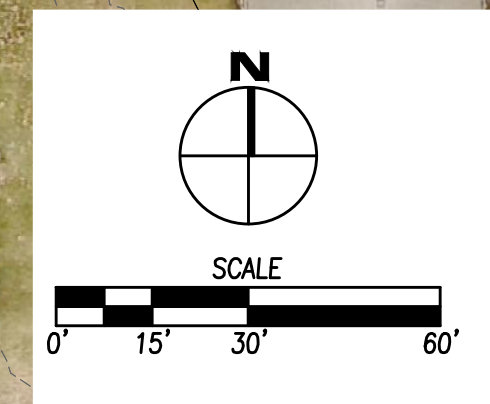


DEVELOPMENT SUMMARY	
ZONING R-4 ROW DWELLING AND TOWNHOME DWELLING DISTRICT	
SETBACKS	
FRONT:	30'
SIDE:	15'
REAR:	30'
TOWNHOME PARKING REQUIRED	
2 SPACES PER UNIT:	60 SPACES
1 VISITOR SPACE/5 UNITS:	6 VISITOR SPACES
	66 SPACES
PROVIDED	
GARAGE PARKING:	60 SPACES
DRIVEWAY PARKING:	60 SPACES
VISITOR PARKING:	6 VISITOR SPACES
	126 SPACES
UNIT SUMMARY	
APPROXIMATE UNIT FOOTPRINT:	25'x46' (1,150 SF)
PROPOSED UNITS:	30
AREA FOR DENSITY CALCULATION:	3.42 ACRES
DENSITY:	8.78 UNITS/ACRES
LENGTH OF PRIVATE STREET:	847'



SHOEMAN TOWNHOMES
CONCEPT #3

WAUKEE, IOWA

DATE: 01/03/2024
 SHEET NUMBER: 1.0
 2211.803

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400

ENGINEER: [Signature]
 DRAFTED: [Signature]

CIVIL DESIGN ADVANTAGE

ESA

REVISIONS

NO.	DATE	DESCRIPTION

DATE: