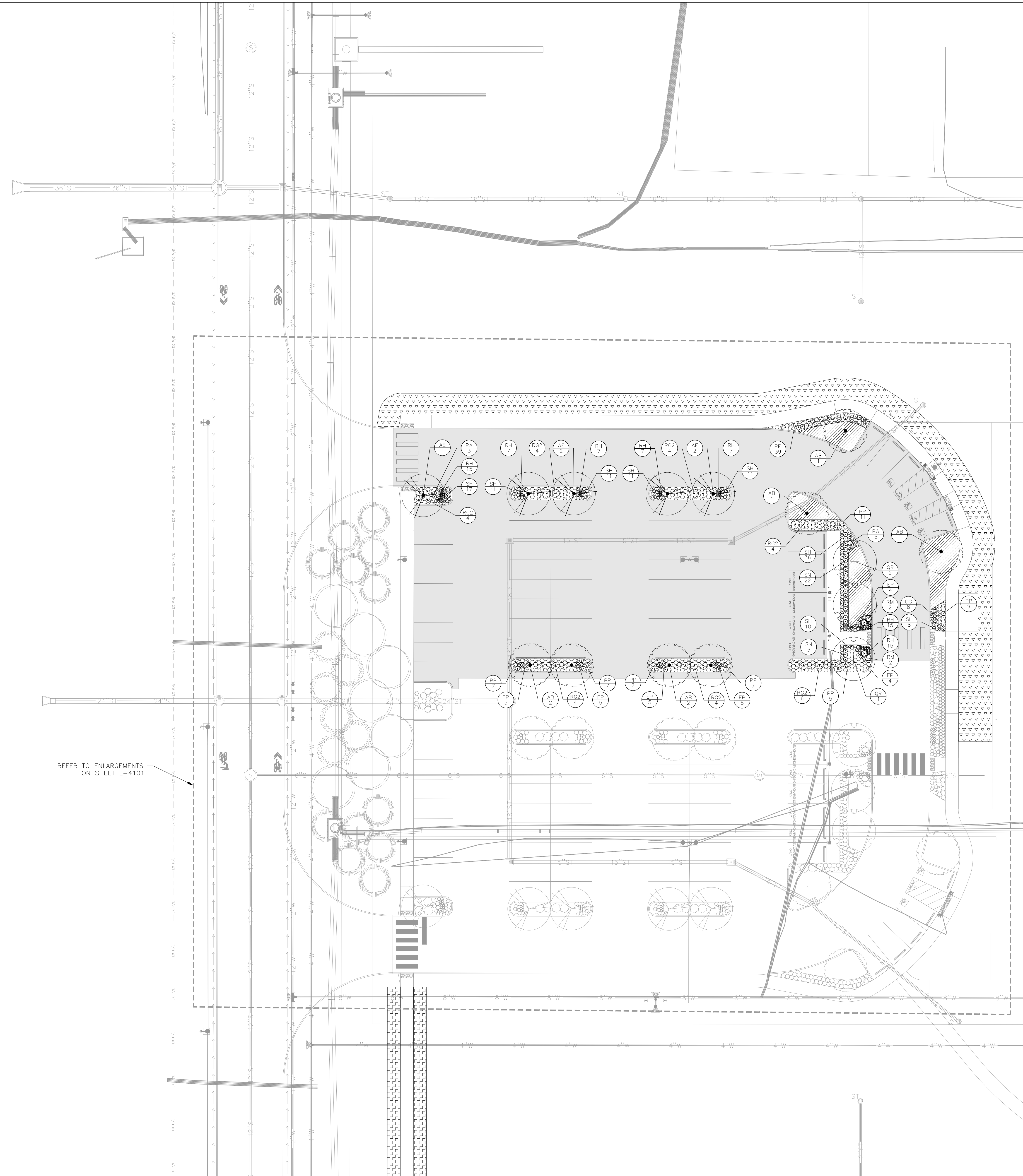
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WKE.SITE**  
2995 W. HICKMAN RD  
WAUKEE, IA 50263



