

PRELIMINARY PLAT CASTLETON POINTE WAUKEE, DALLAS COUNTY IOWA

BULK REGULATIONS R-2 ONE- AND TWO-FAMILY RESIDENTIAL DISTRICT.

LOTS: 1-409, 444, 445, AND 467.
BULK REGULATIONS, THE FOLLOWING MINIMUM REQUIREMENTS SHALL BE OBSERVED,
SUBJECT TO THE MODIFICATIONS CONTAINED IN SECTION 165.19 OF THESE ZONING REGULATIONS:

LOT AREA	8,000 SQUARE FEET FOR EACH SINGLE-FAMILY DWELLING; 10,000 SQUARE FEET FOR EACH TWO-FAMILY DWELLING; 20,000 SQUARE FEET FOR EACH SINGLE-FAMILY DWELLING OR 40,000 SQUARE FEET FOR EACH TWO-FAMILY DWELLING WHERE PUBLIC SEWER FACILITIES ARE NOT AVAILABLE
LOT WIDTH	65 FEET FOR SINGLE-FAMILY DWELLING; 80 FEET FOR TWO-FAMILY DWELLING; CORNER LOTS SHALL BE 10 FEET WIDER 100 FEET WHERE PUBLIC SEWER IS NOT AVAILABLE
FRONT YARD	30 FEET
REAR YARD	30 FEET FOR DWELLING; 40 FEET FOR OTHER PRINCIPAL PERMITTED USES
SIDE YARD	A TOTAL OF 15 FEET; ONE SIDE MAY BE REDUCED TO NOT LESS THAN 7 FEET; 15 FEET FOR ANY OTHER PRINCIPAL PERMITTED USE.
MAXIMUM HEIGHT	3 STORIES OR 40 FEET FOR PRINCIPAL BUILDING 1 STORY OR 14 FEET FOR ACCESSORY BUILDING
FLOOR AREA	950 SQUARE FEET FOR SINGLE-STORY SINGLE-FAMILY DWELLING; 150 SQUARE FEET PER UNIT FOR SINGLE-STORY TWO-FAMILY IF TWO OR MORE STORIES, 1,250 SQUARE FEET FOR SINGLE-FAMILY WITH A MINIMUM OF 600 SQUARE FEET ON FIRST FLOOR AND 1,050 SQUARE FEET FOR TWO-FAMILY WITH A MINIMUM OF 500 SQUARE FEET ON FIRST FLOOR. IF A SPLIT LEVEL, EACH LEVEL SHALL BE A MINIMUM OF 350 SQUARE FEET IF A SPLIT FOYER, 950 SQUARE FEET PER STORY

BULK REGULATIONS R-3 MULTI-FAMILY RESIDENTIAL DISTRICT.

LOTS: OUTLOT 'P' & OUTLOT 'S'
BULK REGULATIONS, THE FOLLOWING MINIMUM REQUIREMENTS SHALL BE OBSERVED, SUBJECT TO THE MODIFICATIONS CONTAINED IN SECTION 165.19 OF THESE ZONING REGULATIONS:

DENSITY	10 DWELLING UNITS PER ACRE
LOT WIDTH	75 FEET
FRONT YARD	30 FEET
REAR YARD	30 FEET FOR DWELLING; 40 FEET FOR OTHER PRINCIPAL PERMITTED USES
SIDE YARD	A TOTAL OF 15 FEET; ONE SIDE MAY BE REDUCED TO NOT LESS THAN 7 FEET; 15 FEET FOR ANY OTHER PRINCIPAL BUILDING.
MAXIMUM HEIGHT	3 STORIES OR 45 FEET FOR PRINCIPAL BUILDING 1 STORY OR 14 FEET FOR ACCESSORY BUILDING
FLOOR AREA	150 SQUARE FEET PER UNIT EXCEPT FOR EFFICIENCY UNITS AND ONE-BEDROOM APARTMENTS, WHICH SHALL BE 600 SQUARE FEET

MORE THAN ONE DWELLING UNIT ON LOT
WHERE MORE THAN ONE PRINCIPAL BUILDING IS CONSTRUCTED ON A LOT SUCH PRINCIPAL BUILDINGS SHALL BE SEPARATED BY NOT LESS THAN 40 FEET AND THE FRONT, REAR, AND SIDE YARDS SHALL BE DETERMINED CONSIDERING ALL PRINCIPAL BUILDINGS AS ONE UNIT.

