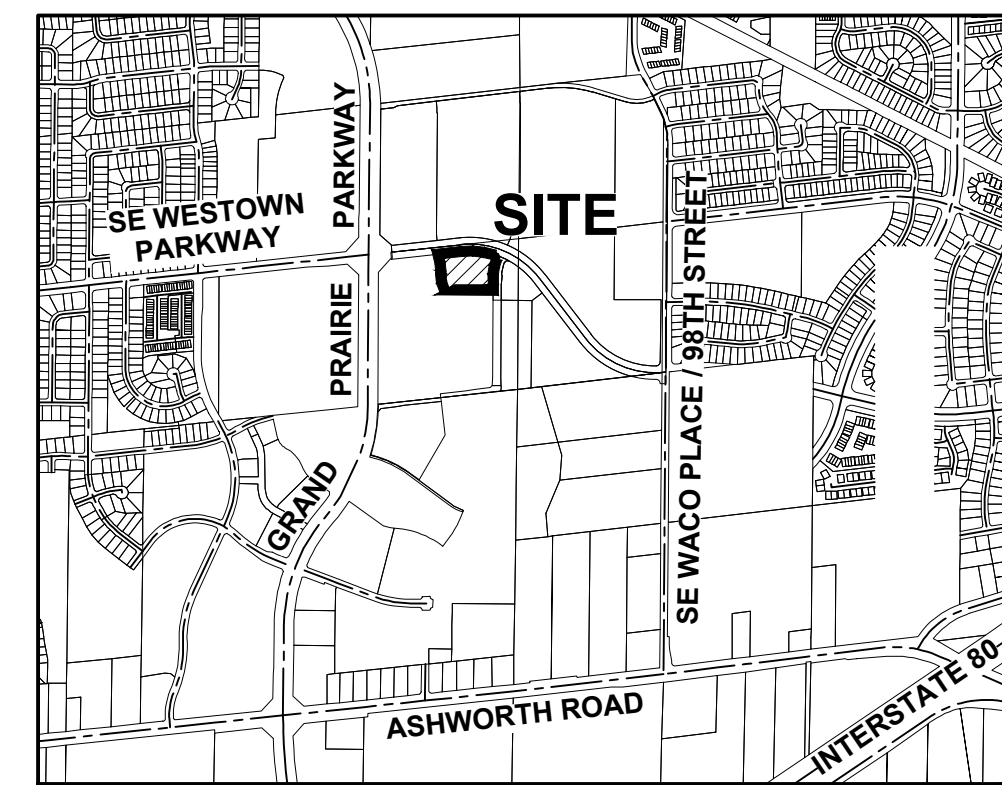


SITE PLAN/PRELIMINARY PLAT FOR:

KETTLESTONE CENTRAL SOUTH PLAT 4 - LOTS 1 & 2

WAUKEE, IOWA

VICINITY MAP



WAUKEE, IOWA

OWNER/APPLICANT

CALIBER LAND COMPANY, LLC
3611 NE OTTERVIEW CIRCLE #42
ANKENY, IOWA 50021
CONTACT: NICK JENSEN
EMAIL: NICK@CALIBERIOWA.COM
PH: (515) 290-3401

ENGINEER

CIVIL DESIGN ADVANTAGE
4121 NW URBAN DALE DRIVE
URBAN DALE, IOWA 50322
CONTACT: NICOLE NEAL
EMAIL: NICOLEN@CDA-ENG.COM
PH. (515) 369-4400
FX. (515) 369-4410

SURVEYOR

CIVIL DESIGN ADVANTAGE
4121 NW URBAN DALE DRIVE
URBAN DALE, IA 50322
CONTACT: CHARLIE MCGLOTHLEN
EMAIL: CHARLIEM@CDA-ENG.COM
PH. (515) 369-4400

ARCHITECT

JCORP
3611 NE OTTERVIEW CIRCLE #43
ANKENY, IOWA 50021
PH. (515) 597-5457

DATE OF SURVEY

FIELDWORK: JANUARY, 2024

BENCHMARKS

DALLAS COUNTY BM 120 (G120)
5/8" DIA. X 6'-0" LONG ALUMINUM ROD WITH CAP STAMPED
G120 & NGS STYLE ACCESS COVER 3" DEEP LOCATED ON
EAST SIDE OF U PLACE ABOUT 150' SOUTH OF 200TH STREET.
ELEVATION=1011.76

PROJECT SITE ADDRESS

LOT 1: 1240 SE WESTTOWN PARKWAY
LOT 2: 1280 SE WESTTOWN PARKWAY

SUBMITTAL DATES

FIRST SUBMITTAL: 06/24/2025
SECOND SUBMITTAL: 08/05/2025
THIRD SUBMITTAL: 08/19/2025
FOURTH SUBMITTAL: 08/29/2025

LEGAL DESCRIPTION

LOT 5, KETTLESTONE CENTRAL SOUTH PLAT 2, AN OFFICIAL
PLAT IN THE CITY OF WAUKEE, DALLAS COUNTY, IOWA AND
CONTAINING 3.57 ACRES (155,509 SQUARE FEET).

THE PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OF
RECORD.

EXISTING/ PROPOSED USE

EXISTING: UNDEVELOPED

PROPOSED: MIXED USE

BUILDINGS

LOT 1
FAR: (95,191SF/129,075SF) 0.74
HEIGHT: 56 FEET

LOT 2
FAR: (4,910SF/26,434 SF) 0.19
HEIGHT: -- FEET

UNIT BREAKDOWN:

1 BED (606 SF)	13 UNITS
1 BED + DEN (803 SF)	1 UNIT
2 BED (903-1122 SF)	26 UNITS
SUITE (629-742 SF)	51 UNITS
TOTAL	91 UNITS

DEVELOPMENT SUMMARY

AREA
LOT 1: 2.96 ACRES (129,075 SF)
LOT 2: 0.61 ACRES (26,434 SF)

DENSITY (LOT 1): 30.74 UNITS/ACRE

PARKING REQUIREMENTS

LOT 1
1 SPACE PER BEDROOM + 1 VISITOR SPACE FOR EVERY 5 UNITS
1 SPACE PER 250 SF OF RETAIL AND OFFICE USES

REQUIRED:

136 SPACES (117 BEDROOMS, 91 UNITS)
35 SPACES (8,639 SF RETAIL/OFFICE/BANK)
171 TOTAL (6 TO BE ACCESSIBLE)

PROVIDED: 170 SPACES (164 STANDARD, 6 ACCESSIBLE)

LOT 2

1 SPACE PER 250 SF OF RETAIL AND OFFICE USES

REQUIRED:

20 SPACES (4,910 SF RETAIL/OFFICE/BANK, 1 TO BE ACCESSIBLE)

PROVIDED: 26 SPACES (5 STANDARD, 2 FUTURE ACCESSIBLE, 19 FUTURE)

TOTAL REQUIRED: 190 SPACES

TOTAL PROVIDED: 196 SPACES

QUEUING SPACES - BANK

REQUIRED: 3 SPACES PER DRIVE-THROUGH STATION
PROVIDED: 7 SPACES (4 - INSIDE LANE, 3 - OUTSIDE LANE)

BIKE PARKING

REQUIRED
LOT 1
3% OF REQUIRED AUTOMOBILE PARKING SPACES
235 SPACES * 3%: 8 BIKE SPACES

LOT 2
3% OF REQUIRED AUTOMOBILE PARKING SPACES
20 SPACES * 3%: 1 BIKE SPACE

PROVIDED

LOT 1: 8 SPACES
LOT 2: 2 SPACES (FUTURE)

IMPERVIOUS AREA:

LOT 1	BUILDING:	18,042 SF
	PAVEMENT:	73,970 SF
	SIDEWALK:	5,546 SF
	TOTAL:	97,558 SF

LOT 2

FUTURE BUILDING:	4,910 SF
PAVEMENT:	6,036 SF
FUTURE PAVEMENT:	3,483 SF
FUTURE SIDEWALK	1,442 SF
	15,871 SF

OPEN SPACE

LOT 1 REQUIRED: 25,815 SF (20%)
LOT 1 PROVIDED: 31,517 SF (24%)

LOT 2 REQUIRED: 5,287 SF (20%)
LOT 2 PROVIDED: 20,398 SF (77%)
LOT 2 FUTURE: 10,563 SF (40%)

INDEX OF SHEETS

C0.0	COVER SHEET
C1.1	TOPOGRAPHIC SURVEY/DEMOLITION PLAN
C2.0	OVERALL PLAN
C2.1	DIMENSION PLAN
C3.1	GRADING PLAN
C3.2	GRADING PLAN ENLARGEMENTS
C4.1	EROSION AND SEDIMENT CONTROL PLAN
C5.1	UTILITY PLAN
C6.1-C6.2	DETAILS
L1.1	LANDSCAPE NOTES
L1.2	LANDSCAPE PLAN

ZONING & BULK REGULATIONS

PD-1 (K-MU KETTLESTONE MIXED USE DISTRICT LOT 1)
K-RC KETTLESTONE RETAIL COMMUNITY DISTRICT (LOT 2)

BULK REGULATIONS PD-1 (K-MU KETTLESTONE MIXED USE DISTRICT):

LOT AREA: NO MINIMUM REQUIREMENT
LOT WIDTH: NO MINIMUM REQUIREMENT
FRONT YARD: NO MINIMUM FOR PRINCIPAL
20 FEET MINIMUM FOR ACCESSORY STRUCTURES.
SIDE YARDS: NO MINIMUM FOR PRINCIPAL PERMITTED USES UNLESS ADJACENT
TO ADJOINING SINGLE-FAMILY, IN WHICH CASE THE MINIMUM
SETBACK SHALL BE 50 FEET. 5 FEET FOR ACCESSORY
STRUCTURES.
REAR YARD: NO MINIMUM FOR PRINCIPAL PERMITTED USES UNLESS ADJACENT
TO ADJOINING SINGLE-FAMILY, IN WHICH CASE THE MINIMUM
SETBACK SHALL BE 50 FEET.
5 FEET FOR ACCESSORY STRUCTURES.
PRINCIPAL BUILDING SEPARATION: NO MINIMUM
ACCESSORY BUILDING SEPARATION: 30 FEET BETWEEN PRINCIPAL BUILDING AND ACCESSORY BUILDING
MINIMUM HEIGHT: PRINCIPAL BUILDING - 2 STORIES
MAXIMUM HEIGHT: PRINCIPAL BUILDING - 5 STORIES
ACCESSORY BUILDING - 1 STORY
FLOOR AREA RATIO: 0.80
MAXIMUM DENSITY: 32 DWELLING UNITS PER ACRE
MINIMUM FLOOR AREA: 600 SQUARE FEET PER DWELLING UNIT

BULK REGULATIONS K-RC KETTLESTONE RETAIL COMMUNITY DISTRICT:

LOT AREA: NO MINIMUM REQUIREMENT
LOT WIDTH: NO MINIMUM REQUIREMENT
FRONT YARD: NO MINIMUM FOR PRINCIPAL PERMITTED USES.
20 FEET MINIMUM FOR ACCESSORY STRUCTURES
SIDE YARDS: NO MINIMUM FOR PRINCIPAL PERMITTED USES UNLESS ADJACENT
TO ADJOINING SINGLE-FAMILY, IN WHICH CASE THE MINIMUM
SETBACK SHALL BE 50 FEET. 5 FEET FOR ACCESSORY
STRUCTURES.
REAR YARD: NO MINIMUM FOR PRINCIPAL PERMITTED USES UNLESS ADJACENT
TO ADJOINING SINGLE-FAMILY, IN WHICH CASE THE MINIMUM
SETBACK SHALL BE 50 FEET.
5 FEET FOR ACCESSORY STRUCTURES.
PRINCIPAL BUILDING SEPARATION: 25 FEET
ACCESSORY BUILDING SEPARATION: 25 FEET BETWEEN PRINCIPAL BUILDING AND ACCESSORY BUILDING
MAXIMUM HEIGHT: PRINCIPAL BUILDING - 4 STORIES
ACCESSORY BUILDING - 1 STORY
FLOOR AREA RATIO: 0.35

GENERAL LEGEND

PROPOSED	EXISTING
PROPERTY BOUNDARY	SANITARY MANHOLE
SECTION LINE	WATER VALVE BOX
CENTER LINE	FIRE HYDRANT
RIGHT OF WAY	WATER CURB STOP
BUILDING SETBACK	WELL
PERMANENT EASEMENT	STORM SEWER MANHOLE
TEMPORARY EASEMENT	STORM SEWER SINGLE INTAKE
TYPE SW-501 STORM INTAKE	STORM SEWER DOUBLE INTAKE
TYPE SW-502 STORM INTAKE	FLARED END SECTION
TYPE SW-503 STORM INTAKE	DECIDUOUS TREE
TYPE SW-505 STORM INTAKE	CONIFEROUS TREE
TYPE SW-506 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-512 STORM INTAKE	CONIFEROUS SHRUB
TYPE SW-513 STORM INTAKE	ELECTRIC POWER POLE
TYPE SW-516 STORM INTAKE	GUY ANCHOR
TYPE SW-401 STORM MANHOLE	STREET LIGHT
TYPE SW-402 STORM MANHOLE	POWER POLE W/ TRANSFORMER
FLARED END SECTION	UTILITY POLE W/ LIGHT
TYPE SW-301 SANITARY MANHOLE	ELECTRIC BOX
STORM/SANITARY CLEANOUT	ELECTRIC TRANSFORMER
WATER VALVE	ELECTRIC MANHOLE OR VAULT
FIRE HYDRANT ASSEMBLY	TRAFFIC SIGN
SIGN	TELEPHONE JUNCTION BOX
DETECTABLE WARNING PANEL	TELEPHONE MANHOLE/VAULT
WATER CURB STOP	TELEPHONE POLE
SANITARY SERVICE	GAS VALVE BOX
STORM SEWER	CABLE TV JUNCTION BOX
STORM SERVICE	CABLE TV MANHOLE/VAULT
WATERMAIN WITH SIZE	MAIL BOX
WATER SERVICE	BENCHMARK
SAWCUT (FULL DEPTH)	SOIL BORING
SILT FENCE	UNDERGROUND TV CABLE
USE AS CONSTRUCTED (UAC)	GAS MAIN
MINIMUM PROTECTION ELEVATION (MPE)	FIBER OPTIC
	UNDERGROUND TELEPHONE
	OVERHEAD ELECTRIC
	UNDERGROUND ELECTRIC
	FIELD TILE
	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

ANY FUTURE BUILDINGS
WILL REQUIRE A SEPARATE
SITE PLAN APPROVAL.

REFER TO GEOTECH ENGINEERING REPORT NO. 222077KCJ FOR GEOTECHNICAL
REQUIREMENTS.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND COSECO PERMIT. CIVIL
DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER
POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING
CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE
SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL
REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR
ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2025 EDITION OF THE WAUKEE STANDARD SPECIFICATIONS AND THE 2025
EDITION OF THE SUDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHTS-OF-WAY
ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY SUPPLEMENTALS, IF
APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE
NOTED.



1-800-292-8989
www.iowaonecall.com



CIVIL DESIGN ADVANTAGE
4121 NW URBAN DALE DRIVE, URBAN DALE, IA 50322
PH: (515) 369-4400
PROJECT NO. 2412.994

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD
SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE
SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES
SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER
IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER
DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN
THE EXACT LOCATION SHOWN.