**Civil Design Advantage**  
4121 NW Urbandale Drive  
Urbandale, IA 50322  
515-369-4400

PLANT SCHEDULES ARE LOCATED  
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-  TURF SEED MIX 2  
SUPER TURF II LS FROM UNITED SEEDS.  
SEED BETWEEN MARCH 1 AND MAY 31 AND BETWEEN AUGUST 10  
AND OCTOBER 15.
-  TURF SEED MIX 3  
SLUDAS TYPE 2.  
SEED BETWEEN MAR. 1 & MAY 31 AND AUG. 10 & SEPT. 30.
-  ROCK MULCH  
17-3" GRANITE CHMP. SLATE COLOR. MINIMUM DEPTH OF 3" OVER  
LANDSCAPE FABRIC (OR EQUAL). EDGING BETWEEN  
ROCK MULCH AND GRASS SHALL BE 4" STEEL LANDSCAPE EDGING.



REFER TO ENLARGEMENTS  
ON SHEET L-4101

SEE SHEET L-1116 FOR CONTINUATION

**ISSUES**

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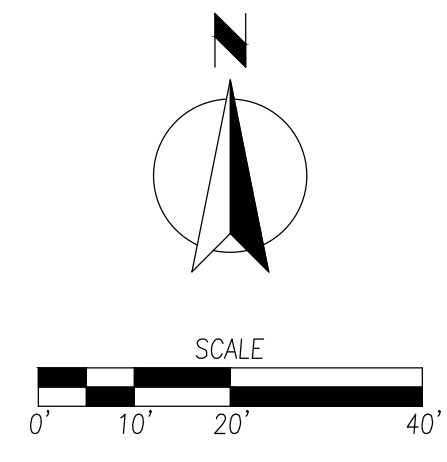


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PLAN

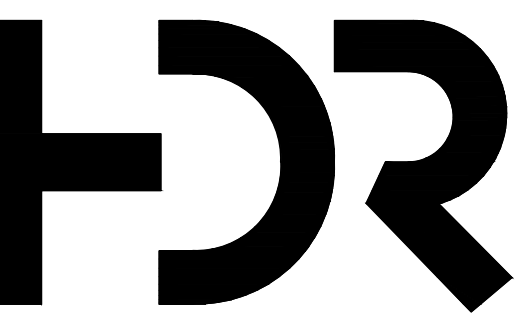
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LANDSCAPE PLAN

SCALE  
JOB 10424474  
DATE 2025.04.17  
SHEET

**L-1115**

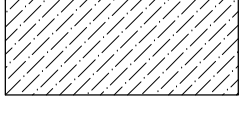
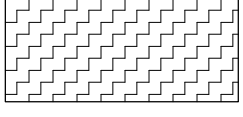