BULK REGULATIONS R-2 / PD-1 ONE & TWO FAMILY RESIDENTIAL DISTRICT WITH A PLANNED DEVELOPMENT OVERLAY.

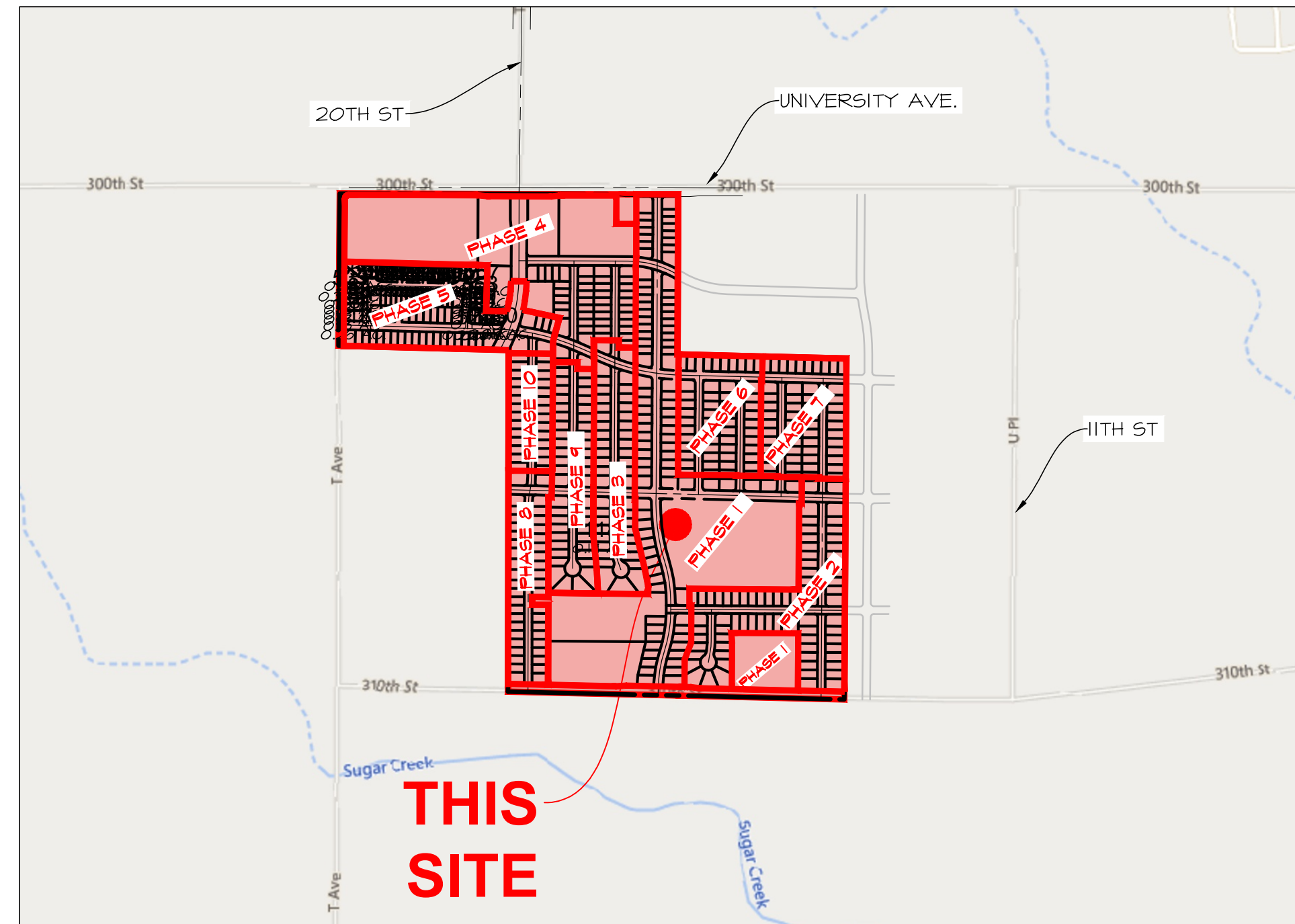
- LOTS: 410-443, 446-466, 468-518; OUTLOTS 'V', 'W', 'T' & 'U'
DUPLEX LOTS: 531-518
- RESIDENTIAL STRUCTURES CONSISTING OF ONE-STORY, TWO-STORY, OR ONE AND ONE-HALF STORY SINGLE FAMILY OR TWO-FAMILY DWELLINGS WITH ATTACHED GARAGES.
 - MINIMUM BUILDING SQUARE FOOTAGE SHALL BE:
 - ONE STORY 1,000 SQUARE FEET
 - TWO STORY 1,400 SQUARE FEET
 - SPLIT ENTRY 150 SQUARE FEET ON MAIN LEVEL WITH FINISHED LOWER FLOOR.
 - 150 SQUARE FEET PER UNIT FOR SINGLE STORY TWO-FAMILY.
 - TWO STORY TWO-FAMILY DWELLINGS SHALL HAVE A MINIMUM OF 500 SQUARE FEET ON THE FIRST FLOOR.
 - ALL SINGLE-FAMILY DETACHED LOTS SHALL BE A MINIMUM 65 FEET WIDE BY 110 FEET DEEP.
 - ALL TWO-FAMILY DWELLING LOTS SHALL BE A MINIMUM OF 80 FEET WIDE, CORNER LOTS SHALL BE 10' WIDER.
 - MINIMUM SETBACKS FOR PRINCIPAL BUILDINGS/STRUCTURES:
 - FRONT YARD SETBACKS SHALL BE A MINIMUM OF 30 FEET.
 - SIDE YARD SETBACKS WILL BE TOTAL 10 FEET, WITH A MINIMUM 5 FEET ALLOWED ON EACH SIDE.