PRELIMINARY

NOT FOR CONSTRUCTION

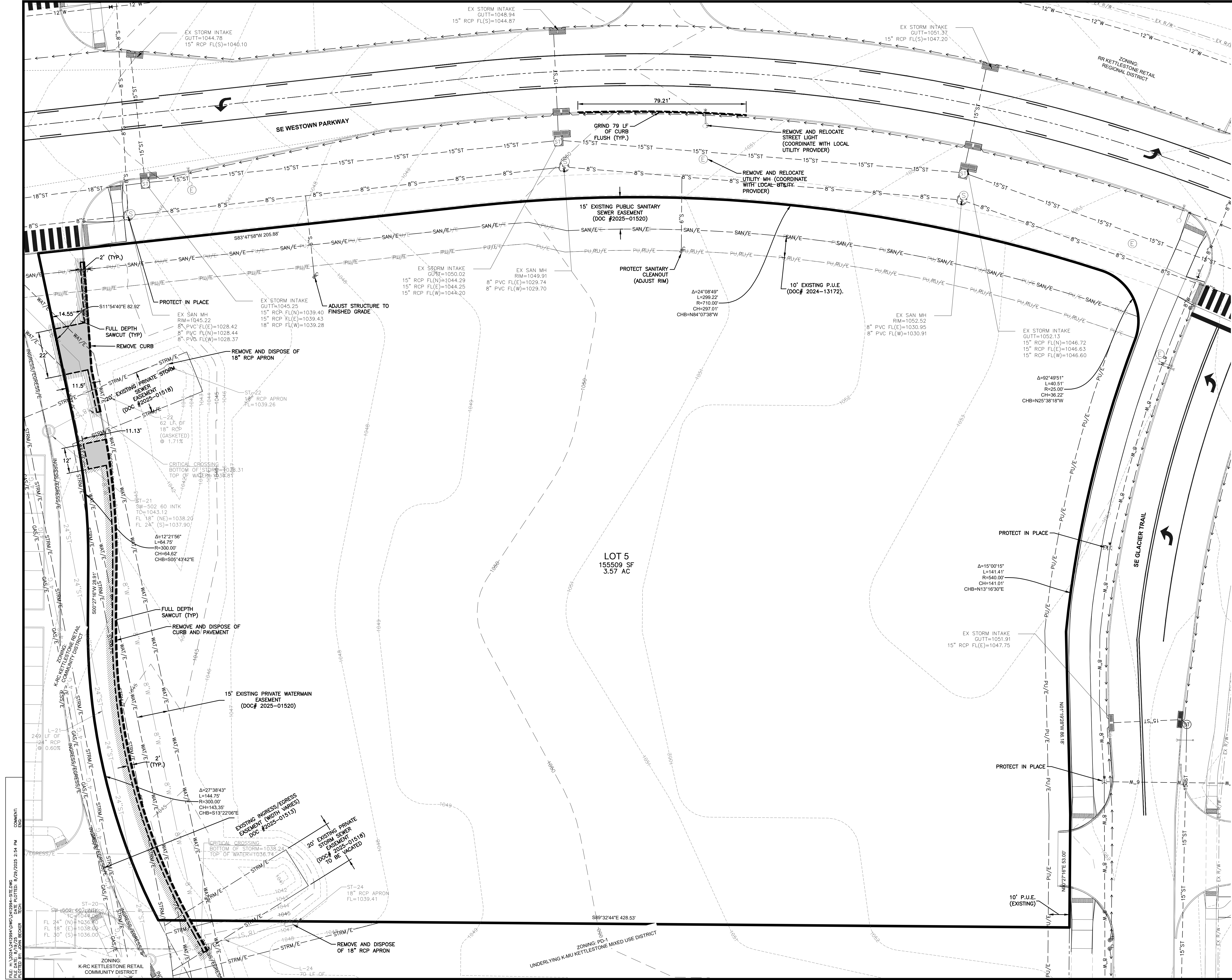
JOHN PATRICK BECKER, P.E.
25523
DATE: _____
BY LICENSE RENEWAL DATE IS DECEMBER 31, 2026
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C5.1 AND C6.1-C6.2

PRELIMINARY

NOT FOR CONSTRUCTION

RYAN LINDSEY
00525
DATE: _____
BY LICENSE RENEWAL DATE IS JUNE 30, 2026
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L1.1 AND L1.2

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 COMMENT: ENG
 DATE: 8/27/2025 2:53 PM

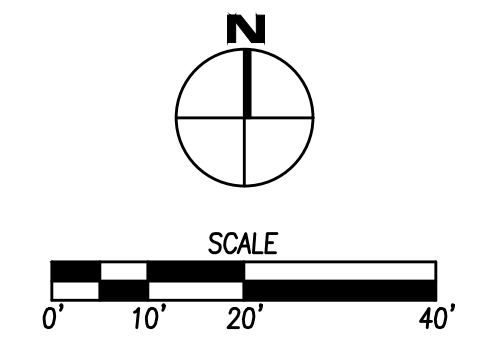


DEMOLITION NOTES

- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - CITY
 - APPROPRIATE UTILITY COMPANIES
 - OWNER
 - CIVIL DESIGN ADVANTAGE
 - ARCHITECT
- DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
- PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
- BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
- FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
- DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
- ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS. CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

TRAFFIC CONTROL NOTES

- ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
- ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
- THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
- SIDWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES.
- THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
- ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.



DATE	REVISIONS

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400

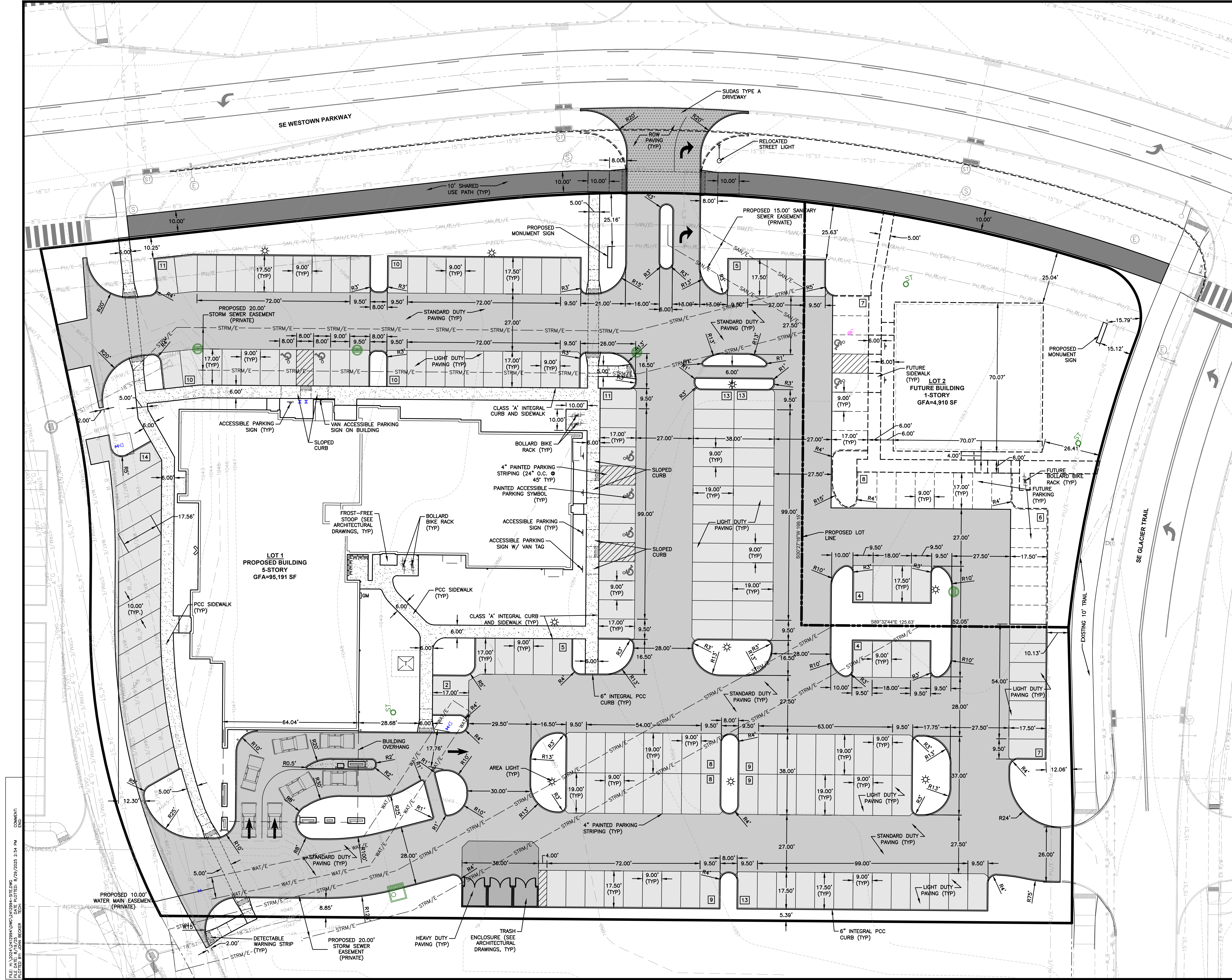


KETTLESTONE CENTRAL SOUTH PLAT 4 - LOTS 1 & 2
 TOPOGRAPHIC SURVEY & DEMOLITION PLAN
 WAUKEE, IOWA

ENGINEER: CIVIL DESIGN ADVANTAGE
 DRAFTED: C1.1
 2412.994

DATE: 08/29/2025
 SHEET NUMBER: 2412.994

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 PLOTTED BY: JOHN REICHERT
 COMMENT: ENG



GENERAL NOTES

1. THE 2025 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC SEWERS CONTRACTOR SHALL NOTIFY THE CITY'S CONSTRUCTION DIVISION.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE CITY STANDARDS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS. STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FEATURES AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OF THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILS.
17. CONCRETE REMOVAL FOR DRIVEWAY APPROACHES SHALL BE REMOVED TO THE NEAREST TRANSVERSE JOINT. CONTRACTOR SHALL VERIFY REMOVAL LIMITS WITH CITY'S CONSTRUCTION INSPECTOR PRIOR TO ANY CONCRETE REMOVAL.
18. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACTOR BID.

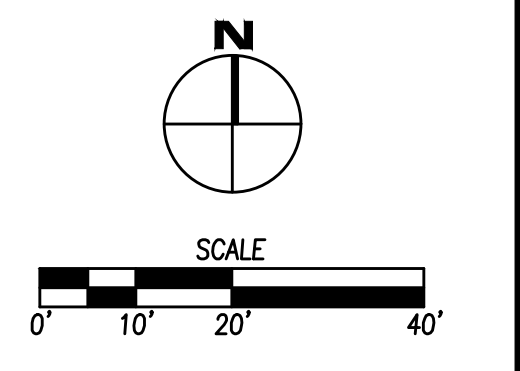
PAVEMENT THICKNESS

1. SIDEWALKS	4" P.C.C.	
2. SHARED USE PATH	6" P.C.C.	
3. ROW PAVING	MATCH EXISTING	
4. HEAVY DUTY	8" P.C.C.	
5. STANDARD DUTY	7" P.C.C.	
6. LIGHT DUTY	6" P.C.C.	

FIRE SAFETY

1. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES. IF PAVING IS NOT INSTALLED PRIOR TO BUILDING CONSTRUCTION COMMENCING AFTER FOOTING INSTALLED, AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING TO EXTEND WITHIN 100 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS SHALL BE PROVIDED AND COMPLY WITH THE REQUIREMENTS OF SECTION 503.2 OF THE IFC.

ANY FUTURE BUILDINGS WILL REQUIRE A SEPARATE SITE PLAN APPROVAL.



COMMENTS:
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PLOT DATE: 8/29/2025 2:54 PM
PLOT BY: JOHN REICHER, TECH

KETTLESTONE CENTRAL SOUTH PLAT 4 - LOTS 1 & 2

DIMENSION PLAN

WAUKEE, IOWA

CIVIL DESIGN ADVANTAGE ENGINEER

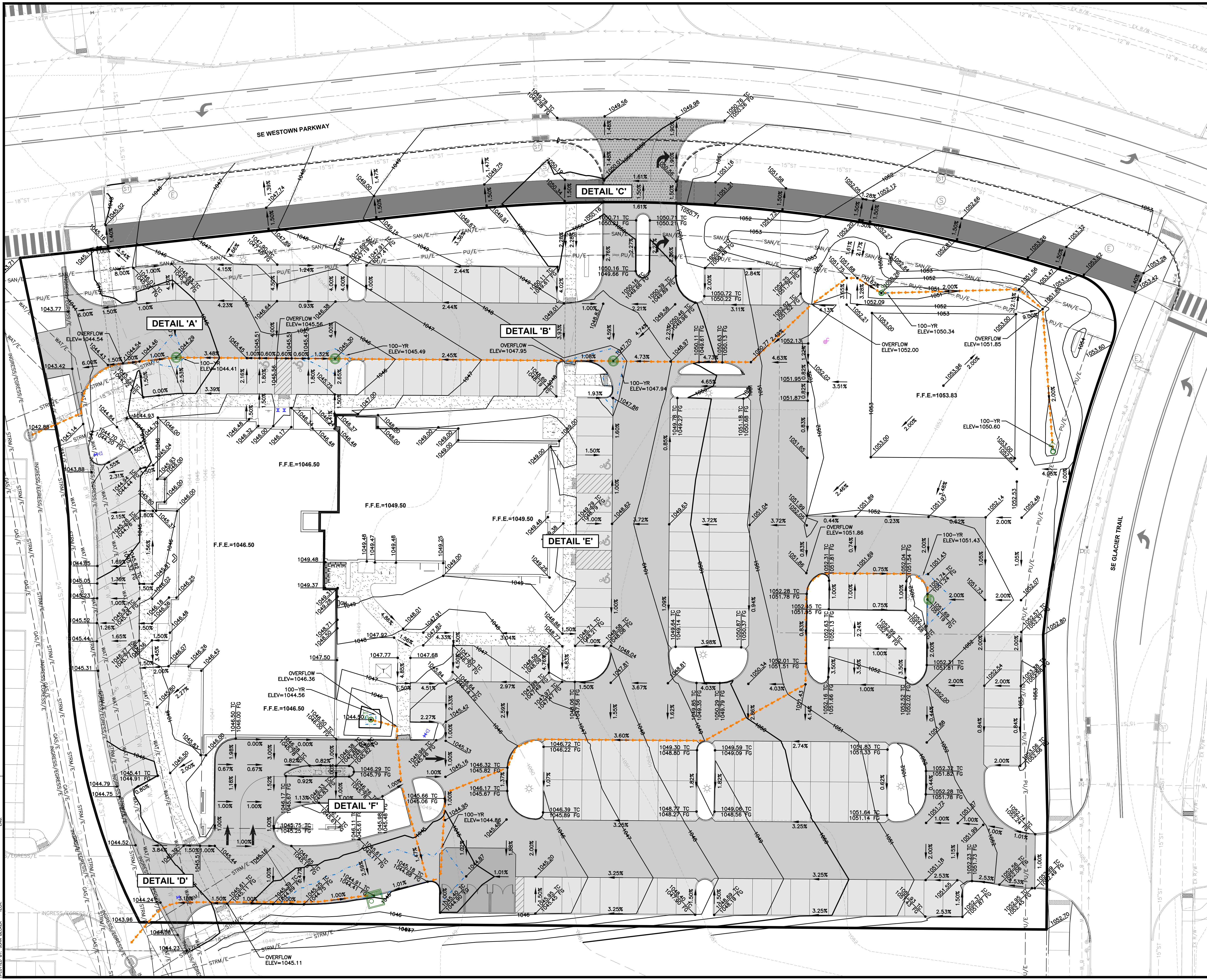
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

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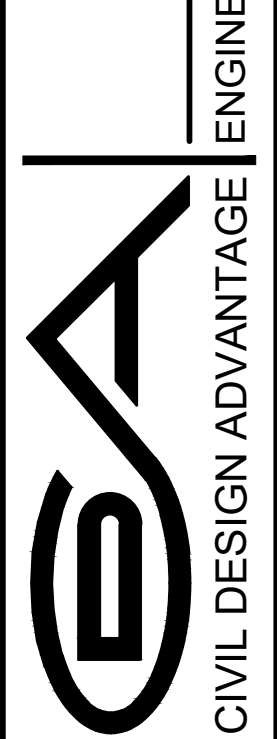
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- ### GRADING NOTES
1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION AND THE COSESCO PERMIT HAS BEEN ISSUED.
 2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL THE TOP 8" OF TOPSOIL IS TO BE STOCKPILED AND RESPAID AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
 3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2025 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE.
 4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
 5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
 6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
 7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
 8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
 9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAIL ROADS TO PREVENT THE SPREAD OF DUST.
 10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
 11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
 12. SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
 13. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORIFICE PLATE (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/ INSTALLED AS SOON AS PRACTICAL.

