

# WAUKEE HEADSTART SITE PLAN / PRELIMINARY PLAT

## SHEET INDEX:

- C0.1 COVER SHEET
- C0.2 SITE SURVEY
- C1.1 DEMO PLAN
- C2.1 LAYOUT PLAN
- C3.1 GRADING PLAN
- C4.1 UTILITY PLAN
- C5.1 LANDSCAPE PLAN
- C6.1 DETAILS SHEET
- C7.1 EROSION CONTROL PLAN

## PROPERTY DESCRIPTION:

LOTS 7,8,9,10,11,12,13, 14, 15, 17 AND 18 IN BLOCK 7 IN THE ORIGINAL TOWN, NOW CITY OF WAUKEE, DALLAS COUNTY, IOWA

SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

## ADDRESS:

425 ASHWORTH DRIVE  
WAUKEE, IOWA 50263

## OWNER:

COMMUNITY OPPORTUNITIES, INC  
23751 HWY 30 EAST  
CARROLL, IOWA 51401

## DESIGN TEAM:

CIVIL ENGINEER: BISHOP ENGINEERING  
3501 104TH STREET  
URBANDALE, IA 50322  
EMAIL: DBENTZ@BISHOPENGR.COM  
PHONE: 515-276-0467

## PREPARED FOR:

SVPA ARCHITECTS  
ATTN: SARA HERMAN  
1466 28TH STREET, SUITE 200  
WEST DES MOINES, IOWA 50266

## ZONING:

INFORMATION OBTAINED FROM PLANNING AND ZONING MAP  
C-1 (COMMERCIAL DISTRICT)

## SETBACKS:

FRONT YARD SETBACK: 30 FEET  
REAR YARD SETBACK: 30 FEET  
SIDE YARD SETBACK: 0 FEET  
UNLESS BORDERING A RESIDENTIAL DISTRICT  
FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF WAUKEE AT  
515-978-7920

## BUILDING CHARACTERISTICS:

BUILDING HEIGHT: 18' 6" MAXIMUM  
NUMBER OF STORIES: 1 STORY

## PARKING REQUIREMENTS:

REQUIRED PARKING = 1 STALL PER 6 STUDENTS REQUIRED  
98 STUDENTS \* 1 STALL / 6 STUDENTS =  
17 STALLS REQUIRED  
33 STALLS PROVIDED (INCL. 2 ADA STALLS)

## OPEN SPACE REQUIREMENTS:

TOTAL AREA: 30,550 SF - 0.70 ACRES  
MINIMUM OPEN SPACE: 20% 6,110 SF (0.14 ACRES)  
OPEN SPACE EXISTING: 53.2% 16,244 SF (0.37 ACRES)  
OPEN SPACE PROPOSED: 41.1% 12,573 SF (0.29 ACRES)

## IMPERVIOUS SURFACE:

MAXIMUM IMPERVIOUS AREA: 70% 24,440 SF (0.56 ACRES)  
IMPERVIOUS AREA EXISTING: 46.8% 14,306 SF (0.33 ACRES)  
IMPERVIOUS AREA PROPOSED: 58.9% 17,977 SF (0.41 ACRES)

## SITE CONTROL AND BENCHMARKS:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS  
DATUM = NAD 83, IOWA SOUTH  
BENCHMARK DATUM = NAVD88, GEOID 18

POINT #9000, 5/8" IRON ROD WITH PINK PLASTIC CAP  
NORTHING = 587107.15  
EASTING = 1535653.67  
ELEVATION = 1032.93  
DESCRIPTION: APPROX. 7 FEET BEHIND BACK OF CURB AND 3.5 FEET IN FRONT  
OF SIDEWALK ACROSS THE STREET FROM THE ENTRANCE DRIVE TO SITE ON  
ASHWORTH DRIVE

POINT #9002, CUT 'X' IN CONCRETE PAD  
NORTHING = 587342.31  
EASTING = 1535602.90  
ELEVATION = 1035.84  
DESCRIPTION: ON CONCRETE PAD THAT ABUTS ADJACENT BUILDING AT 529  
ASHWORTH DRIVE.

## GENERAL NOTES:

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH 2025 WAUKEE STANDARD SPECIFICATIONS AND 2025 SUDAS STANDARD SPECIFICATIONS AND ANY AND ALL CITY/COUNTY SUPPLEMENTAL SPECIFICATIONS. THE CITY OF WAUKEE MUST BE NOTIFIED BY ALL CONTRACTORS 48 HOURS PRIOR TO COMMENCING WORK.
- IN EVENT OF A DISCREPANCY BETWEEN THE QUANTITY ESTIMATES AND THE DETAILED PLANS, THE DETAILED PLANS SHALL GOVERN.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION OF ALL UTILITIES. ANY DAMAGE TO SAID UTILITIES SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT O.S.H.A. CODES AND STANDARDS. NOTHING INDICATED ON THESE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH THE APPROPRIATE SAFETY REGULATIONS.
- ALL NECESSARY CONSTRUCTION SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES REQUIRED DURING CONSTRUCTION WILL BE FURNISHED BY THE CONTRACTOR. SIGNS, BARRICADES AND OTHER TRAFFIC CONTROL DEVICES MUST BE IN CONFORMANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS."
- BISHOP ENGINEERING SHALL NOT BE LIABLE FOR ANY INJURIES THAT HAPPEN ON SITE. THIS SHALL INCLUDE BUT NOT BE LIMITED TO TRENCH COLLAPSES FROM VARYING SOIL CONDITIONS OR INJURIES CAUSED BY UNDERGROUND UTILITIES INCLUDING UTILITIES THAT ARE NOT SHOWN ON PLANS.
- THE CONTRACTOR IS LIABLE FOR ALL DAMAGES TO PUBLIC OR PRIVATE PROPERTY CAUSED BY THEIR ACTION OR INACTION IN PROVIDING FOR STORM WATER FLOW DURING CONSTRUCTION. DO NOT RESTRICT FLOWS IN EXISTING DRAINAGE CHANNELS, STORM SEWER, OR FACILITIES.
- THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER A SCHEDULE FOR PERFORMANCE OF WORK ITEMS. THIS SCHEDULE SHALL BE PROVIDED BY THE CONTRACTOR AT THE PROJECT PRECONSTRUCTION CONFERENCE. NO WORK SHALL BEGIN UNTIL A SCHEDULE HAS BEEN SUBMITTED AND ACCEPTED. THE CONTRACTOR SHALL THEN PERFORM WORK TO CONFORM TO THE ACCEPTED SCHEDULE.
- LABORATORY TESTS SHALL BE PERFORMED BY THE OWNER UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL PROVIDE SAMPLES OF MATERIAL REQUIRED FOR LABORATORY TESTS AND TESTING IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- SOIL IMPORT OR EXPORT ON THIS PROJECT SHALL BE CONSIDERED INCIDENTAL AND WILL NOT BE MEASURED OR PAID FOR SEPARATELY.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES NOT SHOWN AS REMOVALS ON THE PLANS.
- THE CONTRACTOR SHALL OBTAIN ANY AND ALL NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION. CONTRACTOR SHALL WORK WITH OWNER OR OWNERS REPRESENTATIVE ON ALL REQUIRED STORM WATER DISCHARGE PERMITS FROM THE IOWA DEPARTMENT OF NATURAL RESOURCES AND THE CITY OF WAUKEE.
- THE CONTRACTOR SHALL PICK UP ANY DEBRIS SPILLED ONTO THE ADJACENT RIGHT OF WAY OR ABUTTING PROPERTIES AS THE RESULT OF CONSTRUCTION, AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
- THE CONTRACTOR IS RESPONSIBLE FOR THE PROMPT REMOVAL OF ALL MUD THAT HAS BEEN TRACKED OR WASHED UNTO ADJACENT PROPERTY OR RIGHT OF WAY UNTIL SUCH TIME THAT PERMANENT VEGETATION HAS BEEN ESTABLISHED.
- DISPOSE OF ALL EXCESS MATERIALS AND TRASH IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REQUIREMENTS. PROVIDE WASTE AREAS OR DISPOSAL SITES FOR EXCESS MATERIALS NOT DESIRABLE FOR INCORPORATION INTO THE PROJECT.
- LANE CLOSURES ON ASHWORTH DRIVE WILL NOT BE ALLOWED WHILE SCHOOL IS IN SESSION.
- ANY CONTAMINATED SOIL ENCOUNTERED WILL NEED TO BE DISPOSED OF PROPERLY PER ALL STATE AND LOCAL LAWS AND REGULATIONS AND SHALL BE CONSIDERED INCIDENTAL.

## PAVING NOTES:

- THE PAVING/ GRADING CONTRACTOR SHALL BACKFILL THE PAVING SLAB AND FINE GRADE THE RIGHT OF WAY AS SOON AFTER THE PAVING AS POSSIBLE. ALL AREAS SHALL BE SEEDDED IN ACCORDANCE WITH CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE CURRENT VERSION OF SUDAS.
- SUBGRADE PREPARATION AND PAVEMENTS WILL BE CONSTRUCTED FOLLOWING RECOMMENDATIONS IN THE SOILS REPORT. APPROVED SOILS ENGINEER MUST SIGN OFF ON SUB BASE PRIOR TO ANY PAVEMENT BEING PLACED.
- SEE DETAILS FOR ALL PAVEMENT THICKNESS.
- ALL PEDESTRIAN WALKWAYS THAT UNLOAD INTO A VEHICLES TRAVELED PATH MUST HAVE A D.A. DETECTABLE WARNING PANEL(S) AS PER A.D.A. REGULATIONS. PANEL TYPE & COLOR SHALL BE PER CITY STANDARD.
- ALL WALKS, PARKING LOTS, HANDICAP PARKING, RAMPS, ETC. SHALL COMPLY WITH ALL A.D.A. AND CITY CODES. HANDICAP PARKING SIGNAGE IS REQUIRED FOR ALL HANDICAP STALLS AND SHALL BE CONSIDERED INCIDENTAL. IN EVENT OF A DISCREPANCY BETWEEN THE PLANS AND THE A.D.A./CITY CODES THE A.D.A./CITY CODES SHALL GOVERN. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING A.D.A. CODES ARE MET.

## UTILITY NOTES:

- QUANTITY CALLOUTS ON PIPE LENGTHS ARE APPROXIMATE AND SHOULD BE USED FOR REFERENCE ONLY.
- THE CONTRACTOR SHALL PROVIDE AS-BUILTS OF ALL UTILITIES, INCLUDING DEPTH AND LOCATION OF ALL SERVICES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION AND ALL COSTS ASSOCIATED WITH AS-BUILT TOPO OF DETENTION POND & DETENTION POND STORM SEWER. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING BISHOP ENGINEERING (DAVID BENTZ AT 515-276-0467) TO PERFORM SAID AS-BUILT SURVEY. IF DETENTION PONDS HAVE BEEN GRADED INCORRECTLY, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SUBSEQUENT AS-BUILT TOPO SURVEYS UNTIL ISSUES HAVE BEEN RECTIFIED.
- THE CONTRACTOR SHALL COORDINATE THE ADJUSTMENT OF ANY AND ALL EXISTING AND PROPOSED UTILITIES TO PROPOSED GRADES. EXISTING UTILITIES SHALL BE RAISED OR LOWERED IN ACCORDANCE WITH THE UTILITY OWNER REQUIREMENTS. ANY NECESSARY ADJUSTMENTS SHALL BE CONSIDERED INCIDENTAL TO CONSTRUCTION.
- ACTIVE EXISTING FIELD TILES ENCOUNTERED DURING CONSTRUCTION SHALL BE REPAIRED, REROUTED, OR CONNECTED TO PUBLIC OR PRIVATE STORM SEWER TO REMAIN IN SERVICE.
- ALL PROPOSED RCP STORM SEWER PIPE JOINTS SHALL BE FABRIC WRAPPED AND THE LAST 3 PIPE SECTIONS ON THE APRON SHALL BE TIED WITH RF-14 TYPE II CONNECTORS. ALL APRONS SHALL HAVE A STANDARD FOOTING AND TRASH GUARD.
- ALL RIP RAP CALLED OUT ON PLANS SHALL BE UNDERLAIN WITH ENGINEERING FABRIC.
- SANITARY SEWER SERVICE CONNECTIONS SHALL BE PLACED AT A SLOPE OF NO LESS THAN 2%. SERVICES SHALL MAINTAIN 18" OF VERTICAL SEPARATION FROM THE WATERMAIN WITH 18" OF COMPACTED LOW PERMEABILITY SOIL BETWEEN THE UTILITIES WITHIN 10' OF THE CROSSING.
- MANDREL AND PRESSURE TESTS SHALL BE REQUIRED FOR ALL PROPOSED SANITARY LINES. TELEVISION OF THE SANITARY SEWER SYSTEM SHALL BE COMPLETED PRIOR TO PAVING UNLESS OTHERWISE APPROVED BY JURISDICTION.
- WATERMANS SHALL BE C-900. SIZE OF WATERMAIN AS SHOWN ON PLANS.
- THRUST BLOCKS SHALL BE INSTALLED AS REQUIRED AND SHALL BE CONSIDERED INCIDENTAL TO WATERMAIN CONSTRUCTION.
- PROPOSED WATERMAIN SHALL BE PRESSURE TESTED, BACTERIA TESTED AND CHLORINATED. THE FILLING OF THE WATER MAIN SHALL BE DONE BY THE CITY OF WAUKEE.
- TRACER WIRE SHALL BE ADDED TO ALL WATER MAIN, AND BROUGHT TO THE SURFACE AT EVERY HYDRANT.
- ALL HYDRANTS WILL IMMEDIATELY BE COVERED WITH A BLACK PLASTIC BAG (OR EQUIVALENT) ONCE THE HYDRANT IS INSTALLED. THE CITY OF WAUKEE WILL NOTIFY THE CONTRACTOR WHEN THE BAGS CAN BE REMOVED.
- THE MINIMUM HYDRANT LEAD SHALL BE 3.5 FEET.
- HEADSTART IS POTHOLING THE WATER MAIN CRITICAL CROSSINGS. ONCE COMPLETED, CONTRACTOR SHALL COORDINATE AND MAINTAIN MINIMUM CLEARANCES OR PROPER MATERIALS PER 2025 SUDAS & 2025 WAUKEE STANDARD SPECIFICATIONS.
- CONTRACTOR SHALL CONTACT BISHOP ENGINEERING FOR AS-BUILT FOR STORM WATER MANAGEMENT FACILITIES.

## UTILITY MAPS PROVIDED BY:

- ELECTRIC (MIDAMERICAN / 515-252-6972)
- STORM AND SANITARY (CITY OF WAUKEE / 515-978-7920)
- FIBER OPTIC (LUMEN / 981-547-0147)
- FIBER OPTIC (CONSOLIDATED COMMUNICATIONS / 515-867-4769)
- FIBER OPTIC (MI-FIBER / 515-897-8802)
- GAS (CITY OF WAUKEE / 515-978-7920)
- WATER (CITY OF WAUKEE / 515-978-7920)

## UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.



## UTILITY CONFLICT NOTES:

- UTILITY CONFLICTS MAY EXIST ACROSS THE SITE WITH NEW UTILITIES, GRADING, PAVING ETC. MOST UTILITY CONFLICTS HAVE BEEN CALLED OUT FOR CONTRACTOR CONVENIENCE.
- CONTRACTOR IS RESPONSIBLE FOR ALL UTILITY CONFLICTS THAT ARE EITHER CALLED OUT ON THE PLANS OR THAT CAN BE SEEN ON THE PLANS BETWEEN AN EXISTING UTILITY AND PROPOSED CONSTRUCTION

## WETLAND NOTES:

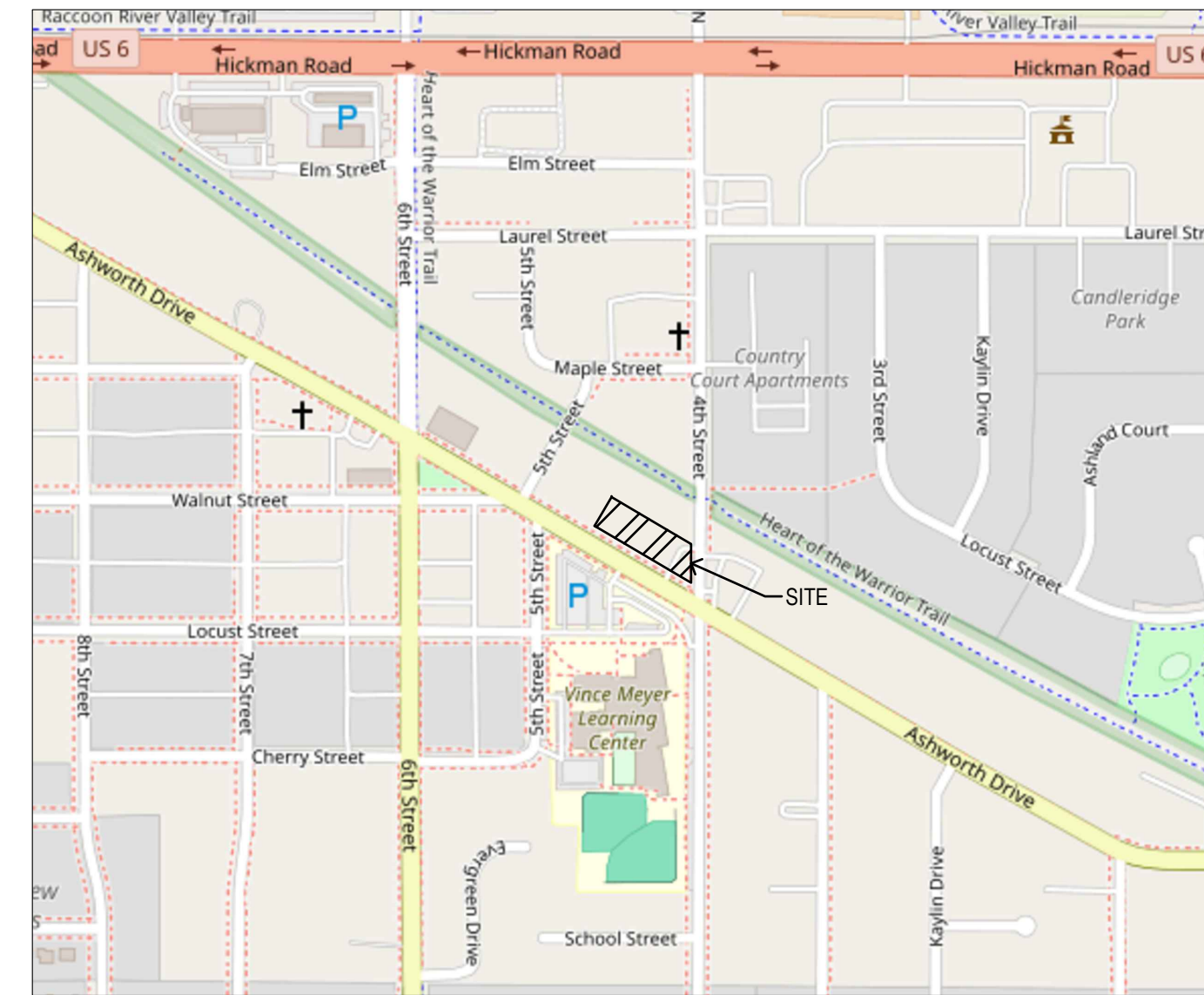
- BISHOP ENGINEERING DOES NOT PERFORM WETLAND STUDIES OR WETLAND MITIGATION. IT IS THE OWNER'S RESPONSIBILITY TO DETERMINE IF ANY WETLANDS ARE LOCATED ON THE PROJECT SITE AND PERFORM ANY NECESSARY MITIGATION PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.

