

SITE PLAN FOR:

UNIVERSITY WOODS

1375 SE UNIVERSITY AVENUE

WAUKEE, IOWA

VICINITY MAP

NOT TO SCALE



WAUKEE, IOWA

PROPERTY DESCRIPTION

LOT 1, WILLIAMS POINTE PLAT 17, AN OFFICIAL PLAT IN THE CITY OF WAUKEE, DALLAS COUNTY, IOWA.

ZONING

LOT 1: C-4
 LOT 2: C-1A
 LOT 3: C-4
 OUTLOT 'Z': C-4

C1-A (NEIGHBORHOOD COMMERCIAL DISTRICT)
 C-4 (OFFICE PARK COMMERCIAL DISTRICT)

LAND USE

EXISTING: UNDEVELOPED
 PROPOSED: OFFICE
 FUTURE: OFFICE, RETAIL/RESTAURANT

INDEX OF SHEETS

NO.	DESCRIPTION
C0.1	COVER SHEET
C1.1	TOPO SURVEY & DEMOLITION PLAN
C2.1-C2.2	DIMENSION PLAN
C3.1-C3.3	GRADING PLAN
C4.1	EROSION & SEDIMENT CONTROL PLAN
C5.1-C5.2	UTILITY PLAN
C5.3-C5.4	SANITARY SEWER & WATER MAIN PLAN & PROFILE
C6.1	DETAILS
L1.1-L1.2	LANDSCAPE PLAN

DEVELOPMENT SUMMARY

SITE AREA	190,079 SF (4.36 AC.)
PARKING REQUIRED	OFFICE (3 SPACES PER 1,000 SF) RETAIL (4 SPACES PER 1,000 SF) RESTAURANT (15 SPACES PER 1,000 SF)
LOT 1	1355 SE UNIVERSITY AVE. AREA: 51,652 SF (1.19 AC.)
OPEN SPACE	MINIMUM REQUIRED: 12,913 SF (25.0%) PROVIDED: 17,953 SF (34.8%)
SETBACKS	FRONT: 40 FT SIDE: 15 FT REAR: 30 FT
BUILDING AREA	13,620 SF
PARKING REQUIRED	OFFICE (3 SPACES PER 1,000 SF): 41 SPACES
PARKING PROVIDED	STANDARD PARKING: 50 SPACES ACCESSIBLE PARKING: 3 SPACES TOTAL: 53 SPACES
LOT 2	1375 SE UNIVERSITY AVE. AREA: 72,177 SF (1.66 AC.)
OPEN SPACE	MINIMUM REQUIRED: 18,044 SF (25.0%) PROVIDED: 18,998 SF (26.3%)
SETBACKS	FRONT: 30 FT REAR: 15 FT SIDE: 30 FT
BUILDING AREA	RESTAURANT: 2,800 SF RETAIL: 11,825 SF TOTAL: 14,625 SF
PARKING REQUIRED	RESTAURANT (15 SPACES PER 1,000 SF): 42 SPACES RETAIL (4 SPACES PER 1,000 SF): 46 SPACES TOTAL: 88 SPACES
PARKING PROVIDED	STANDARD PARKING: 81 SPACES ACCESSIBLE PARKING: 2 SPACES TOTAL: 83 SPACES
OUTLOT 'Z'	AREA: 25,320 SF (0.58 AC.)

GENERAL LEGEND

PROPOSED	EXISTING
PROPERTY BOUNDARY	SANITARY MANHOLE
LOT LINE	WATER VALVE BOX
SECTION LINE	FIRE HYDRANT
CENTER LINE	WATER CURB STOP
RIGHT OF WAY	WELL
BUILDING SETBACK	STORM SEWER MANHOLE
PERMANENT EASEMENT	STORM SEWER SINGLE INTAKE
TEMPORARY EASEMENT	STORM SEWER DOUBLE INTAKE
TYPE SW-501 STORM INTAKE	FLARED END SECTION
TYPE SW-502 STORM INTAKE	DECIDUOUS TREE
TYPE SW-503 STORM INTAKE	CONIFEROUS TREE
TYPE SW-505 STORM INTAKE	DECIDUOUS SHRUB
TYPE SW-506 STORM INTAKE	CONIFEROUS SHRUB
TYPE SW-512 STORM INTAKE	ELECTRIC POWER POLE
TYPE SW-513 STORM INTAKE	GUY ANCHOR
TYPE SW-401 STORM MANHOLE	STREET LIGHT
TYPE SW-402 STORM MANHOLE	POWER POLE W/ TRANSFORMER
FLARED END SECTION	UTILITY POLE W/ LIGHT
TYPE SW-301 SANITARY MANHOLE	ELECTRIC BOX
STORM/SANITARY CLEANOUT	ELECTRIC TRANSFORMER
WATER VALVE	ELECTRIC MANHOLE OR VAULT
FIRE HYDRANT ASSEMBLY	TRAFFIC SIGN
SIGN	TELEPHONE JUNCTION BOX
DETECTABLE WARNING PANEL	TELEPHONE MANHOLE/VAULT
WATER CURB STOP	TELEPHONE POLE
SANITARY SEWER	GAS VALVE BOX
SANITARY SERVICE	CABLE TV JUNCTION BOX
STORM SEWER	CABLE TV MANHOLE/VAULT
STORM SERVICE	MAIL BOX
WATERMAIN WITH SIZE	BENCHMARK
WATER SERVICE	SOIL BORING
SAWCUT (FULL DEPTH)	UNDERGROUND TV CABLE
SILT FENCE	GAS MAIN
USE AS CONSTRUCTED	FIBER OPTIC
FINISHED FLOOR ELEVATION	UNDERGROUND TELEPHONE
DOWNSPOUT	OVERHEAD ELECTRIC
OVERFLOW	UNDERGROUND ELECTRIC
TOP OF WALL	FIELD TILE
BOTTOM OF WALL	SANITARY SEWER W/ SIZE
	STORM SEWER W/ SIZE
	WATER MAIN W/ SIZE

PROJECT TEAM:

OWNER/APPLICANT:

MDBB 1, LLC SERIES 4
 1181 SE GRANT WOODS CT
 WAUKEE, IA 50263

ENGINEER/SURVEYOR:

CIVIL DESIGN ADVANTAGE, LLC
 4121 NW URBANDALE DRIVE
 URBANDALE, IOWA 50322
 CONTACT: KEITH WEGGEN
 PH. (515) 369-4400

WATER:

WAUKEE PUBLIC WORKS
 805 UNIVERSITY AVE
 WAUKEE, IA 50263
 CONTACT: TIM ROYER
 PH. (515) 987-4363

SANITARY SEWER:

WAUKEE PUBLIC WORKS
 805 UNIVERSITY AVE
 WAUKEE, IA 50263
 CONTACT: TIM ROYER
 PH. (515) 987-4363

ELECTRIC:

MIDAMERICAN ENERGY
 10510 DOUGLAS AVE
 URBANDALE, IA 50322
 CONTACT: BRIAN SEWELL
 PH. (515) 574-5042

STORM SEWER:

WAUKEE PUBLIC WORKS
 805 UNIVERSITY AVE
 WAUKEE, IA 50263
 CONTACT: TIM ROYER
 PH. (515) 987-4363

GAS:

WAUKEE PUBLIC WORKS
 805 UNIVERSITY AVE
 WAUKEE, IA 50263
 CONTACT: TIM ROYER
 PH. (515) 987-4363

BUILDING DEPARTMENT:

CITY OF WAUKEE
 204 WEST HICKMAN ROAD
 WAUKEE, IA 50263
 CONTACT: KEITH RASH
 PH. (515) 978-7893

HEALTH DEPARTMENT:

DALLAS COUNTY PUBLIC HEALTH & HOME HEALTH
 25747 N AVENUE, SUITE C
 ADEL, IA 50003
 CONTACT: TED TREWIN
 PH. (515) 993-5803

TELEPHONE:

LUMEN TECHNOLOGIES
 2103 E. UNIVERSITY
 DES MOINES, IA 50317
 CONTACT: AUSTIN FREESEMAN
 PH. (303) 461-4970

UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.

FUTURE DEVELOPMENT NOTE

ALL FUTURE BUILDINGS AND SITE IMPROVEMENTS WILL REQUIRE A SEPARATE SITE PLAN APPROVAL.

SUBMITTAL DATES

FIRST SUBMITTAL:	08/05/2025
SECOND SUBMITTAL:	08/27/2025
THIRD SUBMITTAL:	09/26/2025
FOURTH SUBMITTAL:	10/21/2025

IMPERVIOUS AREA

LOT 1	17,710 SF
PAVEMENT:	17,710 SF
BUILDING:	13,620 SF
SIDEWALK:	2,369 SF
TOTAL:	33,699 SF (65.2%)
LOT 2	31,589 SF
PAVEMENT:	31,589 SF
BUILDING:	14,625 SF
SIDEWALK:	6,965 SF
TOTAL:	53,179 SF (73.7%)
LOT 3	14,907 SF
PAVEMENT:	14,907 SF
BUILDING:	11,160 SF
SIDEWALK:	2,966 SF
TOTAL:	29,033 SF (70.9%)



CIVIL DESIGN ADVANTAGE

4121 NW URBANDALE DRIVE, URBANDALE, IA 50322

PH: (515) 369-4400

PROJECT NO. 2407.518



1-800-292-8989
 www.iowaonecall.com

CALL 811 SEVENTY-TWO HOURS PRIOR TO DIGGING, GRADING OR EXCAVATING FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2025 EDITION OF THE SDAS STANDARD SPECIFICATIONS, THE PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) AND ALL CITY OF WAUKEE 2025 STANDARD SPECIFICATIONS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMIT AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTOR'S USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

PRELIMINARY

NOT FOR CONSTRUCTION

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

JOHN PATRICK BECKER, P.E. DATE: _____
 LICENSE NUMBER 25523

MY LICENSE RENEWAL DATE IS DECEMBER 31, 2026
 PAGES OR SHEETS COVERED BY THIS SEAL: _____
 ALL SHEETS

PRELIMINARY

NOT FOR CONSTRUCTION

I HEREBY CERTIFY THAT THE PORTION OF THIS TECHNICAL SUBMISSION DESCRIBED BELOW WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND RESPONSIBLE SUPERVISOR AM A DULY LICENSED PROFESSIONAL LANDSCAPE ARCHITECT UNDER THE LAWS OF THE STATE OF IOWA.

KEITH WEGGEN, A.S.L.A. DATE: _____
 LICENSE NUMBER 00442

MY LICENSE RENEWAL DATE IS JUNE 30, 2026
 PAGES OR SHEETS COVERED BY THIS SEAL: _____
 ALL SHEETS

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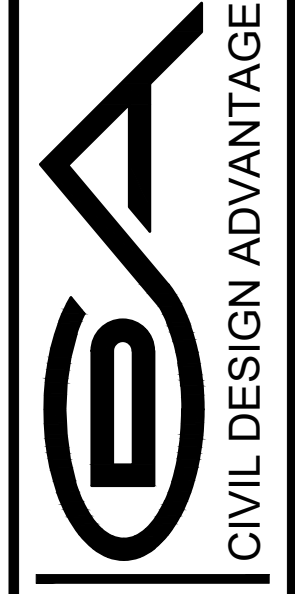


DEMOLITION NOTES

- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - CITY OF WAUKEE
 - APPROPRIATE UTILITY COMPANIES
 - OWNER
 - CIVIL DESIGN ADVANTAGE
 - ARCHITECT
- DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
- PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
- BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
- FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
- DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
- ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OF OFFSITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
- CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR REMOVAL/ABANDONMENT OF EXISTING WELLS & ONSITE WASTEWATER DISPOSAL SYSTEMS.

DATE	REVISIONS

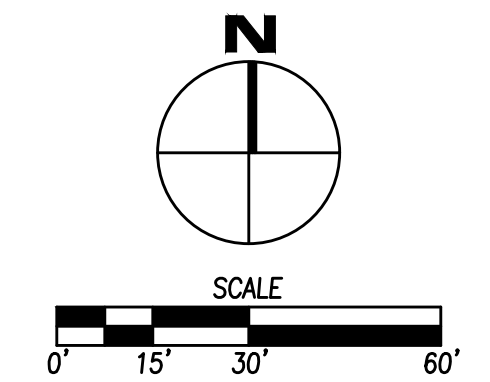
4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400



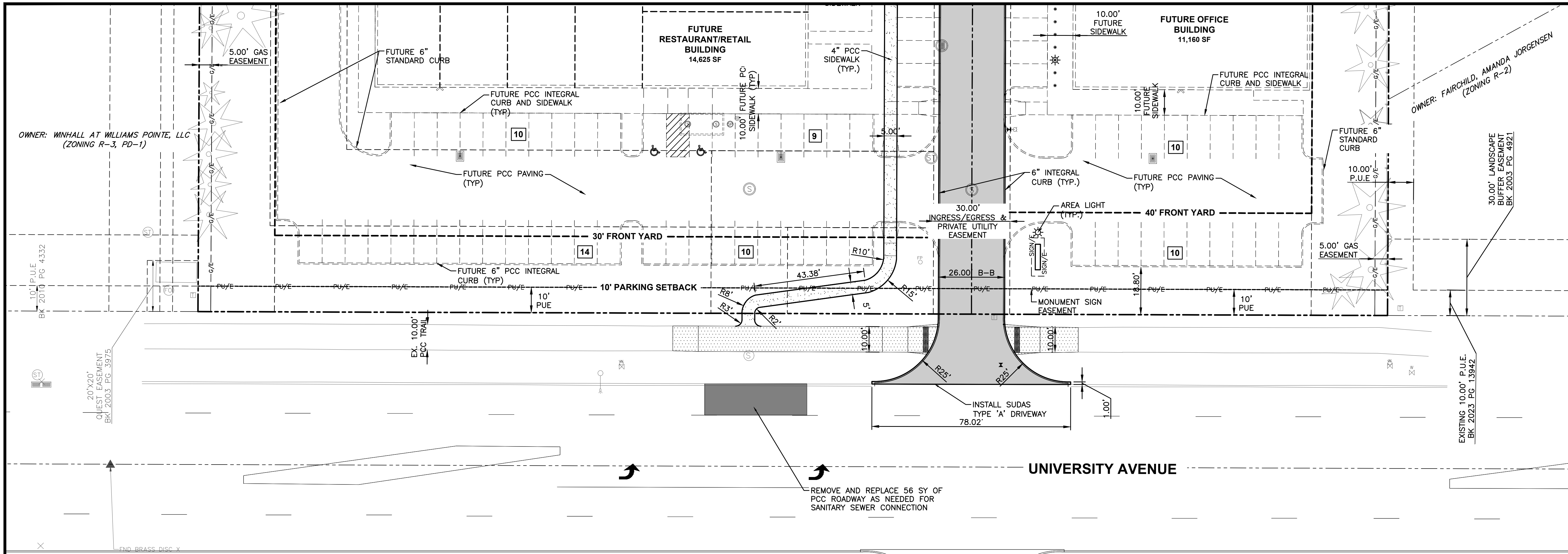
UNIVERSITY WOODS
 TOPO SURVEY & DEMOLITION PLAN

15705 UNIVERSITY AVE
 WAUKEE, IOWA

DATE: 10/21/2025
 SHEET NUMBER: C1.1
 2407.518



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REMOVE AND REPLACE 56 SY OF PCC ROADWAY AS NEEDED FOR SANITARY SEWER CONNECTION

GENERAL NOTES

1. THE 2025 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND THE 2025 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC UTILITIES CONTRACTOR SHALL NOTIFY THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE 2024 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4 INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2 INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS AND MUD SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS, STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO OPERATING EQUIPMENT ON THE PAVEMENT OR SIDEWALK. ANY PAVEMENT REPLACEMENT SHALL COMPLY WITH THE 2024 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.