DATE	REVISIONS

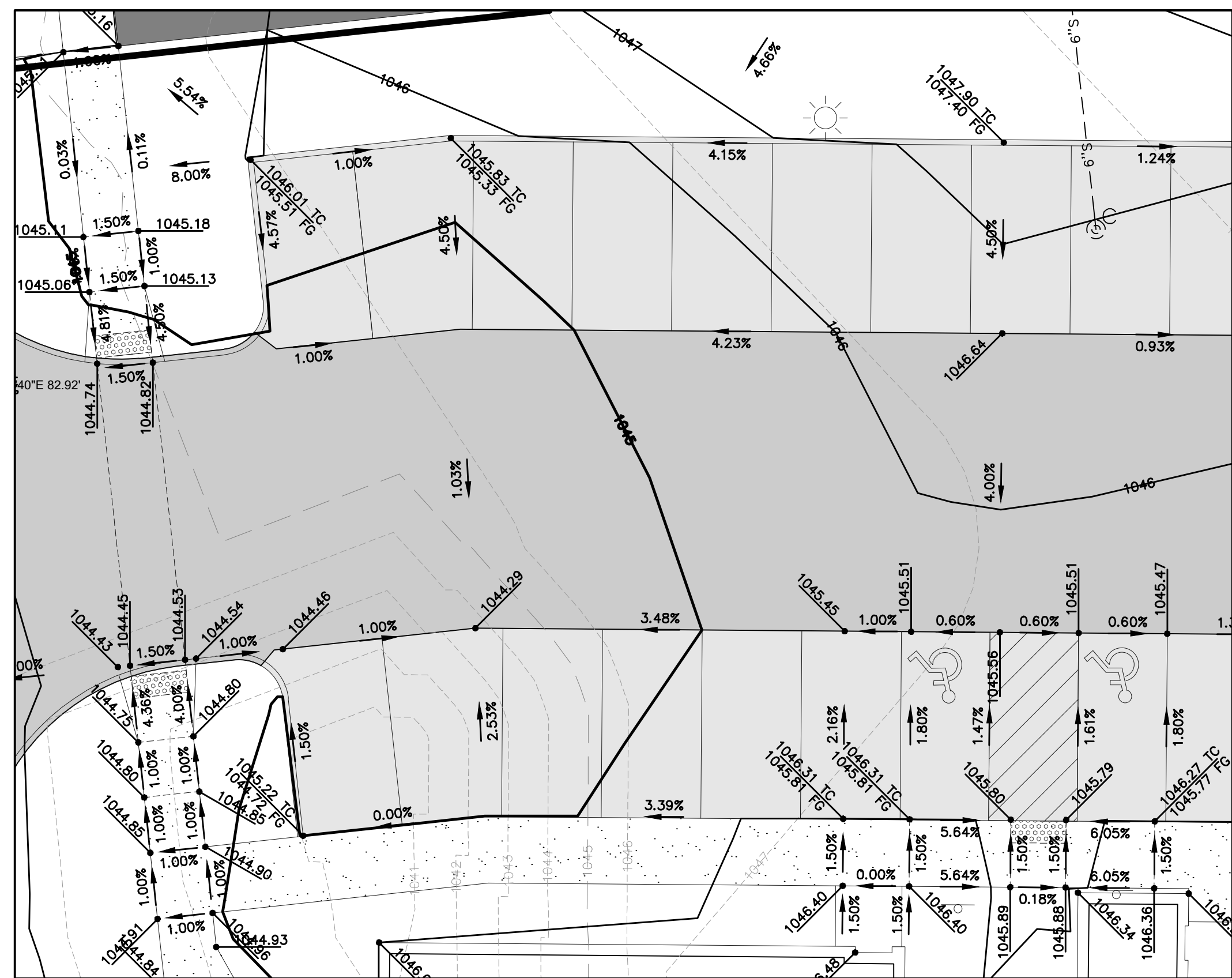
4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400



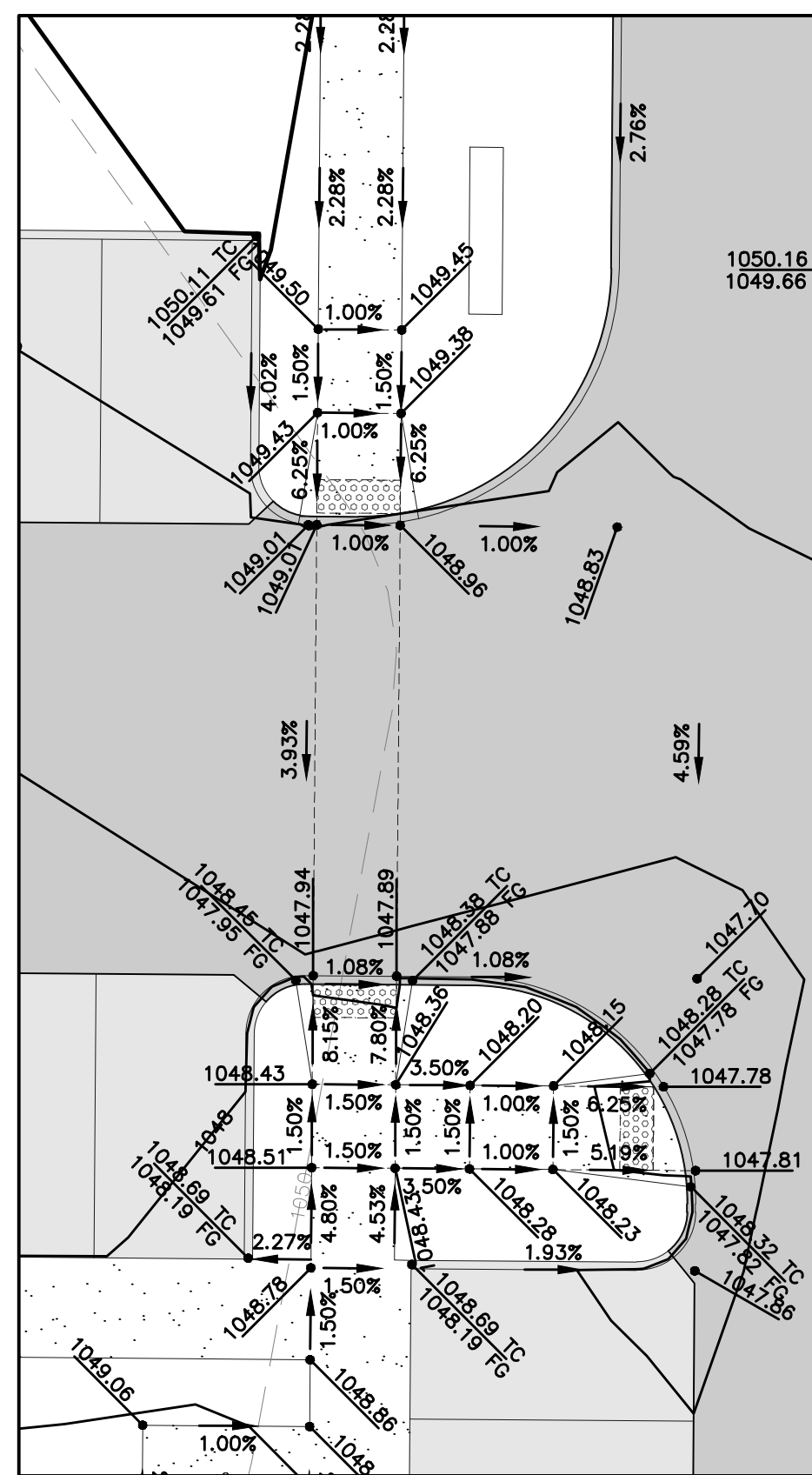
KETTLESTONE CENTRAL SOUTH PLAT 4 - LOTS 1 & 2
 GRADING PLAN

WAUKEE, IOWA
 ENGINEER:
 DRAFTED:
 DATE: 08/29/2025
 SHEET NUMBER: C3.1
 2412.994

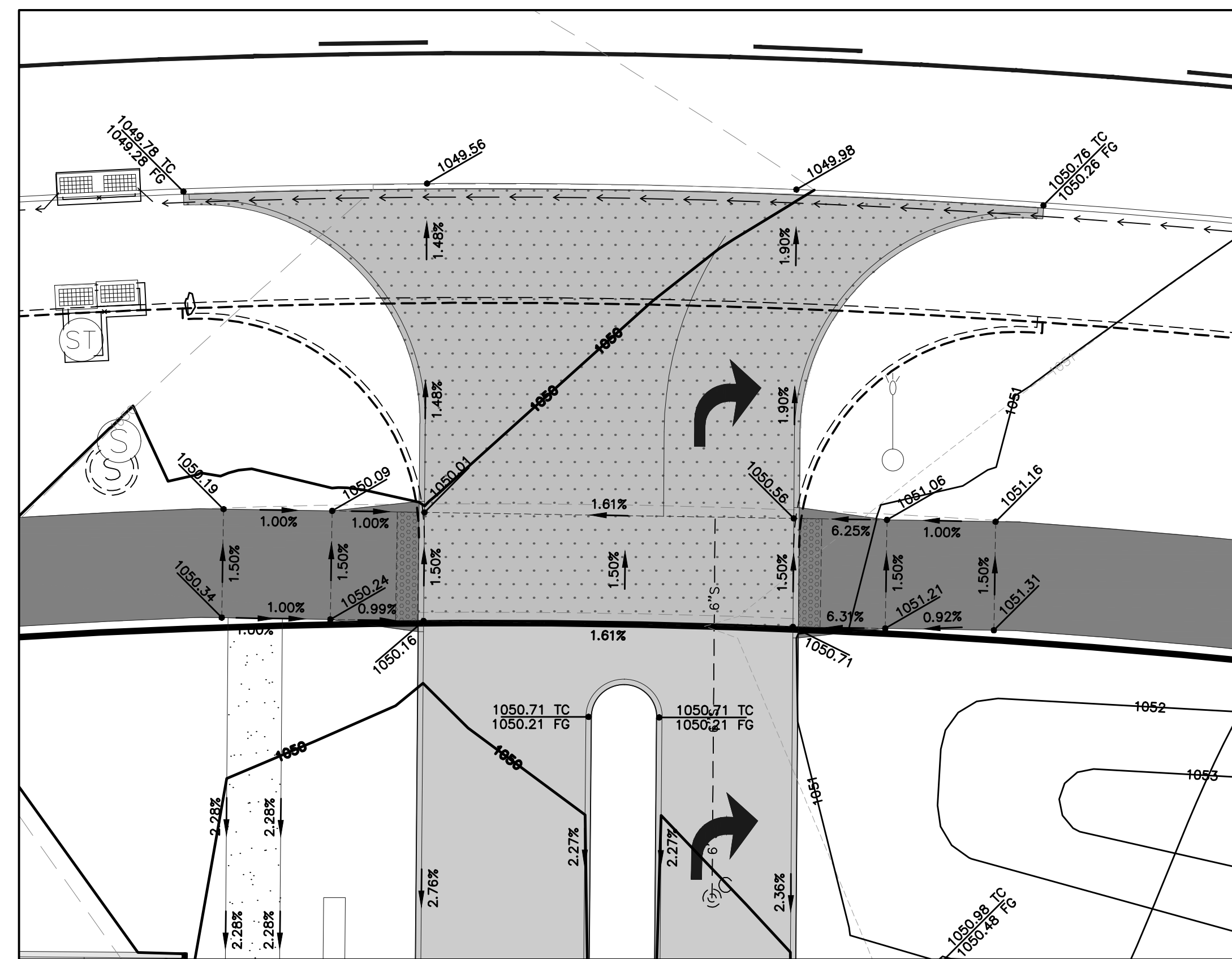
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 PLOTTED BY: JOHN REICHER, TECH



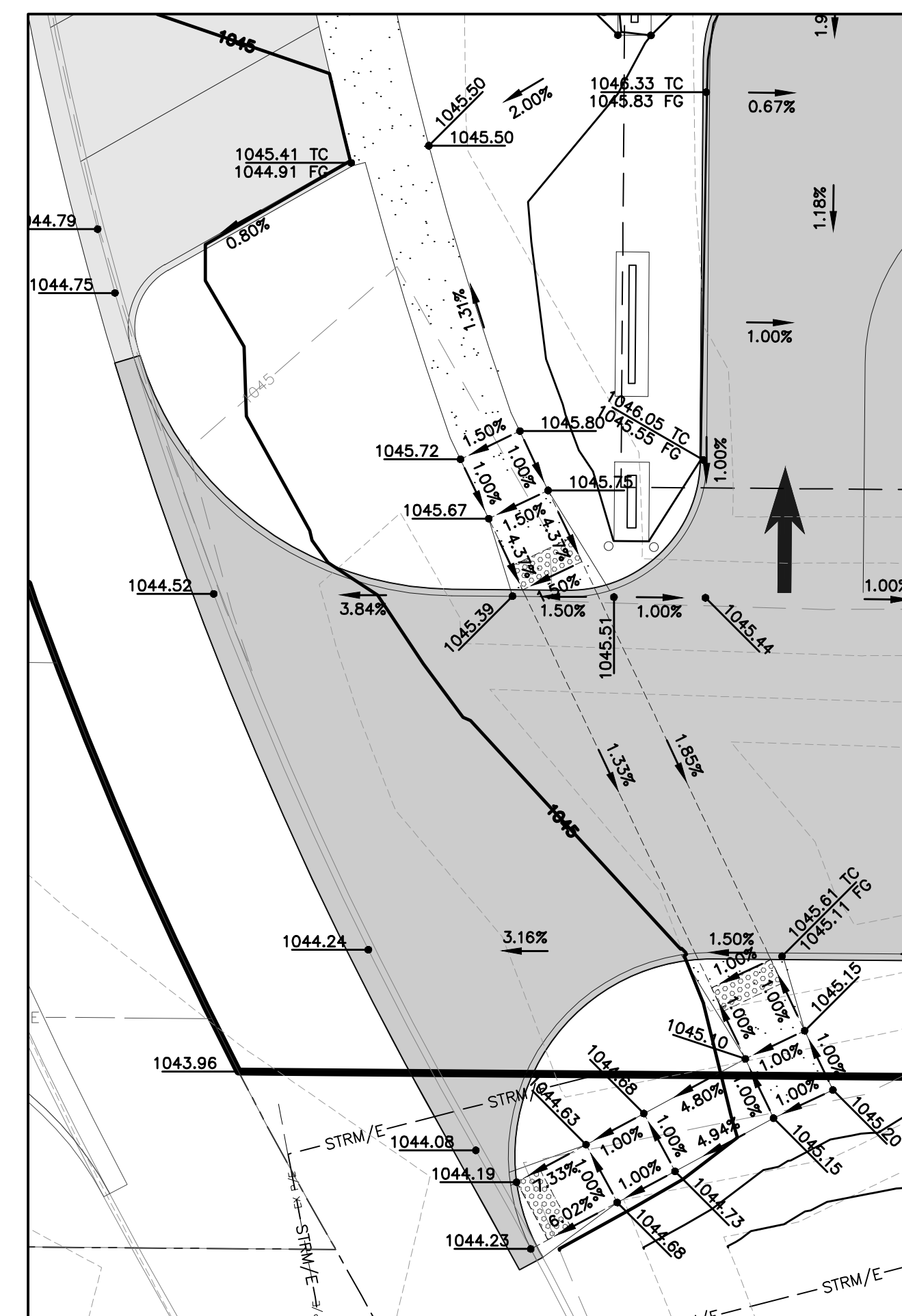
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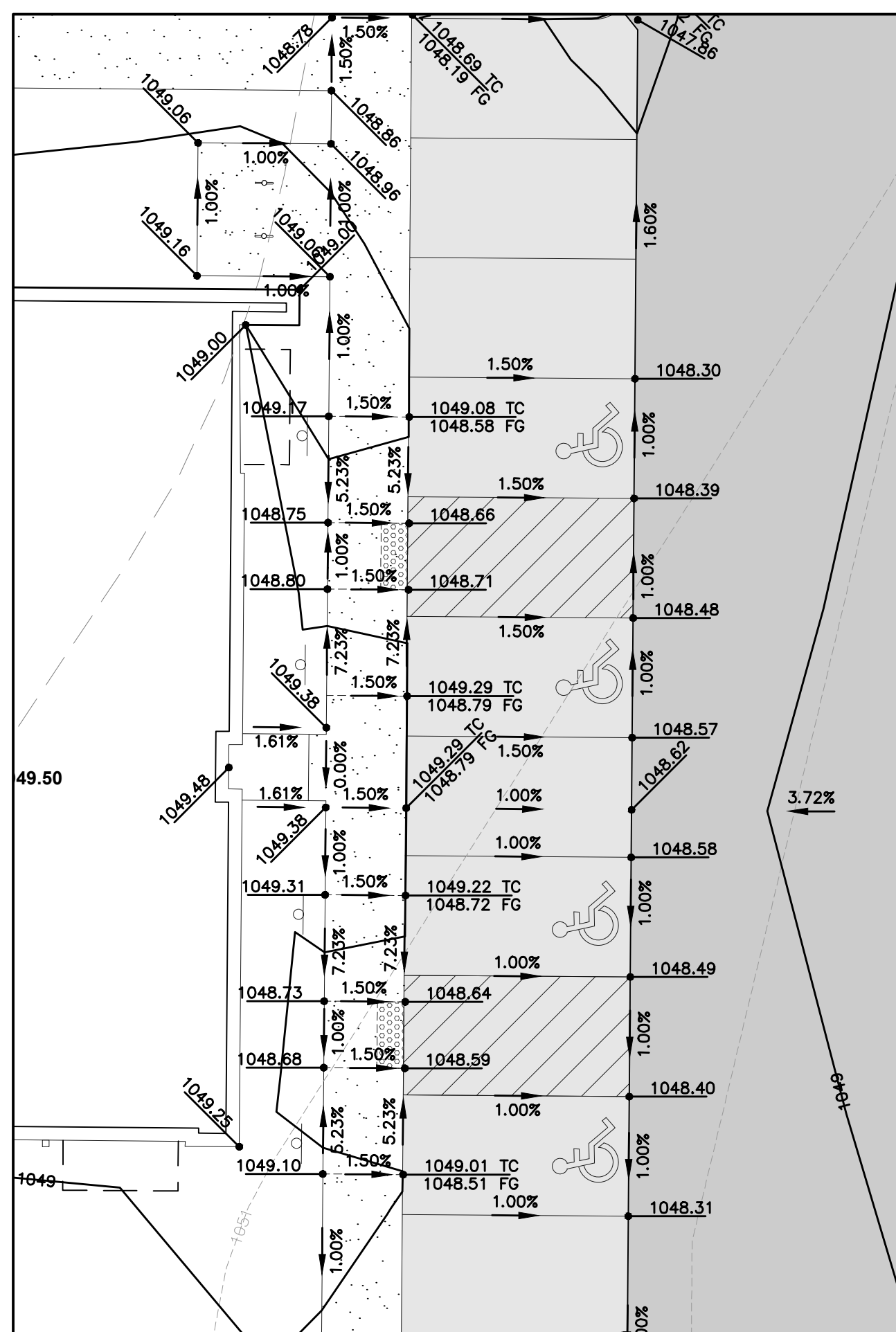
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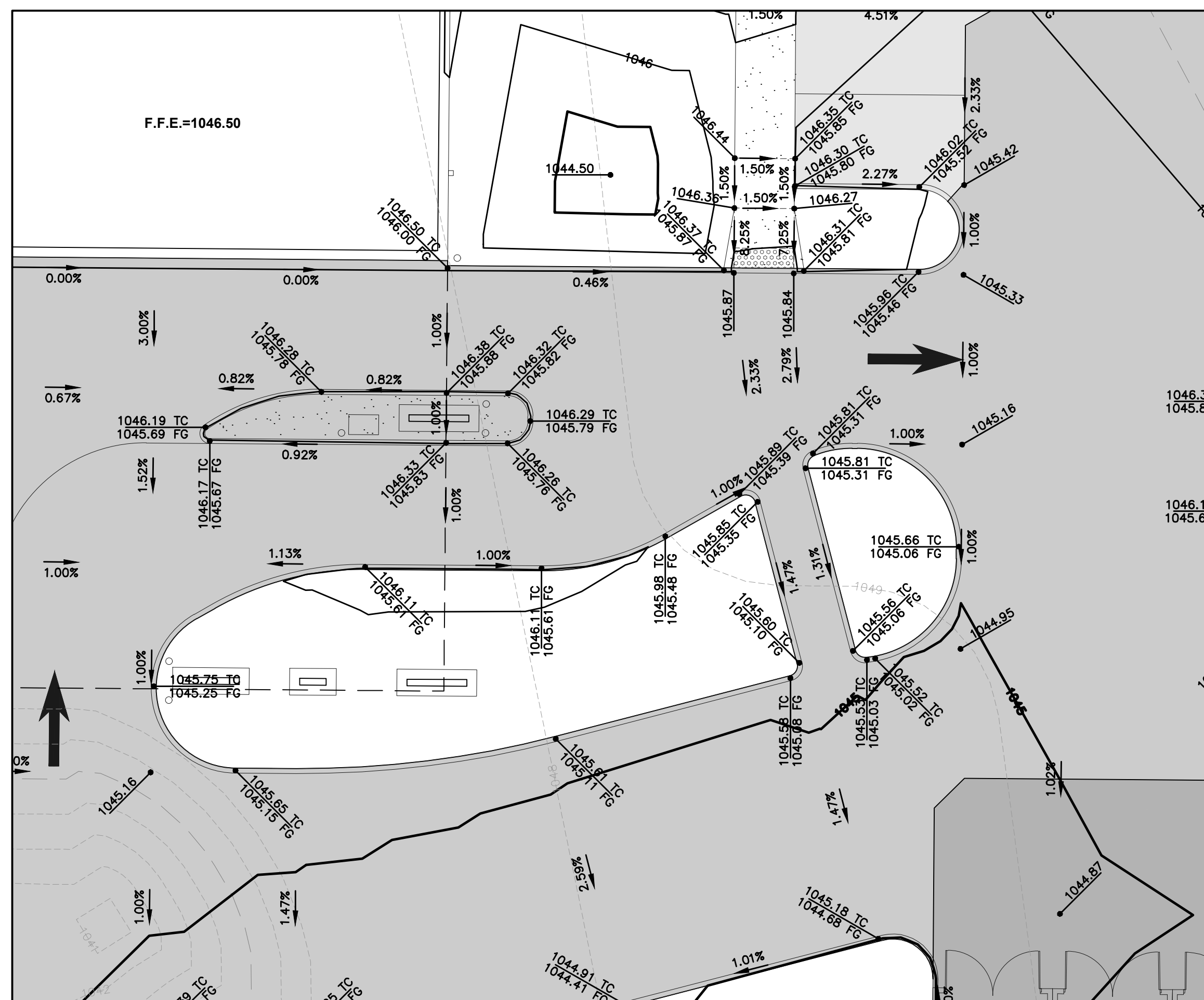
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DETAIL 'D'