## SURVEY NOTES:

- SURVEY WORK WAS COMPLETED BY BISHOP ENGINEERING ON 3-21-2025. SEE SITE SURVEY PROVIDED AS PART OF THIS SET OF PLANS FOR EXISTING SITE CONDITIONS AND BOUNDARY INFORMATION.

## L.U.S.T SITE NOTES:

- CONTRACTOR IS TO TAKE ALL NECESSARY PRECAUTIONS WITH CONTAMINATED SOILS AND WASTE MATERIALS.
- CONTRACTOR IS TO NOTE THAT THE EXISTING WATER MAIN HAS NITRILE GASKETS AND PROPER MATERIALS SHALL BE USED WITH UTILITY CONNECTIONS.



VICINITY MAP  
SCALE: 1" = 500'

## ABBREVIATIONS:

AC ACRES  
ASPH ASPHALT  
BK BOOK  
CONC CONCRETE  
D DEEDED DISTANCE  
EX EXISTING  
ENCL ENCLOSURE  
FF FINISHED FLOOR  
FL FLOW LINE  
FRAC FRACTIONAL  
M MEASURED DISTANCE  
MH MANHOLE  
OPC ORANGE PLASTIC CAP  
P PLATTED DISTANCE  
PAGE PAGE  
POB POINT OF BEGINNING  
POC POINT OF COMMENCEMENT  
PRA PREVIOUSLY RECORDED AS  
PUE PUBLIC UTILITY EASEMENT  
ROW RIGHT OF WAY  
RPC RED PLASTIC CAP  
SF SQUARE FEET  
SAN SANITARY  
TYP TYPICAL  
YPC YELLOW PLASTIC CAP  
N NORTH  
S SOUTH  
E EAST  
W WEST

## LEGEND

— SAN —	SANITARY SEWER	⊠	ELECTRIC VAULT
— ST —	STORM SEWER	⊠	TRANSFORMER POLE
— W —	WATER LINE	⊠	TRANSFORMER POLE
— G —	GAS LINE	⊠	LIGHT POLE
— U/E —	UNDERGROUND ELECTRIC	⊠	ELECTRIC JUNCTION BOX
— O/E —	OVERHEAD ELECTRIC	⊠	ELECTRIC PANEL
— TELE —	TELEPHONE LINE	⊠	TRANSFORMER
— F/O —	FIBER OPTIC	⊠	GROUND LIGHT
— CATV —	CABLE TV	⊠	GUY WIRE
⊠	STORM MANHOLE	⊠	ELECTRIC HANDHOLE
⊠	CURB INTAKE	⊠	GAS METER
⊠	SURFACE INTAKE	⊠	GAS VALVE
⊠	DEEDED DISTANCE	⊠	AIR CONDITIONING UNIT
⊠	FLARED END SECTION	⊠	TELEPHONE RISER
⊠	ROOF DRAIN	⊠	TELEPHONE VAULT
⊠	DOWNSPOUT	⊠	TELEPHONE MANHOLE
⊠	SANITARY MANHOLE	⊠	TRAFFIC SIGNAL MANHOLE
⊠	CLEANOUT	⊠	FIBER OPTIC MANHOLE
⊠	FIRE HYDRANT	⊠	FIBER OPTIC RISER
⊠	PAGE	⊠	FIBER OPTIC VAULT
⊠	SPRINKLER	⊠	CABLE TV RISER
⊠	IRRIGATION CONTROL VALVE	⊠	SIGN
⊠	WATER MANHOLE	⊠	BOLLARDS
⊠	WELL	⊠	DENOTES NUMBER OF PARKING STALLS
⊠	WATER VALVE	⊠	PROPERTY CORNER - FOUND AS NOTED
⊠	WATER SHUT OFF	⊠	PROPERTY CORNER - PLACED 5/8" IRON ROD WITH YELLOW PLASTIC CAP ID # 14775 OR AS NOTED
⊠	YARD HYDRANT	⊠	SECTION CORNER - FOUND AS NOTED
⊠	FLAGPOLE	⊠	SITE CONTROL POINT - MONUMENT AS NOTED
⊠	ELECTRIC MANHOLE		
⊠	ELECTRIC METER		
⊠	ELECTRIC RISER		



WAUKEE HEADSTART  
425 ASHWORTH DRIVE  
WAUKEE, IOWA

REFERENCE NUMBER:

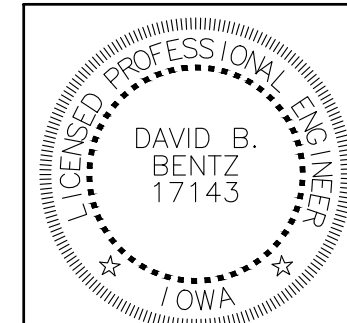
DRAWN BY:  
CJC

REVISION DATE:  
4-22-25 1ST SUBMITTAL  
5-14-25 2ND SUBMITTAL

PROJECT NUMBER:  
250075

SHEET NAME:  
COVER SHEET

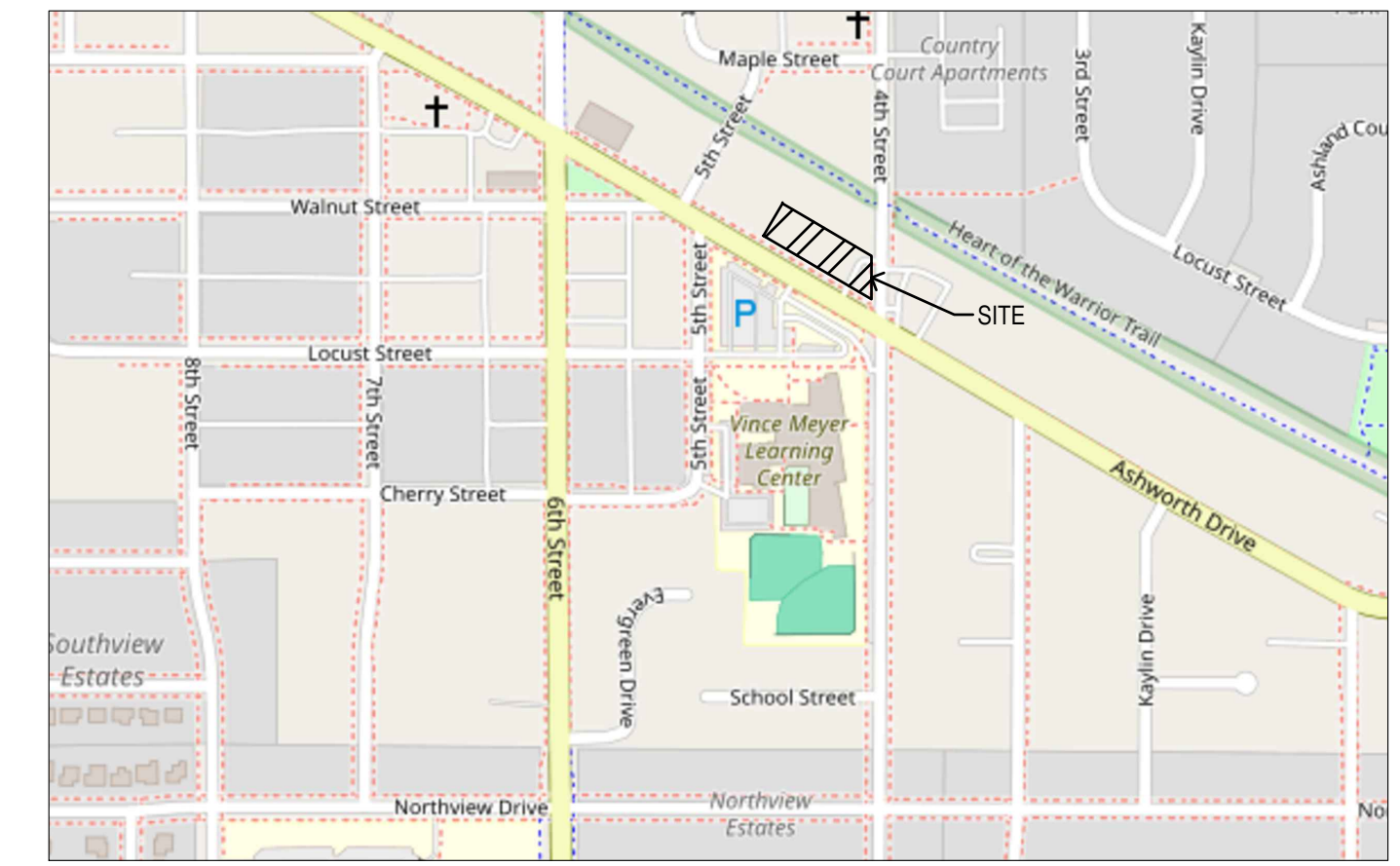
SHEET NUMBER:  
C0.1



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: DAVID B. BENTZ, PE. 17143 DATE: \_\_\_\_\_  
LICENSE RENEWAL DATE: DEC. 31, 2025  
PAGES OR SHEETS COVERED BY THIS SEAL: C0.1 - C7.1

# WAUKEE HEADSTART SITE SURVEY

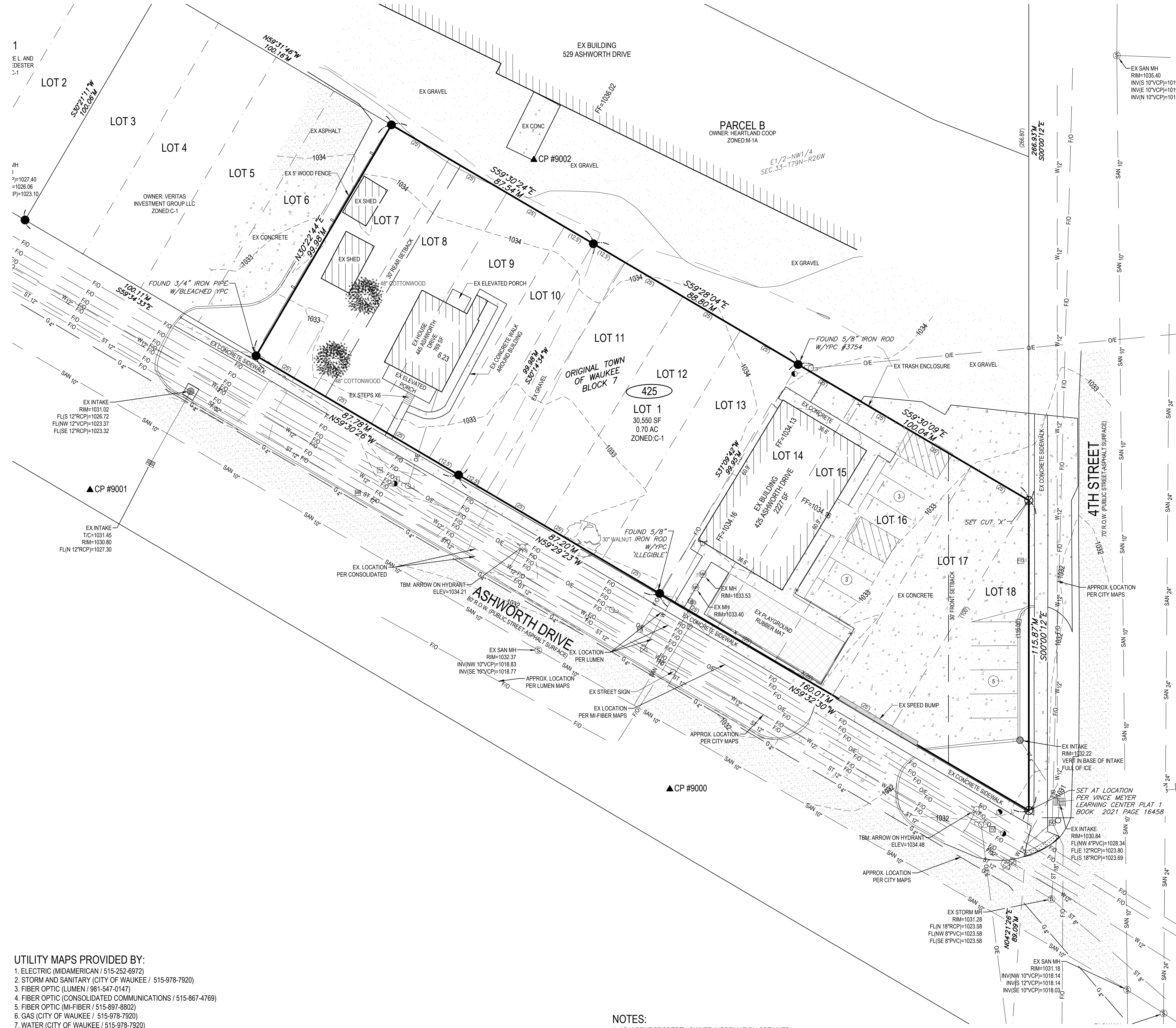


VICINITY MAP  
SCALE: 1" = 500'

**BISHOP**  
ENGINEERING +



3501 104th Street, Urbandale, IA 50322 Ph: 515-276-0467



**SITE CONTROL AND BENCHMARKS:**  
BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS  
DATUM = NAD 83, IOWA SOUTH  
BENCHMARK DATUM = NAVD88, GEOID 18

**PROPERTY DESCRIPTION:**  
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POINT #9000, 5/8" IRON ROD WITH PINK PLASTIC CAP  
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DESCRIPTION APPROX. 7 FEET BEHIND BACK OF CURB AND 3.5 FEET IN FRONT OF SIDEWALK ACROSS THE STREET FROM THE ENTRANCE DRIVE TO SITE ON ASHWORTH DRIVE

SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

**AREA:**  
30,550 SQUARE FEET - 0.70 ACRES

**ADDRESS:**  
425 ASHWORTH DRIVE  
WAUKEE, IOWA  
50263

POINT #9002, CUT 'X' IN CONCRETE PAD  
NORTHING = 587342.31  
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DESCRIPTION ON CONCRETE PAD THAT ABUTS ADJACENT BUILDING AT 529 ASHWORTH DRIVE.