TRAFFIC CONTROL NOTES

1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHT-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTCD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.
8. A POMS WILL BE REQUIRED TO BE DEPLOYED 1 WEEK IN ADVANCE OF ANY LANE CLOSURES ON UNIVERSITY AVENUE TO ALERT DRIVERS OF THE SCHEDULED LANE CLOSURE. LANE CLOSURES WILL BE LIMITED TO 9 A.M. - 3 P.M. MONDAY THRU FRIDAY UNLESS AN ALTERNATIVE CLOSURE DURATION IS APPROVED IN WRITING BY THE CITY OF WAUKEE PUBLIC WORKS DEPARTMENT.

FIRE SAFETY CONSTRUCTION NOTE

APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES. IF PAVING IS NOT INSTALLED PRIOR TO BUILDING CONSTRUCTION COMMENCING AFTER FOOTING INSTALLED, AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING SHALL BE PROVIDED AND COMPLY WITH THE REQUIREMENTS OF SECTION 503.2 OF THE IFC.

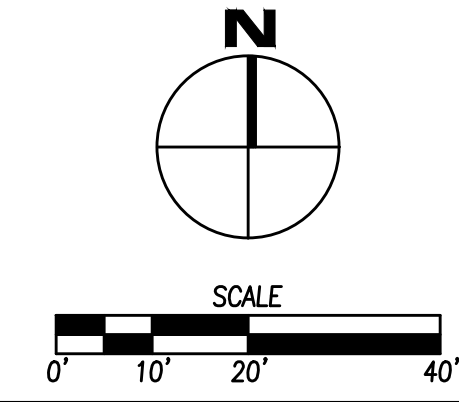
LEGEND

1. SIDEWALKS	4" P.C.C.	
2. TRAIL	6" P.C.C.	
3. STANDARD DUTY	6" P.C.C.	
4. HEAVY DUTY (DUMPSTER ENCLOSURES)	8" P.C.C.	
5. UNIVERSITY AVE.	8" P.C.C.	

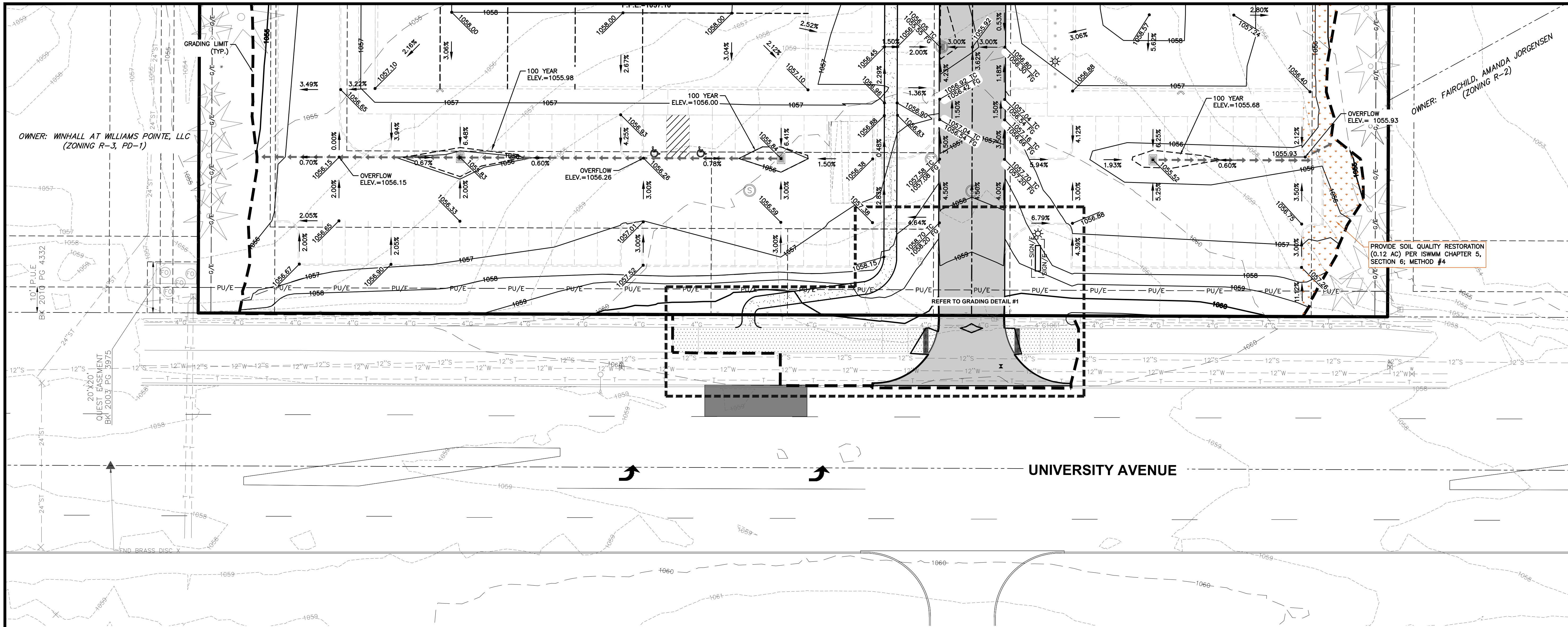
REFUSE COLLECTION NOTE

THE OWNER SHALL WORK WITH THE REFUSE COLLECTION HAULER TO ATTEMPT TO MINIMIZE THE FREQUENCY OF REFUSE COLLECTION THROUGHOUT A GIVEN WEEK AND TO ATTEMPT TO AVOID REFUSE COLLECTION DURING EARLY MORNING HOURS.

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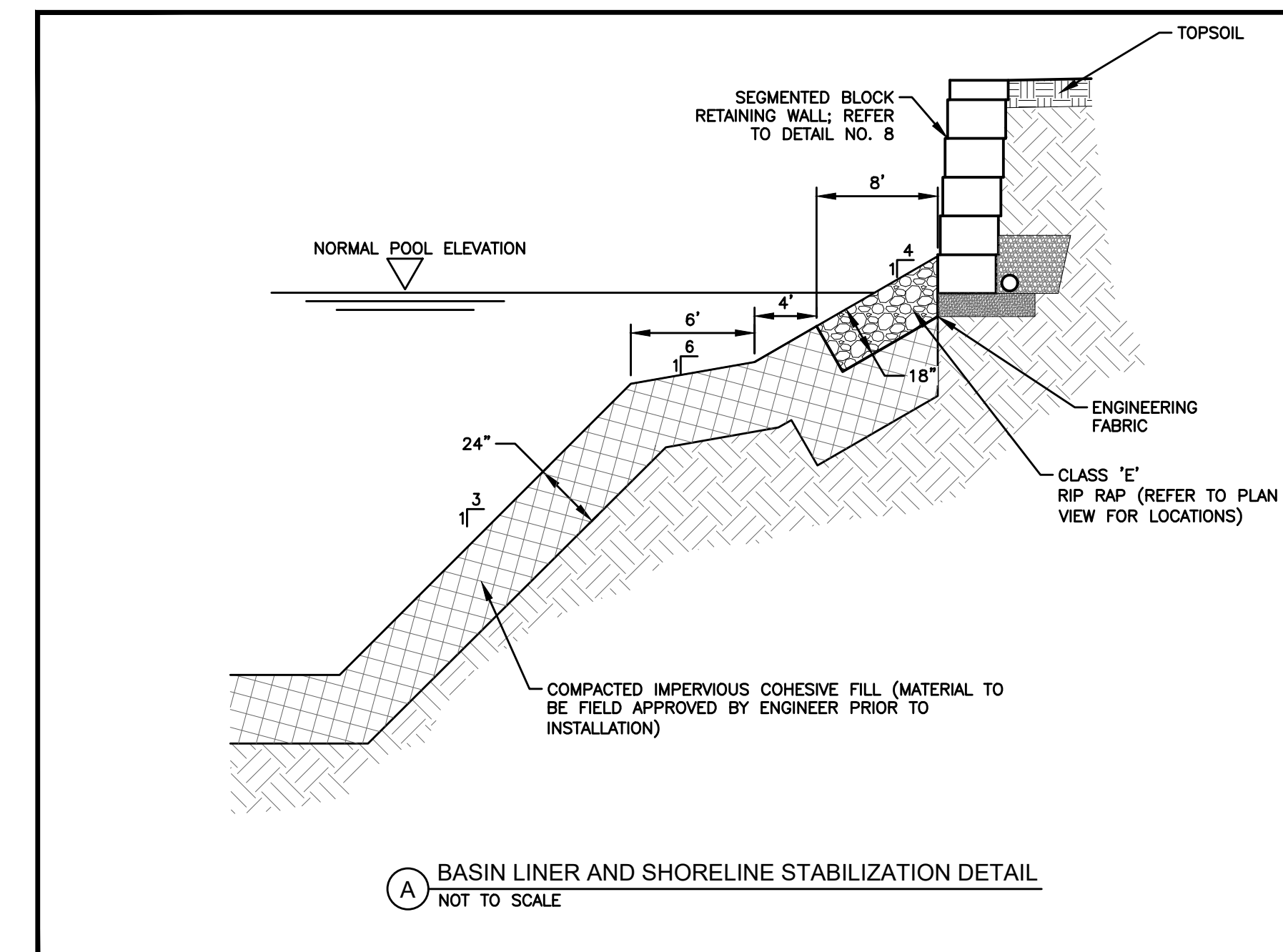


 CIVIL DESIGN ADVANTAGE WAUKEE, IOWA	UNIVERSITY WOODS DIMENSION PLAN 15705 UNIVERSITY AVE
4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400	DATE: 10/21/2025 SHEET NUMBER: C2.1 2407.518
REVISIONS:	ENGINEER: DRAFTED:
OWNER: WINHALL AT WILLIAMS POINTE, LLC (ZONING R-3, PD-1) OWNER: FAIRCHILD, AMANDA JORGENSEN (ZONING R-2)	



GRADING NOTES

1. PRIOR TO ANY GRADING, A COPY OF THE NPDES PERMIT SHALL BE PROVIDED TO THE CITY'S BUILDING DIVISION. A COSESCO PERMIT NEEDS TO BE ISSUED BY THE STORMWATER DEPARTMENT.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. THE TOP 8" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2025 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND THE 2025 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS: MAINTAIN 1% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE; DEPTH: LONGITUDINAL T/3, TRANSVERSE T/4.
13. THE GRADING OF THE DETENTION FACILITY, INSTALLATION OF THE STORM SEWER SYSTEM (IF APPLICABLE), AND THE INSTALLATION OF THE ORIFICE PLATE (IF APPLICABLE) SHALL BE COMPLETED AND FUNCTIONAL PRIOR TO ANY INCREASE IN IMPERVIOUS SURFACES WITHIN THE SITE OR THE PREVIOUSLY MENTIONED ITEMS SHALL BE GRADED/INSTALLED AS SOON AS PRACTICAL.
14. RETAINING WALLS SHALL BE DESIGNED BY A STRUCTURAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF IOWA AND CONSTRUCTED IN ACCORDANCE WITH THE STRUCTURAL ENGINEER'S DESIGN.