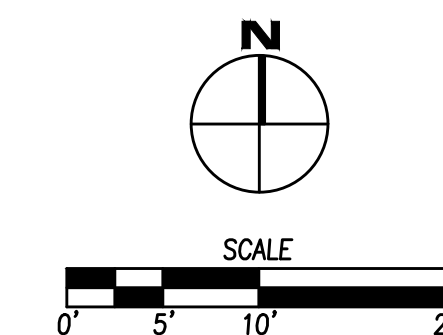


DETAIL 'E'



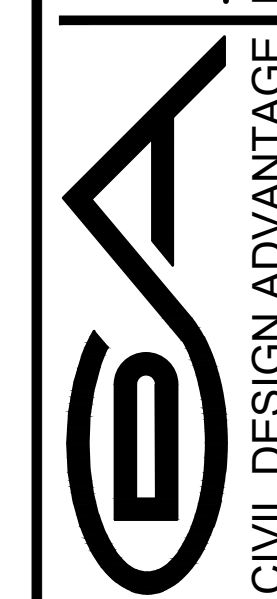
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 PLOTTED BY: JOHN REICHER, TECH



DATE	REVISIONS

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400

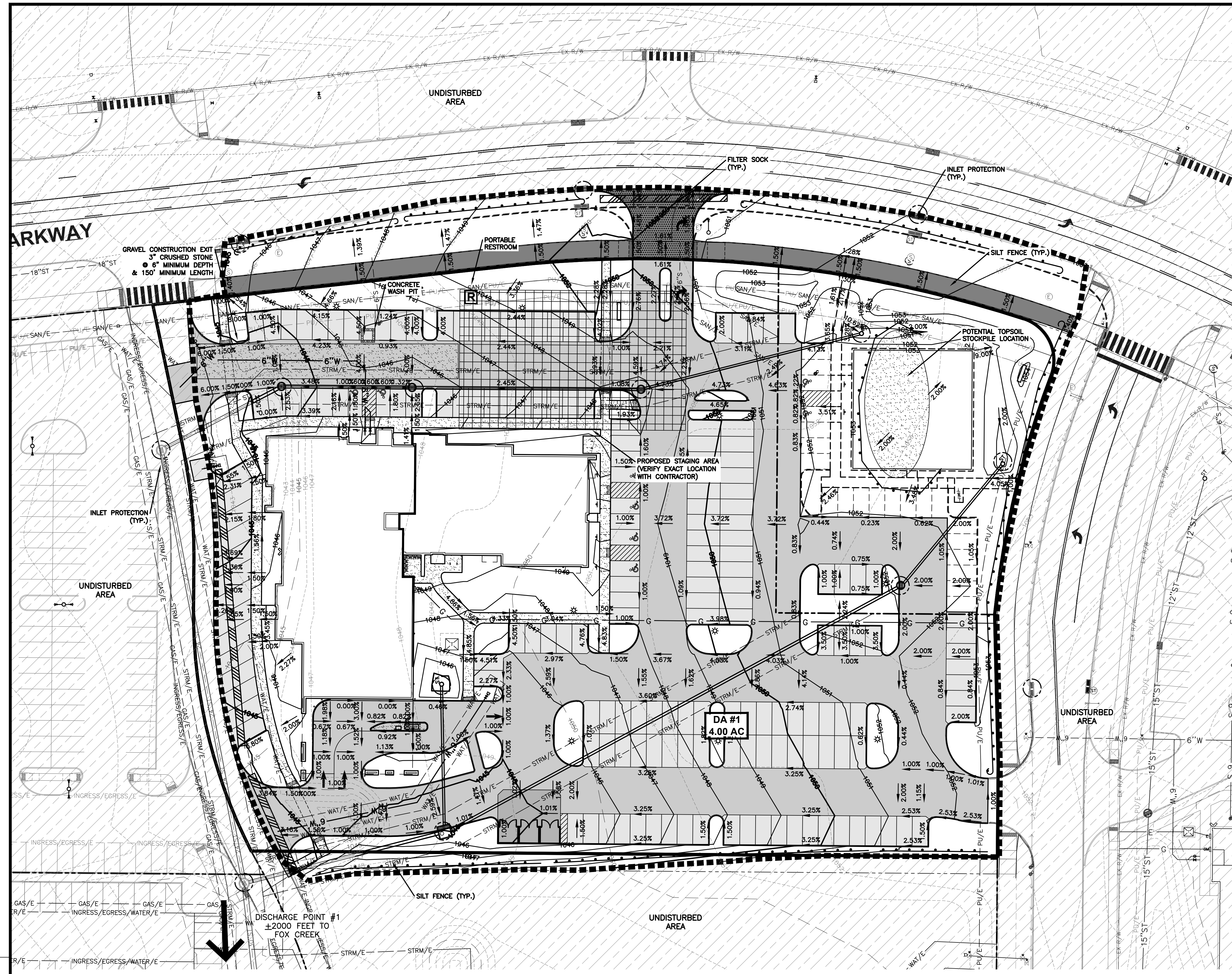


WAUKEE, IOWA

KETTLESTONE CENTRAL SOUTH PLAT 4 - LOTS 1 & 2
 GRADING PLAN ENLARGEMENTS
 DATE: 08/29/2025
 SHEET NUMBER: **C3.2**
 2412.994

ENGINEER:

DRAFTED:



STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	1,167
2	INLET PROTECTION DEVICES	EA	14
3	CONCRETE WASHOUT PIT	EA	1
4	FILTER SOCK	LF	293
5	TYPE 4 TEMPORARY SEEDING, FERTILIZING, AND MULCHING	AC	4.00
6	PERMANENT SOD	AC	2.00

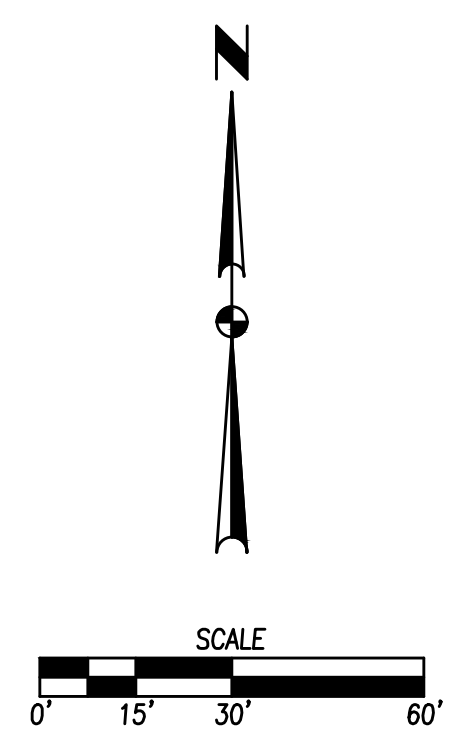
NOTES:

- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.

SWPPP LEGEND

DRAINAGE ARROW	← X.XX %	UNDISTURBED AREA	
GRADING LIMITS	--- ---	RIP-RAP	
FILTER SOCK		GRAVEL ENTRANCE	
SILT FENCE	— — — —	STAGING AREA	
INLET PROTECTION			
PORTABLE RESTROOM	R		
CONCRETE WASHOUT PIT			

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 PLOTTED BY: JOHN RECKER



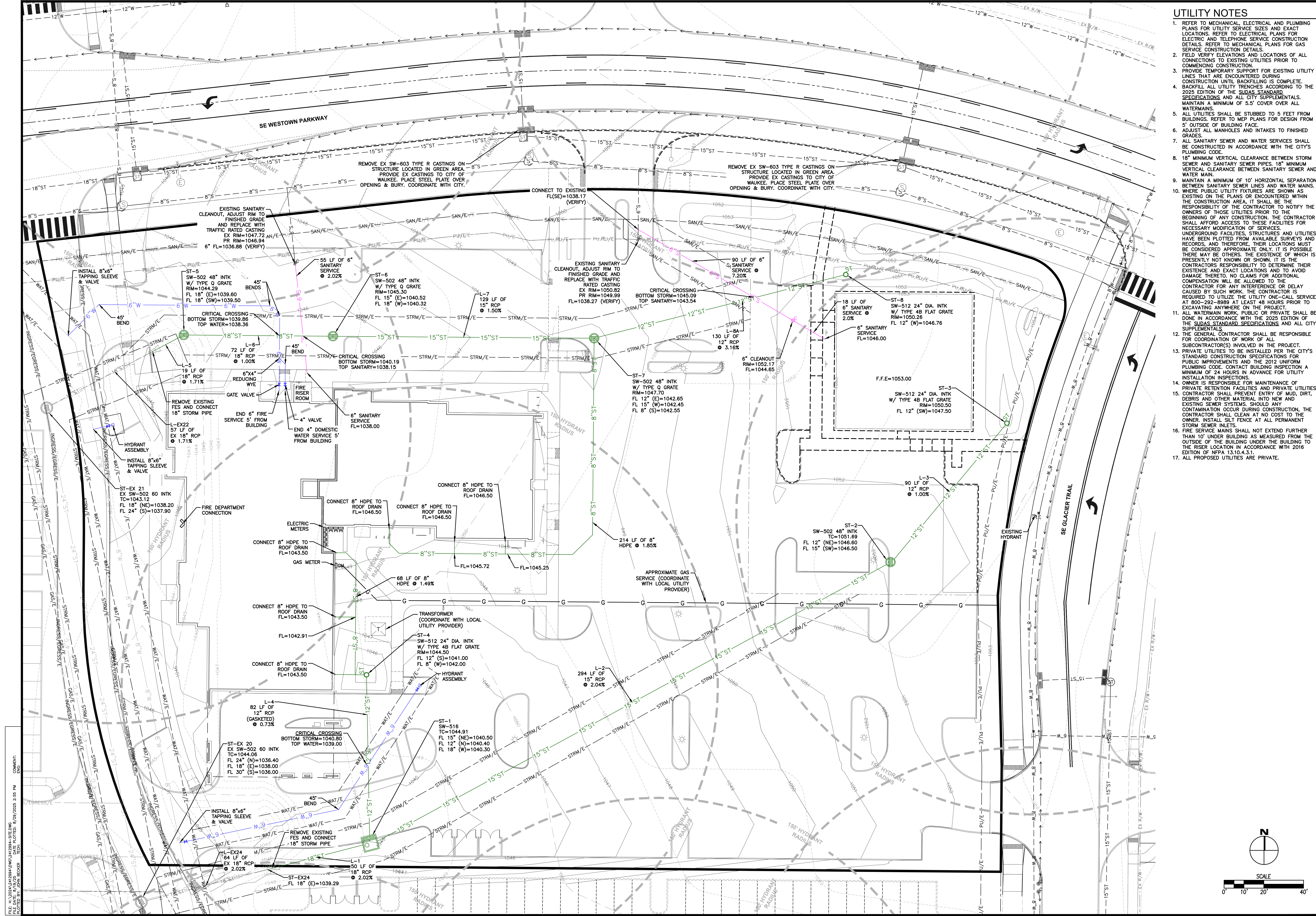
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4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400

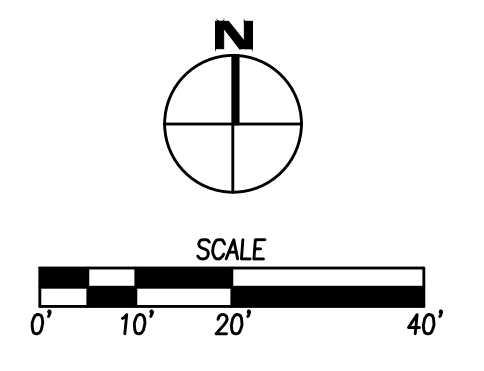
CSA
 CIVIL DESIGN ADVANTAGE ENGINEER
 WAUKEE, IOWA

KETTLESTONE CENTRAL SOUTH PLAT 4 - LOTS 1 & 2
 EROSION AND SEDIMENT CONTROL PLAN

DATE: 08/29/2025
 SHEET NUMBER: **C4.1**
 2412.994



- ### UTILITY NOTES
- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
 - FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
 - PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILLING IS COMPLETE.
 - BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2025 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMANS.
 - ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
 - ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES.
 - ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY'S PLUMBING CODE.
 - 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
 - MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
 - WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES.
 - UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS. THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
 - ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE 2025 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS.
 - THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
 - PRIVATE UTILITIES TO BE INSTALLED PER THE CITY'S STANDARD CONSTRUCTION SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2012 UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS.
 - OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE RETENTION FACILITIES AND PRIVATE UTILITIES.
 - CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SILT FENCE AT ALL PERMANENT STORM SEWER INLETS.
 - FIRE SERVICE MAINS SHALL NOT EXTEND FURTHER THAN 10' UNDER BUILDING AS MEASURED FROM THE OUTSIDE OF THE BUILDING UNDER THE BUILDING TO THE RISER LOCATION IN ACCORDANCE WITH 2016 EDITION OF NFPA 1310.4.3.1.
 - ALL PROPOSED UTILITIES ARE PRIVATE.