**OWNER:**  
COMMUNITY OPPORTUNITIES, INC  
23751 HWY 30 EAST  
CARROLL, IOWA 51401

**PREPARED FOR:**  
SVPA ARCHITECTS  
ATTN: SARA HERMAN  
1486 28TH STREET, SUITE 200  
WEST DES MOINES, IOWA  
50266

**PARKING COUNT:**  
11 STANDARD STALLS  
NO HANDICAP ACCESSIBLE PARKING  
11 TOTAL STALLS

**ZONING:**  
INFORMATION OBTAINED FROM PLANNING AND ZONING MAP C-1 (COMMERCIAL DISTRICT)  
**SETBACKS:**  
FRONT YARD SETBACK: 30 FEET  
REAR YARD SETBACK: 30 FEET  
SIDE YARD SETBACK: 0 FEET  
UNLESS BORDERING A RESIDENTIAL DISTRICT FOR AN OFFICIAL ZONING REPORT PLEASE CALL CITY OF WAUKEE AT 515-978-7920

**LEGEND**

— SAN —	SANITARY SEWER	⊠	ELECTRIC VAULT	
— ST —	STORM SEWER	⊠	TRANSFORMER POLE	
— W —	WATER LINE	⊠	TRANSFORMER POLE	
— G —	GAS LINE	☆	LIGHT POLE	
— U/E —	UNDERGROUND ELECTRIC	⊠	ELECTRIC JUNCTION BOX	
— O/E —	OVERHEAD ELECTRIC	⊠	ELECTRIC PANEL	
— TELE —	TELEPHONE LINE	⊠	TRANSFORMER	
— F/O —	FIBER OPTIC	⊠	GROUND LIGHT	
— CATV —	CABLE TV	⊠	GUY WIRE	
⊠	STORM MANHOLE	⊠	ELECTRIC HANDHOLE	
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⊠	WATER MANHOLE	⊠	CABLE TV RISER	
⊠	WELL	⊠	SIGN	
⊠	WATER VALVE	⊠	BOLLARDS	
⊠	WATER SHUT OFF	⊠	⊠	NOTES NUMBER OF PARKING STALLS
⊠	YARD HYDRANT	⊠	⊠	PROPERTY CORNER - FOUND 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID# 3169
⊠	FLAGPOLE	⊠	⊠	PROPERTY CORNER - PLACED 5/8" IRON ROD WITH YELLOW PLASTIC CAP ID# 14775
⊠	ELECTRIC MANHOLE	⊠	⊠	OR AS NOTED
⊠	ELECTRIC METER	⊠	⊠	SECTION CORNER - FOUND AS NOTED
⊠	ELECTRIC RISER	⊠	⊠	SITE CONTROL POINT - MONUMENT AS NOTED

**ABBREVIATIONS:**

- AC ACRES
- ASPH ASPHALT
- BK BOOK
- CONC CONCRETE
- D DEEDED DISTANCE
- EX EXISTING
- ENCL ENCLOSURE
- FF FINISHED FLOOR
- FL FLOW LINE
- FRAC FRACTIONAL MEASURED DISTANCE
- MH MANHOLE
- OPC ORANGE PLASTIC CAP
- P PLATTED DISTANCE
- PG PAGE
- POB POINT OF BEGINNING
- POC POINT OF COMMENCEMENT
- PRA PREVIOUSLY RECORDED AS
- PUE PUBLIC UTILITY EASEMENT
- ROW RIGHT OF WAY
- RPC RED PLASTIC CAP
- SF SQUARE FEET
- SAN SANITARY
- TYP TYPICAL
- YPC YELLOW PLASTIC CAP
- N NORTH
- S SOUTH
- E EAST
- W WEST

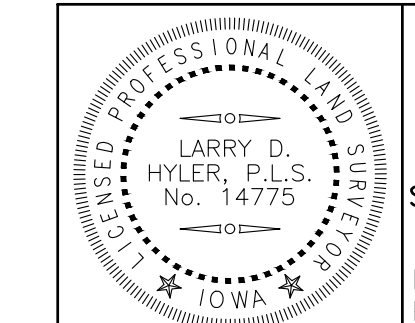
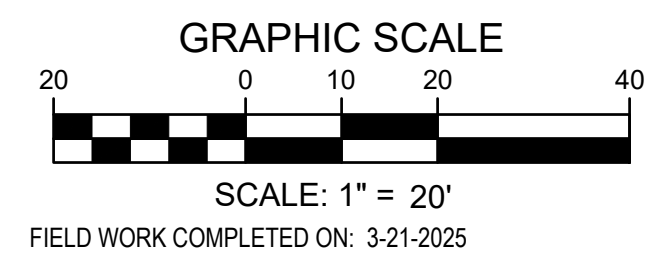
- UTILITY MAPS PROVIDED BY:**
1. ELECTRIC (MIDAMERICAN / 515-252-6972)
  2. STORM AND SANITARY (CITY OF WAUKEE / 515-978-7920)
  3. FIBER OPTIC (LUMEN / 981-547-0147)
  4. FIBER OPTIC (CONSOLIDATED COMMUNICATIONS / 515-867-4769)
  5. FIBER OPTIC (MI-FIBER / 515-897-3802)
  6. GAS (CITY OF WAUKEE / 515-978-7920)
  7. WATER (CITY OF WAUKEE / 515-978-7920)



**UTILITY NOTE:**  
THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.

**NOTES:**  
1. ADJACENT PROPERTY OWNER INFORMATION OBTAINED FROM DALLAS COUNTY ASSESSORS WEB PAGE  
2. PARENTHESIS ( ) DENOTES PREVIOUSLY RECORDED BEARINGS AND DISTANCES

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I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

SIGNED: LARRY D. HYLER, P.L.S. 14775 DATE: \_\_\_\_\_  
LICENSE RENEWAL DATE: DEC. 31, 2026  
PAGES OR SHEETS COVERED BY THIS SEAL: C0.2

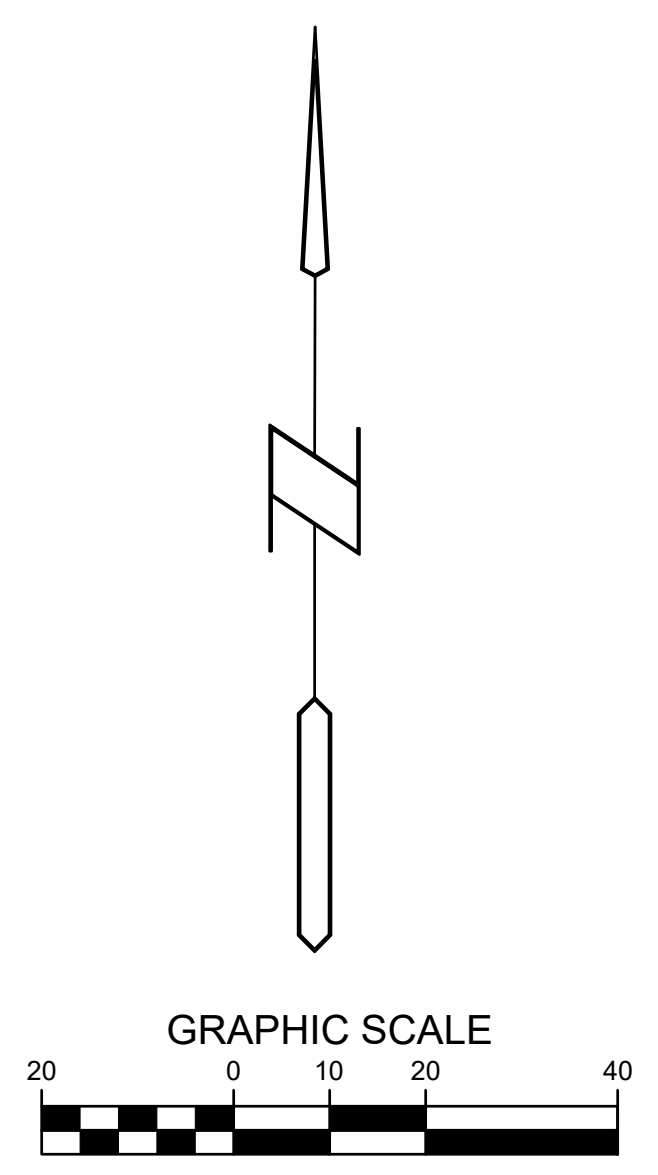
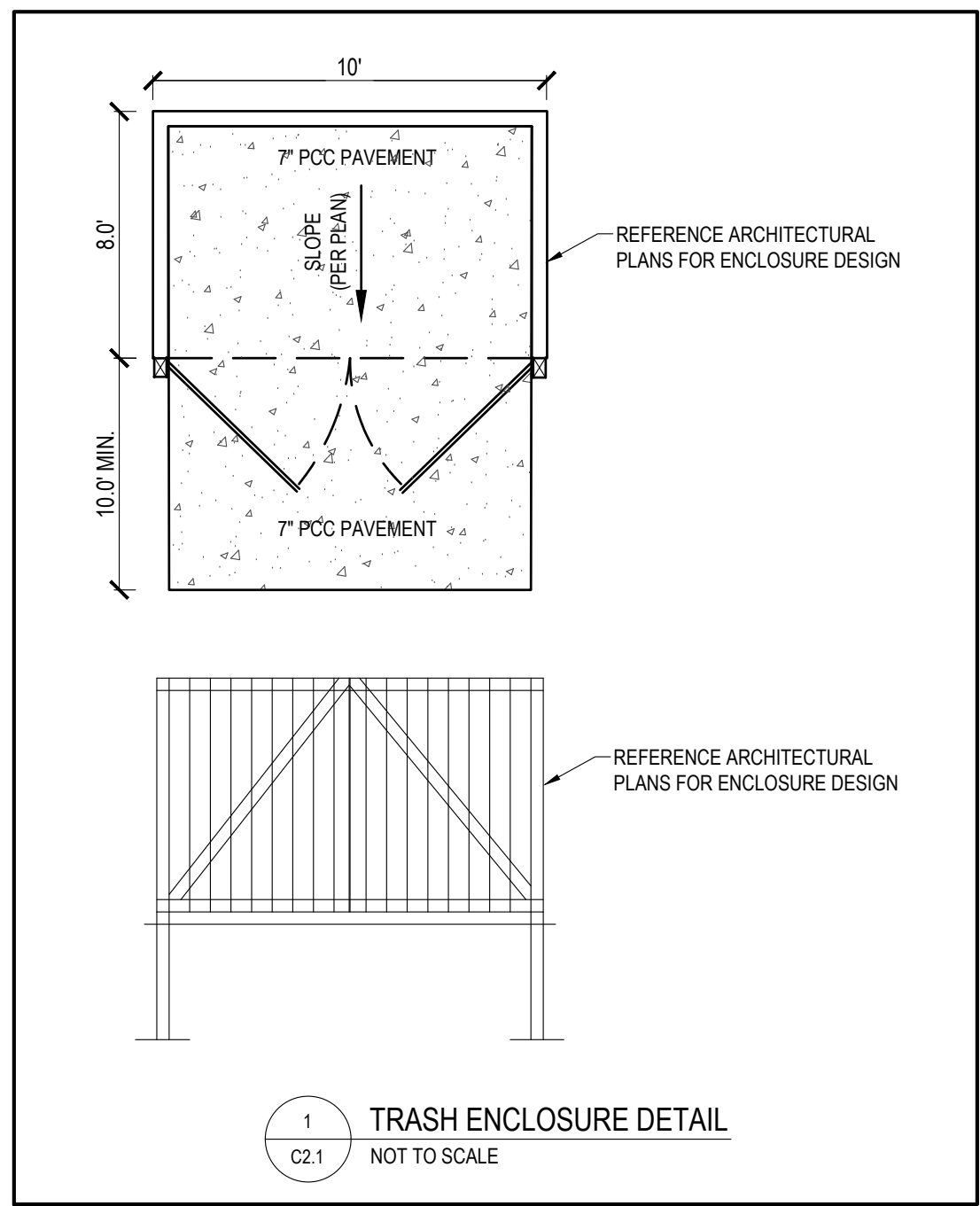
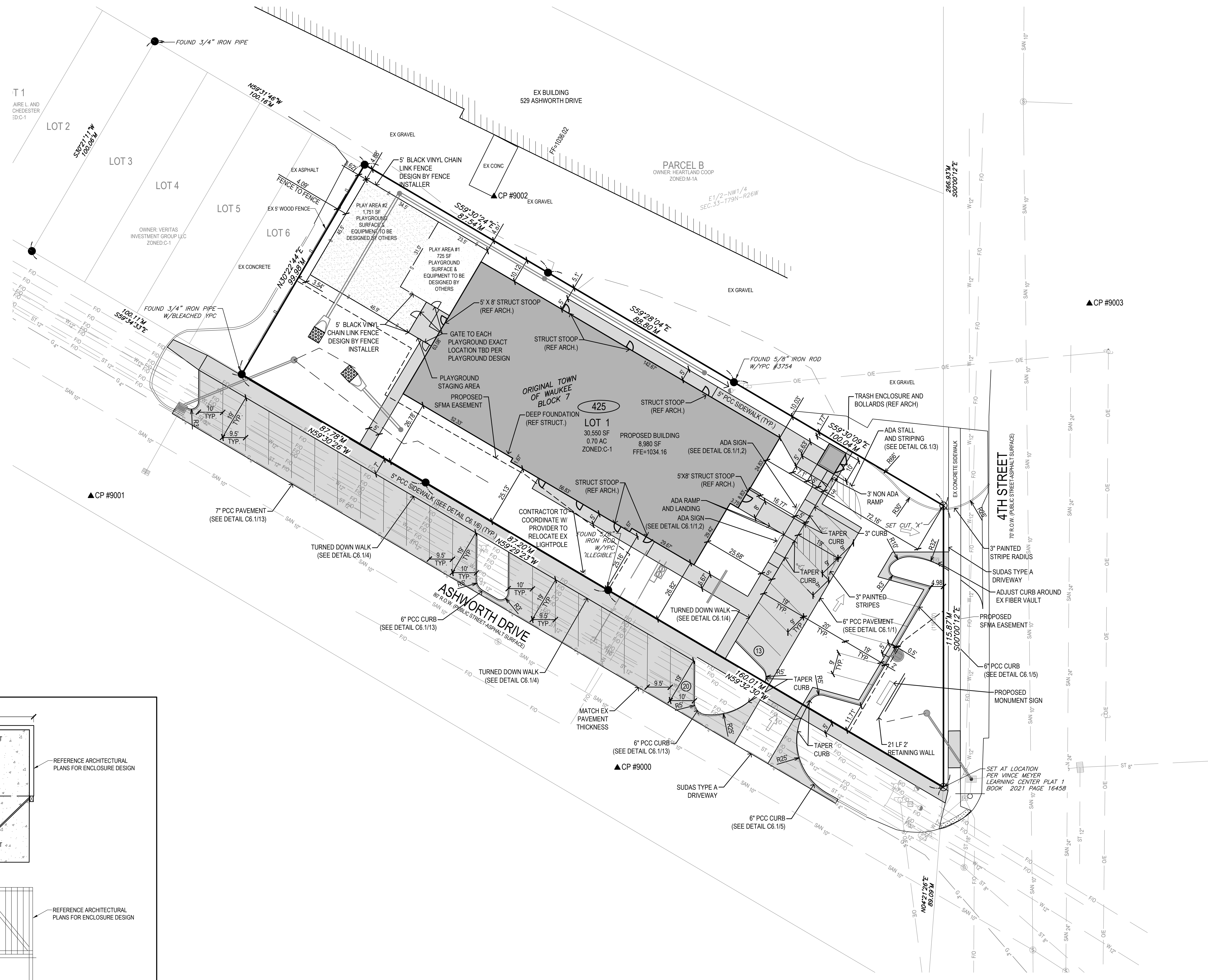
SITE SURVEY  
**WAUKEE HEADSTART**  
425 ASHWORTH DRIVE  
WAUKEE, IOWA

REFERENCE NUMBER:  
  
DRAWN BY:  
JPN  
REVISION DATE:  
  
PROJECT NUMBER:  
**250075**  
SHEET NAME:  
**SITE SURVEY**  
SHEET NUMBER:  
**C0.2**



PRELIMINARY - NOT FOR CONSTRUCTION

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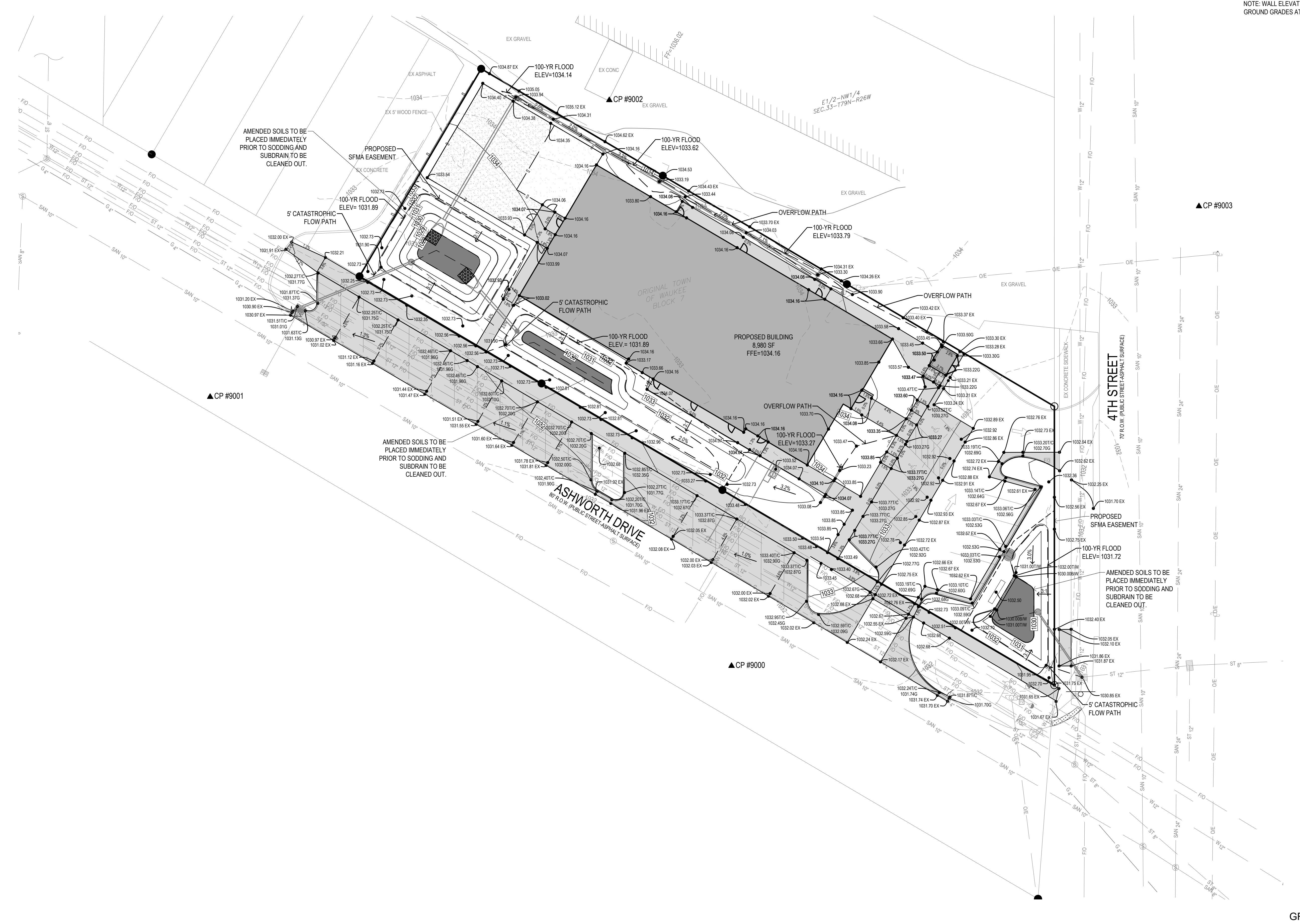


**WAUKEE HEADSTART**  
425 ASHWORTH DRIVE  
WAUKEE, IOWA

REFERENCE NUMBER:	
DRAWN BY:	CJC
REVISION DATE:	4-22-25 1ST SUBMITTAL 5-14-25 2ND SUBMITTAL
PROJECT NUMBER:	250075
SHEET NAME:	LAYOUT PLAN
SHEET NUMBER:	C2.1

PRELIMINARY- NOT FOR CONSTRUCTION

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- TOPSOIL NOTES:**
1. STRIP AND STOCKPILE THE TOP 8" OF SOIL ON ALL DISTURBED AREAS.
  2. RESPREAD TOPSOIL TO A MINIMUM DEPTH OF 8" ON ALL GREEN (NON PAVED) AREAS. IMPORT TOPSOIL AS NECESSARY TO ACHIEVE A MINIMUM DEPTH OF 8".
  3. TOPSOIL SHALL BE FREE OF ALL ROCK AND DEBRIS LARGER THAN 3/4" IN SIZE.
  4. TOPSOIL IS DEFINED AS: FERTILE, FRIABLE LOAM, CAPABLE OF SUSTAINING VIGOROUS PLANT GROWTH, FROM WELL DRAINED SITE FREE FROM FLOODING, NOT IN FROZEN OR MUDDY CONDITIONS; REASONABLE FREE FROM SUBSOIL, CLAY LUMPS, ROOTS, GRASS, WEEDS, STONES LARGER THAN 3/4 INCH IN DIAMETER, AND FOREIGN MATTER; ACIDITY RANGE (PH) OF 5.5 TO 7.5, CONTAINING MINIMUM 4 PERCENT AND MAXIMUM 20 PERCENT ORGANIC MATTER.
  5. CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF NPDES GENERAL PERMIT NO. 2 ARE MET.

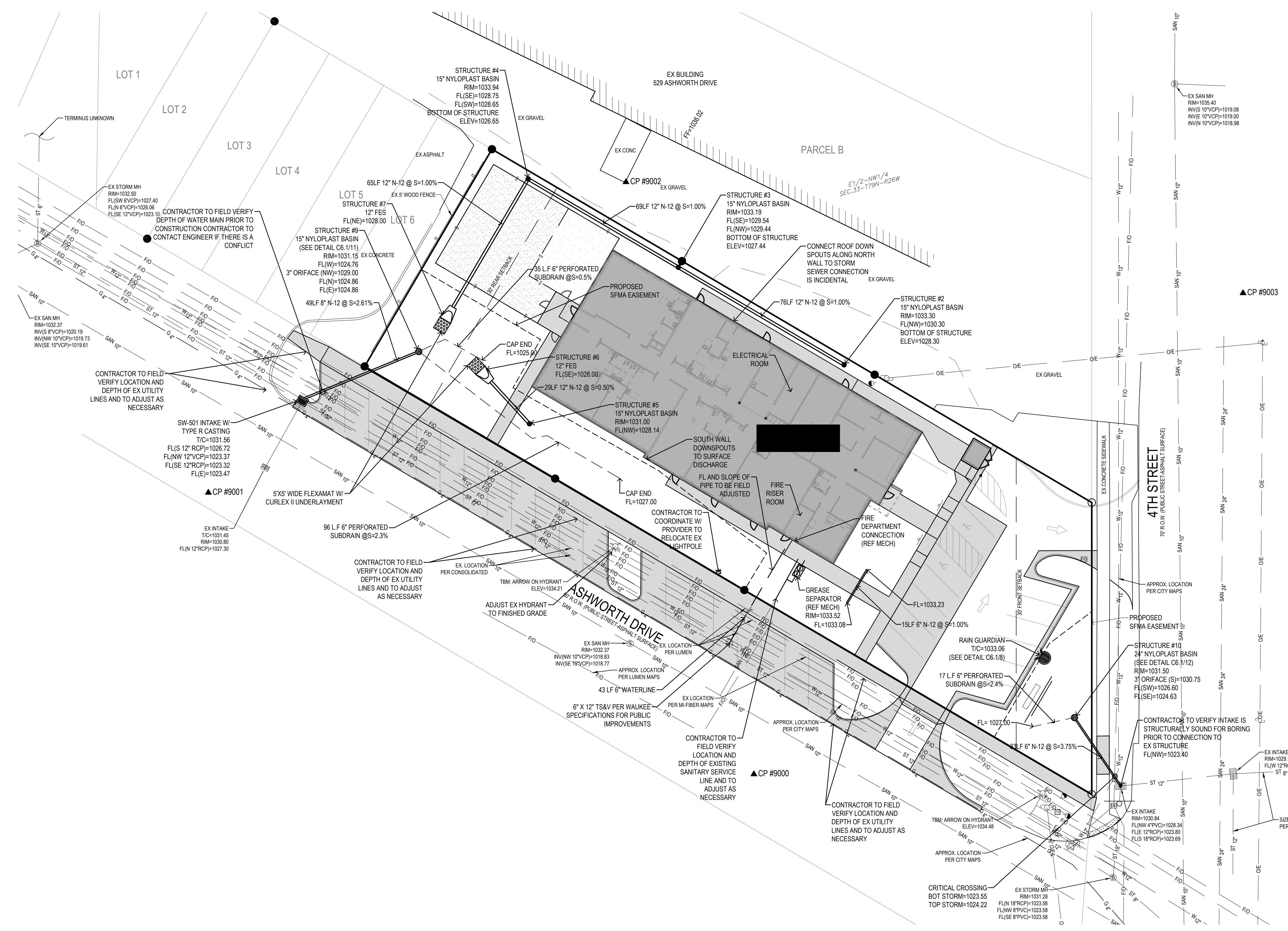
- GRADING LEGEND:**
- EXISTING CONTOUR: ---150---
  - PROPOSED CONTOUR: ---150---
  - FINISHED GROUND ELEVATION: ● 150.50
  - TOP OF CURB ELEVATION: ● 150.50T/C
  - GUTTER ELEVATION: ● 150.50G
  - TOP OF WALL ELEVATION: ● 150.50T/W
  - BOTTOM OF WALL ELEVATION: ● 150.50B/W
  - EDGE OF WALK ELEVATION: ● 150.50E/W
  - TOP OF STAIR ELEVATION: ● 150.50T/S
  - BOTTOM OF STAIR ELEVATION: ● 150.50B/S
- NOTE: WALL ELEVATIONS SHOWN ON PLAN ARE FINISHED GROUND GRADES AT THE TOP AND BOTTOM OF THE WALL.

**BISHOP**  
ENGINEERING +

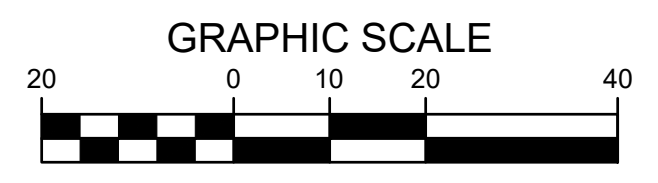
**WAUKEE HEADSTART**  
425 ASHWORTH DRIVE  
WAUKEE, IOWA

REFERENCE NUMBER:	
DRAWN BY:	CJC
REVISION DATE:	4-22-25 1ST SUBMITTAL 5-14-25 2ND SUBMITTAL
PROJECT NUMBER:	250075
SHEET NAME:	GRADING PLAN
SHEET NUMBER:	C3.1

3501 104th Street, Urbandale, IA 50322 Ph: 515-276-0467



- UTILITY NOTES:**
1. ALL PROPOSED UTILITIES SHALL BE PRIVATE, UNLESS NOTED OTHERWISE.
  2. ALL WATER LINES SHALL HAVE A MINIMUM OF 5' OF COVER UNLESS NOTED OTHERWISE.
  3. FIRE HYDRANT ASSEMBLY SHALL INCLUDE THE TEE, BRANCH, VALVE AND HYDRANT.
  4. PIPE LENGTHS CALLED OUT ON PLANS INCLUDE FLARED END SECTION, WHERE APPLICABLE.
  5. STORM SEWER CALLED OUT AS RCP MUST BE CLASS III RCP.
  6. STORM SEWER CALLED OUT AS N-12 MAY BE EITHER N-12 OR CLASS III RCP.
  7. FOR RCP PIPE, ASSOCIATED F.E.S. MUST BE RCP. FOR N-12 PIPE, ASSOCIATED F.E.S. SHALL BE CMP.
  8. ALL NYLOPLAST BASINS SHALL HAVE CASTINGS SECURELY FASTENED TO THE BASIN BODY, AND ALL GRATES/LIDS SHALL BE BOLTED DOWN TO THE CASTINGS.
  9. TRANSFORMER PAD IS SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. PAD SHALL CONFORM TO ALL UTILITY COMPANY DESIGN STANDARDS AND SPECIFICATIONS.
  10. GREASE INTERCEPTOR AND ANY VENT LINES ARE SHOWN FOR REFERENCE ONLY AND MAY NOT BE DRAWN TO ACTUAL SIZE. REFER TO PLUMBING PLANS FOR DETAILED DRAWINGS AND SPECIFICATIONS. PLUMBING PLANS SHALL TIE INTO SANITARY SERVICE AT LOCATION AND ELEVATION SHOWN ON PLANS.



**WAUKEE HEADSTART**  
**425 ASHWORTH DRIVE**  
 WAUKEE, IOWA

REFERENCE NUMBER:	
DRAWN BY:	CJC
REVISION DATE:	4-22-25 1ST SUBMITTAL 5-14-25 2ND SUBMITTAL
PROJECT NUMBER:	250075
SHEET NAME:	UTILITY PLAN
SHEET NUMBER:	C4.1

PRELIMINARY- NOT FOR CONSTRUCTION

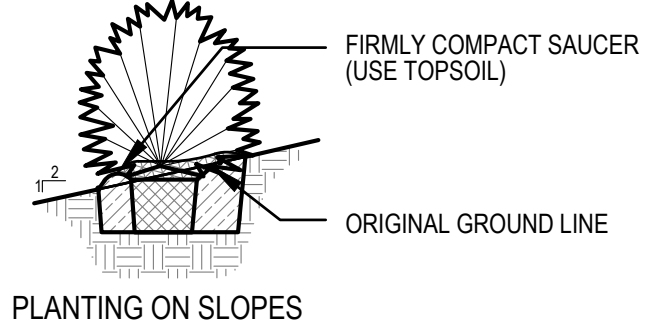
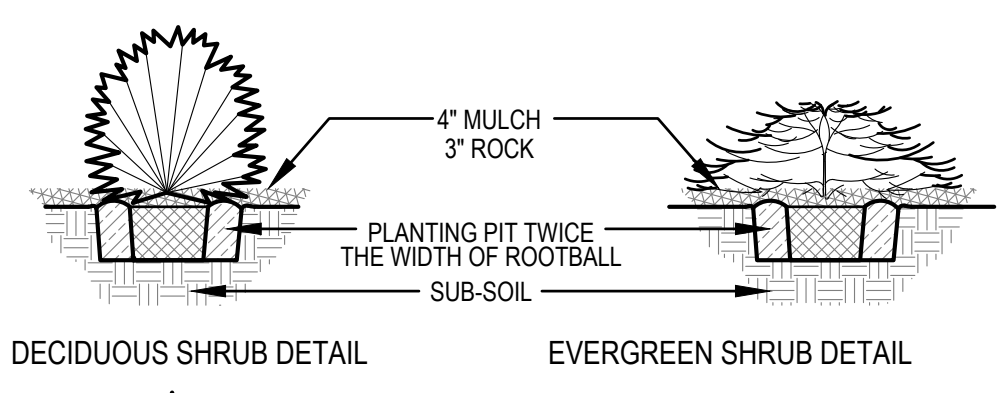
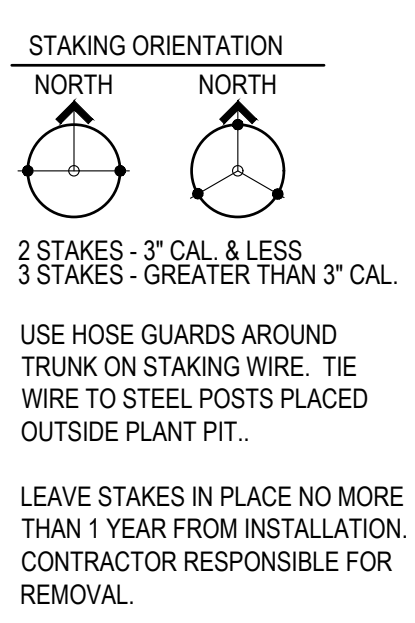
**LANDSCAPE NOTES:**

- ALL SODDING & LANDSCAPE PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE URBAN STANDARD SPECIFICATIONS, UNLESS SPECIFIED OTHERWISE.
- SOD ALL DISTURBED AREAS WITHIN THE CONTRACT LIMITS, INCLUDING RIGHT-OF-WAY, UNLESS NOTED OTHERWISE. SOD LIMITS SHOWN ON PLAN ARE FOR REFERENCE ONLY. FINAL LIMITS MAY CHANGE BASED ON CONSTRUCTION ACTIVITIES.
- STAKE SOD ON ALL SLOPES 3 : 1 OR GREATER.
- PLANT QUANTITIES ARE FOR CONTRACTORS CONVENIENCE, THE DRAWING SHALL PREVAIL IF A CONFLICT OCCURS.
- ALL PLANT MATERIAL SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI Z60.1).
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIAL FOR A PERIOD OF ONE YEAR FROM THE DATE OF INITIAL ACCEPTANCE.
- FOR WARRANTY PURPOSES, THE DATE OF INITIAL ACCEPTANCE SHALL BE SUBMITTED IN WRITING TO THE OWNER AND/OR OWNER'S REPRESENTATIVE AFTER ALL PLANT MATERIALS HAVE BEEN INSTALLED AND REVIEWED BY OWNER OR OWNER'S REPRESENTATIVE. PLANT MATERIALS WILL ONLY BE ACCEPTED IF THEY ARE IN AN ALIVE AND THRIVING CONDITION.
- CONDITIONAL ACCEPTANCE OF PLANT MATERIAL MAY BE GIVEN FOR PLANTS INSTALLED IN A DORMANT CONDITION WITH INITIAL ACCEPTANCE OCCURRING THE FOLLOWING SPRING ONCE THEY ARE SHOWN TO BE ALIVE AND THRIVING.
- IT IS THE CONTRACTORS RESPONSIBILITY TO REMOVE IDENTIFICATION TAGS AND CORDS ON ALL PLANT MATERIAL PRIOR TO THE COMPLETION OF THE CONTRACT. IDENTIFICATION TAGS (INCLUDING SIZING INFORMATION) MUST BE LEFT ON UNTIL AFTER ACCEPTANCE BY OWNER OR OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL PLACE SHREDDED HARDWOOD MULCH AROUND ALL TREES, SHRUBS AND GROUND COVER BEDS TO A DEPTH OF 4 INCHES, UNLESS NOTED.
- STAKING AND GUYING OF TREES SHALL BE AT THE DISCRETION OF THE CONTRACTOR BASED ON CURRENT ACCEPTED NURSERY STANDARDS. GENERALLY, TREES IN LARGE OPEN AREAS SUBJECT TO SIGNIFICANT WIND SHALL BE STAKED. STAKE AND WRAP TREES IMMEDIATELY AFTER PLANTING. CONTRACTOR SHALL ADJUST AND MAINTAIN GUYING TENSION THROUGHOUT THE PLANT ESTABLISHMENT PERIOD. REMOVE ALL STAKES AND GUY WIRES NO MORE THAN ONE YEAR AFTER INSTALLATION.
- THE LANDSCAPING CONTRACTOR SHALL HAVE ALL UTILITIES LOCATED BEFORE STARTING ANY SITE WORK OR PLANTING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING UTILITIES.
- NO LANDSCAPE MATERIAL SHALL BE SUBSTITUTED WITHOUT THE AUTHORIZATION OF THE LANDSCAPE ARCHITECT.
- ALL EDGING SHALL BE DURAEDEGE 3/16" STEEL EDGING - COLOR BLACK, OR APPROVED EQUAL.
- CONTRACTOR SHALL BE RESPONSIBLE MAINTAINING APPROPRIATE LEVEL OF WATERING FOR ALL NEW PLANTS FOR A PERIOD OF 30 DAYS.
- ALL SHRUB AND PERENNIAL PLANTING BEDS SHALL BE MULCHED WITH 4" THICK SHREDDED HARDWOOD MULCH.
- ALL BEDS TO RECEIVE GRANULAR PRE-EMERGENT WEED CONTROL BEFORE AND AFTER MULCH IS INSTALLED.