(A) BASIN LINER AND SHORELINE STABILIZATION DETAIL
NOT TO SCALE

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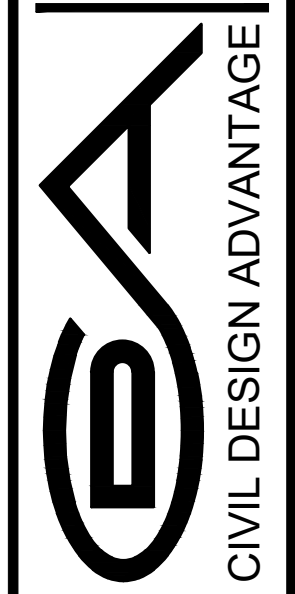
DATE: _____ REVISIONS: _____ 4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400 DRAFTED: _____ ENGINEER: _____	 UNIVERSITY WOODS GRADING PLAN WAUKEE, IOWA 15705 UNIVERSITY AVE DATE: 10/21/2025 SHEET NUMBER: C3.1 2407.518
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DATE	REVISIONS

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400

DRAFTED:



CIVIL DESIGN ADVANTAGE
 ENGINEER:
 WAUKEE, IOWA

UNIVERSITY WOODS
EROSION & SEDIMENT
CONTROL PLAN

15705 UNIVERSITY AVE

DATE: 10/21/2025

SHEET NUMBER:

C4.1
 2407.518

DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 TO UNNAMED TRIBUTARY OF WALNUT CREEK ±2000 FT	4.11 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	14,796 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	
VOLUME PROVIDED IN SILT FENCE (1,324 LF @ 4.5 CU FT/LF OF FENCE)	5,958 CU FT
VOLUME PROVIDED IN TSB #1	15,318 CU FT
TOTAL VOLUME PROVIDED	21,276 CU FT
DISCHARGE POINT #2 TO UNNAMED TRIBUTARY OF WALNUT CREEK ±2000 FT	0.13 ACRES
TOTAL AREA DISTURBED TO DISCHARGE POINT	468 CU FT
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT)	
VOLUME PROVIDED IN SILT FENCE (384 LF @ 4.5 CU FT/LF OF FENCE)	1,728 CU FT
TOTAL VOLUME PROVIDED	1,728 CU FT

STABILIZATION QUANTITIES

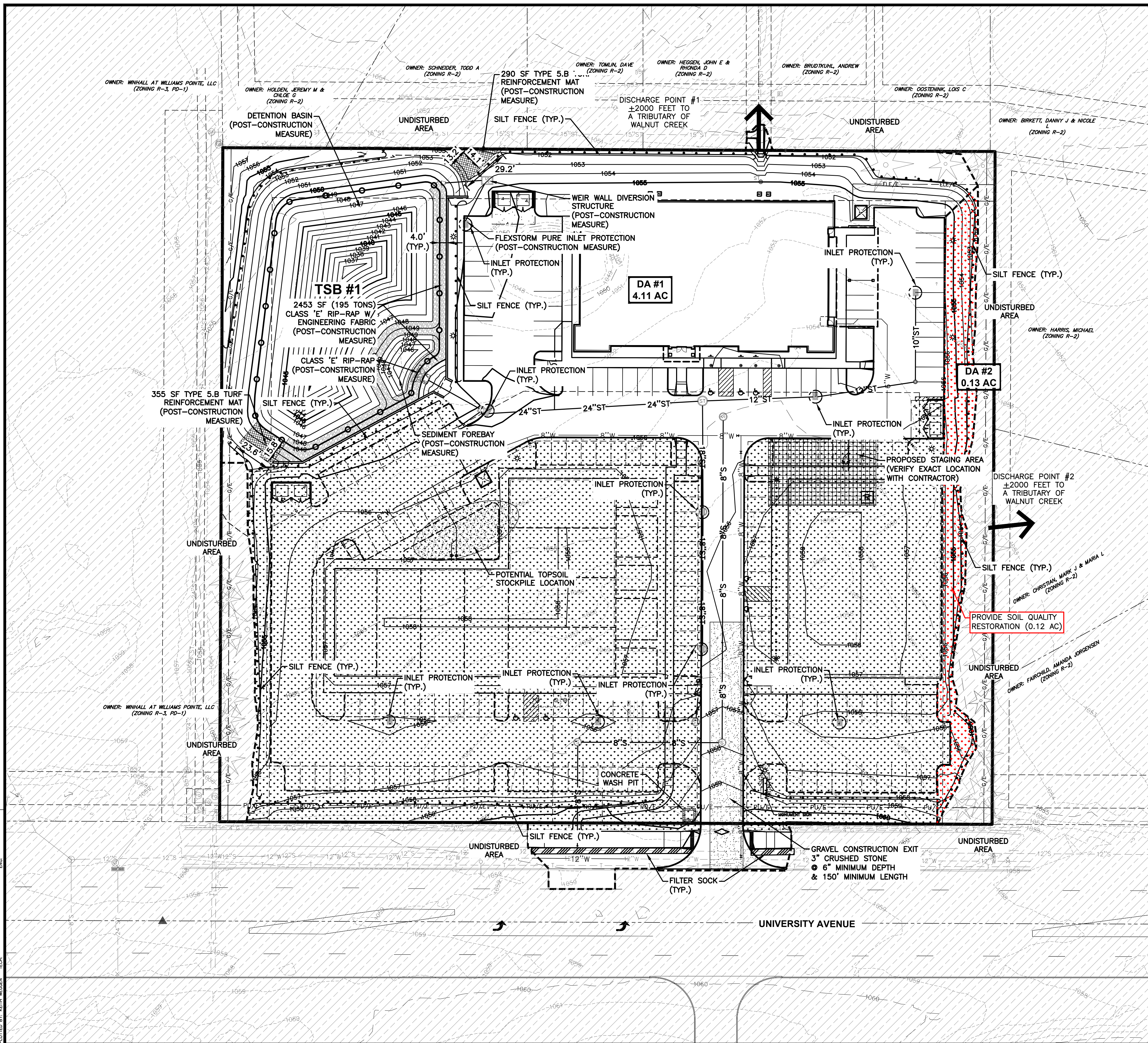
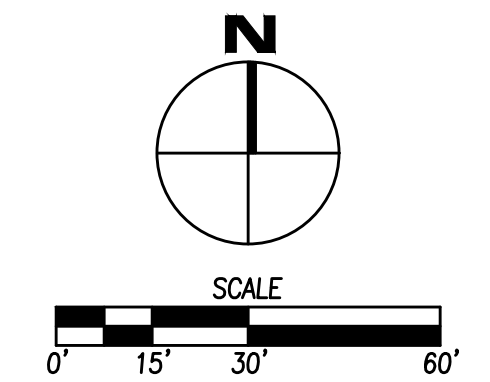
ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	1708
2	SEEDING, FERTILIZING, AND MULCHING	AC	2.79
3	INLET PROTECTION DEVICES	EA	9
4	CONCRETE WASHOUT	EA	1
5	TYPE 1 SEED	AC	2.28
6	SOD	SF	5,825
7	TYPE 5.8 TURF REINFORCEMENT MAT	SF	645

SWPPP LEGEND

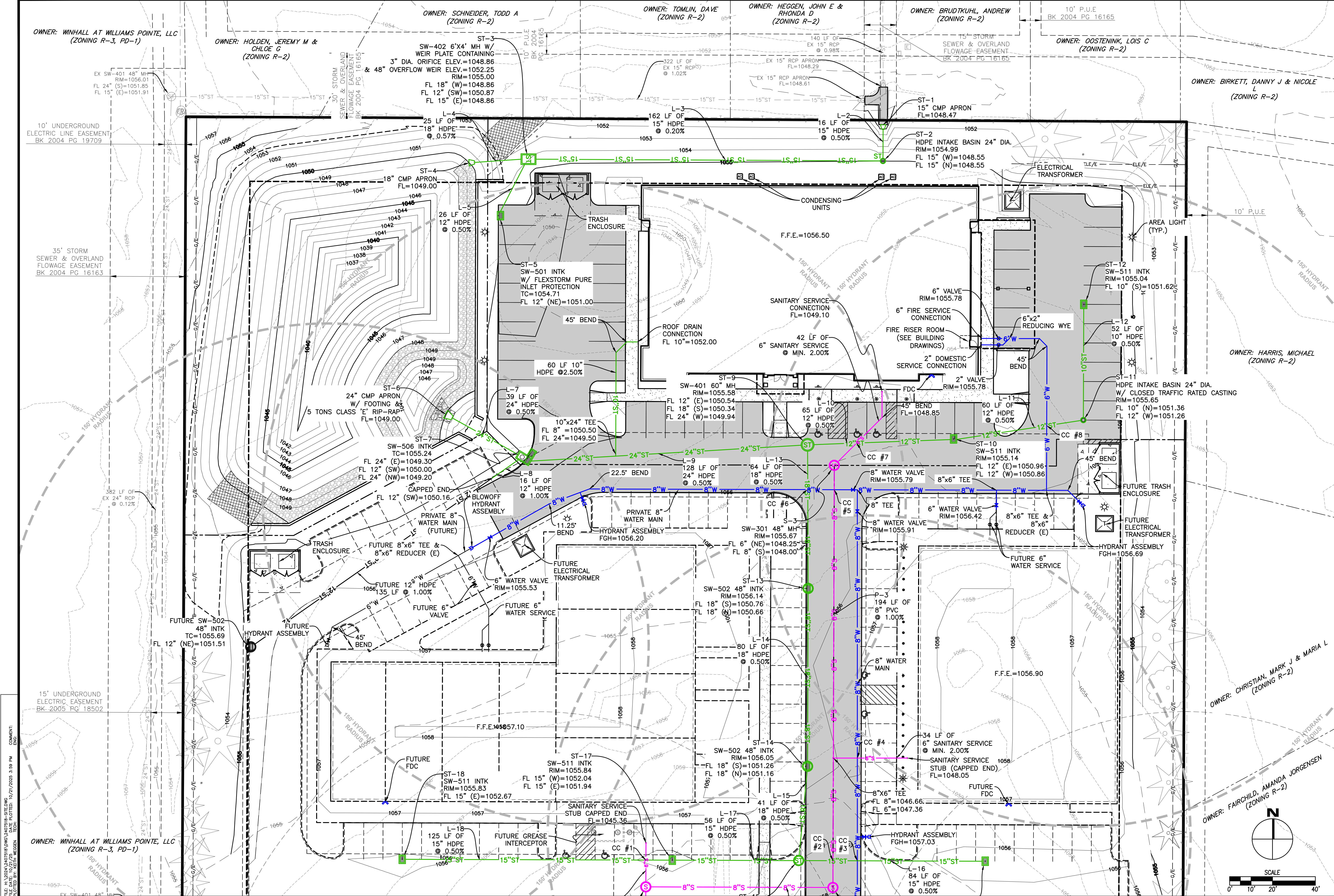
- DRAINAGE ARROW X.XX %
- GRADING LIMITS
- FILTER SOCK
- SILT FENCE
- INLET PROTECTION
- PORTABLE RESTROOM R
- CONCRETE WASHOUT
- AREA TO BE SEED
- TURF REINFORCEMENT MAT
- UNDISTURBED AREA
- RIP-RAP
- GRAVEL ENTRANCE
- STAGING AREA
- TEMPORARY SEDIMENT BASIN TSB #

NOTES:

- DISTURBED AREAS SHALL BE TEMPORARILY SEED WITH TYPE 4 (URBAN TEMPORARY EROSION CONTROL MIXTURE) SEEDING OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.
- DEBRIS SPILLED ONTO THE STREET SHALL BE CLEANED UP BY THE END OF THE WORK DAY OR PRIOR TO A RAIN EVENT.
- GENERAL PERMIT #2 AND COSESCO PERMIT REQUIRED. COSESCO PERMIT TO BE ISSUED PRIOR TO CONSTRUCTION.