COMMENTS:
ENC

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PLOTTER: HP DesignJet T1100e
PLOT BY: JOHN REICHERT

DATE: _____

REVISIONS:

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

DRAFTED: _____

ENGINEER: _____

WAUKEE, IOWA

CIVIL DESIGN ADVANTAGE

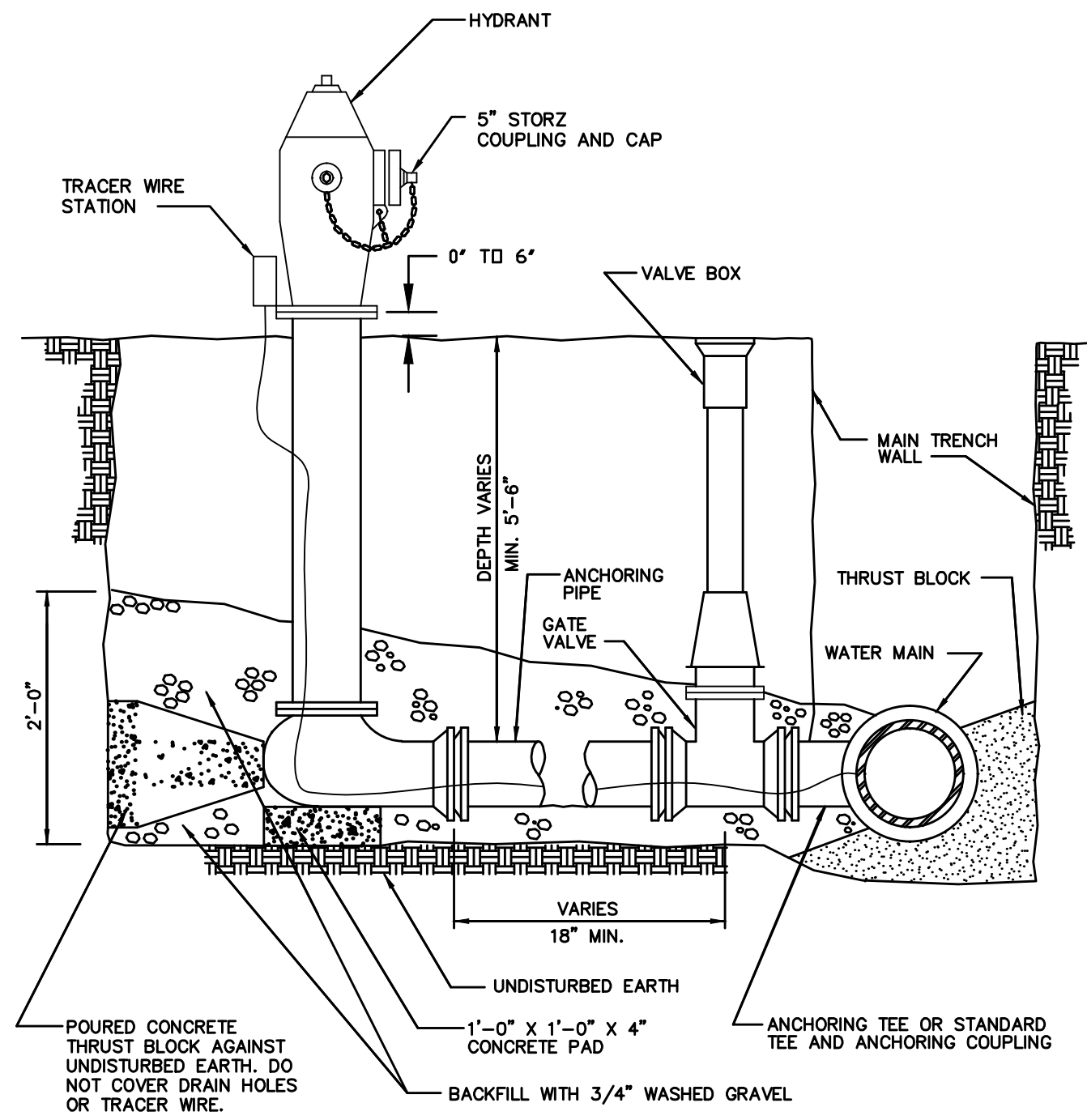
UTILITY PLAN

KETTLESTONE CENTRAL SOUTH PLAT 4 - LOTS 1 & 2

DATE: 08/29/2025

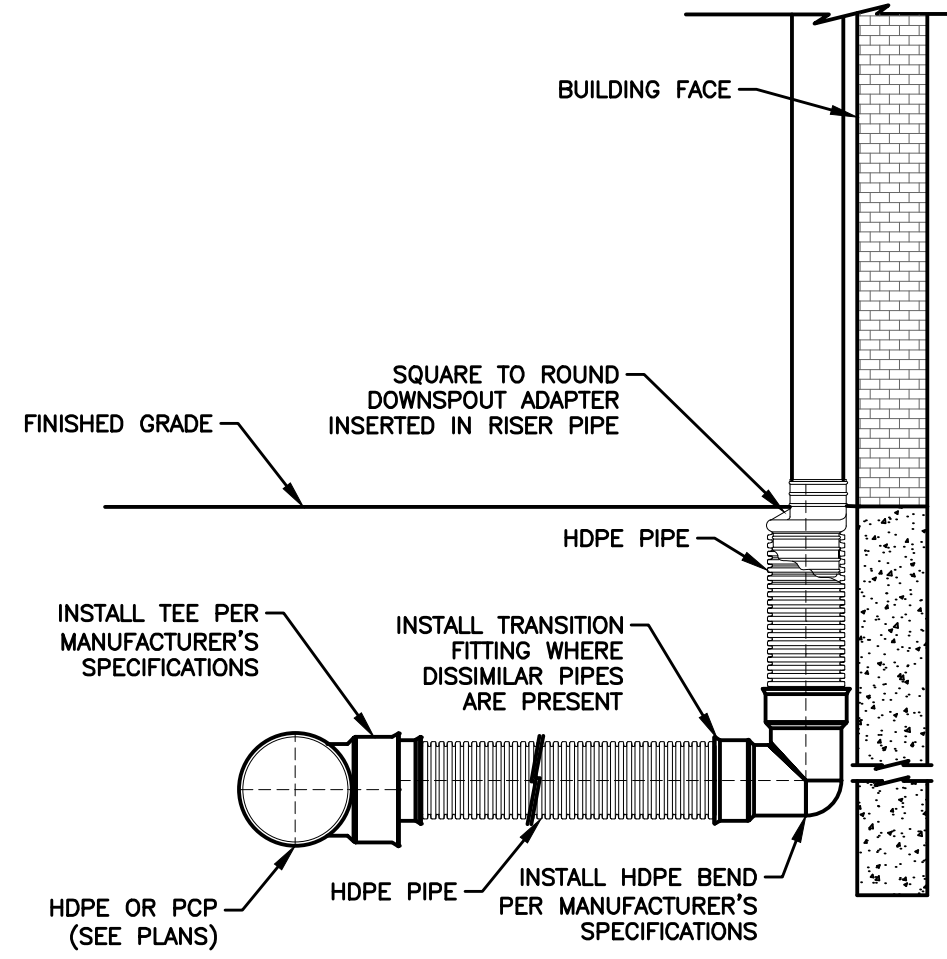
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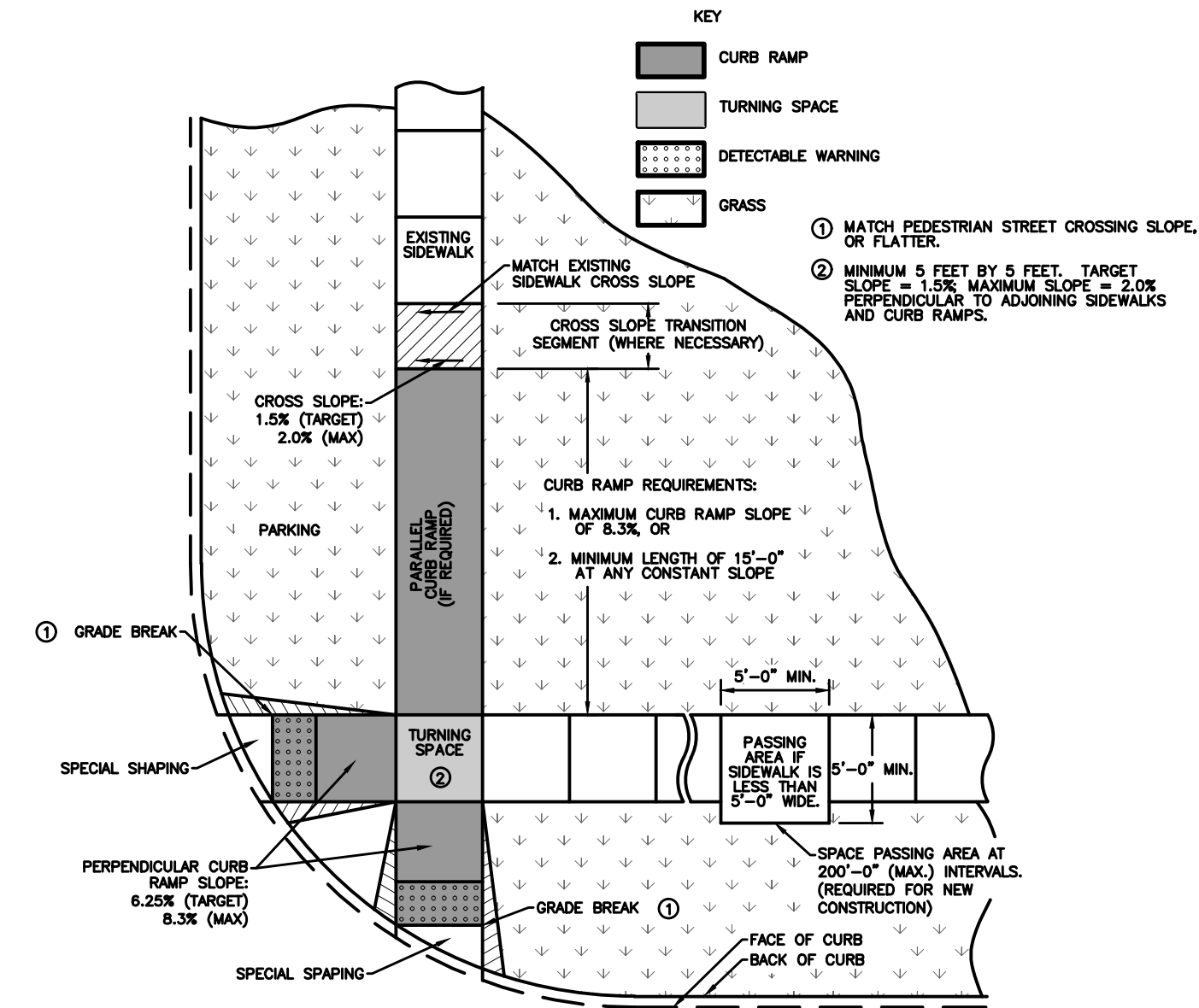


- NOTES
1. MINIMUM SIZE FOR PIPING, VALVES AND FITTINGS FROM WATER MAIN TO HYDRANT INLET: 6".
 2. PROVIDE TRACER WIRE AND TRACER WIRE STATION.
 3. WRAP HYDRANT, PIPE AND FITTINGS WITH POLYETHYLENE ENCASEMENT.

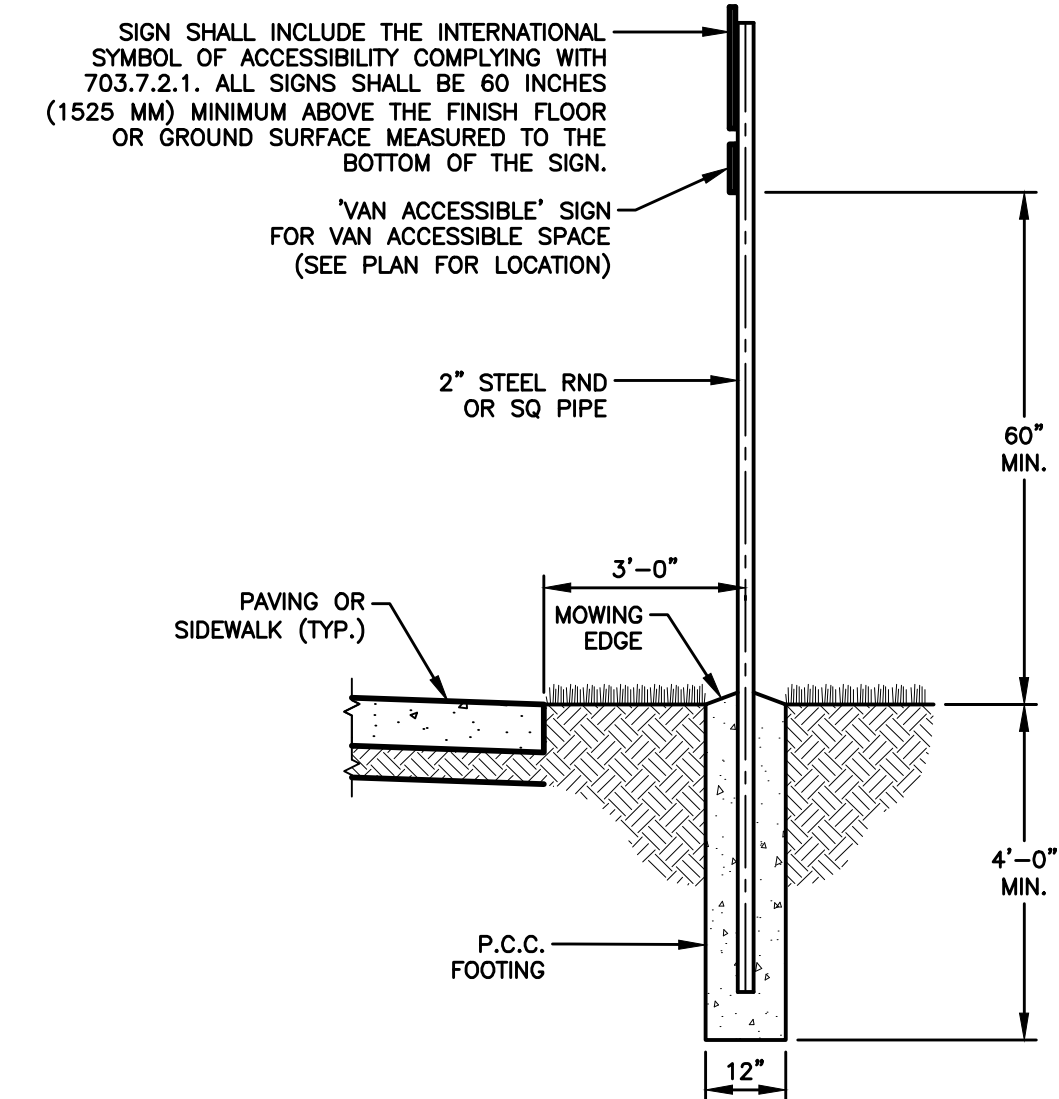
9 CITY OF WAUKEE HYDRANT (DWG NO. 34, REV. 2)
NOT TO SCALE