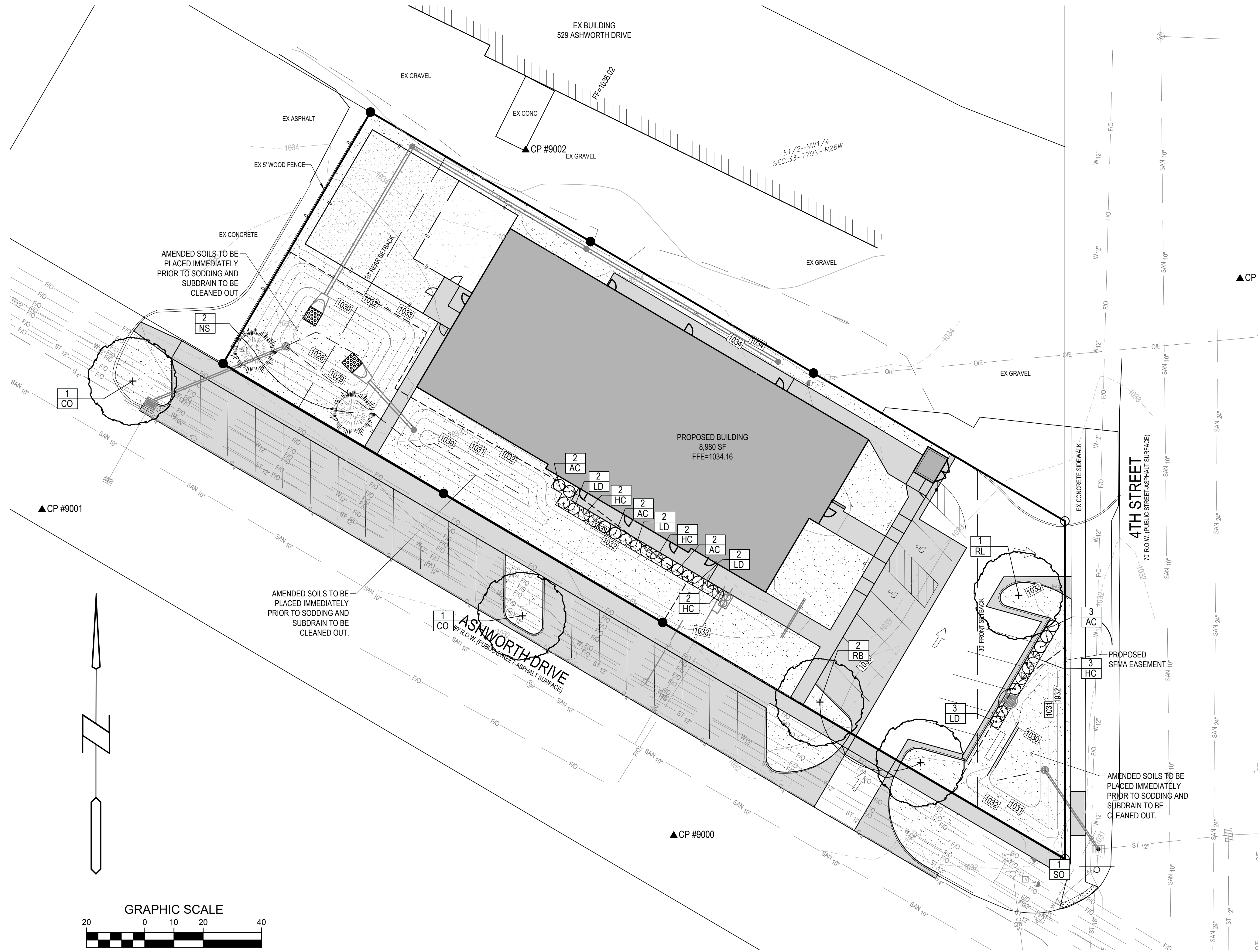
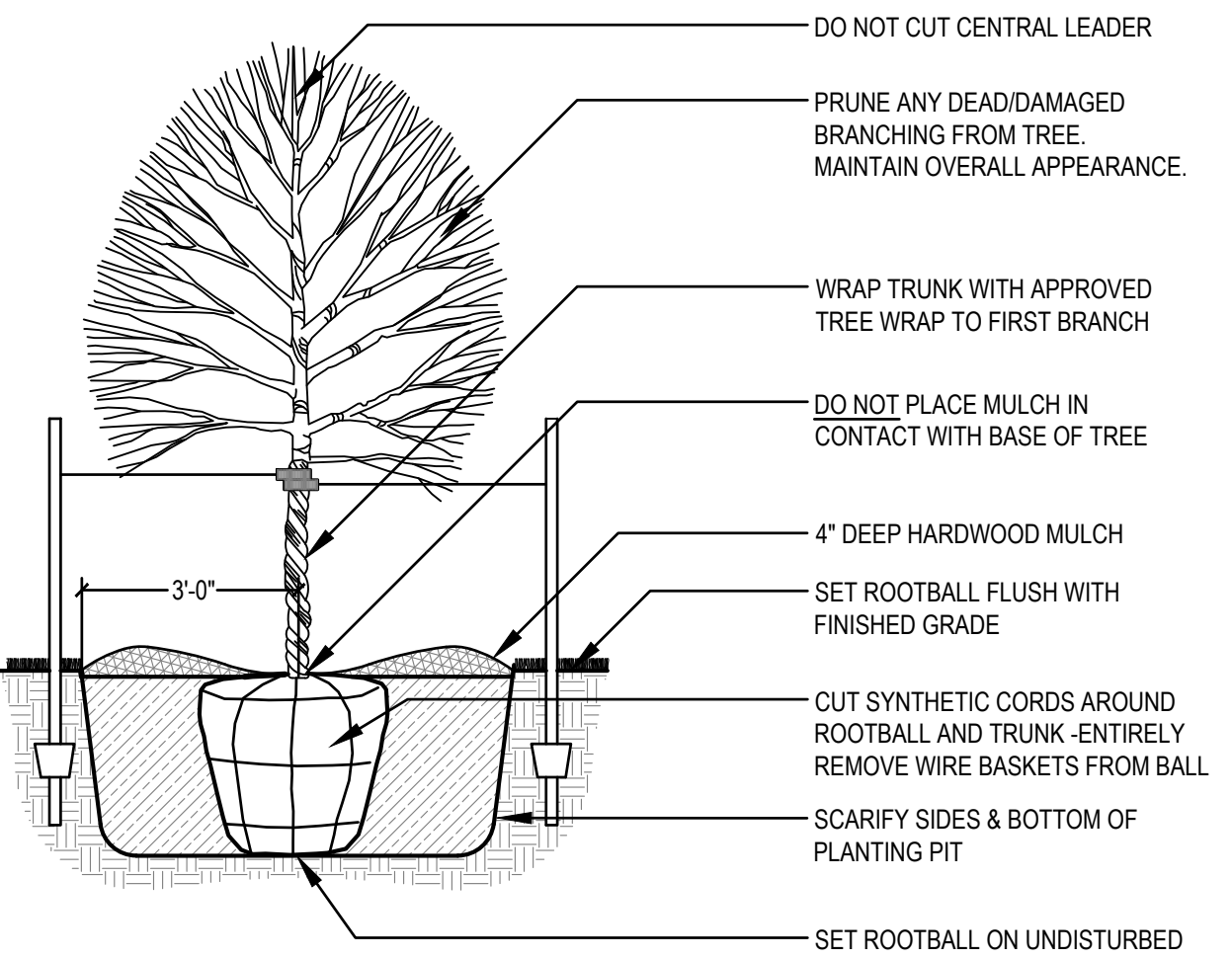
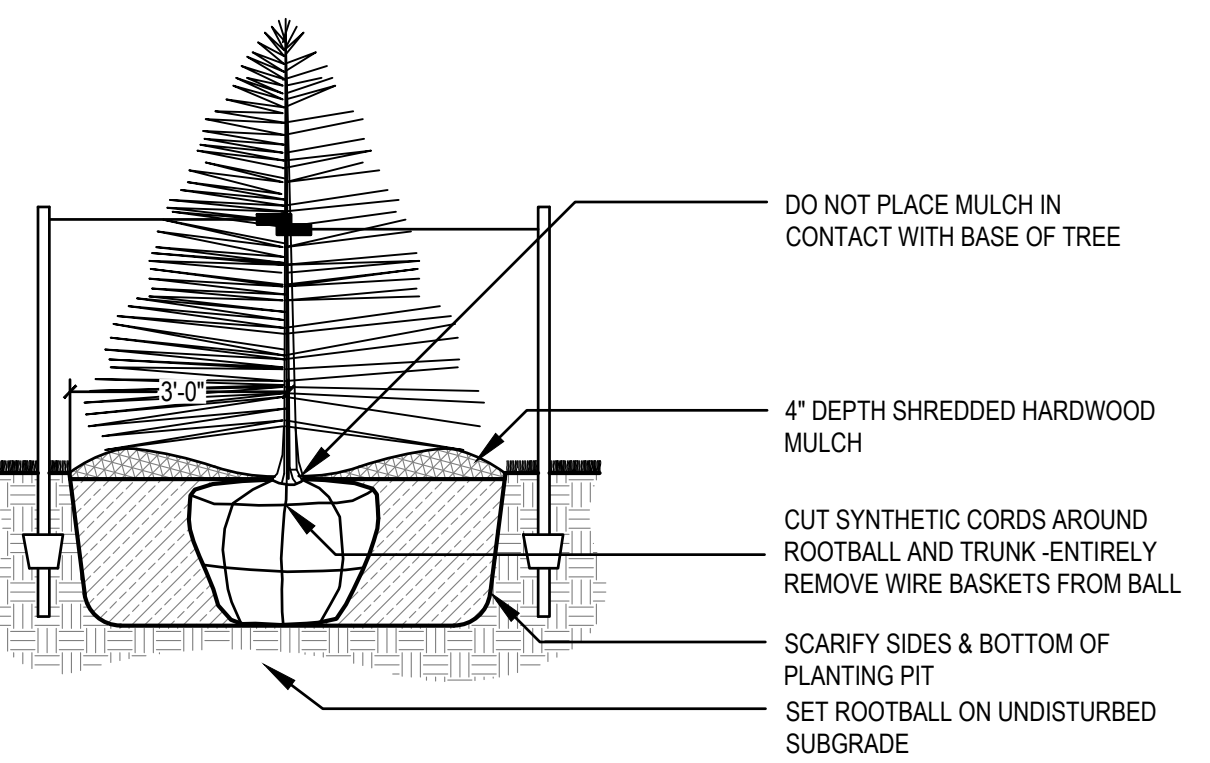
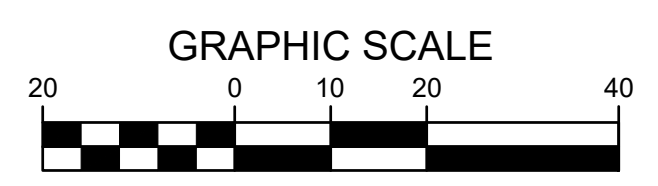
**GENERAL LANDSCAPE REQUIREMENTS**

TOTAL SQUARE FOOTAGE OF PROJECT AREA	30,550 SF
REQUIRED OPEN SPACE(20%)	11,430 SF
OPEN SPACE PROVIDED	14,044 SF
<b>GENERAL OPEN SPACE REQUIREMENT</b>	
TOTAL REQUIRED TREES	6
TOTAL REQUIRED OVERSTORY TREES	50%
TOTAL REQUIRED EVERGREEN TREES	25%
TOTAL REQUIRED SHRUBS	6
<b>PARKING PERIMETER REQUIREMENTS</b>	
TOTAL LENGTH OF PARKING PERIMETER ADJACENT TO STREETS	198 LF
REQUIRED OVERSTORY TREES (1 / 40 LF)	5 TREES
<b>INTERIOR PARKING LOT REQUIREMENTS</b>	
TOTAL PARKING LOT ISLANDS ON SITE	3
REQUIRED OVERSTORY TREES (50% OF LOT ISLANDS)	2 TREES

**SOD:** PROVIDE AND INSTALL SOD FROM LOCAL SUPPLIERS. AREAS TO BE SODDED MUST BE FREE OF ALL CONSTRUCTION DEBRIS AND ANY DIRT CLUMPS OVER 1" IN DIAMETER. THOROUGHLY WATER SOD UPON INSTALLATION. CONTRACTOR TO MAINTAIN WATERING UNTIL SOD IS ESTABLISHED (ROOTS KNITTED INTO SUBSURFACE)