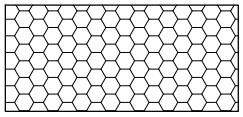


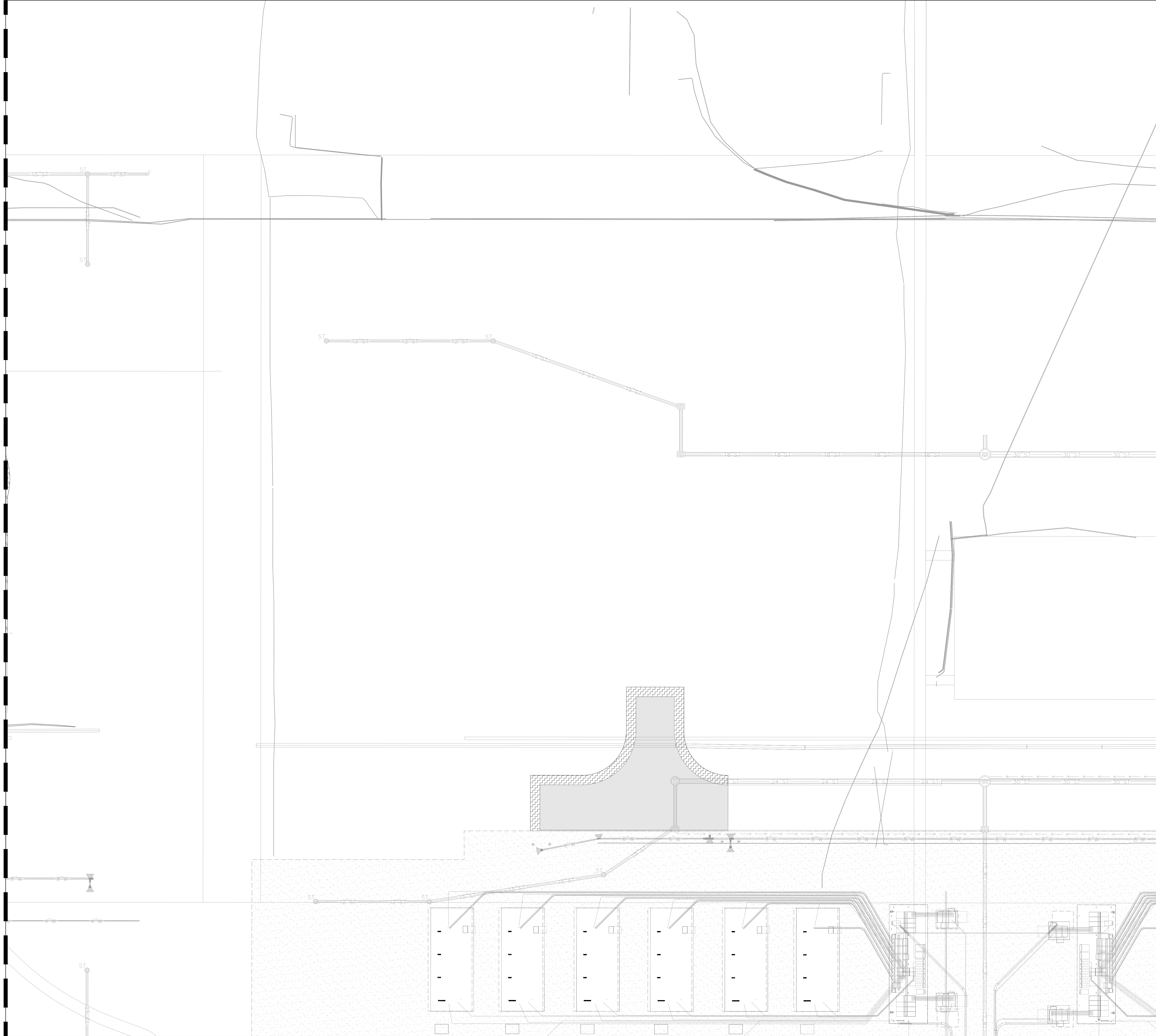
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-  TURF SEED MIX 2  
SUPER TURF II LS FROM UNITED SEEDS.  
SEED BETWEEN MARCH 1 AND MAY 31 AND BETWEEN AUGUST 10  
AND OCTOBER 15.
-  TURF SEED MIX 3  
SLUDAS TYPE 2.  
SEED BETWEEN MAR. 1 & MAY 31 AND AUG. 10 & SEPT. 30.
-  ROCK MULCH  
1 1/2" GRANITE CHIPS, SLATE COLOR, MINIMUM DEPTH OF 3" OVER  
LANDSCAPE FABRIC (OR EQUAL). EDGING BETWEEN  
ROCK MULCH AND GRASS SHALL BE 4" STEEL LANDSCAPE EDGING.



SEE SHEET L-1115 FOR CONTINUATION

L-1116 LANDSCAPE PLAN

**ISSUES**

1	2025-03-13	100% DESIGN DEVELOPMENT
2	2025-04-17	90% CONSTRUCTION DOCUMENT
3	2025-05-02	CITY SUBMITTAL #2

**REVISIONS**


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Date of issue:  
04.17.2025

PLAN N

61	62	63	64	65	66
55	56	57	58	59	60
49	50	51	52	53	54
43	44	45	46	47	48
37	38	39	40	41	42
31	32	33	34	35	36
25	26	27	28	29	30
19	20	21	22	23	24
13	14	15	16	17	18
07	08	09	10	11	12
01	02	03	04	05	06