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 DATE: 10/21/2025 3:59 PM



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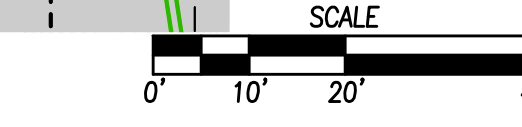
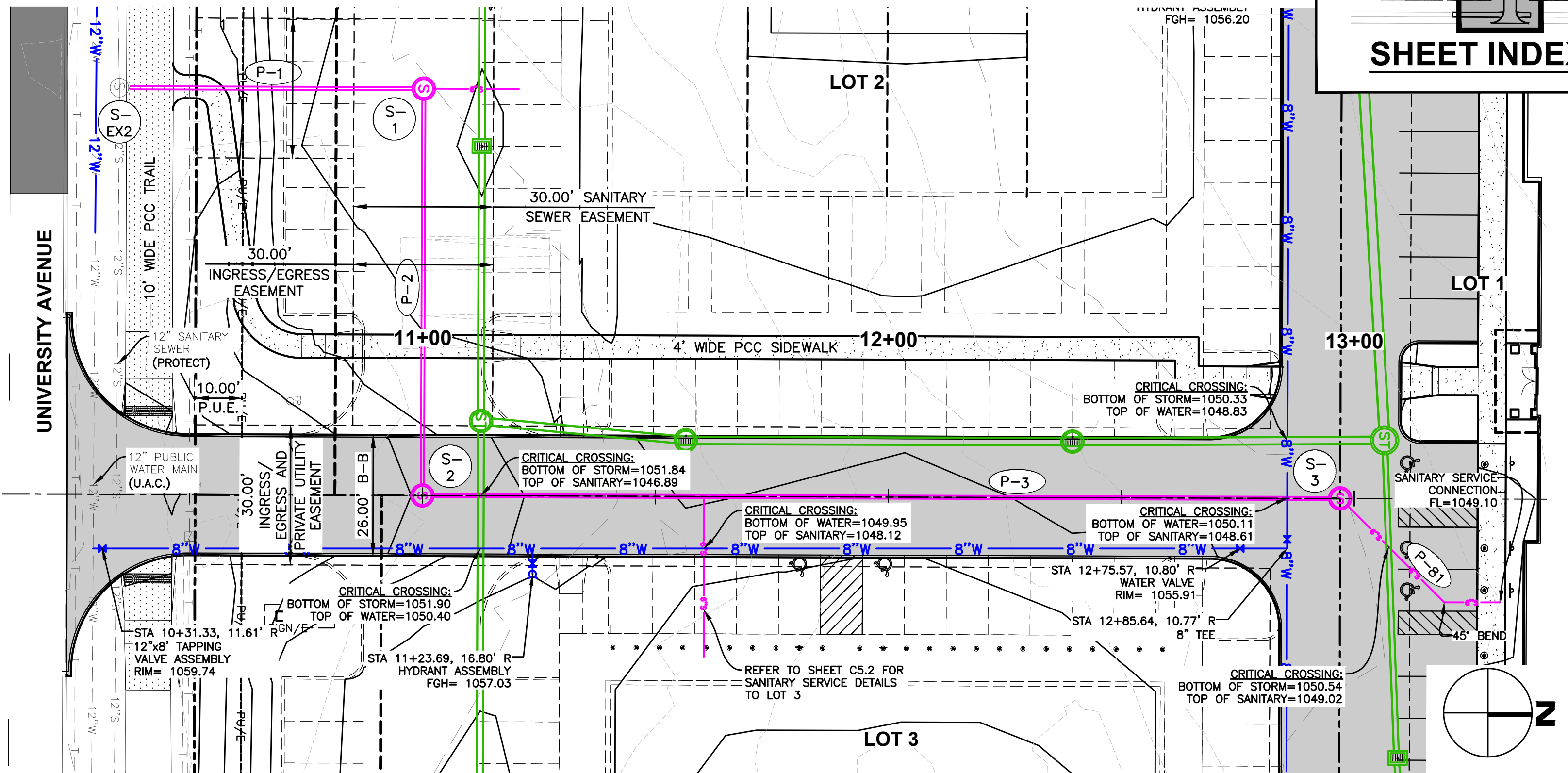
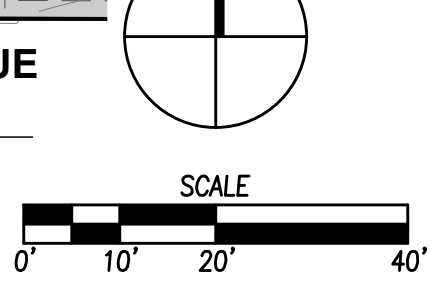
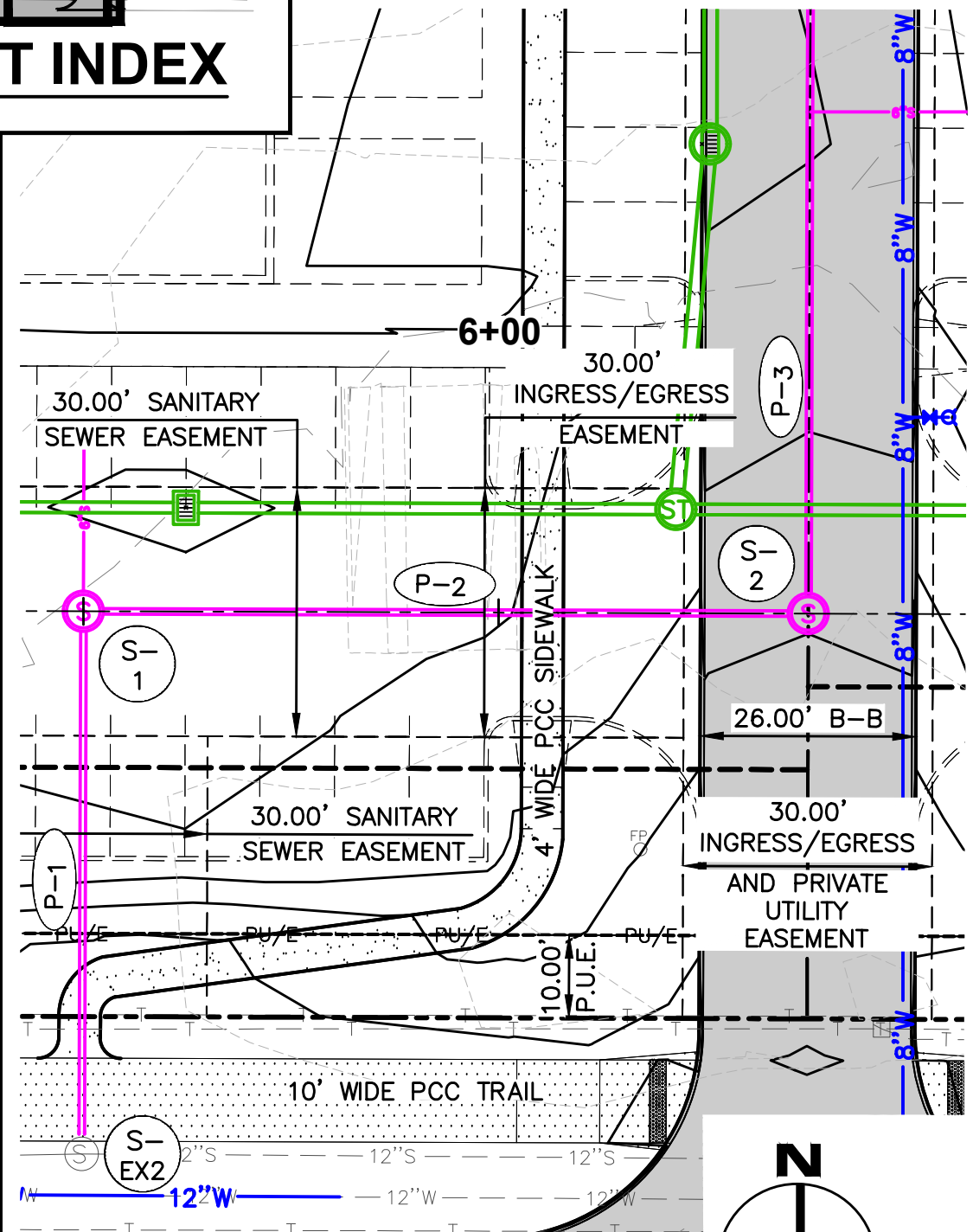
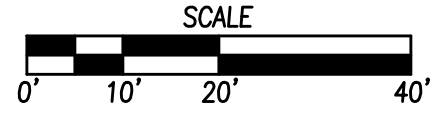
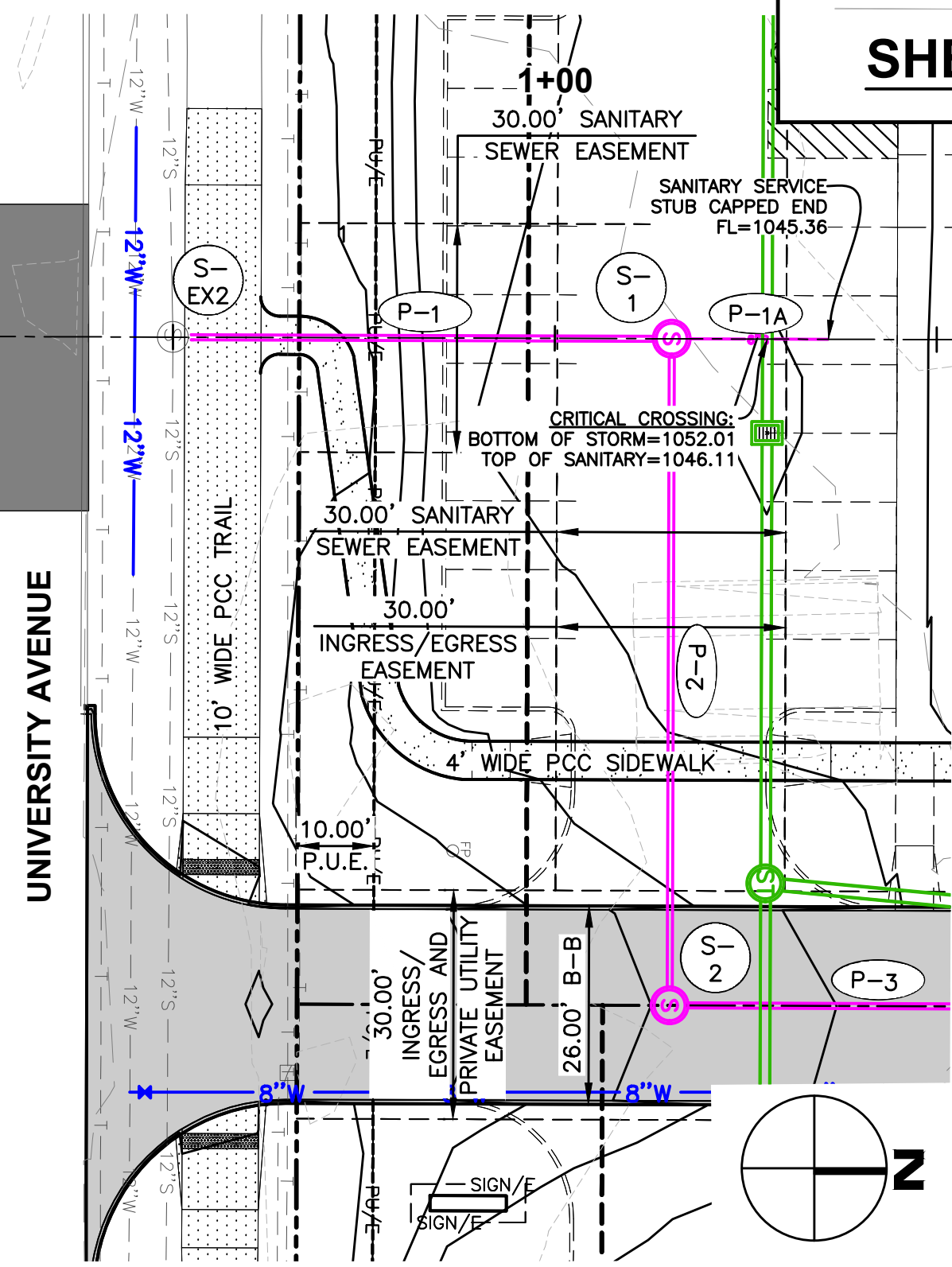
DATE	10/21/2025
REVISIONS	
ENGINEER	UNIVERSITY WOODS
PROJECT	2407.518
ADDRESS	15705 UNIVERSITY AVE
PHONE	(515) 369-4400
LOCATION	URBANDALE, IA 50322
STATUS	DRAFTED