8 ROOF DRAIN CONNECTION
NOT TO SCALE

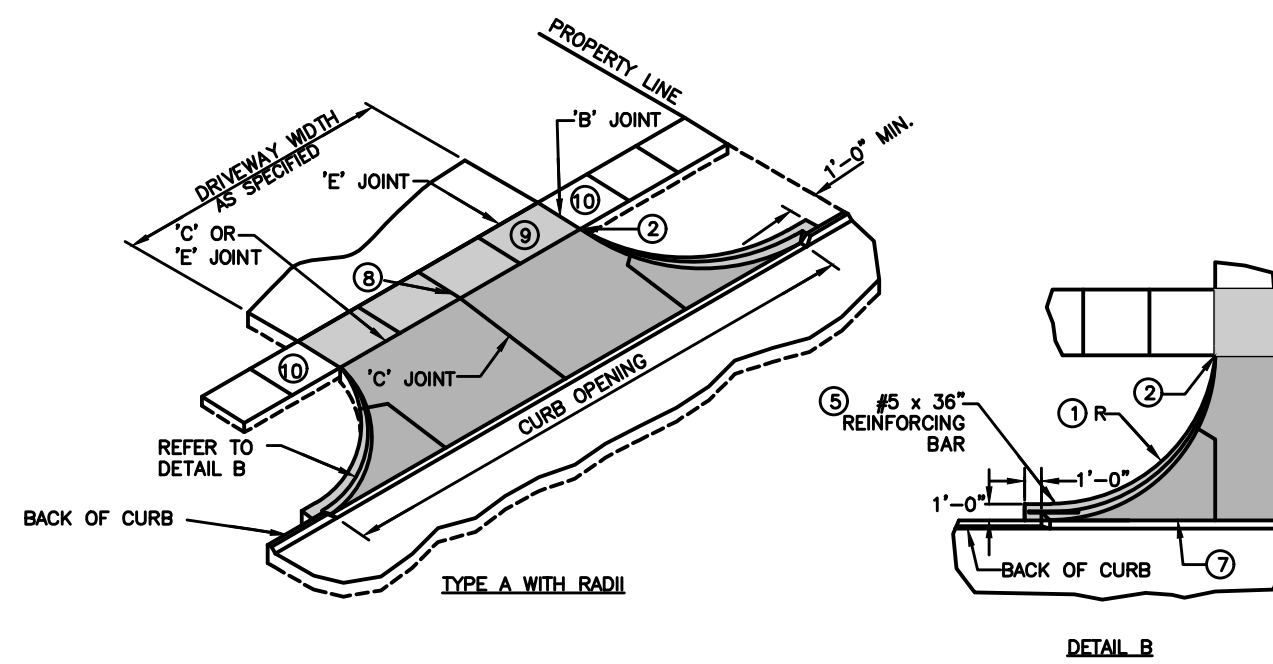


7 GENERAL FEATURES OF AN ACCESSIBLE SIDEWALK
NOT TO SCALE

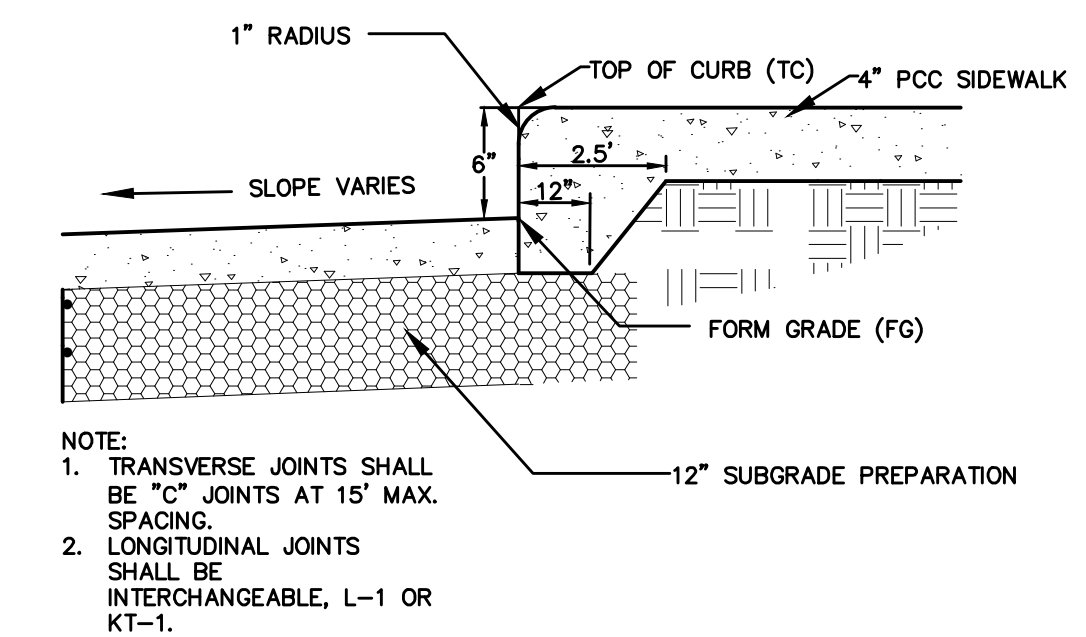


4 ACCESSIBLE PARKING SIGN
NOT TO SCALE

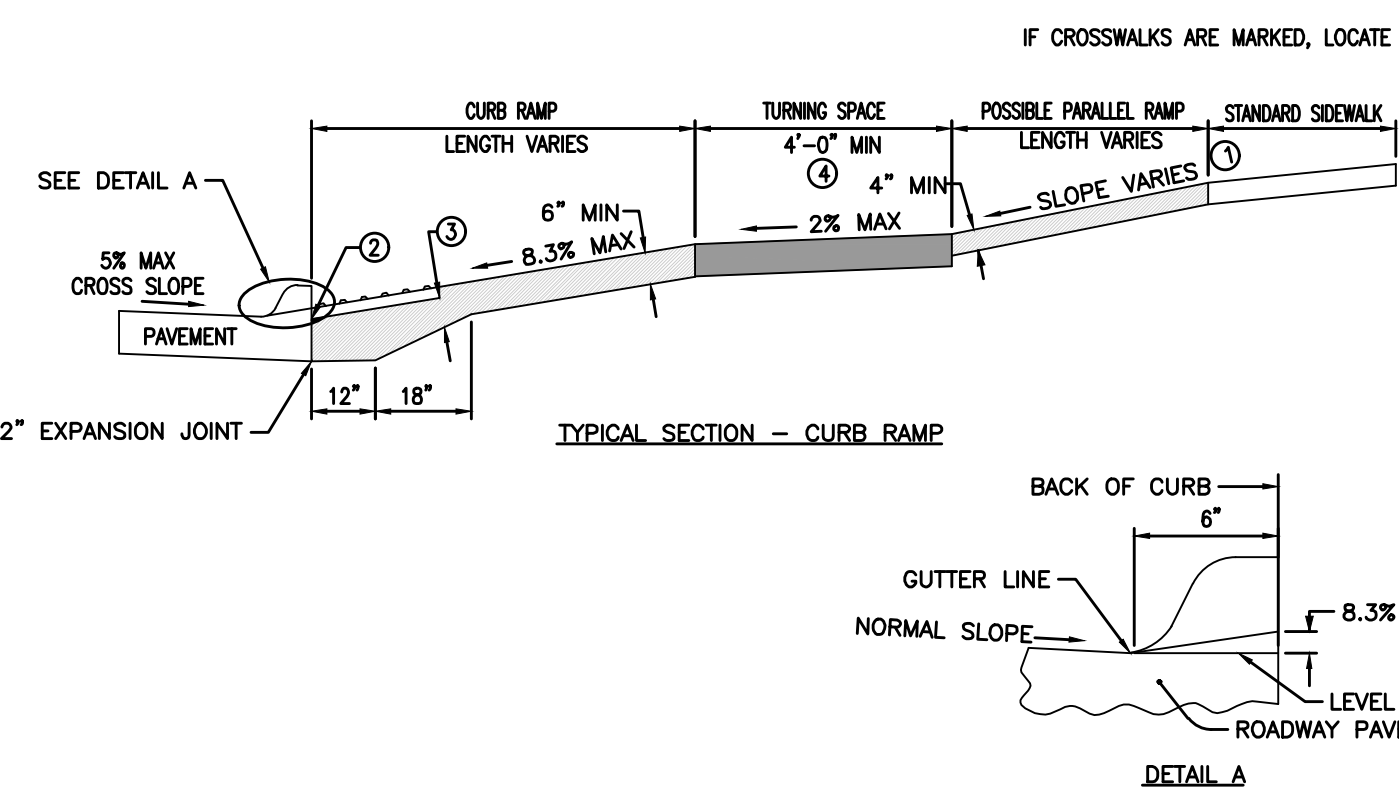
1. DRIVEWAY RADIUS (R).
2. TRANSITION THE CURB HEIGHT TO 0 INCHES AT END OF TAPER/RADIUS OR AT THE FRONT EDGE OF SIDEWALK. DO NOT EXTEND RAISED CURB ACROSS SIDEWALK.
3. PAVEMENT THICKNESS: RESIDENTIAL: 6 INCHES MINIMUM. COMMERCIAL AND INDUSTRIAL: 7 INCHES MINIMUM.
4. SIDEWALK THICKNESS THROUGH DRIVEWAY TO MATCH THICKNESS OF DRIVEWAY.
5. CENTER REINFORCING BAR VERTICALLY IN THE PAVEMENT.
6. MATCH THICKNESS OF ADJACENT ROADWAY, 8 INCHES MINIMUM.
7. PROVIDE "C" JOINT AT BACK OF CURB UNLESS "B" JOINT IS SPECIFIED.
8. FOR ALLEYS, INVERT THE PAVEMENT CROWN 2% TOWARD CENTER OF ALLEY.
9. TARGET CROSS SLOPE OF 1.5% WITH A MAXIMUM CROSS SLOPE OF 2.0%. IF SPECIFIED IN THE CONTRACT DOCUMENTS, CONSTRUCT THE SIDEWALK THROUGH THE DRIVEWAY 5 FEET WIDE TO SERVE AS A PASSING SPACE.
10. IF CROSS SLOPE OF ADJACENT SIDEWALK PANEL EXCEEDS 2.0%, REMOVE AND REPLACE TO TRANSITION FROM EXISTING SIDEWALK TO SIDEWALK THROUGH DRIVEWAY. IF ELEVATION CHANGE REQUIRES A CURB RAMP, COMPLY WITH FIGURE 703.0205. VERIFY NEED FOR DETECTABLE WARNING PANEL WITH ENGINEER.



6 SUDAS TYPE A DRIVEWAY
NOT TO SCALE



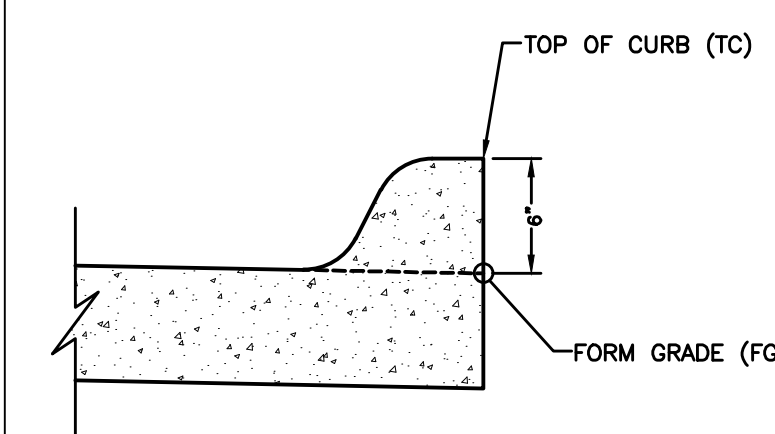
3 6" INTEGRAL CURB AND SIDEWALK
NOT TO SCALE



1. PARALLEL RAMP: IF NORMAL SIDEWALK ELEVATION CANNOT BE ACHIEVED WITH THE PERPENDICULAR RAMP BETWEEN THE STREET AND LANDING DUE TO LIMITED RAMP LENGTH, PROVIDE A PARALLEL RAMP TO MAKE UP THE ELEVATION DIFFERENCE BETWEEN THE LANDING AND THE STANDARD SIDEWALK. THE LENGTH OF THE PARALLEL RAMP IS NOT REQUIRED TO EXCEED 15 FEET, REGARDLESS OF THE RESULTING SLOPE. DO NOT EXCEED 8.3% SLOPE FOR PARALLEL RAMP SHORTER THAN 15 FEET.
2. INSTALL A 24 INCH WIDE (MIN) STRIP OF DETECTABLE WARNINGS AT THE BACK OF CURB. EXTEND THE DETECTABLE WARNINGS ACROSS THE FULL WIDTH OF THE RAMP.
3. PROVIDE A MINIMUM OF 6 INCHES OF CONCRETE BELOW THE DETECTABLE WARNING PANEL.
4. TURNING SPACE: MAXIMUM SLOPE OF 2% IN ANY DIRECTION.

- KEY
- 1. RAMP
 - 2. TURNING SPACE
 - 3. DETECTABLE WARNING

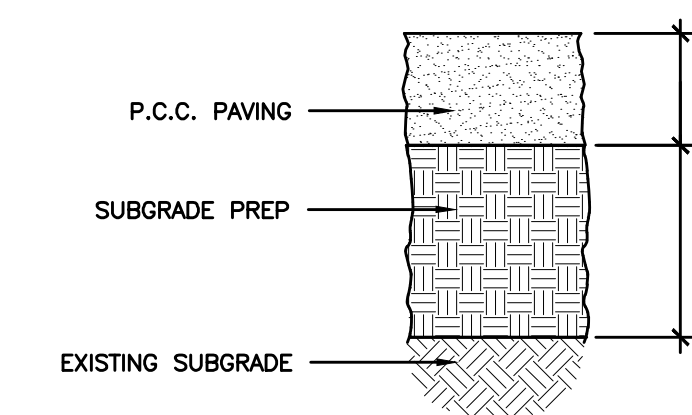
5 CURB RAMPS - GENERAL SECTION
NOT TO SCALE



2 INTEGRAL 6" STANDARD CURB
NOT TO SCALE

PAVEMENT THICKNESS

1. SIDEWALK = 4" PCC
2. PUBLIC TRAIL = 6" PCC
3. LIGHT DUTY (PARKING SPACES) = 6" PCC
4. STANDARD DUTY (DRIVE AISLES) = 7" PCC
5. HEAVY DUTY (DUMPSTER ENCLOSURE) = 8" PCC

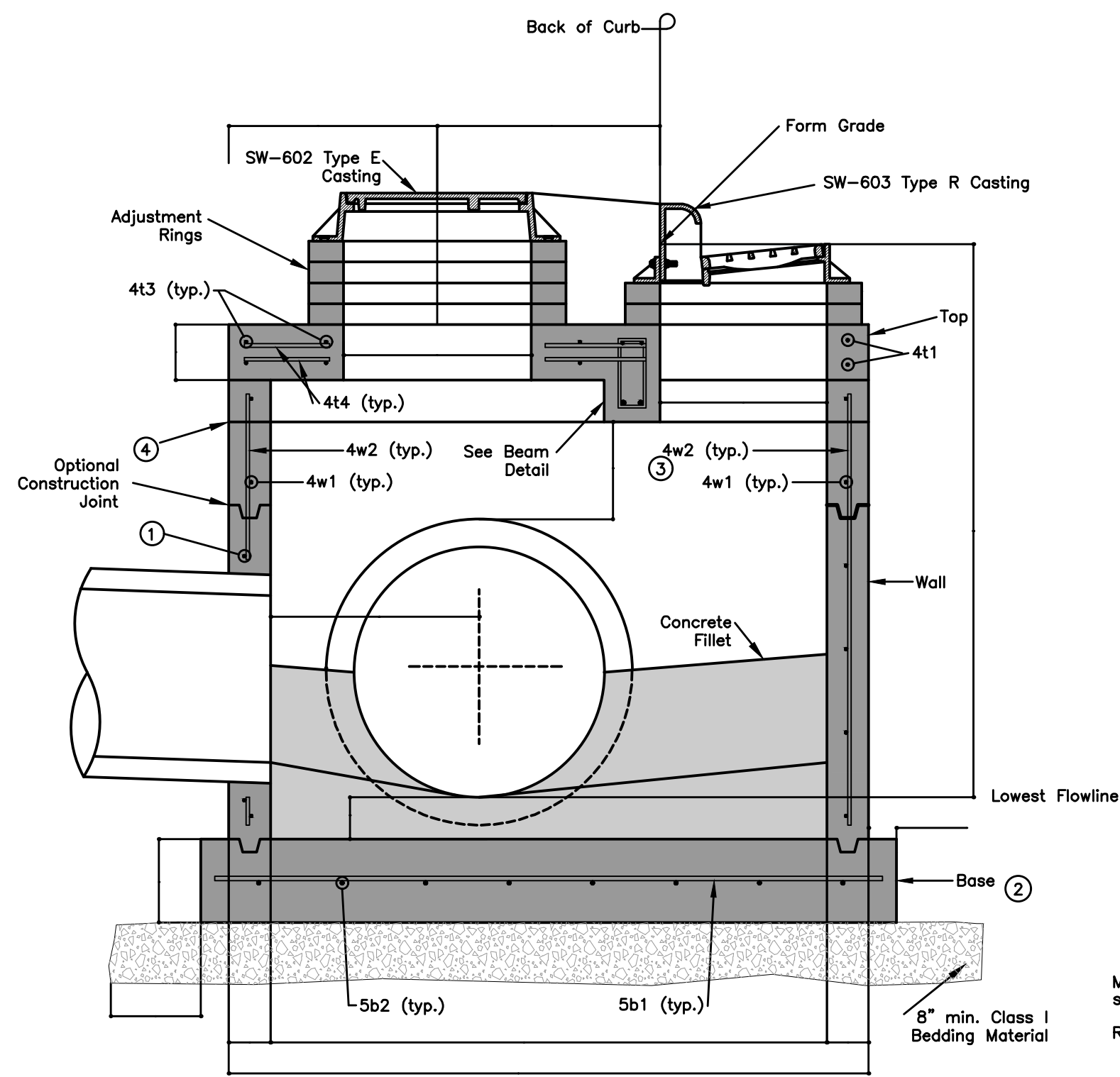


- NOTE:
1. SUBGRADE PREPARATION SHALL EXTEND 24" BEYOND EDGE OF PAVING OR BACK OF CURB.
 2. SUBGRADE PREPARATION SHALL BE COMPLETED IN 2 - 6" LIFTS.