LANDSCAPE PLAN

**SCALE**  
JOB 10424474  
DATE 2025.04.17  
SHEET

**L-1116**



**ISSUES**

1	2025-03-13	100% DESIGN DEVELOPMENT
2	2025-04-17	90% CONSTRUCTION DOCUMENT
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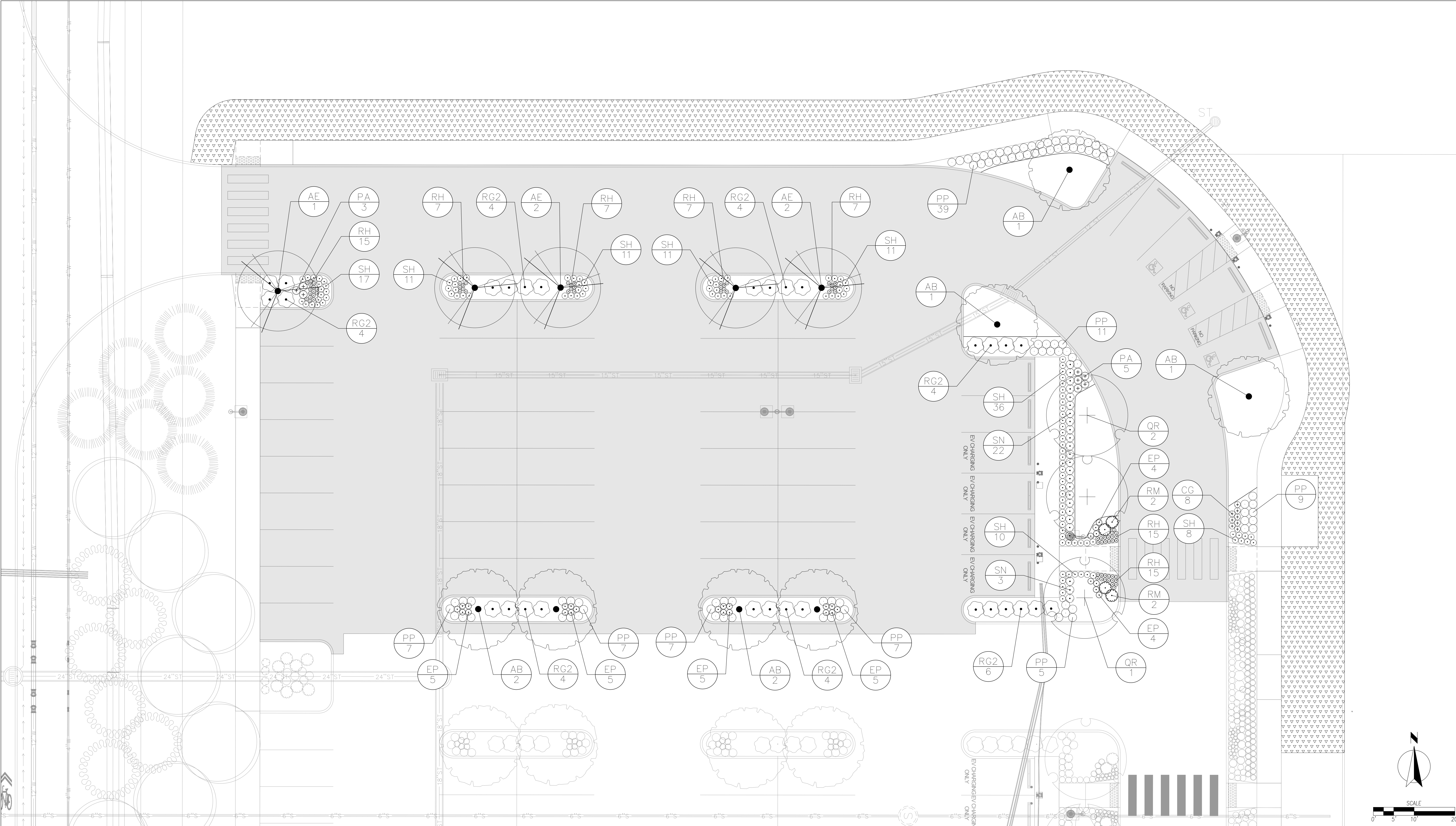
Date of issue:  
**04.17.2025**