- RESTRICTIONS:
- MINIMUM TWO STALL ATTACHED GARAGE.
 - 25% BRICK, STONE, AND/OR STUCCO.
 - ADJACENT LOTS CANNOT SHARE COMMON ELEVATION.
 - MINIMUM TWO TREES AND TWO SHRUBS PER LOT AT TIME OF HOME CONSTRUCTION.
 - NO VINYL SIDING.
- ZONING ITEMS NOT ADDRESSED WITHIN THESE BULK REGULATIONS SHALL REFER TO CITY OF WAUKEE, R-2, DISTRICT ZONING REGULATIONS.

BULK REGULATIONS C-1 COMMUNITY AND HIGHWAY SERVICE COMMERCIAL DISTRICT.

LOTS: OUTLOT 'Q' & OUTLOT 'R'
BULK REGULATIONS, THE FOLLOWING MINIMUM REQUIREMENTS SHALL BE OBSERVED,
SUBJECT TO THE MODIFICATIONS CONTAINED IN SECTION 165.19 OF THESE ZONING REGULATIONS:

LOT AREA	NO MINIMUM
LOT WIDTH	NO MINIMUM
MINIMUM FRONT YARD	30 FEET
MINIMUM REAR YARD	30 FEET
MINIMUM SIDE YARD	NO MINIMUM, EXCEPT WHEN ADJACENT TO ANY R DISTRICT, THE MINIMUM SIDE YARD SETBACK SHALL BE 30 FEET.
MAXIMUM HEIGHT	NO MINIMUM EXCEPT WHEN ADJACENT TO AN R-1, R-2 OR R-4 DISTRICT, THE MAXIMUM SHALL BE 2 STORIES OR 40 FEET STORY OR 14 FEET FOR ACCESSORY BUILDING