UNIVERSITY WOODS
 CIVIL DESIGN ADVANTAGE

15705 UNIVERSITY AVE
 WAUKEE, IOWA

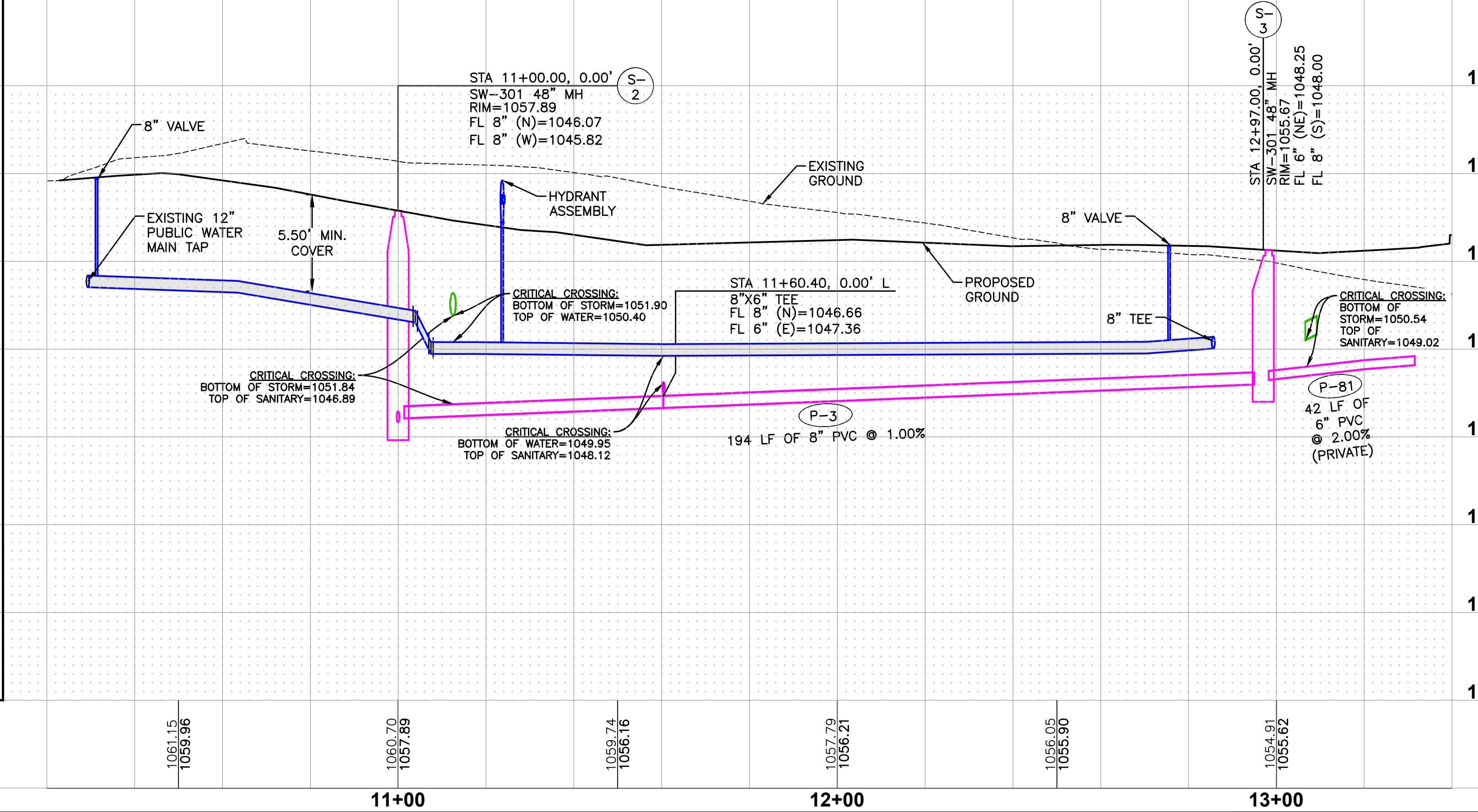
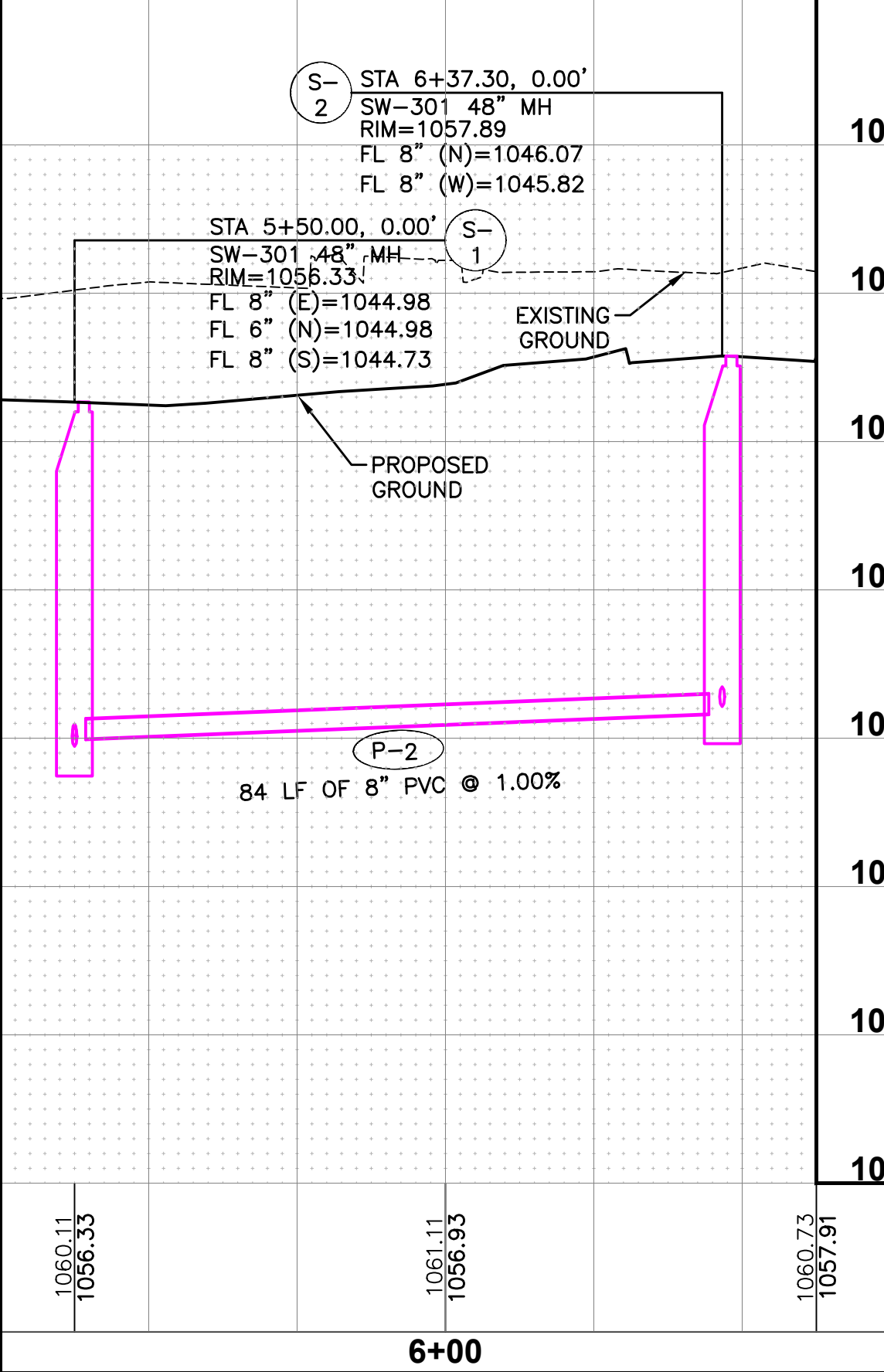
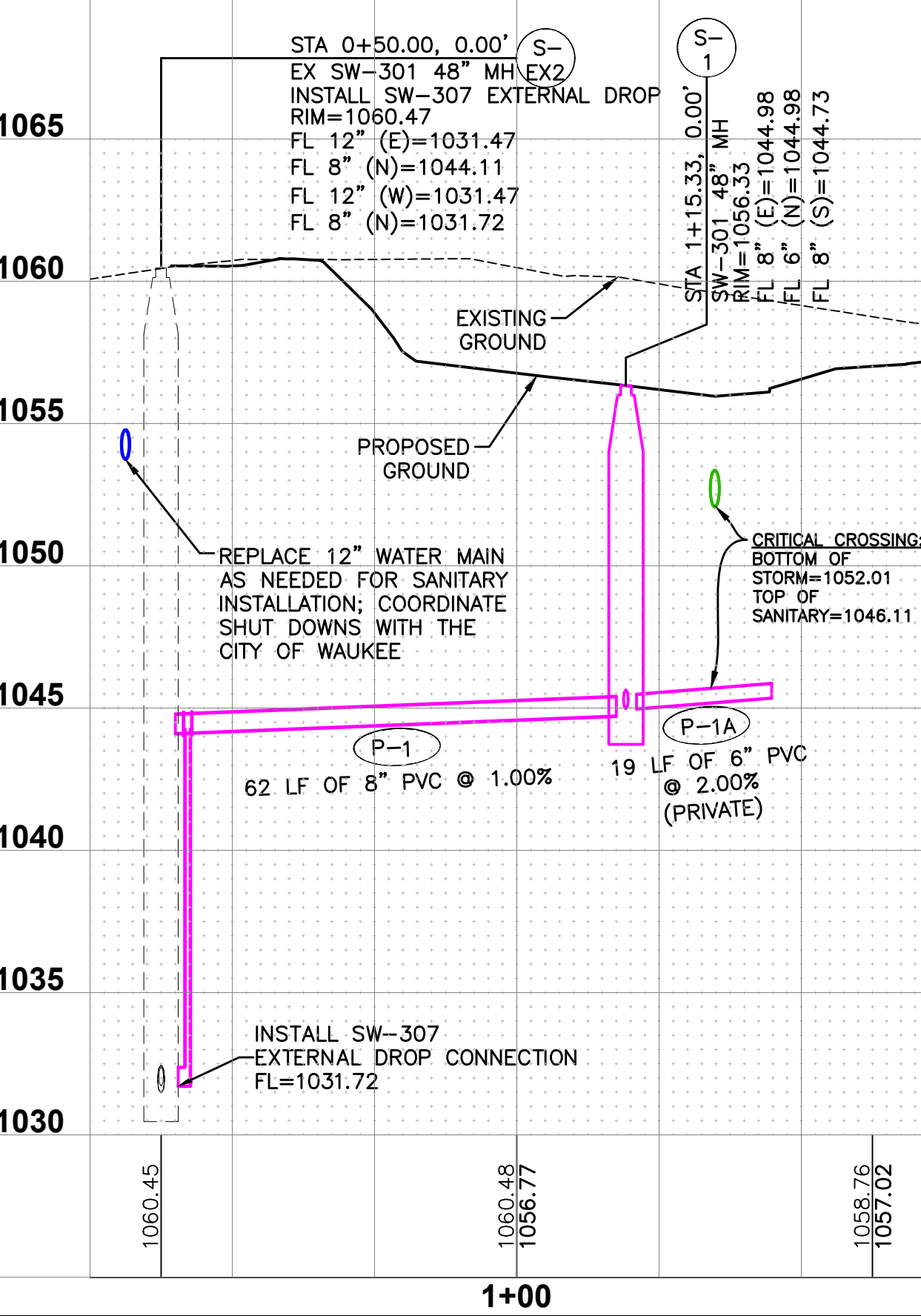
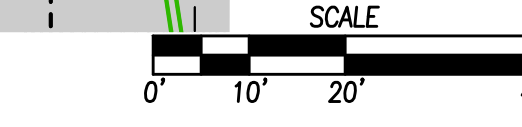
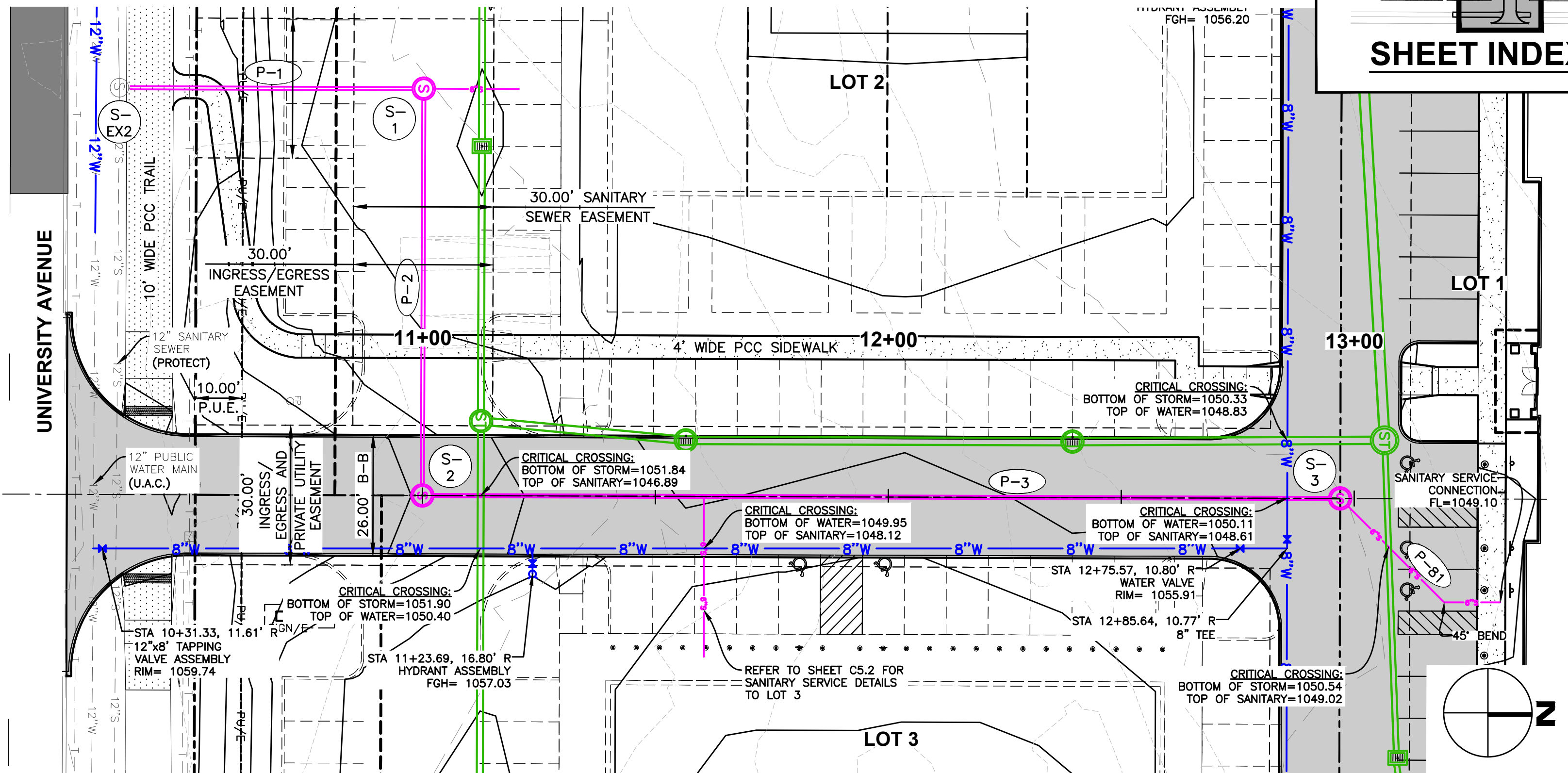
REFER TO SHEET C5.1 - C5.2 FOR STORM SEWER, PRIVATE WATER MAIN, AND PRIVATE SANITARY SEWER CONSTRUCTION DETAILS