PLAN

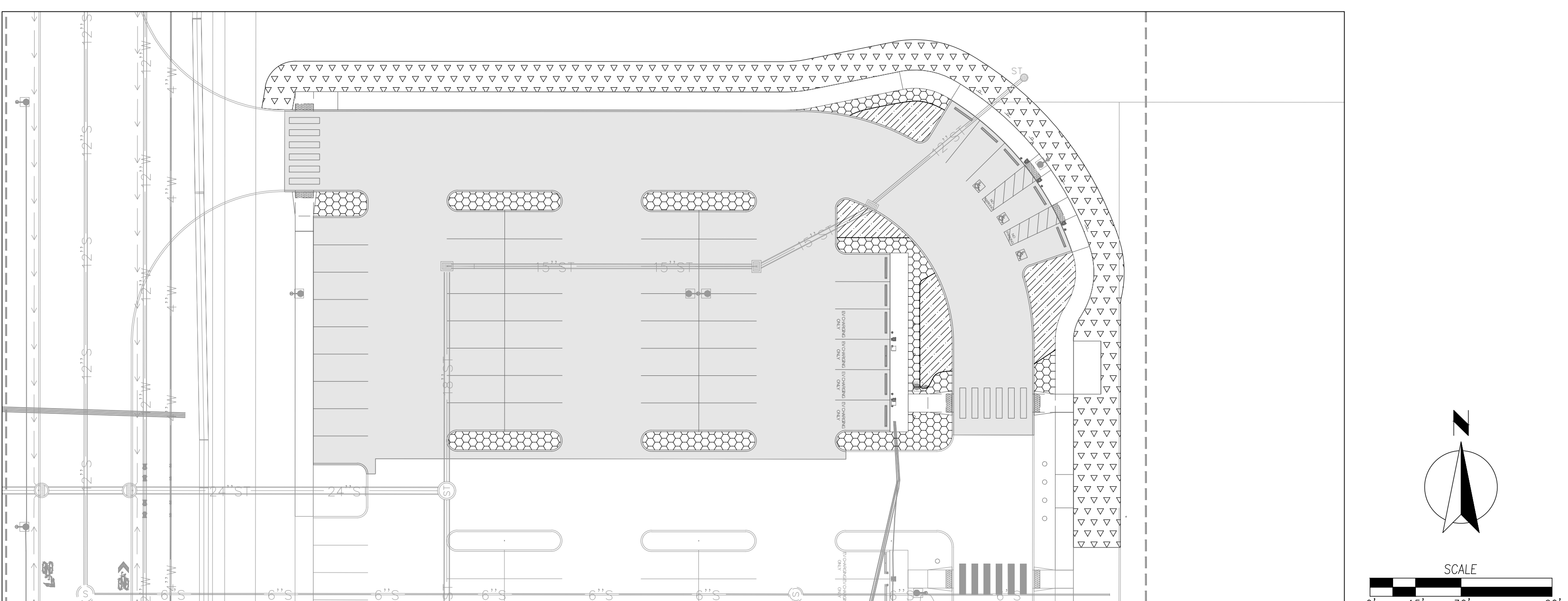
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13	14	15	16	17	18
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**LANDSCAPE PLAN**

**SCALE**  
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DATE 2025.04.17  
SHEET



ADMIN BUILDING PARKING AREA PLANTING PLAN



ADMIN BUILDING PARKING AREA GROUND COVER

**PLANT SCHEDULES ARE LOCATED ON SHEET L-1100**

- TURF SEED MIX 1  
SUPER SHADE FINE FESCUE GRASS MIXTURE FROM UNITED SEEDS.  
SEED BETWEEN MARCH 1 AND MAY 31 AND BETWEEN AUGUST 10 AND OCTOBER 15.
- TURF SEED MIX 2  
SUPER TURF II S.F. FROM UNITED SEEDS.  
SEED BETWEEN MARCH 1 AND MAY 31 AND BETWEEN AUGUST 10 AND OCTOBER 15.
- TURF SEED MIX 3  
SUDAS TYPE 2.  
SEED BETWEEN MAR. 1 & MAY 31 AND AUG. 10 & SEPT. 30.
- ROCK MULCH  
1"-3" GRANITE CHIPS, SLATE COLOR, MINIMUM DEPTH OF 3" OVER MIRASCAPES LANDSCAPE FABRIC (OR EQUAL). EDGING BETWEEN ROCK MULCH AND GRASS SHALL BE 4" STEEL LANDSCAPE EDGING.

L-4101 LANDSCAPE PLAN