**SHRUB PLANTING (TYP)**  
SCALE: NOT TO SCALE



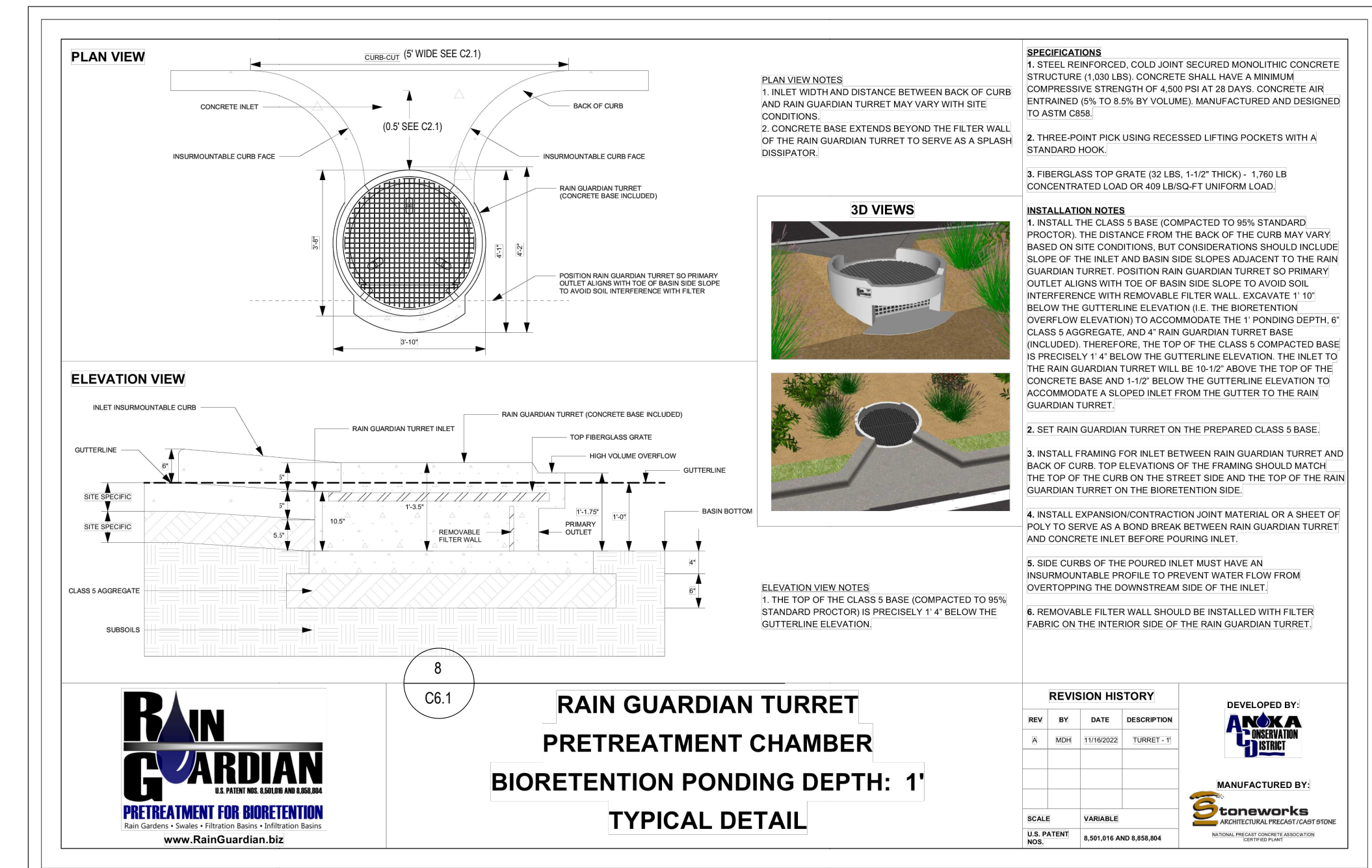
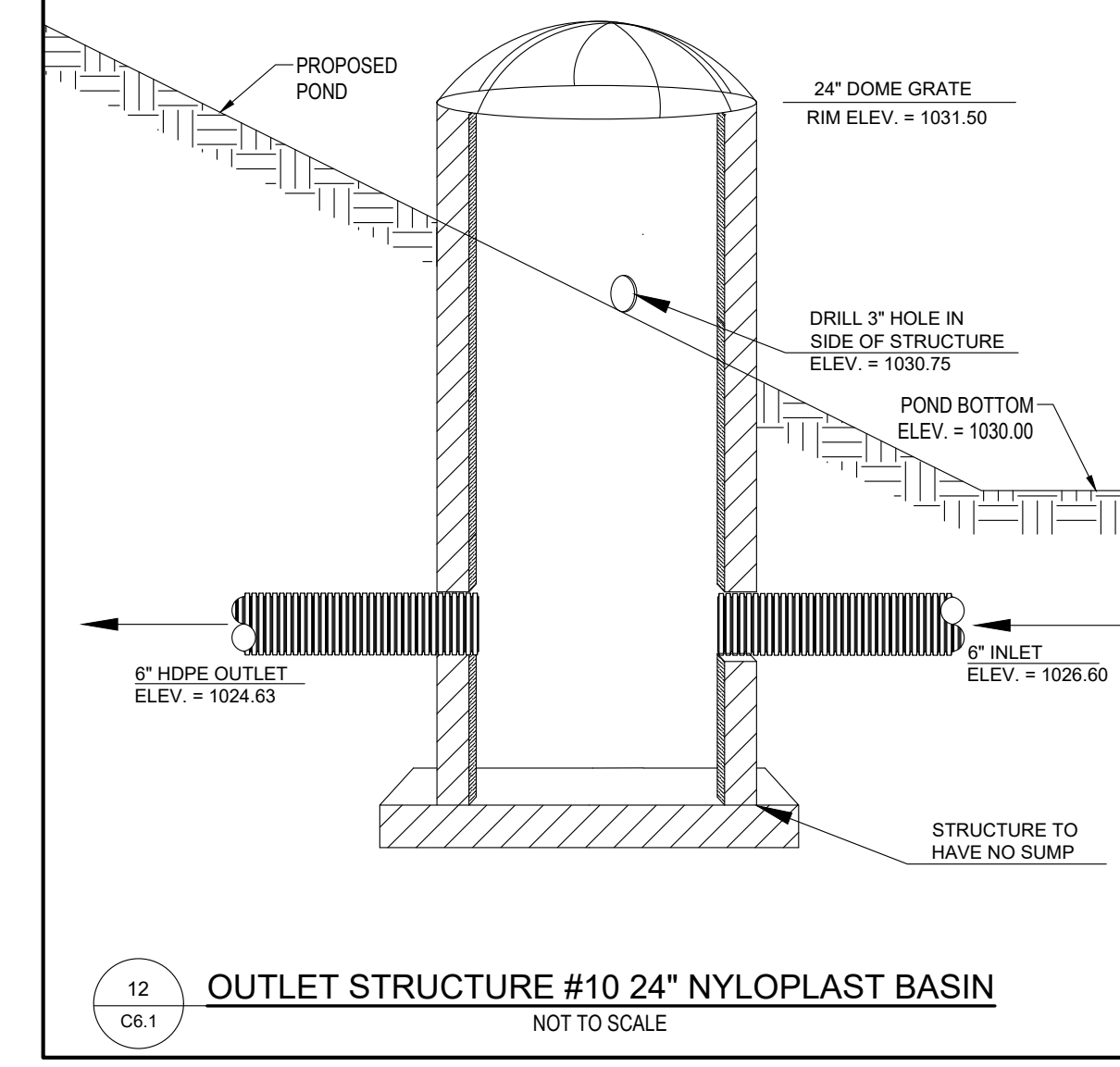
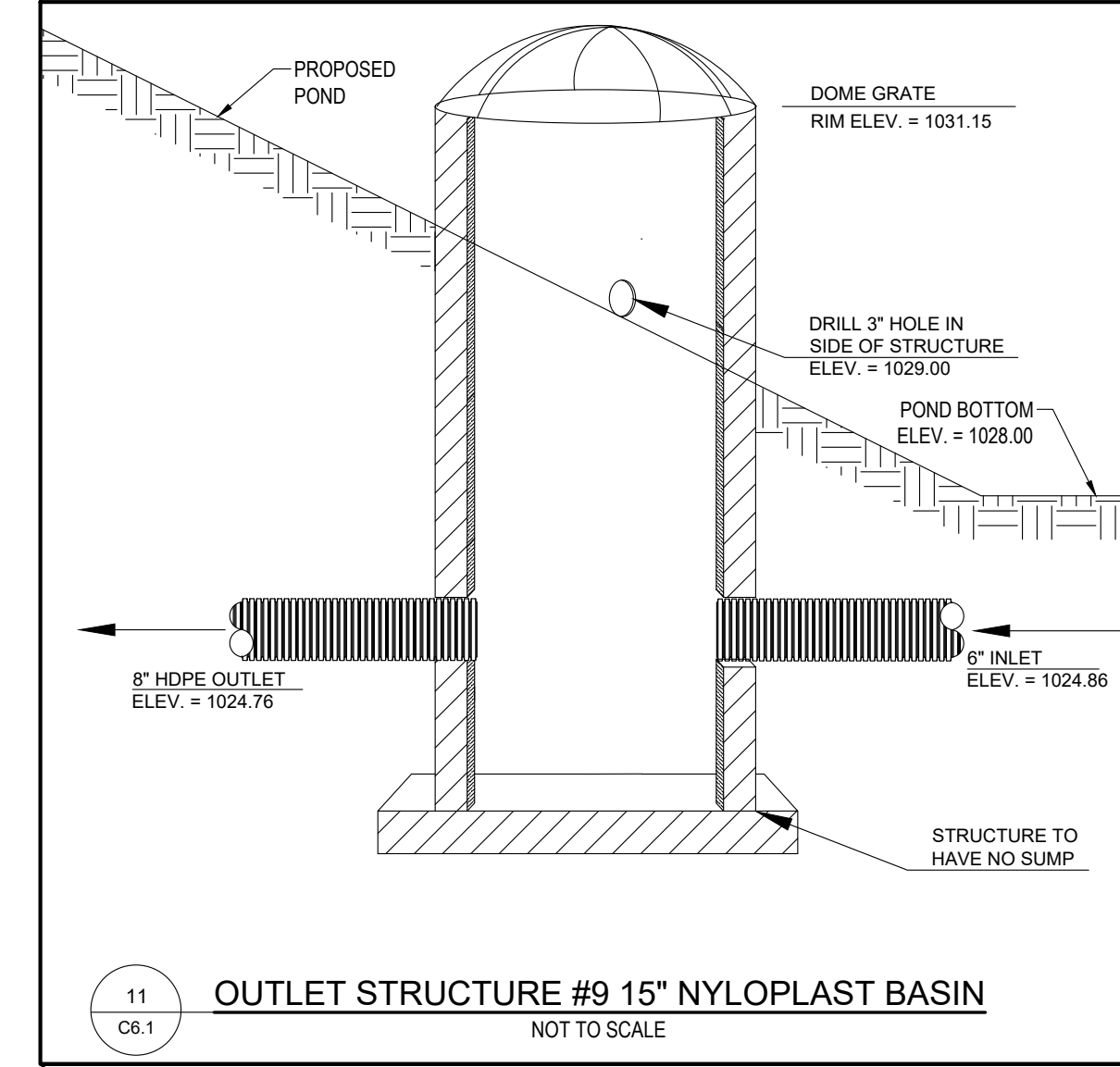
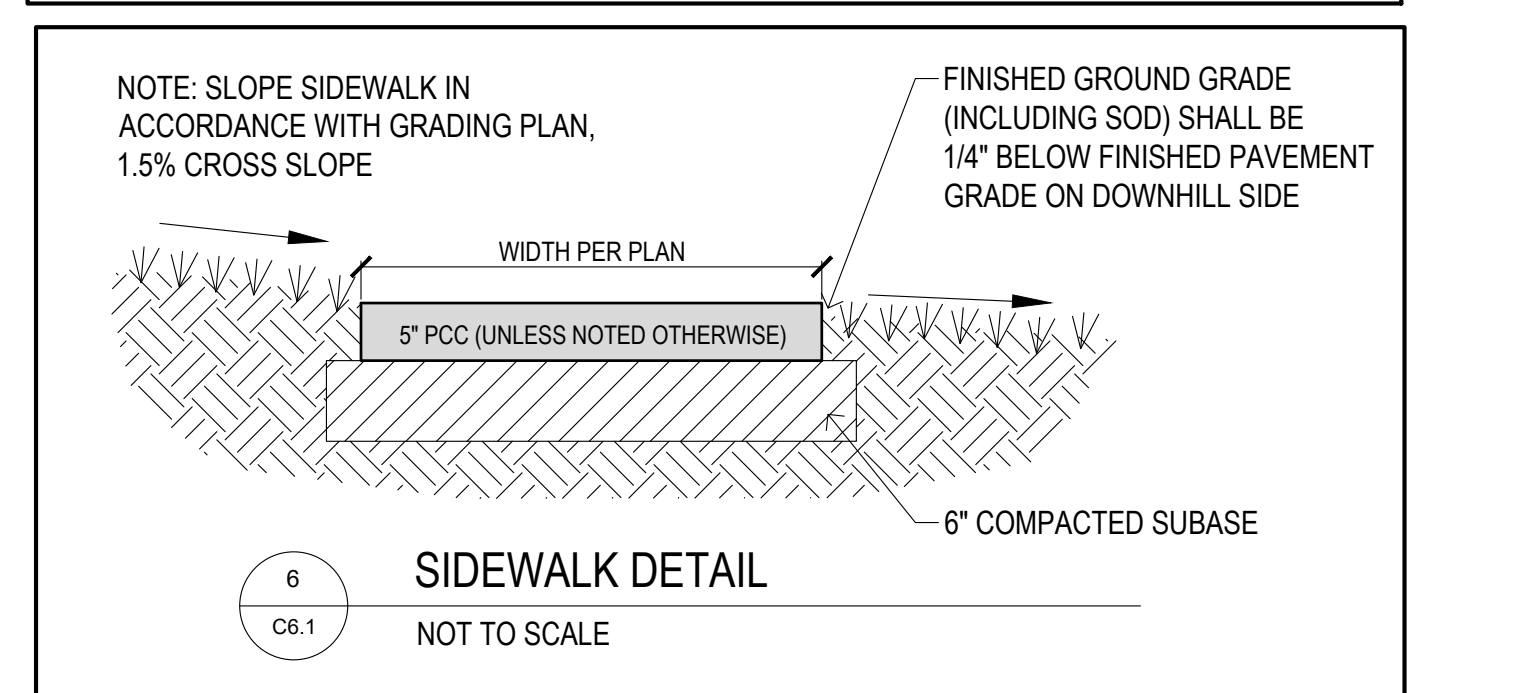
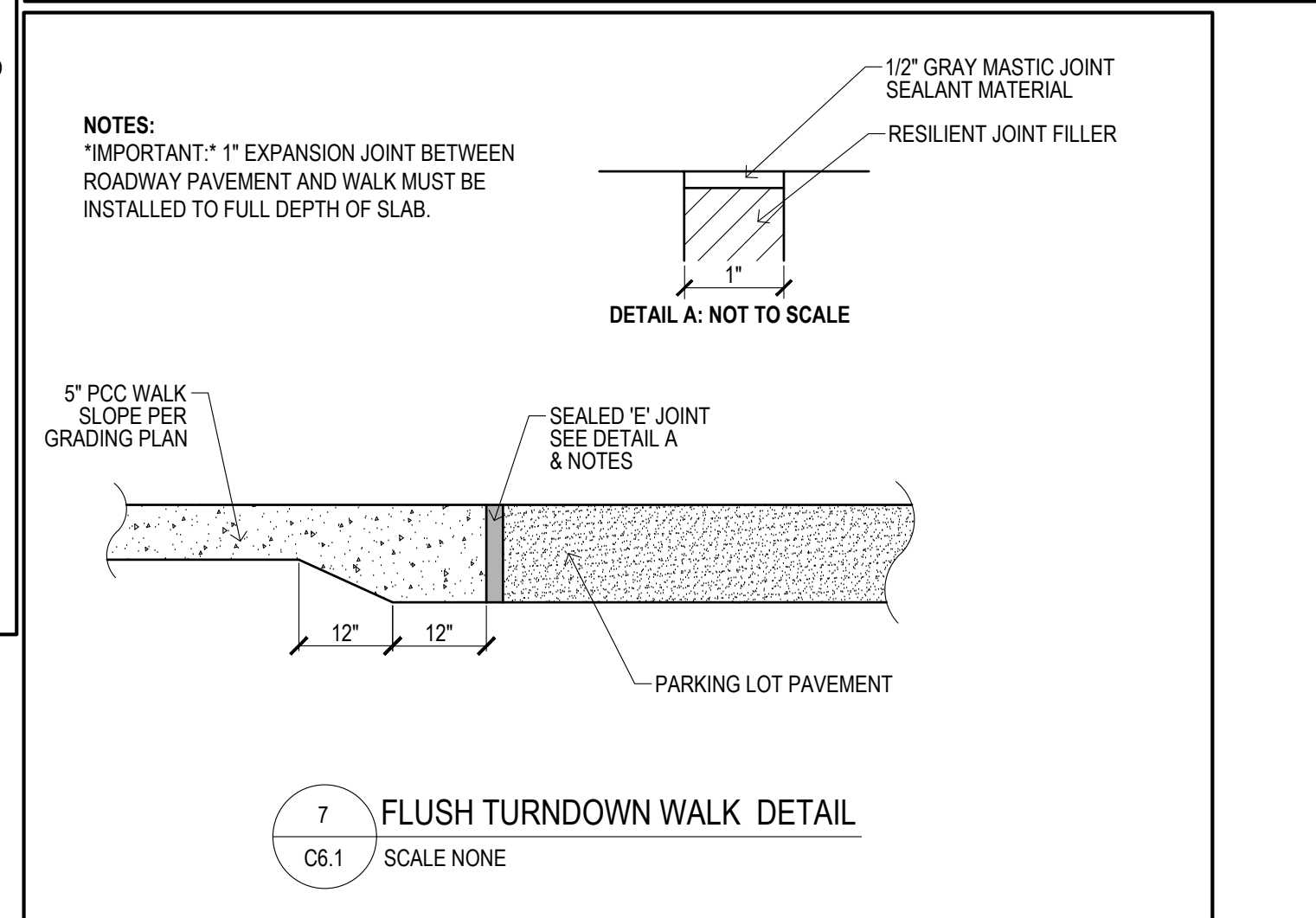
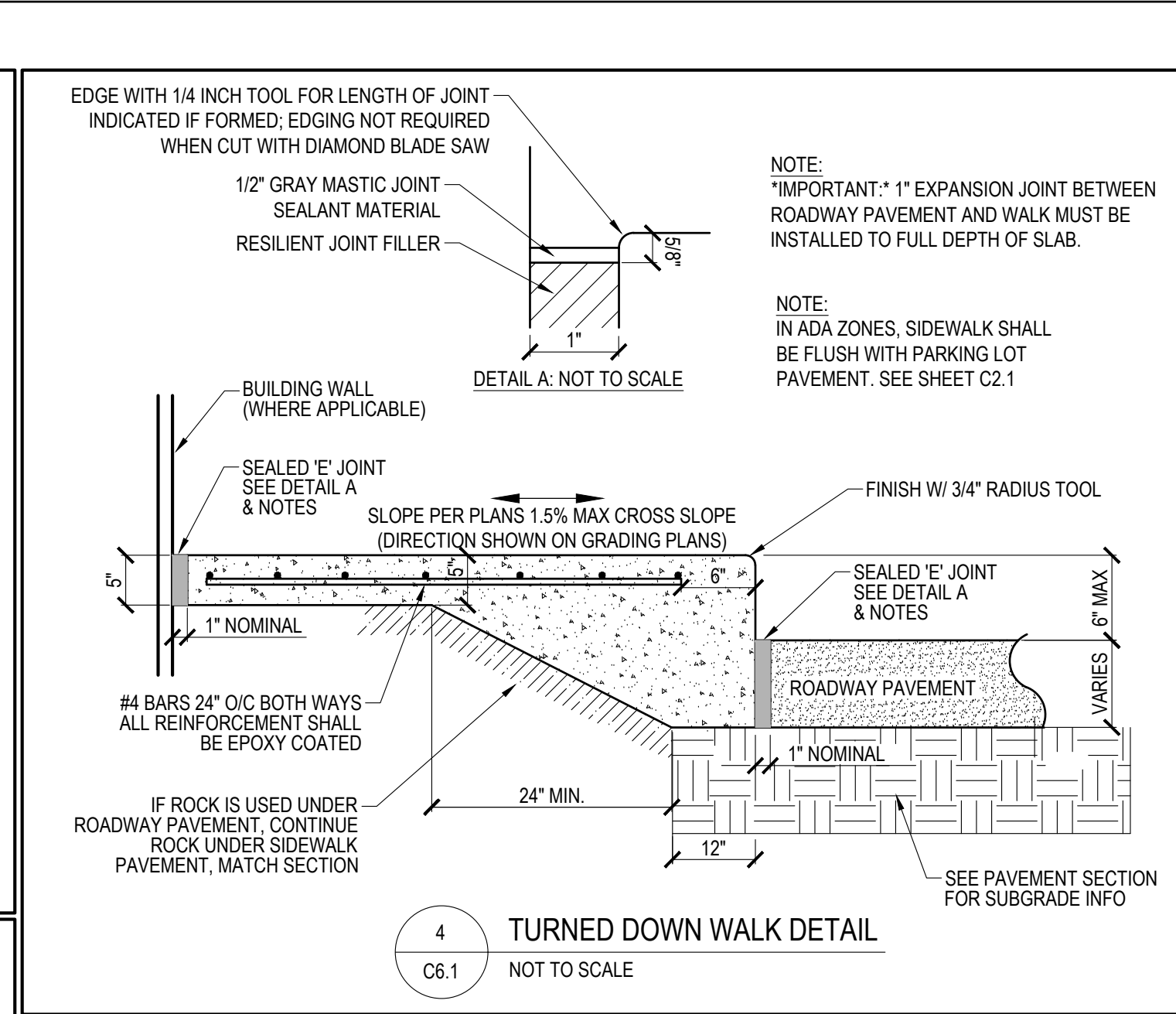
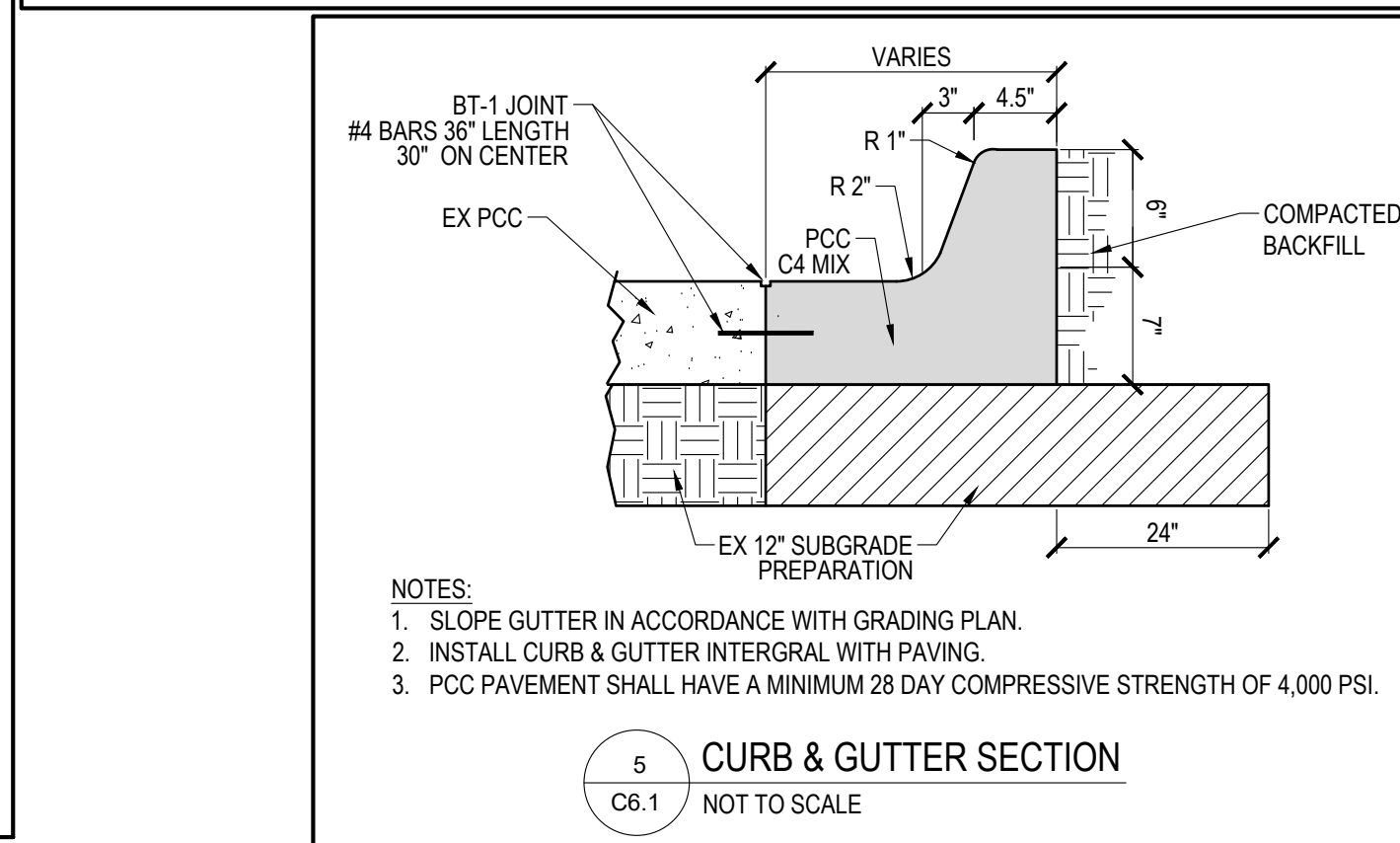
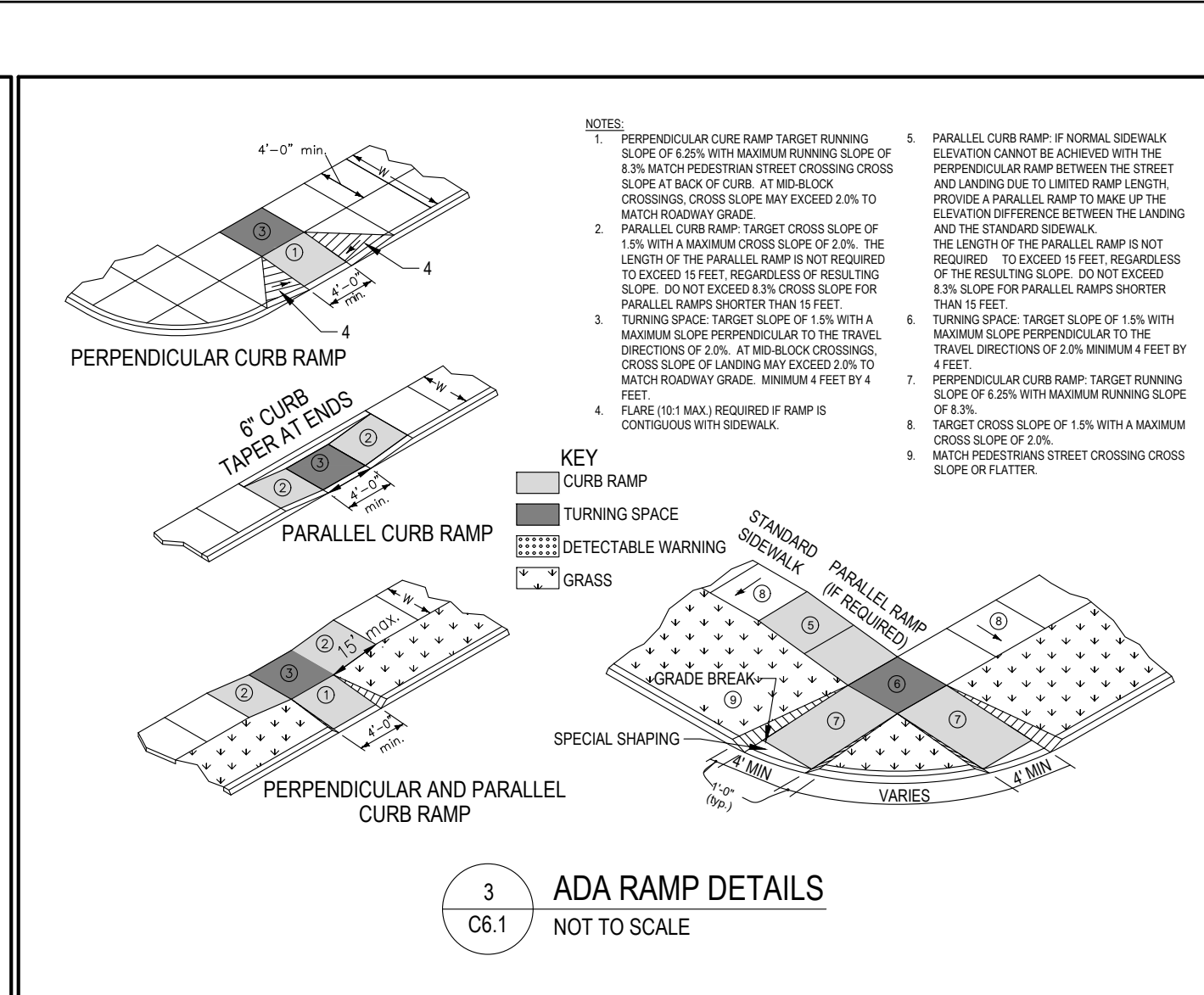
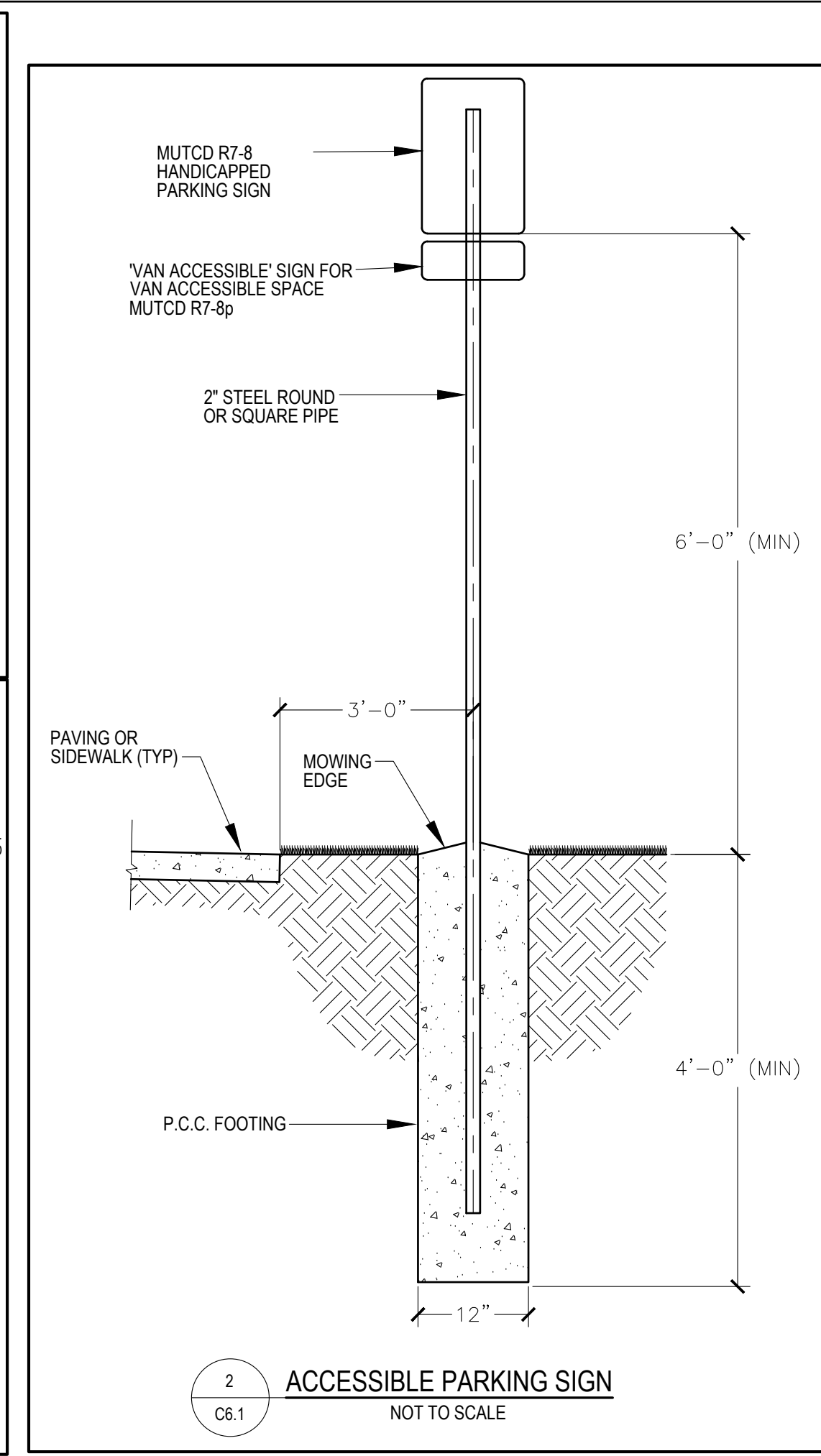
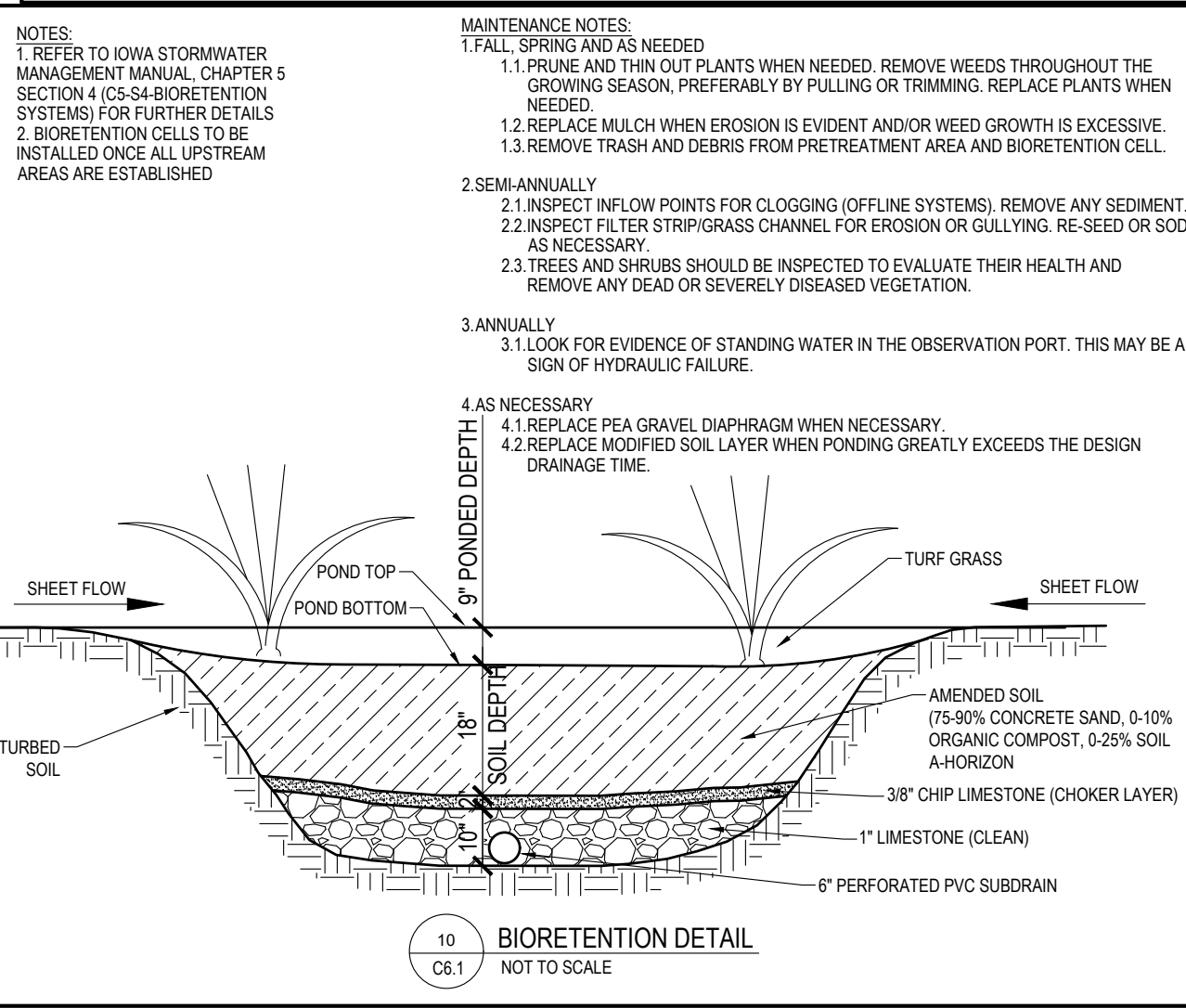
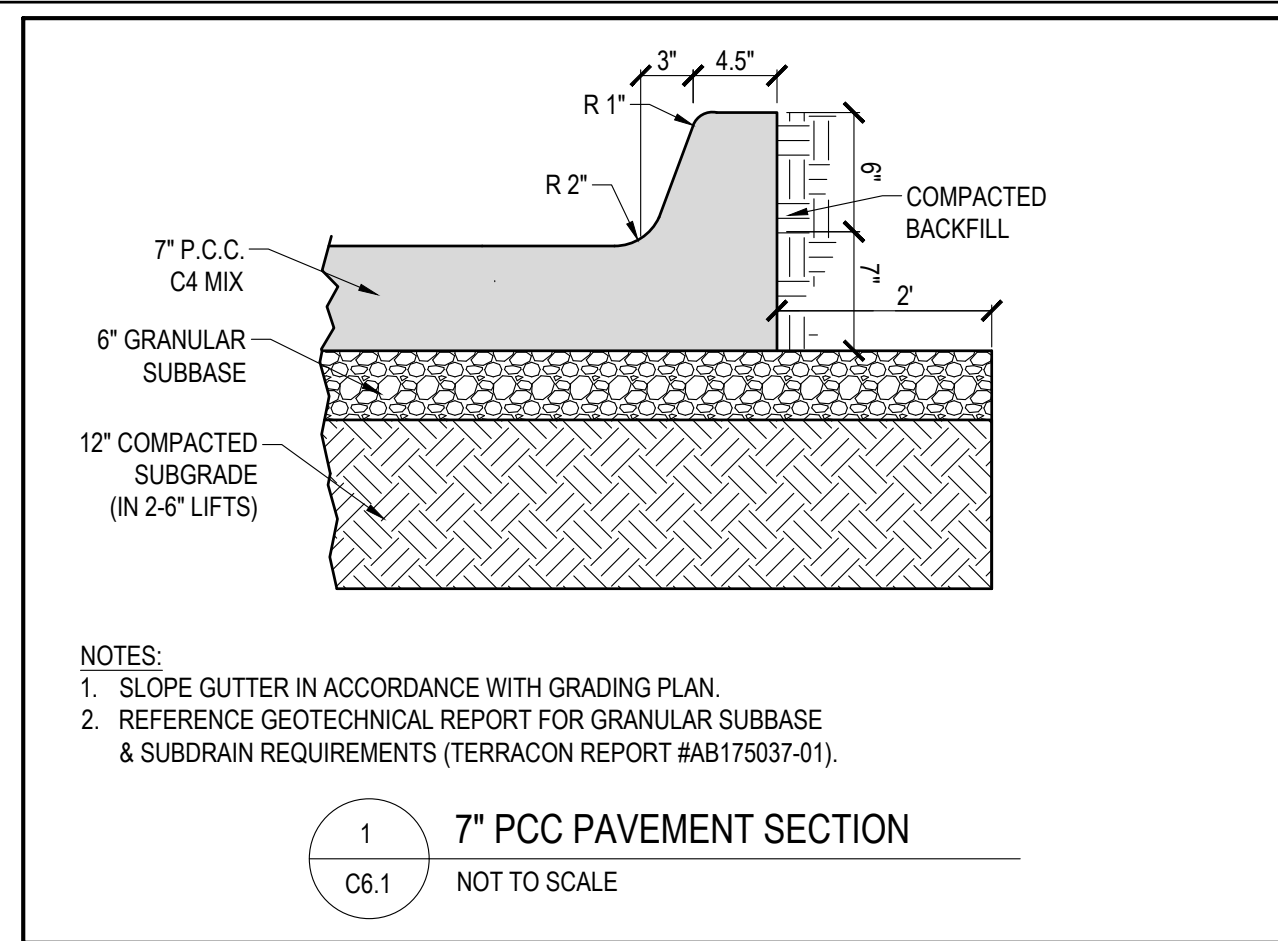
**PLANTING SCHEDULE**