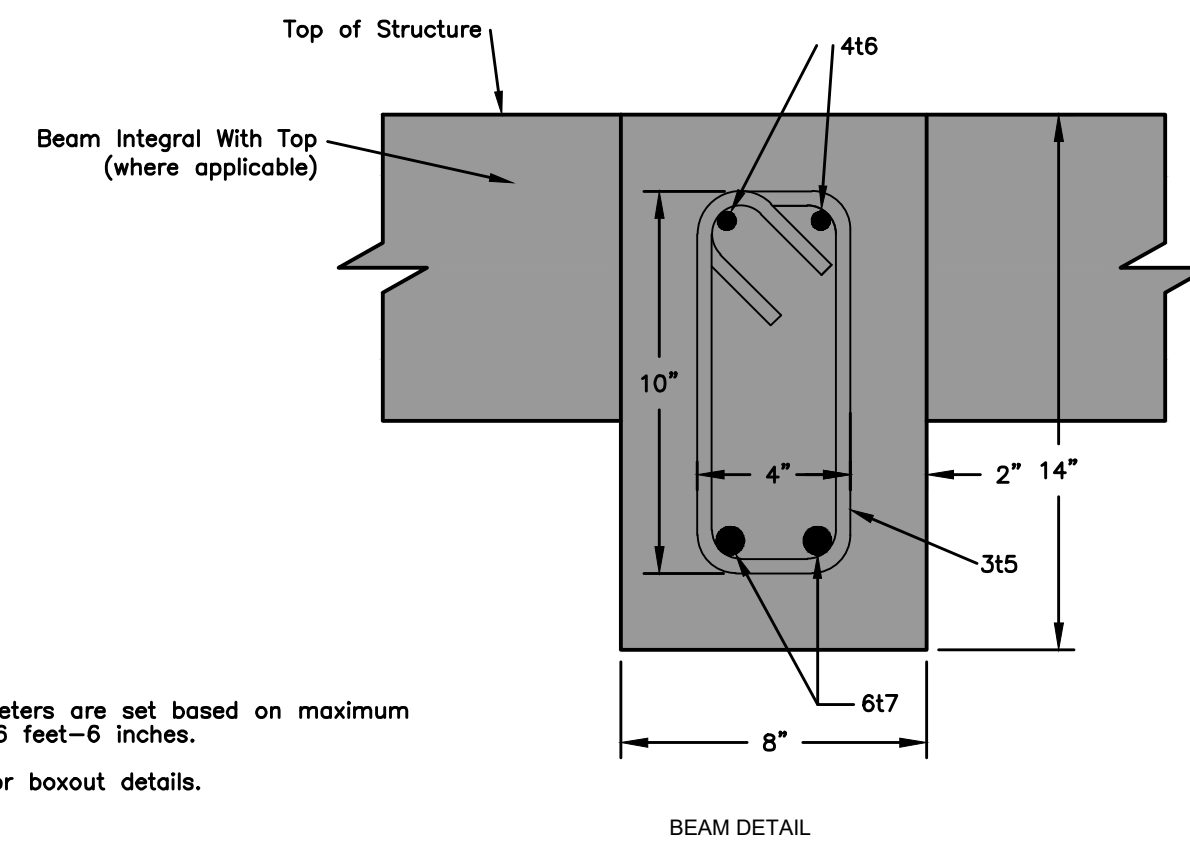
1 PCC PAVEMENT
NOT TO SCALE

COMMENT: ENG.
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 FILE DATE: 8/17/2025 2:55 PM
 PLOTTED BY: JOHN BECKER
 PLOT DATE: 8/29/2025 2:55 PM

DATE: _____
 REVISIONS: _____
 4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400
 DRAFTED: _____
 ENGINEER: _____
ES&A
 CIVIL DESIGN ADVANTAGE
 WAUKEE, IOWA
KETTLESTONE CENTRAL SOUTH PLAT 4 - LOTS 1 & 2
DETAILS
 DATE: 08/29/2025
 SHEET NUMBER: **C6.1**
 2412.994



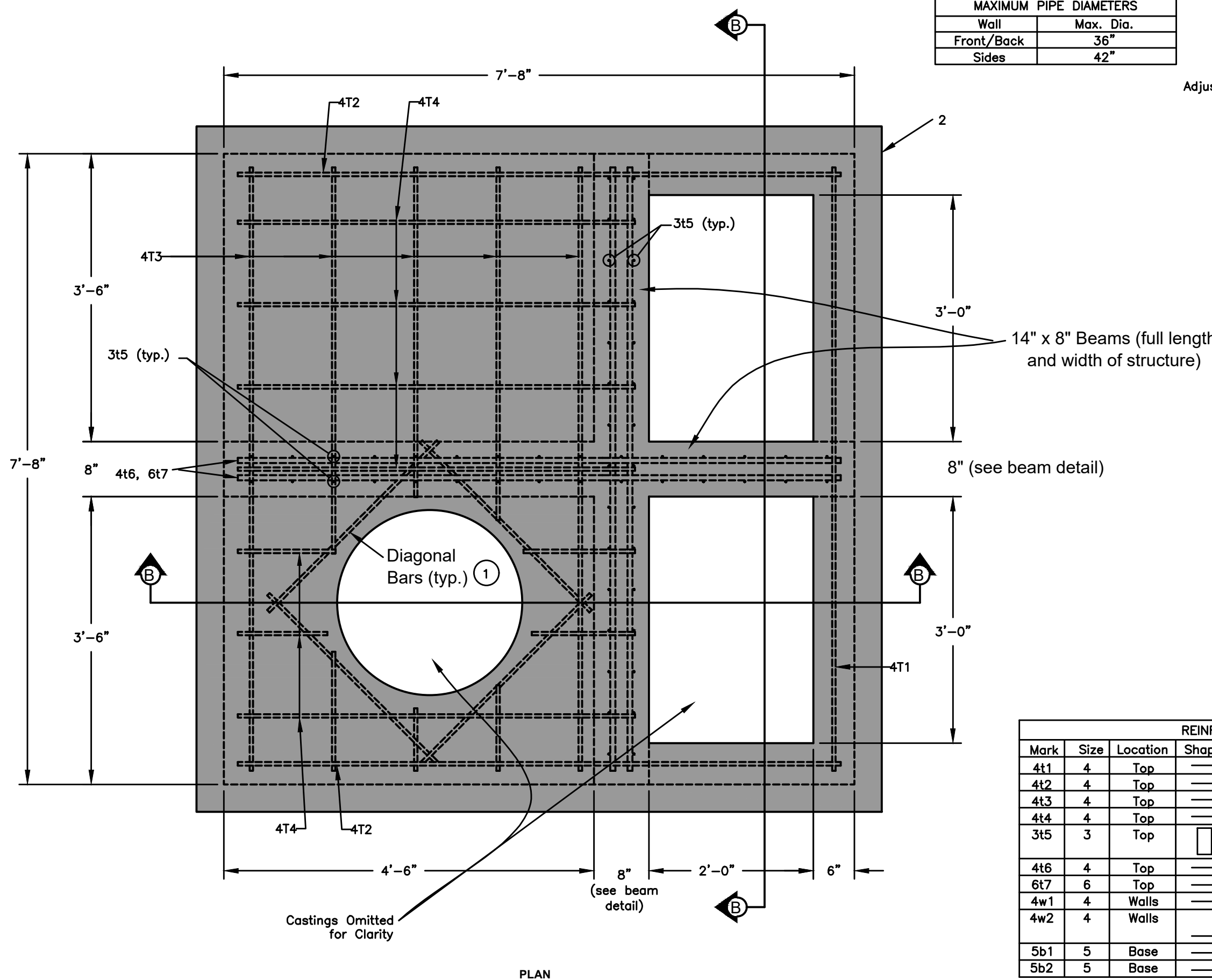
- ① Install four #4 diagonal bars at manhole opening and at all pipe openings.
- ② Cast-in-place base shown. If base is precast integral with walls, the footprint of base is not required to extend beyond the outer edge of the walls.
- ③ 12 inch minimum wall height above all pipes.
- ④ Form pockets in the wall to receive integral beams in the top.



Maximum pipe diameters are set based on maximum structure depth of 6 feet-6 inches. Refer to SW-514 for boxout details.

- ① Install four #4 diagonal bars at manhole opening and at all pipe openings.
- ② Cast-in-place base shown. If base is precast integral with walls, the footprint of the base is not required to extend beyond the outer edge of the walls.

MAXIMUM PIPE DIAMETERS	
Wall	36"
Front/Back	42"
Sides	42"



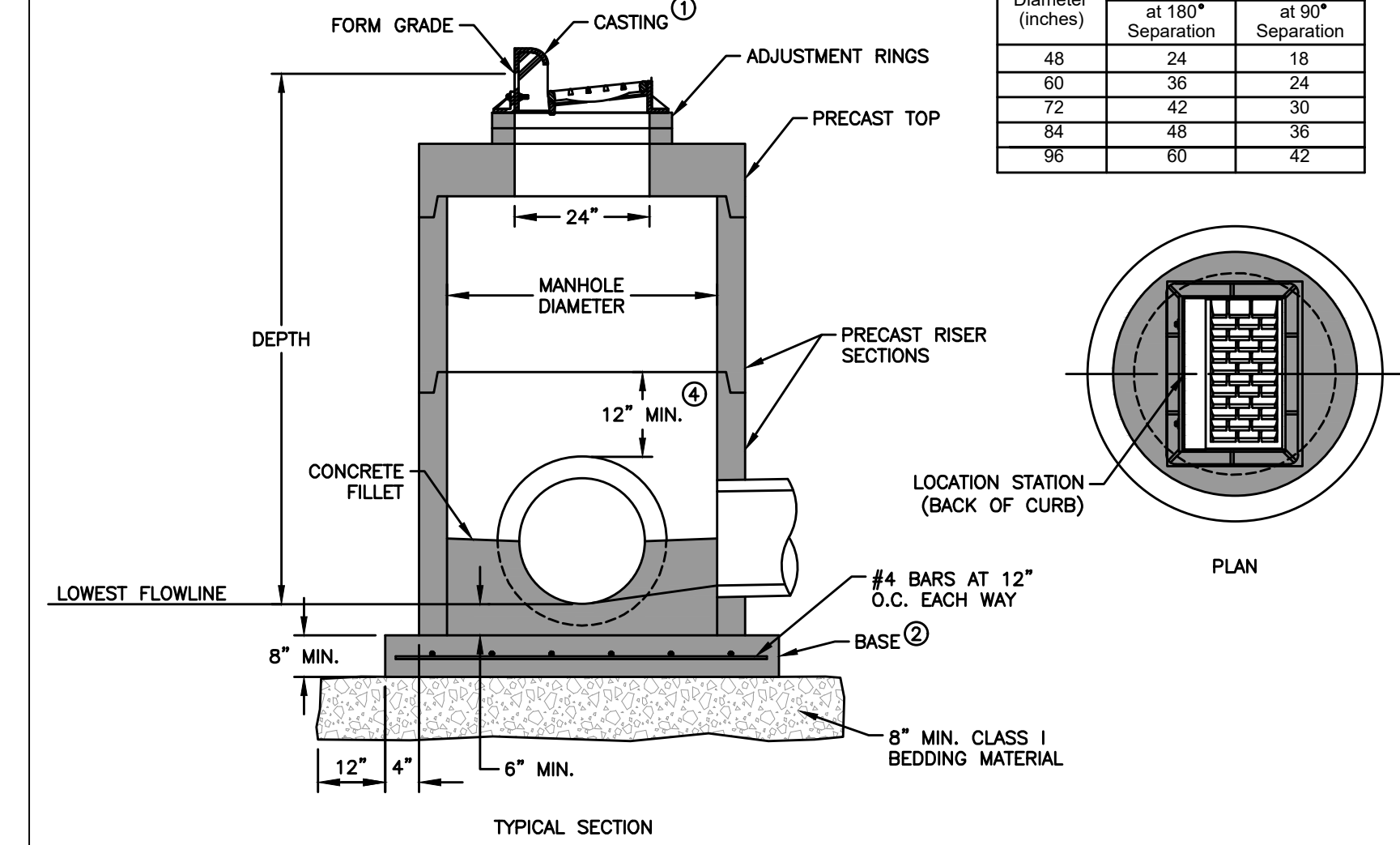
Mark	Size	Location	Shape	Count	Length	Spacing
4t1	4	Top	—	2	7'-4"	See Detail
4t2	4	Top	—	4	7'-4"	See Detail
4t3	4	Top	—	10	7'-4"	12"
4t4	4	Top	—	14	4'-2"	12"
3t5	3	Top	□	30	3'-1"	6"
4t6	4	Top	—	4	7'-4"	See Detail
6t7	6	Top	—	4	7'-4"	See Detail
4w1	4	Walls	—	Varies	7'-4"	12"
4w2	4	Walls	—	32	Wall Height minus 4"	12"
5b1	5	Base	—	9	7'-10"	12"
5b2	5	Base	—	9	7'-10"	12"

- ① Install four #4 diagonal bars at manhole opening and at all pipe openings.
- ② Cast-in-place base shown. If base is precast integral with walls, the footprint of base is not required to extend beyond the outer edge of the walls.
- ③ 12 inch minimum wall height above all pipes.
- ④ Form pockets in the wall to receive integral beams in the top.

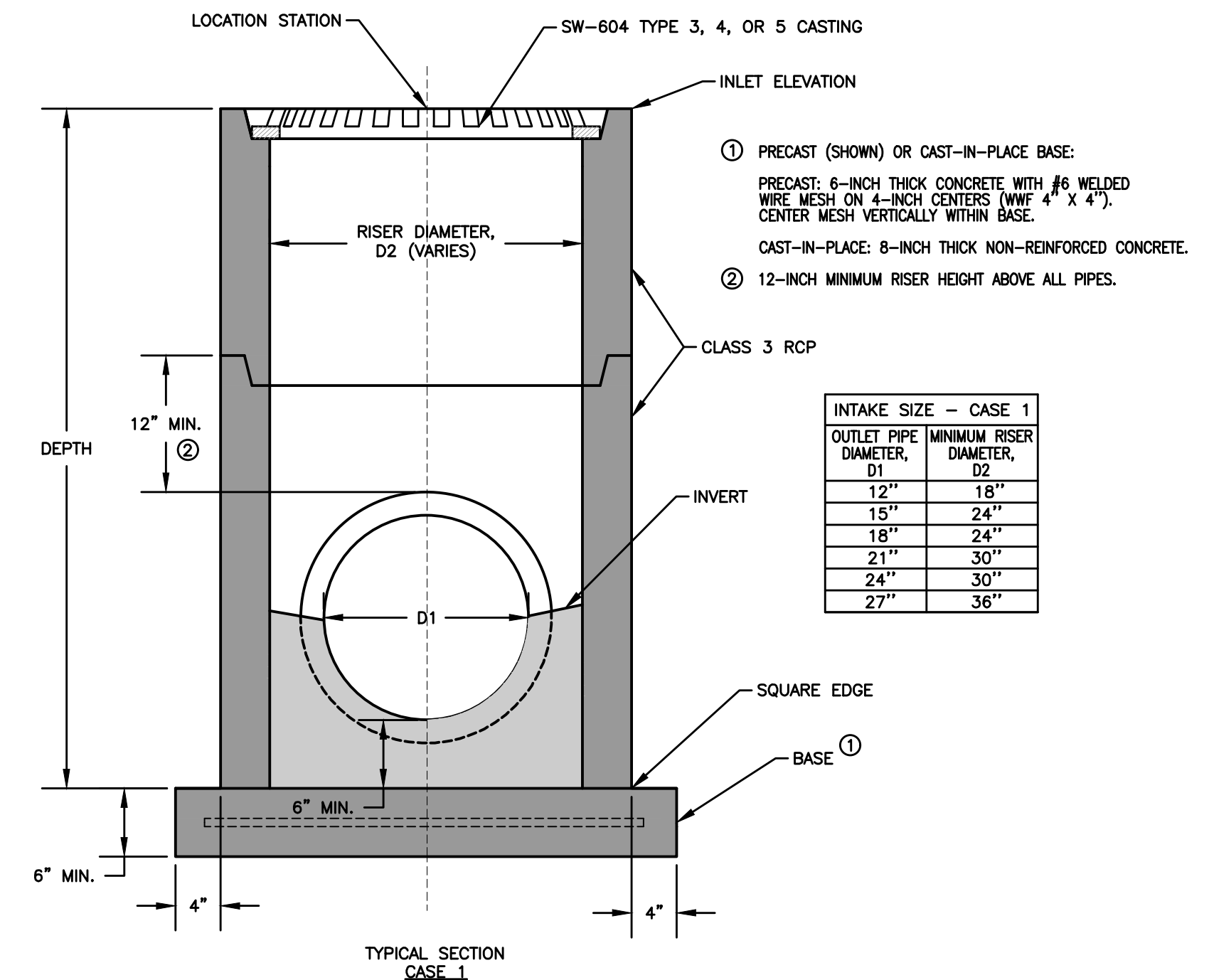
REFER TO SW-514 FOR BOXOUT DETAILS.