SHEET INDEX



REFER TO SHEET C5.1 - C5.2 FOR STORM SEWER, PRIVATE WATER MAIN, AND PRIVATE SANITARY SEWER CONSTRUCTION DETAILS

SHEET INDEX

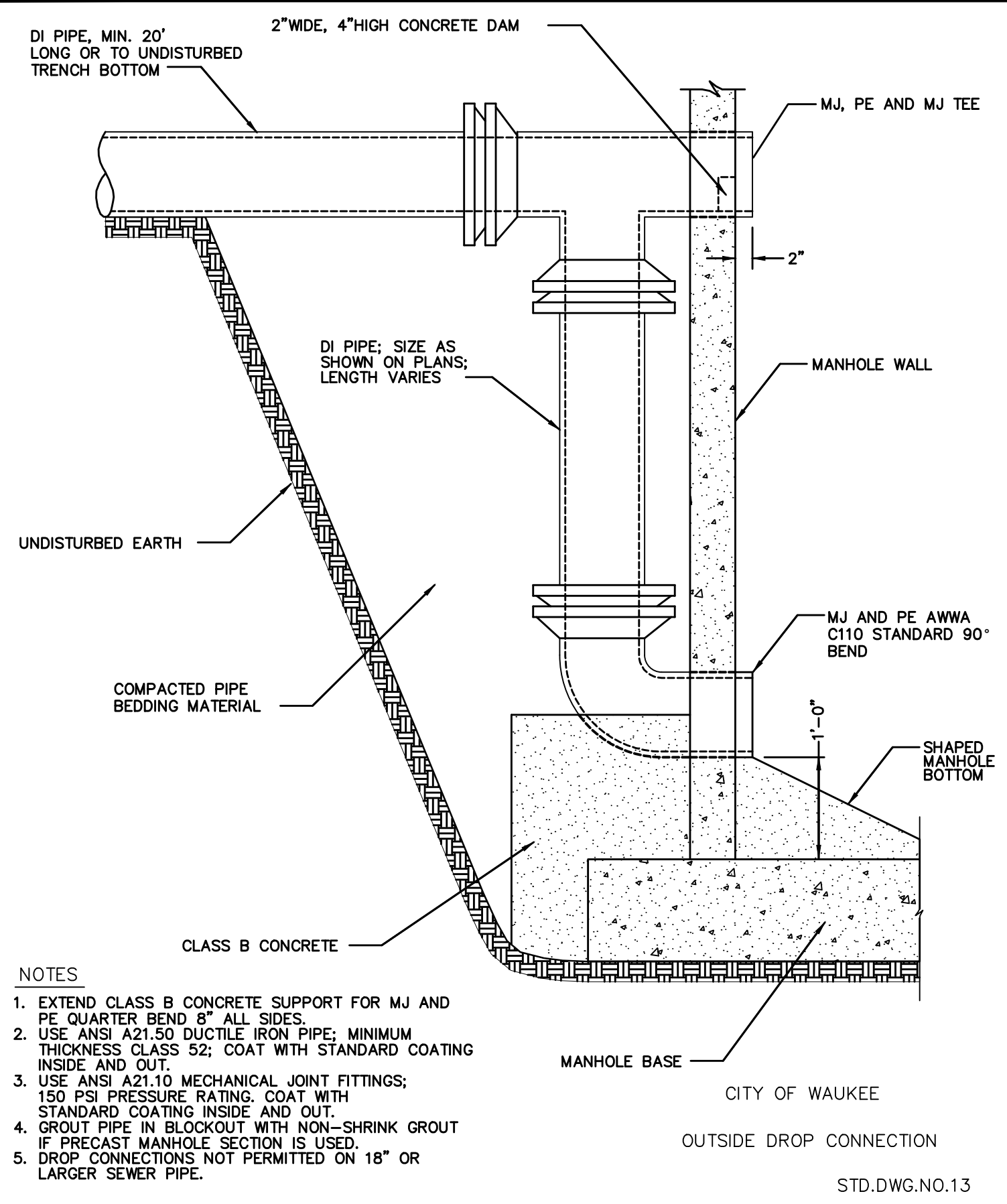


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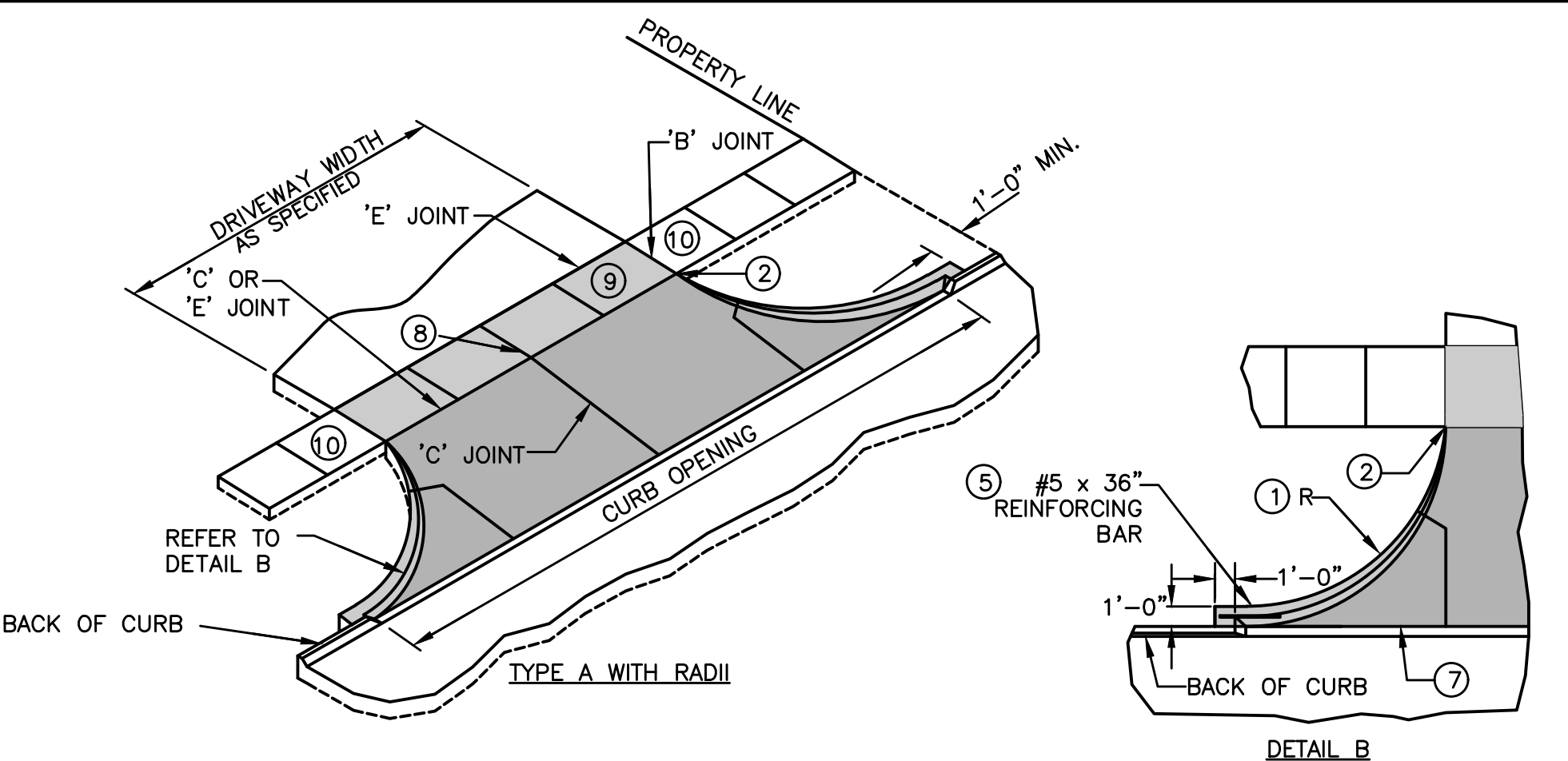
DATE: _____
 REVISIONS: _____
 4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400
 DRAFTED: _____
 ENGINEER: _____
CIVIL DESIGN ADVANTAGE
 WAUKEE, IOWA

UNIVERSITY WOODS
SANITARY SEWER & WATER MAIN PLAN & PROFILE
 15705 UNIVERSITY AVE

DATE: 10/21/2025
 SHEET NUMBER:
C5.3
 2407.518

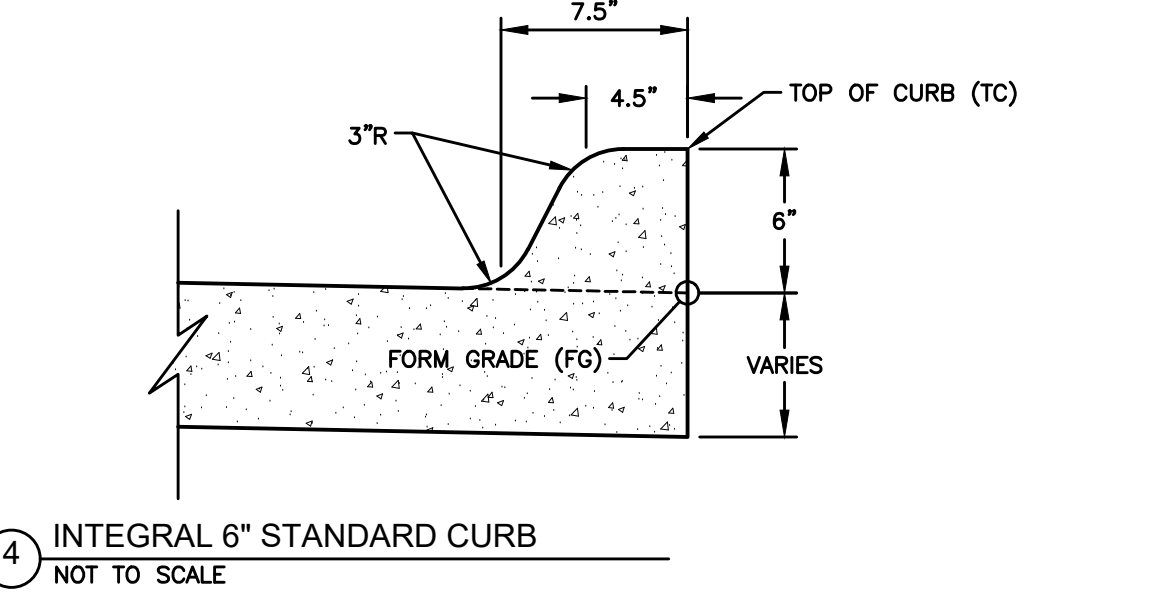
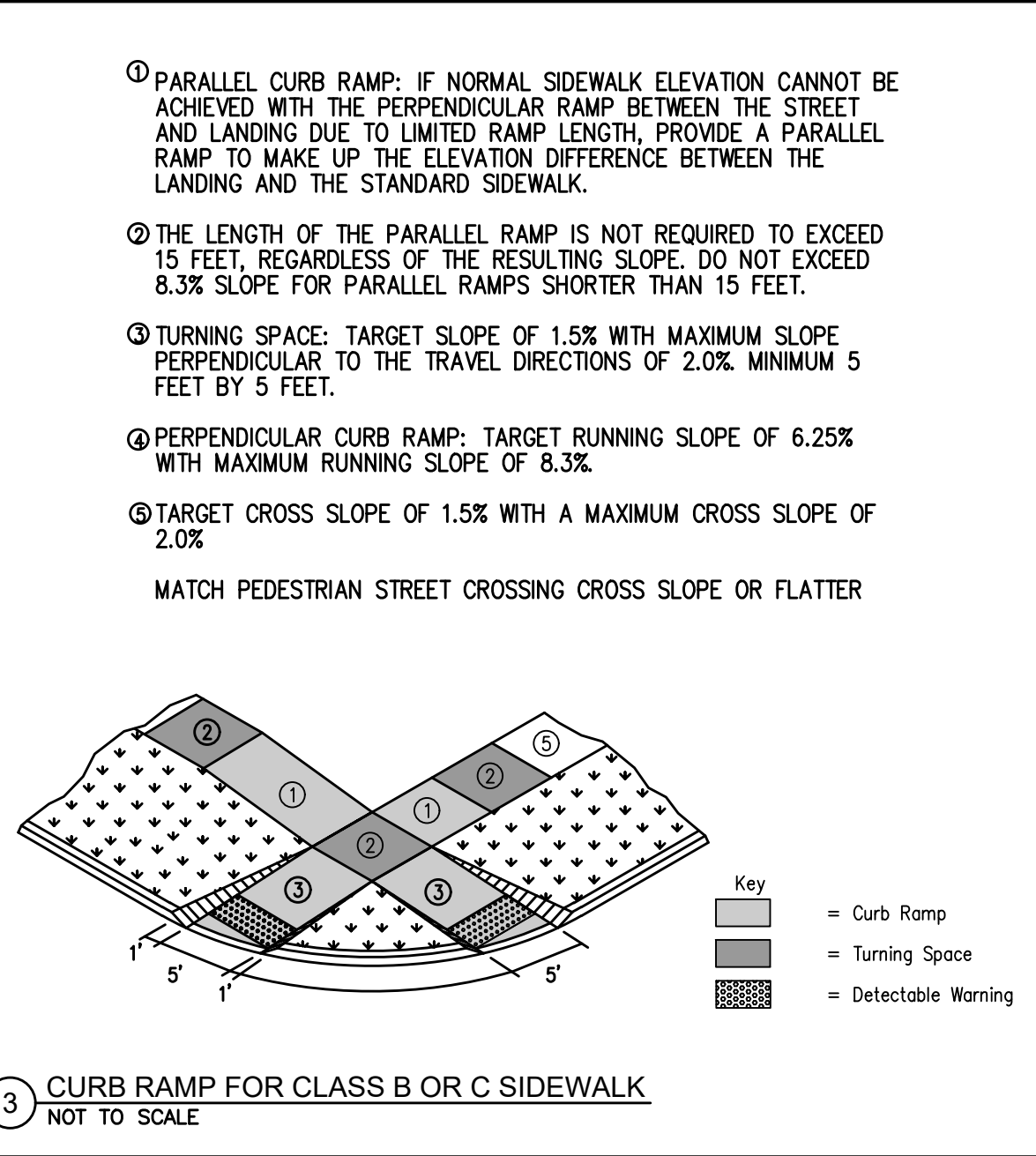


1 OUTSIDE DROP CONNECTION
NOT TO SCALE

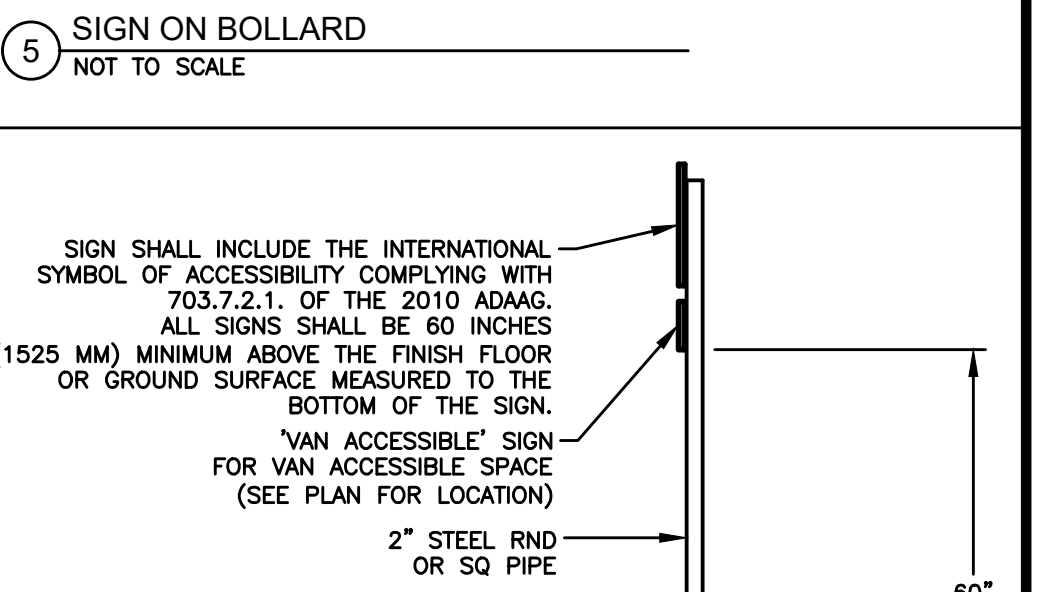
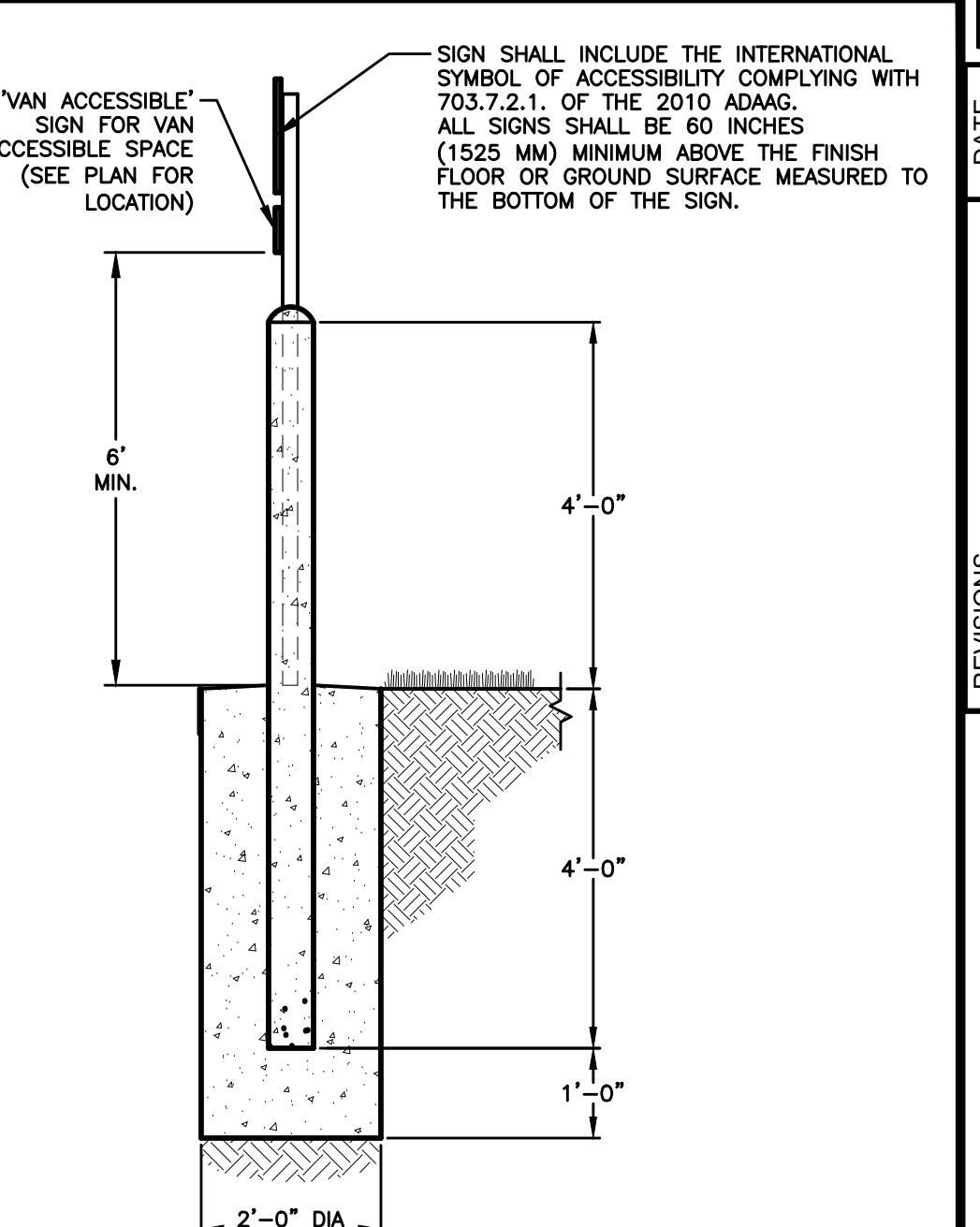