CODE	QUAN	COMMON NAME	LATIN NAME	SIZE	ROOT	NOTES
<b>OVERSTORY TREES</b>						
RB	2	HERITAGE RIVER BIRCH	BETULA NIGRA 'HERITAGE'	8' HT	B&B	MATCHED SPECIMENS (CLUMP FORM)
CO	2	CHINKAPIN OAK	QUERCUS MUEHLENBERGII	2.0" CAL	B&B	MATCHED SPECIMENS
RL	1	REDMOND LINDEN	TILIA AMERICANA 'REDMOND'	2.0" CAL	B&B	MATCHED SPECIMENS
<b>EVERGREEN TREES</b>						
NS	2	NORWAY SPRUCE	PICEA ABIES	6'	B&B	FULL FORM TO GROUND
<b>SHRUBS</b>						
HC	11	HUMMINGBIRD CLEATHERA	CLETHR A ALNIFOLIA 'HUMMINGBIRD'	#5	CONT	FULL FORM - MATCHED
AC	11	ALPINE CURRENT	RIBES ALPINUM	#5	CONT	FULL FORM - MATCHED
LD	11	LITTLE DEVIL NINEBARK	PHYSOCARPUS OPULIFOLIUS 'LITTLE DEVIL'	#3	CONT	FULL FORM - MATCHED



**WAUKEE HEADSTART**  
425 ASHWORTH DRIVE  
WAUKEE, IOWA

REFERENCE NUMBER:  
DRAWN BY: CJC  
REVISION DATE: 4-22-25 1ST SUBMITTAL, 5-14-25 2ND SUBMITTAL  
PROJECT NUMBER: 250075  
SHEET NAME: LANDSCAPE PLAN  
SHEET NUMBER: C5.1



**RAIN GUARDIAN PRETREATMENT FOR BIORETENTION**

**Maintenance Guide**

Rain Guardian pretreatment chambers simplify bioretention maintenance by collecting sand, leaves, grass clippings, and other debris in an easy to clean, confined location. Regularly maintaining the Rain Guardian sustains its functionality by maximizing storage and filtration capacities. Maintenance frequency is variable and depends on many factors such as rainfall frequency, drainage area size and land use type, and season of the year. The general cleaning process is similar for all Rain Guardian models (i.e. Bunker, Foxhole, and Turret).