- ① SW-603 TYPE R, UNLESS TYPE Q IS SPECIFIED IN THE CONTRACT DOCUMENTS.
- ② CAST-IN-PLACE BASE SHOWN. BASE MAY BE SQUARE. IF BASE IS PRECAST INTEGRAL WITH WALLS, THE FOOTPRINT OF THE BASE IS NOT REQUIRED TO EXTEND BEYOND THE OUTER EDGE OF THE WALLS.
- ③ FOR ADDITIONAL CONFIGURATIONS, MAINTAIN A MINIMUM OF 12 INCHES OF CONCRETE BETWEEN VERTICAL EDGES OF PIPE OPENINGS.
- ④ 12 INCH MINIMUM RISER HEIGHT ABOVE ALL PIPES.

Manhole Diameter (inches)	Maximum Pipe Diameter (inches) for 2 Pipes	
	at 180° Separation	at 90° Separation
48	24	18
60	36	24
72	42	30
84	48	36
96	60	42



② SW-502 - CIRCULAR SINGLE GRATE INTAKE
NOT TO SCALE



① SW-512 CIRCULAR AREA INTAKE
NOT TO SCALE

③ SW-516 LARGE WELL DOUBLE GRATE INTAKE WITH MANHOLE
NOT TO SCALE

FILE: I:\WORK\241299\DWG\C662\SW-516.dwg
DATE: 8/29/2025 2:55 PM
PLOTTED BY: JOHN REICHER, TECH

PLANT SCHEDULE LOT 1				
CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
OVERSTORY TREES				
AAZ	3	ARMSTRONG RED MAPLE	ACER RUBRUM 'ARMSTRONG'	B&B, 12' HEIGHT
AM	3	ARMSTRONG RED MAPLE	ACER RUBRUM 'ARMSTRONG'	B&B, 8' HEIGHT
BF	14	DAKOTA PINNACLE®ASIAN WHITE BIRCH	BETULA PLATYPHYLLA 'FARGO'	B&B, 8' HEIGHT
GS	10	SKYLINE HONEY LOCUST	GLEDITSIA TRIACANTHOS 'SKYLINE'	B&B, 8' HEIGHT
QB2	5	SWAMP WHITE OAK	QUERCUS BICOLOR	B&B, 12' HEIGHT
QR	7	RED OAK	QUERCUS RUBRA	B&B, 12' HEIGHT
QW	11	KINDRED SPIRIT®OAK	QUERCUS ROBUR X BICOLOR 'NADLER'	B&B, 12' HEIGHT
	53	SUBTOTAL:		
EVERGREEN TREES				
PP	9	BAKER COLORADO SPRUCE	PICEA PUNGENS 'BAKERI'	B&B, 6' HEIGHT
	9	SUBTOTAL:		
ORNAMENTAL TREES				
MS	5	'SPRING SNOW' CRAB APPLE	MALUS X 'SPRING SNOW'	B&B, 6' HEIGHT
MT	9	'TINA' SARGENT CRABAPPLE	MALUS SARGENTII 'TINA'	B&B, 6' HEIGHT
	14	SUBTOTAL:		
SHRUBS				
BA	12	JAPANESE BARBERRY	BERBERIS THUNBERGII 'AUREA'	24" HEIGHT
BSJ	7	BLUE STAR JUNIPER	JUNIPERUS SQUMAMATA 'BLUE STAR'	CONT. 3 GAL, 18"-24" HIGH X 15"-18" WIDE
CB	30	CHICAGOLAND GREEN®BOXWOOD	BUXUS X 'GLENCOE'	24" HEIGHT
CH	20	IVORY HALO®TATARIAN DOGWOOD	CORNUS ALBA 'BAILHALO'	24" HEIGHT
EC	4	COMPACT BURNING BUSH	EUONYMUS ALATUS 'COMPACTUS'	24" HEIGHT
GLS	18	GRO-LOW FRAGRANT SUMAC	RHUS AROMATICA 'GRO-LOW'	24" HEIGHT
JF	52	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	24" HEIGHT
JS	3	'SPARTAN' JUNIPER	JUNIPERUS CHINENSIS 'SPARTAN'	24" HEIGHT
JZ	4	GOLDEN CARPET JUNIPER	JUNIPERUS HORIZONTALIS 'GOLDEN CARPET'	24" HEIGHT
RR	5	'FINE LINE' BUCKTHORN	RHAMNUS FRANGULA 'FINE LINE'	24" HEIGHT
TD	6	DENSE YEW	TAXUS X MEDIA	24" HEIGHT
	151	SUBTOTAL:		
GRASSES				
DD	10	'DWARF' PRAIRIE DROPSEED	SPOROBOLUS HETEROLEPIS 'TARA'	CONT, 1 GAL
	10	SUBTOTAL:		
PERENNIALS				
HO	4	'STELLA DE ORO' DAYLILY	HEMEROCALLIS X 'STELLA DE ORO'	CONT, 1 GAL
	4	SUBTOTAL:		

PLANT SCHEDULE LOT 2				
CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
OVERSTORY TREES				
AAZ	3	ARMSTRONG RED MAPLE	ACER RUBRUM 'ARMSTRONG'	B&B, 12' HEIGHT
BF	5	DAKOTA PINNACLE®ASIAN WHITE BIRCH	BETULA PLATYPHYLLA 'FARGO'	B&B, 8' HEIGHT
GS	6	SKYLINE HONEY LOCUST	GLEDITSIA TRIACANTHOS 'SKYLINE'	B&B, 8' HEIGHT
QB2	2	SWAMP WHITE OAK	QUERCUS BICOLOR	B&B, 12' HEIGHT
QW	5	KINDRED SPIRIT®OAK	QUERCUS ROBUR X BICOLOR 'NADLER'	B&B, 12' HEIGHT
	21	SUBTOTAL:		
EVERGREEN TREES				
PP	6	BAKER COLORADO SPRUCE	PICEA PUNGENS 'BAKERI'	B&B, 6' HEIGHT
	6	SUBTOTAL:		
ORNAMENTAL TREES				
MS	3	'SPRING SNOW' CRAB APPLE	MALUS X 'SPRING SNOW'	B&B, 6' HEIGHT
	3	SUBTOTAL:		
SHRUBS				
CB	7	CHICAGOLAND GREEN®BOXWOOD	BUXUS X 'GLENCOE'	24" HEIGHT
JF	11	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	24" HEIGHT
	18	SUBTOTAL:		

LANDSCAPE NOTES

- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
- THE 2025 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND ALL CITY SUPPLEMENTALS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
- ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
- SOD ALL DISTURBED AREAS INCLUDING ROW AS SHOWN.
- BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD)
- WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN ALL PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
- SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES, SHRUBS AND IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3"
- 2" RIVER ROCK WITH WEED BARRIER FABRIC SHALL BE INSTALLED AS SHOWN TO A MIN. DEPTH OF 3"
- PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
- ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
- CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.
- ALL STREET TREES ARE REQUIRED TO BE A MINIMUM OF 12-FT IN HEIGHT AT TIME OF PLANTING.

LOT 1 LANDSCAPE REQUIREMENTS

LOT 1:
 129,075 SF

OPEN SPACE	129,075 SF
REQUIRED:	25,815 SF (20%)
PROVIDED:	32,270 SF (25%)

LANDSCAPING REQUIRED PER 1,000 SF REQUIRED OPEN SPACE

1.5 OVERSTORY TREES	39
0.5 UNDERSTORY TREES	13
2 SHRUBS	52

LANDSCAPING PROVIDED

OVERSTORY / EVERGREEN TREES	39
UNDERSTORY TREES	13
SHRUBS	88

STREET TREES

SE WESTOWNE PARKWAY FRONTAGE: 305 LF

TREES REQUIRED: 1 PER 40 LF OF FRONTAGE

OVERSTORY TREES:	8
TREES PROVIDED:	8

SE GLACIER TRAIL FRONTAGE: 113 LF

TREES REQUIRED: 1 PER 40 LF OF FRONTAGE

OVERSTORY TREES:	3
TREES PROVIDED:	3

PARKING FRONTAGE:

372 LF

TREES REQUIRED: 2 PER 50 LF OF PARKING FRONTAGE

OVERSTORY TREES:	15
TREES PROVIDED:	15

SHRUBS REQUIRED: 8 PER 50 LF OF PARKING FRONTAGE

SHRUBS	60
SHRUBS PROVIDED:	63

LOT 2 LANDSCAPE REQUIREMENTS

LOT 2:
 26,434 SF

OPEN SPACE	26,434 SF
REQUIRED:	5,287 SF (20%)
PROVIDED:	10,931 SF (41%)

LANDSCAPING REQUIRED PER 1,000 SF REQUIRED OPEN SPACE

1.5 OVERSTORY TREES	8
0.5 UNDERSTORY TREES	3
2 SHRUBS	11

LANDSCAPING PROVIDED

OVERSTORY / EVERGREEN TREES	8
UNDERSTORY TREES	3
SHRUBS	13

STREET TREES

SE WESTOWNE PARKWAY FRONTAGE: 165 LF

TREES REQUIRED: 1 PER 40 LF OF FRONTAGE

OVERSTORY TREES:	5
TREES PROVIDED:	5

SE GLACIER TRAIL FRONTAGE: 162 LF

TREES REQUIRED: 1 PER 40 LF OF FRONTAGE

OVERSTORY TREES:	5
TREES PROVIDED:	5

PARKING FRONTAGE:

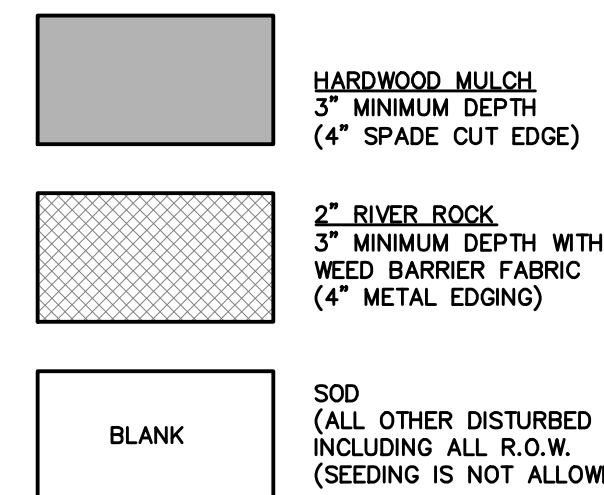
155 LF

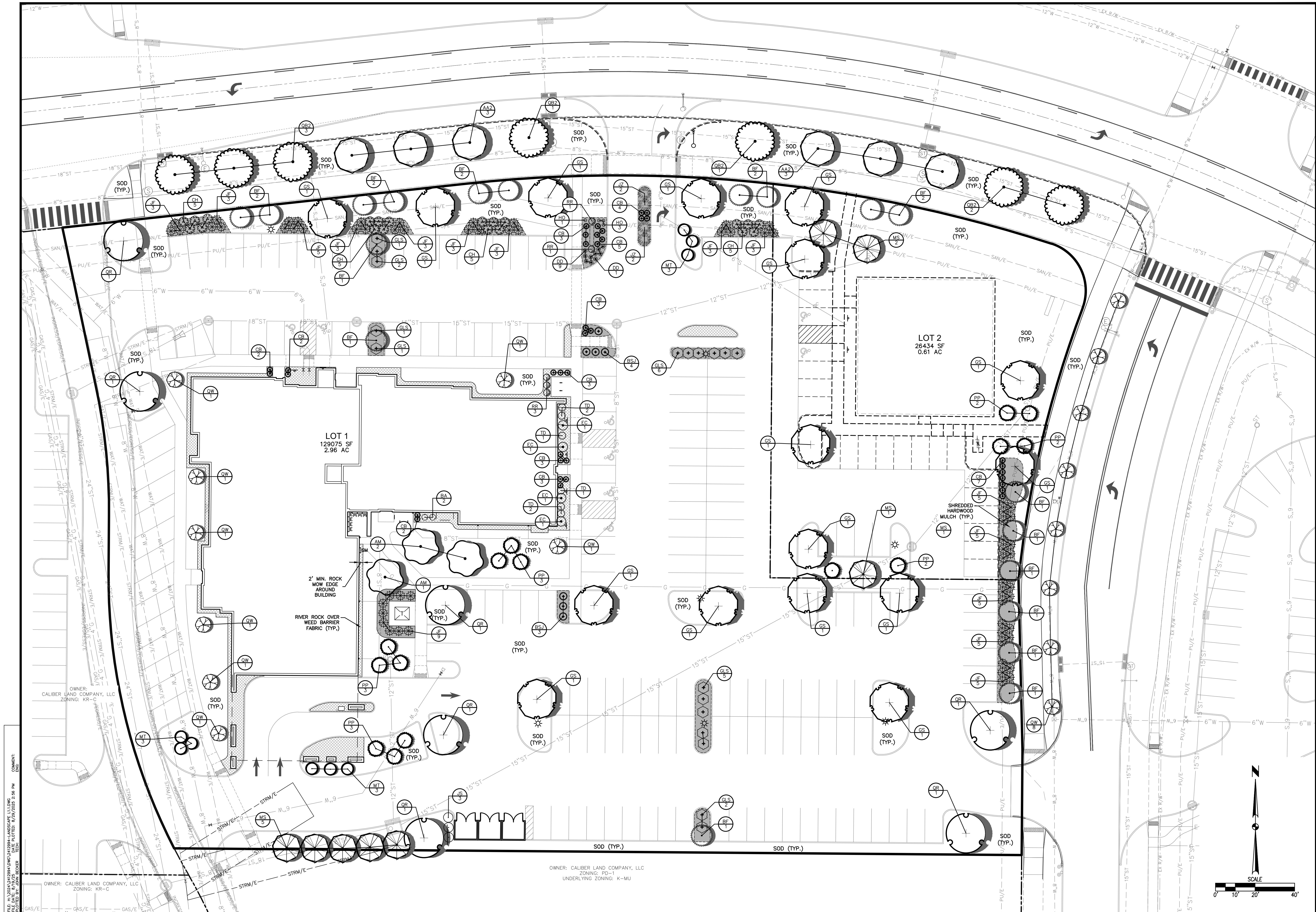
TREES REQUIRED: 2 PER 50 LF OF PARKING FRONTAGE

OVERSTORY TREES:	7
TREES PROVIDED:	7

SHRUBS REQUIRED: 8 PER 50 LF OF PARKING FRONTAGE

SHRUBS	25
SHRUBS PROVIDED:	25

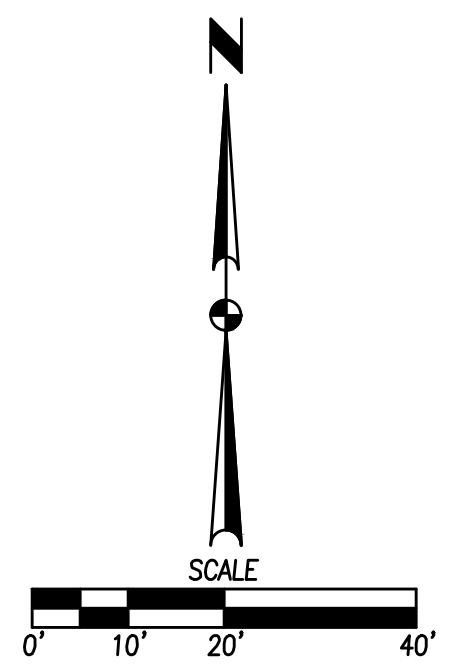




FILE IN: S:\2024\2412\2412084\DWG\LANDSCAPE\11.DWG
 FILE DATE: 8/29/2025
 PLOTTED BY: JOHN REICHER, TECH
 COMMENT: ENG

OWNER: CALIBER LAND COMPANY, LLC
 ZONING: KR-C
 OWNER: CALIBER LAND COMPANY, LLC
 ZONING: KR-C

OWNER: CALIBER LAND COMPANY, LLC
 ZONING: PD-1
 UNDERLYING ZONING: K-MU



DATE	08/29/2025
REVISIONS	
4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400	DRAFTED:
ENGINEER:	
WAUKEE, IOWA	
CIVIL DESIGN ADVANTAGE	
ES&A	
KETTLESTONE CENTRAL SOUTH PLAT 4 - LOTS 1 & 2	
LANDSCAPE PLAN	
SHEET NUMBER:	L1.2
2412.994	