- 1 DRIVEWAY RADIUS (R).
- 2 TRANSITION THE CURB HEIGHT TO 0 INCHES AT END OF TAPER/RADIUS OR AT THE FRONT EDGE OF SIDEWALK. DO NOT EXTEND RAISED CURB ACROSS SIDEWALK.
- 3 PAVEMENT THICKNESS. RESIDENTIAL: 6 INCHES MINIMUM. COMMERCIAL AND INDUSTRIAL: 7 INCHES MINIMUM.
- 4 SIDEWALK THICKNESS THROUGH DRIVEWAY TO MATCH THICKNESS OF DRIVEWAY.
- 5 CENTER REINFORCING BAR VERTICALLY IN THE PAVEMENT.
- 6 MATCH THICKNESS OF ADJACENT ROADWAY, 8 INCHES MINIMUM.
- 7 PROVIDE 'E' JOINT AT BACK OF CURB UNLESS 'B' JOINT IS SPECIFIED.
- 8 FOR ALLEYS, INVERT THE PAVEMENT CROWN 2% TOWARD CENTER OF ALLEY.
- 9 TARGET CROSS SLOPE OF 1.5% WITH A MAXIMUM CROSS SLOPE OF 2.0%. IF SPECIFIED IN THE CONTRACT DOCUMENTS, CONSTRUCT THE SIDEWALK THROUGH THE DRIVEWAY 5 FEET WIDE TO SERVE AS A PASSING SPACE.
- 10 IF CROSS SLOPE OF ADJACENT SIDEWALK PANEL EXCEEDS 2.0%, REMOVE AND REPLACE TO TRANSITION FROM EXISTING SIDEWALK TO SIDEWALK THROUGH DRIVEWAY. IF ELEVATION CHANGE REQUIRES A CURB RAMP, COMPLY WITH FIGURE 7030.205; VERIFY NEED FOR DETECTABLE WARNING PANEL WITH ENGINEER.

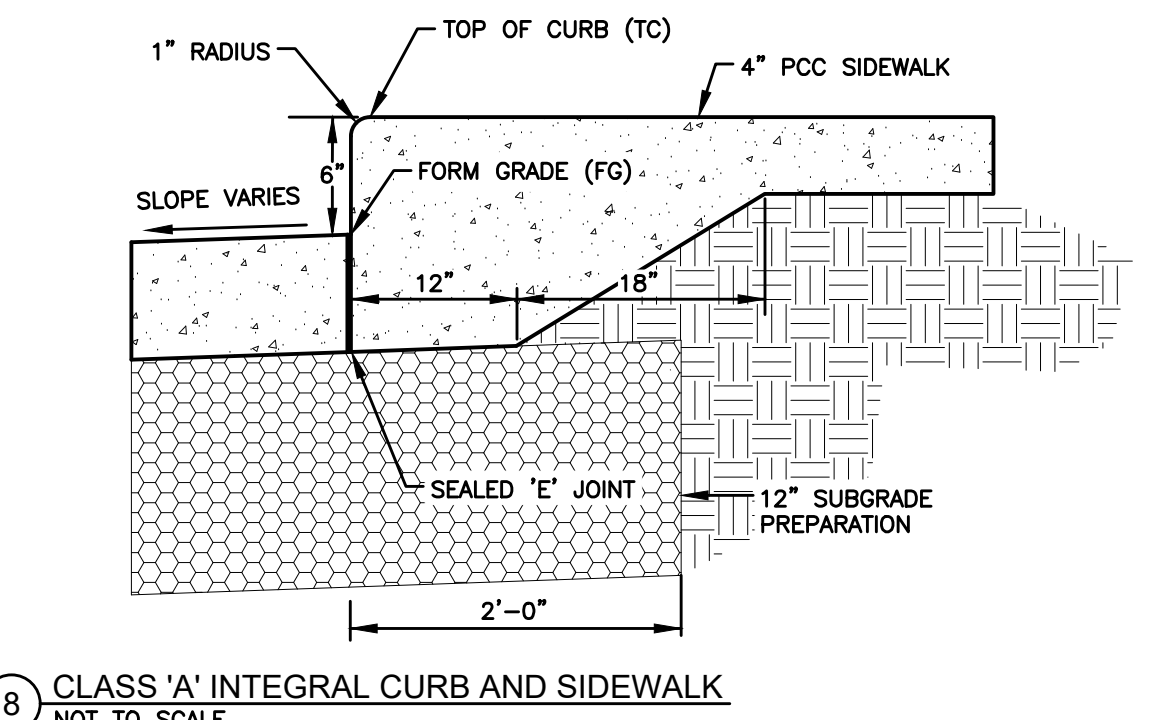
2 CONCRETE DRIVEWAY TYPE A
NOT TO SCALE



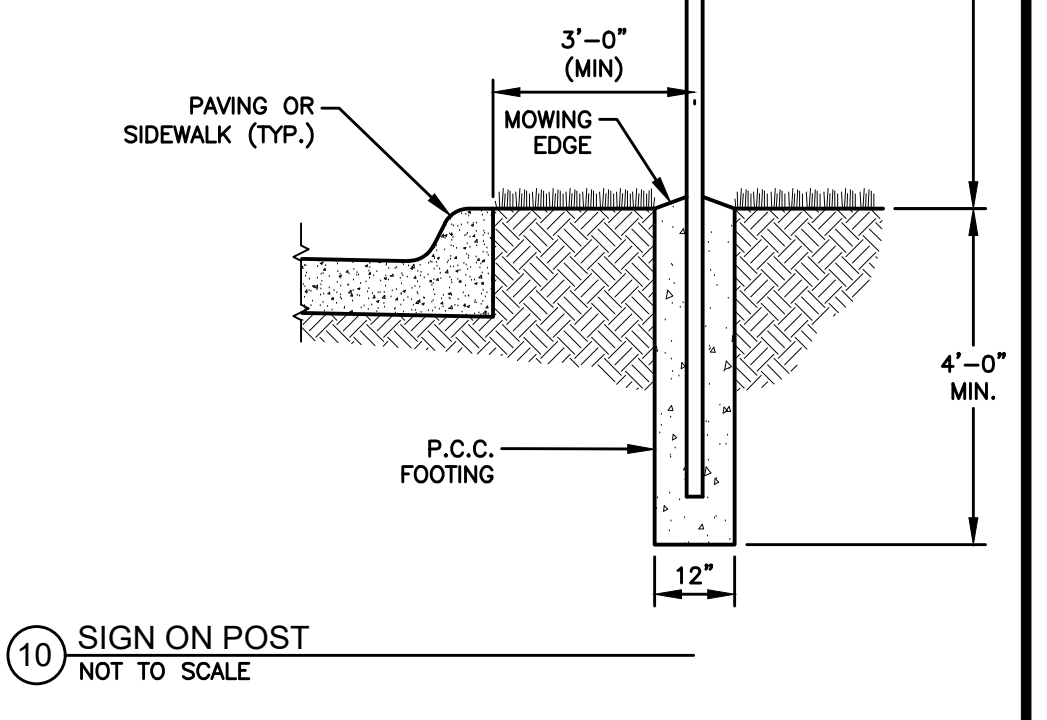
4 INTEGRAL 6\"/>



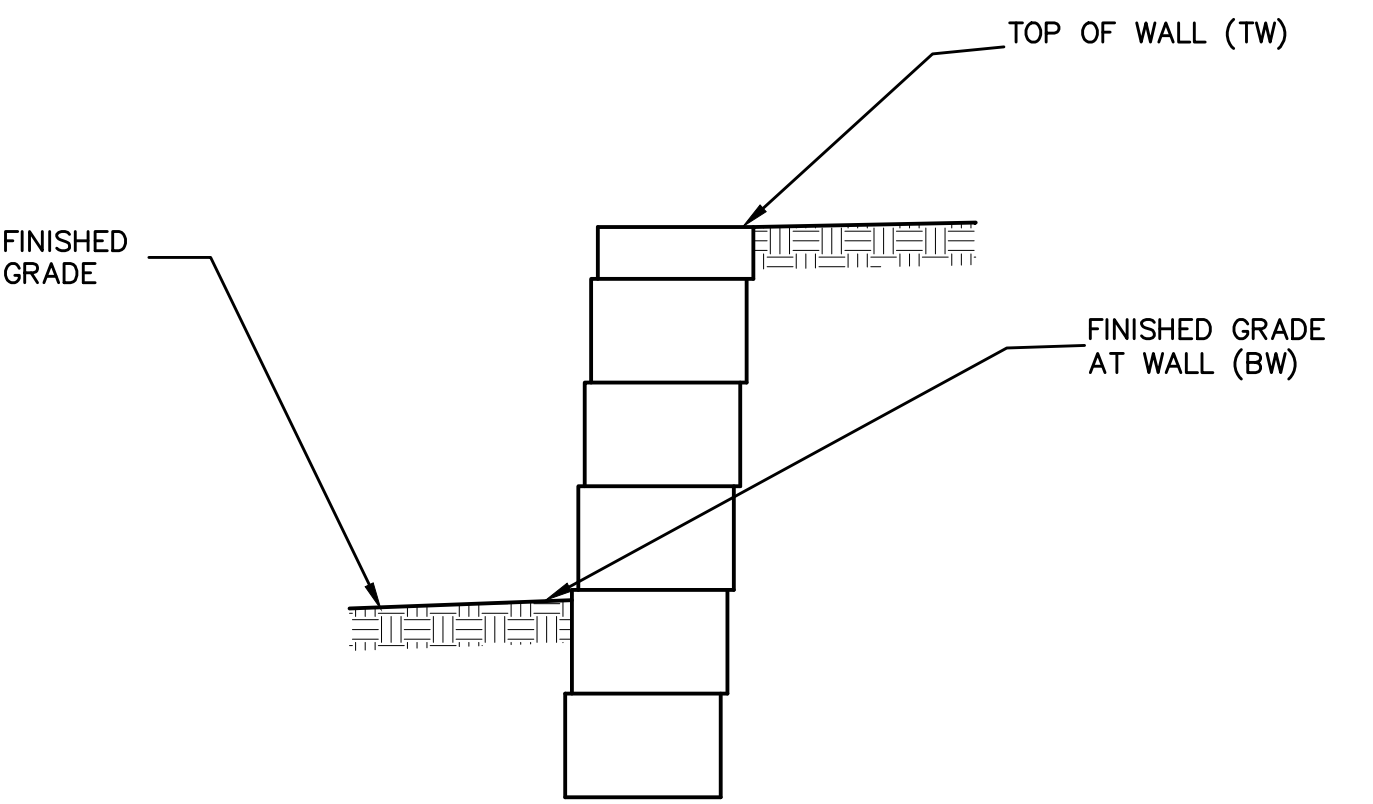
6 ST-3: SW-402 (6'x4') MANHOLE W/ PCC WEIR WALL
NOT TO SCALE