Following rain events, inspect the pretreatment chamber for debris on the top grate, within the chamber, and on the vertical drop-in filter wall. The maintenance steps described below should be completed if areas of the top grate are clogged, the chamber is > 75% full, or the vertical filter wall is clogged. Maintenance should be completed when stormwater has completely drained from the bioretention practice. The filter wall allows the chamber to dry between rain events, which further simplifies maintenance by ensuring removed debris is largely dry. Ensure all debris collected during cleaning of the chamber is completely removed from the site and properly disposed of according to local environmental rules. Once cleaning is complete, reinstall the filter wall with filter fabric facing the inside of the chamber and replace the top grate. For the Foxhole, reinstall the top lid, including optional lid anchor screws if equipped.

**Clear Debris from Top Grate**

- Available only - remove top lid, including optional lid anchor screws if installed
- Use flat edge gauge controls, accumulate on the grate
- Change removed material from debris to sand from a shovel prior to removing top grate

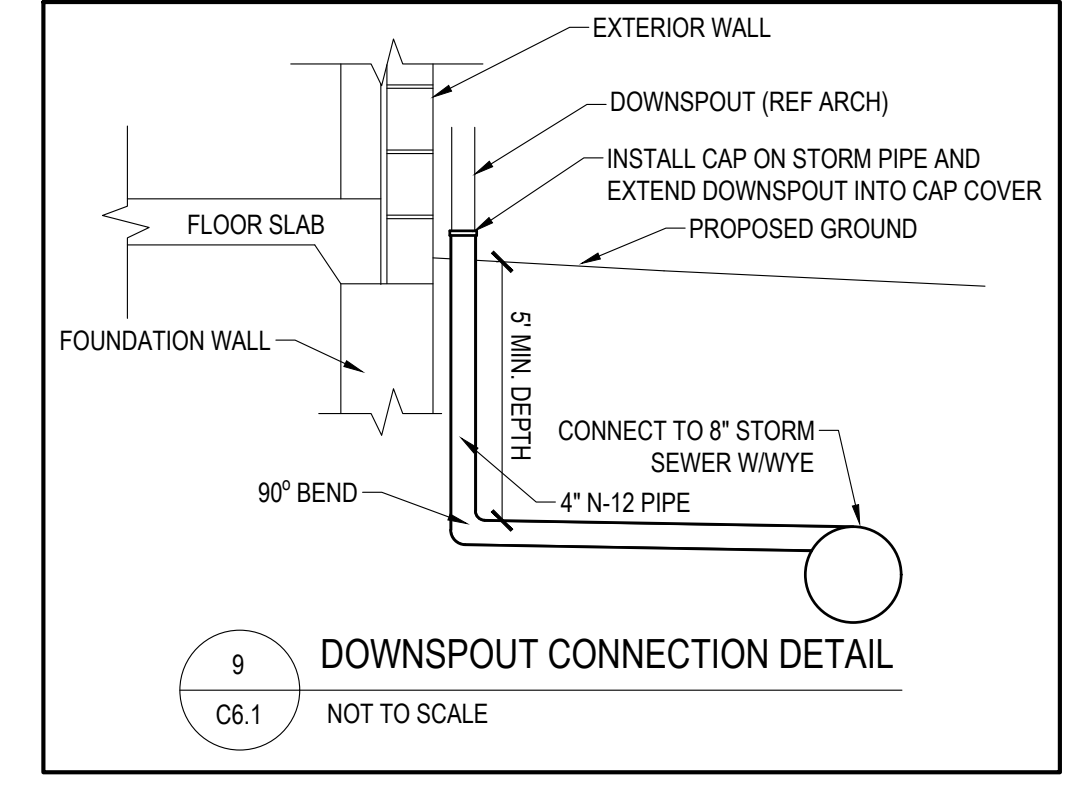
**Remove Debris from Inside Chamber**

- Remove top grate and place on paved area to avoid damage to nearby plants
- Remove sand from accumulated debris after chamber cleaning is complete

**Clean Filter Wall**

- Remove debris from filter wall
- Clean filter wall with a soft bristled broom or rinse clean with pressurized water

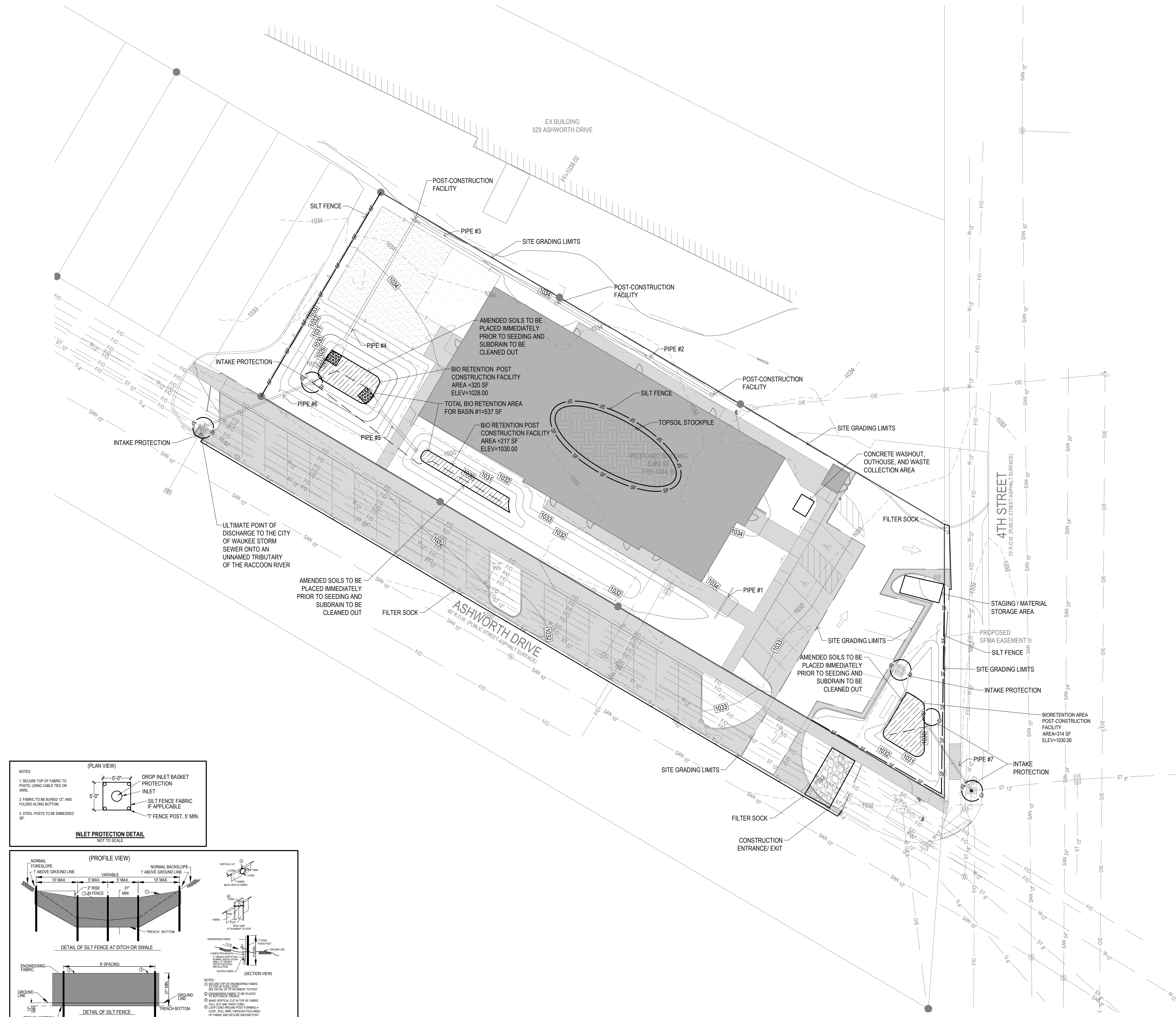
**www.RainGuardian.biz**



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PRELIMINARY- NOT FOR CONSTRUCTION

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- EROSION CONTROL NOTES:**
- SEE SUPPLEMENTAL DETAIL STORM WATER POLLUTION PLAN NARRATIVE FOR ALL EROSION CONTROL MEASURES. ADDITIONAL DETAILS AND NOTE. ADDITIONAL NOTES AND MEASURES IN NARRATIVE SHALL BE CONSIDERED INCIDENTAL AND SHALL BE INCLUDED IN THE ORIGINAL BID.
  - INSTALL PERIMETER SILT FENCE AS SHOWN ON PLANS PRIOR TO CONSTRUCTION.
  - INSTALL INTAKE PROTECTION WITH SILT FENCE IMMEDIATELY AFTER STORM SEWER CONSTRUCTION.
  - INSTALL FINISHED PAVING INLET PROTECTION IMMEDIATELY AFTER PAVING IS COMPLETED AROUND INTAKE.
  - OTHER EROSION CONTROL TYPES MAY NOT BE SUBSTITUTED FOR SILT FENCE.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR SUPPLYING TEMPORARY RESTROOM FACILITIES. SANITARY WASTE SHALL BE DISPOSED OF PER ALL FEDERAL, STATE AND LOCAL REGULATIONS.
  - THIS PROJECT INCLUDES SAWCUTTING OR CONCRETE GRINDING SO PROTECTION OF STORM SEWERS AND DRAINAGE WAYS WILL NEED TO BE PROVIDED FROM SLURRY FROM THE CONCRETE OPERATIONS TO DISCHARGE OFFSITE. SEE SWPPP SHEET AND NARRATIVE FOR ADDITIONAL DETAILS.
  - CONTRACTOR SHALL PROVIDE APPROPRIATE CONTROLS TO PREVENT DISCHARGES FROM ANY AND ALL DEWATERING ACTIVITIES.
  - SEE LANDSCAPE PLAN FOR FINAL STABILIZATION INCLUDING SEEDING AND SODDING AREAS.
  - THE FOLLOWING DISCHARGES ARE PROHIBITED: WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OIL, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS, FUEL, OILS OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE, AND SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
  - ALL FACILITIES ARE TO BE INSTALLED ONCE ALL UPSTREAM AREAS HAVE BEEN ESTABLISHED WITH PERMANENT VEGETATION.
  - TIME CONSTRUCTION ACTIVITIES TO LIMIT IMPACT ON SEASONAL WEATHER CHANGES.

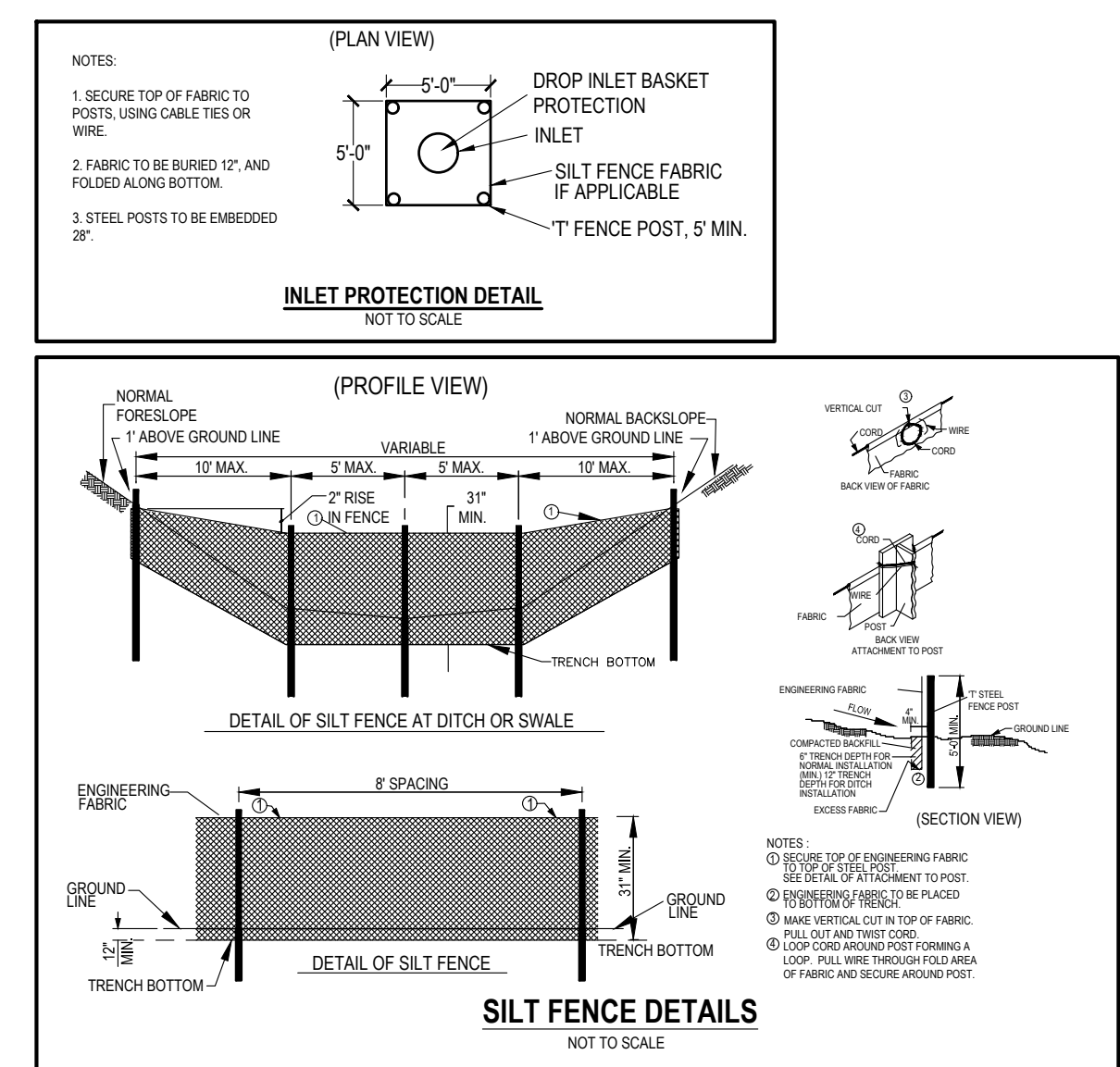
- EROSION CONTROL REMOVAL NOTES:**
- AFTER FINAL STABILIZATION HAS OCCURRED, CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY EROSION CONTROL DEVICES INCLUDING, BUT NOT LIMITED TO: SILT FENCE, INLET PROTECTION, AND TEMPORARY STANDPIPES.

- GENERAL NOTES:**
- ALL BIO-RETENTION CELLS ARE TO BE CONSTRUCTED ONLY AFTER ALL OTHER CONSTRUCTION ITEMS ARE COMPLETE. SEDIMENT PROTECTION WILL BE REQUIRED IF IMMEDIATE UPSTREAM PROTECTION IS NOT ABLE TO BE COMPLETED.
  - DETENTION BASINS ARE TO BE OWNED AND MAINTAINED BY THE OWNER OF THE PROPERTY.
  - SITE RUNOFF COEFFICIENT POST CONSTRUCTION = 0.83

**EROSION CONTROL QUANTITIES:**

SITE AREA	0.70 ACRES
DISTURBED AREA	0.82 ACRES (NPDES PERMIT IS NOT REQUIRED)
SILT FENCE	2,508.18 LF
INLET PROTECTION	5 EA
FLEXAMAT	50 SF
CONSTRUCTION ENTRANCE	1 EA
CONCRETE WASHOUT	1 EA
PERMANENT SOD	13,840 SF

**\*SEE LANDSCAPE PLAN FOR SEEDING/SOD TYPES & LOCATIONS\***  
 TEMPORARY SEEDING (SUDAS TYPE 4) AS NECESSARY  
 \*NOTE: EROSION CONTROL QUANTITIES ARE PROVIDED FOR CITY REQUIREMENT ONLY AND ARE A ROUGH ESTIMATE. CONTRACTOR SHALL PROVIDE EROSION CONTROL MEASURES AS NECESSARY TO MEET SITE CONDITIONS.



**WAUKEE HEADSTART**  
 425 ASHWORTH DRIVE  
 WAUKEE, IOWA

REFERENCE NUMBER:

DRAWN BY:  
CJC

REVISION DATE:  
4-22-25 1ST SUBMITTAL  
5-14-25 2ND SUBMITTAL

PROJECT NUMBER:  
**250075**

SHEET NAME:  
**EROSION CONTROL PLAN**

SHEET NUMBER:  
**C7.1**