8 CLASS 'A' INTEGRAL CURB AND SIDEWALK
NOT TO SCALE



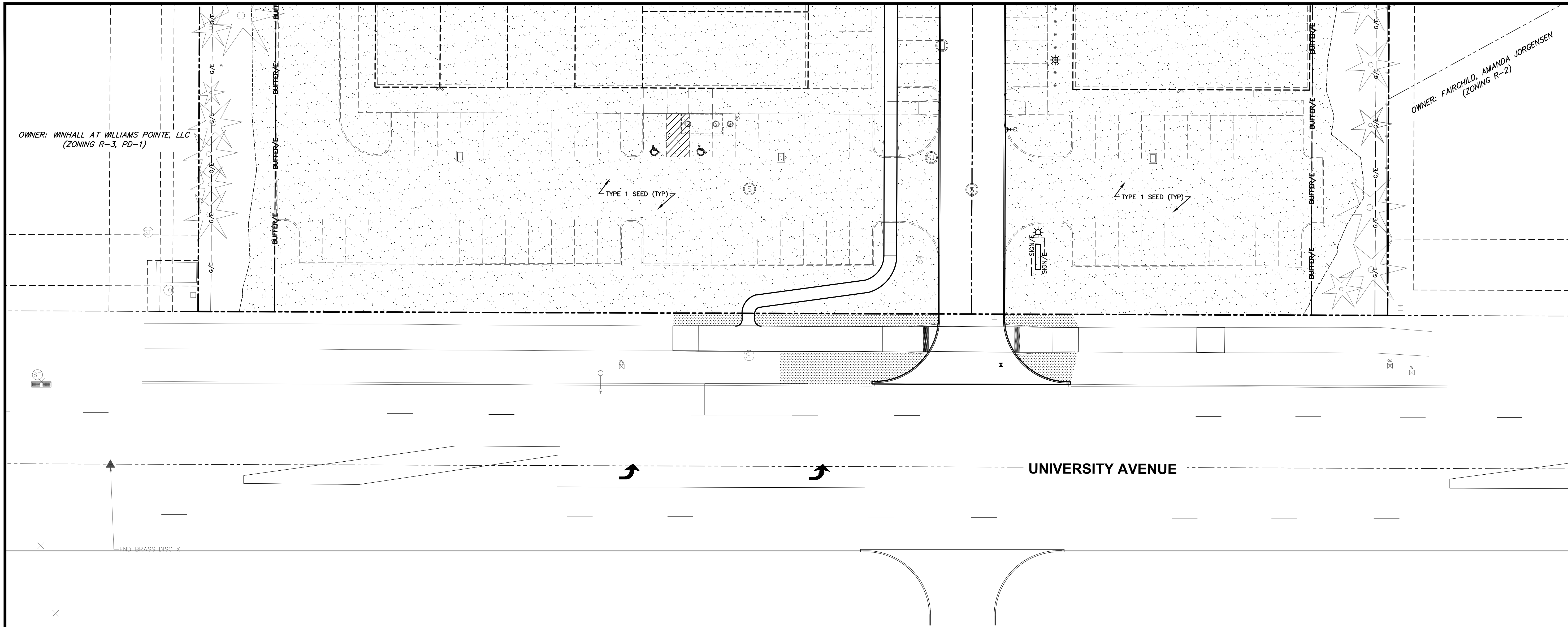
9 BOLLARD DETAIL
NOT TO SCALE



7 RETAINING WALL SPOT ELEVATION REFERENCE
NOT TO SCALE

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 COMMENT: STD

DATE	10/21/2025
REVISIONS	
UNIVERSITY WOODS DETAILS	
4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400	
CIVIL DESIGN ADVANTAGE ENGINEER:	DRAFTED:
15705 UNIVERSITY AVE	
WAUKEE, IOWA	
DATE: 10/21/2025	
SHEET NUMBER:	
C6.1	
2407.518	



LANDSCAPE NOTES

1. LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
2. THE 2025 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND THE 2024 WAUKEE SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
3. TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
4. ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
5. SOD ALL DISTURBED AREAS, INCLUDING ROW.
6. BACKFILL TO TOP OF CURB. (MINUS 1 1/2" FOR SOD, IF REQ.)
7. WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING IN PLANTING BEDS PER MANUFACTURER'S RECOMMENDATIONS.
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES AND SHRUBS TO A (MIN) DEPTH OF 3".
8. SHREDDED HARDWOOD MULCH SHALL BE PLACED IN ALL LOT 2 PLANTING BEDS TO A (MIN) DEPTH OF 3". (SEE PLAN FOR LOCATION)
9. 2" RIVER ROCK W/ WEED BARRIER FABRIC SHALL BE PLACED IN ALL LOT 1 PLANTING BEDS TO A (MIN) DEPTH OF 3". (SEE PLAN FOR LOCATION)
10. ALL EDGING SHALL BE 5" STEEL EDGE.
11. PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
12. ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY AND PRIOR TO ANY RAIN EVENT.
13. CONTRACTOR SHALL WARRANT ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF INSTALLATION.
14. CONTRACTOR SHALL PROVIDE IRRIGATION DESIGN TO OWNER, IF REQUESTED, FOR APPROVAL.

OFF-STREET PARKING AREAS

1. ALL ROWS OF PARKING SPACES SHALL BE PROVIDED A TERMINAL LANDSCAPED ISLAND, WITH A MINIMUM WIDTH OF TEN FEET AND A MINIMUM LENGTH OF 17 FEET FOR SINGLE PARKING ROWS AND 34 FEET FOR DUAL PARKING ROWS, TO PROTECT PARKED VEHICLES, PROVIDE VISIBILITY, CONFINE MOVING TRAFFIC TO DRIVEWAYS, AND PROVIDE SPACE FOR LANDSCAPING.
2. THERE SHALL BE PROVIDED WITHIN EACH ROW OF PARKING SPACES, LANDSCAPED ISLANDS, WITH A MINIMUM WIDTH OF 6 FEET AND A MINIMUM LENGTH OF 17 FEET FOR SINGLE PARKING ROWS AND 34 FEET FOR DUAL PARKING ROWS, LOCATED SO AS TO PREVENT MORE THAN 15 VEHICLES FROM BEING PARKED SIDE BY SIDE IN AN ABUTTING CONFIGURATION.
3. ALL LANDSCAPED ISLANDS REQUIRED IN SUBSECTIONS 1 AND 2 OF THIS SECTION SHALL BE PLANTED WITH AT LEAST ONE ORNAMENTAL OR ONE DECIDUOUS OVERSTORY TREE. A MINIMUM OF 50 PERCENT OF THE LANDSCAPED ISLANDS SHALL BE PROVIDED WITH A DECIDUOUS OVERSTORY TREE. THE ENTIRE LANDSCAPED ISLAND AREA SHALL BE COVERED WITH PLANT MATERIALS, LAWN, OR MULCHES.
4. THE SETBACK BETWEEN THE PARKING AREA AND THE PUBLIC RIGHT-OF-WAY SHALL BE LANDSCAPED WITH A MINIMUM OF ONE OVERSTORY DECIDUOUS TREE PER 40 LINEAR FEET OF FRONTAGE. THE FRONTAGE CALCULATION SHALL BE EXCLUSIVE OF THE DRIVEWAYS. THE PLANTINGS MAY BE PLANTED INDIVIDUALLY OR IN CLUSTERS. THIS REQUIREMENT SHALL BE INCLUDED IN THE MINIMUM NUMBER OF TREES REQUIRED FOR THE SITE AND IS NOT IN ADDITION TO.
5. TO ENCOURAGE THE USE OF ALTERNATIVE DESIGN PRACTICES AND GREEN INFRASTRUCTURE, THE CITY COUNCIL UPON A RECOMMENDATION OF THE PLANNING AND ZONING COMMISSION, MAY ACCEPT ALTERNATIVE LANDSCAPE COVERS AND/OR DESIGNS FOR PARKING LOT ISLANDS, IF DESIGNED APPROPRIATELY AND IN CONCERT WITH SURROUNDING DEVELOPMENT.

LOT 1 LANDSCAPE REQUIREMENTS

LOT 1 SITE AREA: 51,652 SF
 OPEN SPACE REQUIRED: 12,913 SF (25%)
 OPEN SPACE PROVIDED: 17,781 SF (34%)

1 TREE PER 1,000 SQUARE FEET OF REQUIRED OPEN SPACE;
 1 SHRUB PER 1,000 SQUARE FEET OF REQUIRED OPEN SPACE.

REQUIRED:
 OPEN SPACE TREES = 13
 SHRUBS REQUIRED = 13
 PARKING LOT TREES = 8

PROVIDED:
 OPEN SPACE TREES = 13
 SHRUBS PROVIDED = 142
 PARKING LOT TREES = 8

30' BUFFER REQUIREMENTS

2 OVERSTORY, 3 EVERGREEN AND 2 ORNAMENTAL TREES PER 50 LINEAR FEET.
 A CONTINUOUS EARTHEN BERM, MINIMUM OF THREE FEET IN HEIGHT, SHALL BE PROVIDED IN ADDITION TO THE REQUIRED PLANTINGS.

LOT 1
 476 L.F. OF BUFFER

REQUIRED
 OVERSTORY TREES = 20
 EVERGREEN TREES = 21
 ORNAMENTAL TREES = 20

PROVIDED
 OVERSTORY TREES = 20
 EVERGREEN TREES = 32
 ORNAMENTAL TREES = 21

OUTLOT 'A'
 363 L.F. OF BUFFER

REQUIRED
 OVERSTORY TREES = 14
 EVERGREEN TREES = 21
 ORNAMENTAL TREES = 14

PROVIDED
 OVERSTORY TREES = 14
 EVERGREEN TREES = 21
 ORNAMENTAL TREES = 14

MINIMUM PLANTING REQUIREMENTS

1. MINIMUM SIZE: THE MINIMUM SIZE FOR REQUIRED PLANTINGS, OTHER THAN THOSE IN REQUIRED BUFFERS, SHALL BE AS FOLLOWS:
 - A. DECIDUOUS OVERSTORY TREES SHALL BE A MINIMUM OF EIGHT (8) FEET IN HEIGHT.
 - B. EVERGREEN TREES SHALL BE A MINIMUM OF SIX (6) FEET IN HEIGHT.
 - C. DECIDUOUS ORNAMENTAL TREES SHALL BE A MINIMUM OF SIX (6) FEET IN HEIGHT.
2. MINIMUM QUANTITY: THE MINIMUM NUMBER OF PLANTINGS PER SITE SHALL BE AS FOLLOWS:
 - A. A MINIMUM OF FIFTY PERCENT (50%) OF ALL REQUIRED TREES SHALL BE OVERSTORY SHADE TREES.
 - B. FOR ALL USES EXCEPT SINGLE-FAMILY ATTACHED AND DETACHED RESIDENTIAL DWELLINGS, A MINIMUM OF TWENTY FIVE PERCENT (25%) OF ALL REQUIRED TREES SHALL BE EVERGREEN TREES.

LANDSCAPE LEGENDS

1. 3" DEPTH OF 1.5" DIAMETER TRAP ROCK OVER WEED BARRIER FABRIC
2. SOD
3. TYPE 1 SEEDING (TYP)
4. 3" DEPTH SHREDDED HARDWOOD MULCH

PLANT SCHEDULE

CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
OVERSTORY TREES				
EOY	18	EMERALD CITY® TULIP POPLAR	LIRIODENDRON TULIPIFERA 'IFS-OZ'	B&B, 1.5" CALIPER
PBM	16	PAPERBARK MAPLE	ACER GRISEUM	B&B, 1.5" CALIPER
SHL	8	SKYLINE® HONEY LOCUST	GLEDITSIA TRIACANTHOS 'INERMIS 'SKYCOLE'	B&B, 1.5" CALIPER
SUM	3	SUGAR MAPLE	ACER SACCHARUM	B&B, 1.5" CALIPER
EVERGREEN TREES				
NWS	17	NORWAY SPRUCE	PICEA ABIES	B&B, 6' HEIGHT
WHF	13	WHITE FIR	ABIES CONCOLOR	B&B, 6' HEIGHT
WHP	20	WHITE PINE	PINUS ALBA	B&B, 6' HEIGHT
ORNAMENTAL TREES				
JTL	16	JAPANESE TREE LILAC	SYRINGA RETICULATA	B&B, 1.5" CALIPER
PDW	19	PAGODA DOGWOOD	CORNUS ALTERNIFOLIA	B&B, 1.5" CALIPER
GRASSES				
EBF	31	ELIJAH BLUE FESCUE	FESTUCA OVINA GLAUCA 'ELIJAH BLUE'	CONT, 1 GALLOW
LBS	15	LITTLE BLUESTEM	SCHIZACHYRIUM SCOPARULUM	CONT, 1 GAL
MAG	12	MAIDEN GRASS	GRACILLIMUS MISCANTHUS	CONT, 1 GAL
PDS	7	PRAIRIE DROPSEED	SPOROBOLUS HETEROLEPIS	CONT, 1 GAL
SBO	22	SAPPHIRE BLUE OAT GRASS	HELICTOTRICHON SEMPERVIRENS 'SAPPHIRE'	CONT, 1 GAL
SWG	12	SWITCH GRASS	PANICUM VIRGATUM	CONT, 1 GAL
ZEG	43	ZEBRA EULALIA GRASS	MISCANTHUS SINENSIS 'ZEBRINUS'	CONT, 1 GAL

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 COMMENT:

REVISIONS

DATE

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400

DRAFTED:

ENGINEER:

WAUKEE, IOWA

15705 UNIVERSITY AVE

CIVIL DESIGN ADVANTAGE

UNIVERSITY WOODS
 LANDSCAPE PLAN

DATE: 10/21/2025
 SHEET NUMBER: L1.1
 2407.518

OWNER: WINHALL AT WILLIAMS POINTE, LLC
(ZONING R-3, PD-1)

OWNER: HOLDEN, JEREMY M &
CHLOE G
(ZONING R-2)

OWNER: SCHNEIDER, TODD A
(ZONING R-2)

OWNER: TOMLIN, DAVE
(ZONING R-2)

OWNER: HEGGEN, JOHN E &
RHONDA D
(ZONING R-2)

OWNER: BRUDTKUHL, ANDREW
(ZONING R-2)

OWNER: OOSTENINK, LOIS C
(ZONING R-2)

OWNER: BIRKETT, DANNY J & NICOLE
L
(ZONING R-2)

OWNER: HARRIS, MICHAEL
(ZONING R-2)

OWNER: CHRISTIAN, MARK J & MARIA L
(ZONING R-2)

OWNER: FAIRCHILD, AMANDA JORGENSEN
(ZONING R-2)

OWNER: WINHALL AT WILLIAMS POINTE, LLC
(ZONING R-3, PD-1)

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PLOT DATE: 10/21/2025 4:00 PM
DRAWN BY: KEVIN WEGGEN
CHECKED BY: KEVIN WEGGEN

COMMENT:

DATE	REVISIONS

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

ENGINEER:



CIVIL DESIGN ADVANTAGE

UNIVERSITY WOODS
LANDSCAPE PLAN

15705 UNIVERSITY AVE
WAUKEE, IOWA

DATE: 10/21/2025
SHEET NUMBER:
L1.2
2407.518