VICINITY MAP
SCALE: 1"=1000'
NORTH

PROJECT CONTACTS

SANITARY SEWER
WAUKEE PUBLIC WORKS DEPARTMENT
805 UNIVERSITY AVENUE
WAUKEE, IA 50263
CONTACT: TIM ROYER
PHONE: (515-478-7420)

WATER MAIN
WAUKEE PUBLIC WORKS DEPARTMENT
805 UNIVERSITY AVENUE
WAUKEE, IA 50263
CONTACT: TIM ROYER
PHONE: 515-478-7420

STORM SEWER
WAUKEE PUBLIC WORKS DEPARTMENT
805 UNIVERSITY AVENUE
WAUKEE, IA 50263
CONTACT: TIM ROYER
PHONE: 515-478-7420

NATURAL GAS UTILITY
WAUKEE PUBLIC WORKS DEPARTMENT
805 UNIVERSITY AVENUE
WAUKEE, IA 50263
CONTACT: TIM ROYER
PHONE: 515-478-7420

ELECTRIC
MID AMERICAN ENERGY
666 GRAND AVENUE
DES MOINES, IA 50301
MATT NOVY
PHONE: 515-252-6730

TELEPHONE
CENTURY LINK
2103 E UNIVERSITY
DES MOINES, IA 50317
CONTACT: DAVE HARRIS
PHONE: 303-263-1250

BUILDING DEPARTMENT
204 N HICKMAN ROAD
WAUKEE, IA 50263
CONTACT: KEITH RASH
PHONE: 515-478-7843

HEALTH DEPARTMENT
DALLAS COUNTY PUBLIC HEALTH
25147 N AVENUE
ADEL, IA 50003
PHONE: 515-493-3750

FIRE DEPARTMENT
815 NW 20th STREET
WAUKEE, IA 50263
PHONE: 515-487-7498
FIRE MARSHALL: JUSTIN FREDERICK
PH: 515-478-7498
EMAIL: JFREDERICK@WAUKEE.ORG

NOTES

- LOTS 'A' THRU 'Z' AND LOTS 'A-A', 'B-B', 'C-C', AND 'D-D' SHALL BE DEDICATED TO THE CITY OF WAUKEE, IOWA FOR STREET PURPOSES.
- ALL SITE IMPROVEMENTS SHALL COMPLY WITH WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, 2025 WAUKEE STANDARD SPECS AND 2025 SUDAS
- ANY CITY UTILITY RELOCATIONS SHALL BE AT THE OWNERS EXPENSE.
- OUTLOTS 'T', 'U', 'V', 'W' & 'Y' WILL BE STORMWATER MANAGEMENT FACILITIES AND OWNED AND MAINTAINED BY THE CASTLETON POINTE HOME OWNERS ASSOCIATION.
- OUTLOT 'X' WILL BE DEDICATED TO THE CITY OF WAUKEE AS PARKLAND.

FLOOD ZONE

ZONE 'X' ACCORDING TO FEMA FLOOD INSURANCE RATE MAPS, COMMUNITY-PANEL #19044C0335F MAP REVISED DECEMBER 7, 2018.

PROPERTY OWNER / APPLICANT:

WAUKEE COMMONS, LC
5000 WESTOWN PKWY STE 400
WEST DES MOINES IA 50266

PROFESSIONAL CIVIL ENGINEER:

ENGINEER/PROJECT MANAGER:
CIVIL ENGINEERING CONSULTANTS, INC.
2400 86TH STREET, UNIT 12
URBANDALE, IA 50322
CONTACT: PAUL CLAUSEN, PE
PH: (515) 276-4884 EXT. 217
EMAIL: CLAUSEN@CECLAC.COM

PROFESSIONAL LAND SURVEYOR:

CIVIL ENGINEERING CONSULTANTS, INC.
2400 86TH STREET, SUITE 12
URBANDALE, IA 50322
JEFFERY A. GADDIS, PLS
PH: (515) 276-4884 EXT. 221
EMAIL: GADDIS@CECLAC.COM

MUNICIPALITY PLANNER:

MELISSA DEBOER
PLANNING COORDINATOR
CITY OF WAUKEE
PH: 515-478-7847
EMAIL: MDEBOER@WAUKEE.ORG

LEGAL DESCRIPTION

(WARRANTY DEED - BOOK 2022, PAGE 1746)
GOVERNMENT LOTS THREE (3) EXCEPT A PARCEL OF LAND LYING IN GOVERNMENT LOT 3, SECTION 1, TOWNSHIP 78 NORTH, RANGE 27 WEST OF THE 5TH P.M., DALLAS COUNTY, IOWA, MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NW CORNER OF SECTION 1, TOWNSHIP 78 NORTH, RANGE 27 WEST OF THE 5TH P.M., THENCE EAST ALONG THE NORTH LINE OF SAID SECTION 1, 2142.9 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID NORTH LINE OF SECTION 1, 155.51 FEET; THENCE SOUTH AT 90°, 280.0 FEET; THENCE WEST AT 40°, 155.51 FEET; THENCE NORTH AT 90°, 280.0 FEET TO THE POINT OF BEGINNING. THE ABOVE-DESCRIBED PARCEL CONTAINING 1.00 ACRES OF LAND WITH .12 ACRES BEING ROADWAY.

AND

EXCEPT THE NORTH 50.0 FEET OF THE WEST 831.54 FEET OF GOVERNMENT LOT 3, OF SAID SECTION 1, AND THE NORTH 50.0 FEET OF THE EAST 324.15 FEET OF SAID GOVERNMENT LOT 3 CONTAINING 0.451 ACRES, MORE OR LESS EXCLUSIVE OF PRESENT ESTABLISHED HIGHWAYS.

AND

LOT FOUR (4) IN SECTION ONE (1), TOWNSHIP SEVENTY-EIGHT (78) NORTH, RANGE TWENTY-SEVEN (27) WEST OF THE 5TH P.M., DALLAS COUNTY, IOWA, EXCEPT THE NORTH 50.0 FEET OF GOVERNMENT LOT 4, SECTION 1, TOWNSHIP 78 NORTH, RANGE 27 WEST OF THE 5TH P.M., DALLAS COUNTY, IOWA, CONTAINING 0.276 ACRES, MORE OF LESS EXCLUSIVE OF PRESENT ESTABLISHED HIGHWAYS.

ALL IN SECTION ONE (1), TOWNSHIP SEVENTY-EIGHT (78) NORTH, RANGE TWENTY-SEVEN (27) WEST OF THE 5TH P.M., DALLAS COUNTY, IOWA.

AND

GOVERNMENT LOTS 6, 7, 10, AND 11 IN SECTION 1, TOWNSHIP 78 NORTH, RANGE 27 WEST OF THE 5TH P.M., DALLAS COUNTY, IOWA.

LAND AREA

230.55 ACRES

PARKLAND DEDICATION

SINGLE FAMILY: 531 UNITS X 3 PEOPLE/UNIT = 10.35 ACRES
X 6.5 ACRES/1000 PEOPLE

TOWNHOME: 48 UNITS X 2.25 PEOPLE/UNIT = 0.70 ACRES
X 6.5 ACRES/1000 PEOPLE

MULTI-FAMILY: 18 UNITS PER ACRE = 3.75 ACRES
X 6.5 ACRES/1000 PEOPLE = 14.80 ACRES
REQUIRED
PROVIDED (OUTLOT 'X') = 7.21 ACRES

EXISTING ZONING

R-2 - ONE AND TWO-FAMILY RESIDENTIAL DISTRICT
R-3 MULTI-FAMILY RESIDENTIAL DISTRICT
R-2/PD-1 ONE AND TWO FAMILY RESIDENTIAL DISTRICT WITH PLANNED DEVELOPMENT OVERLAY
C-1 COMMUNITY AND HIGHWAY SERVICE COMMERCIAL DISTRICT

SINGLE FAMILY DENSITY CALCULATION

571 LOTS / 216.51 AC. = 2.61 DU/AC.

GENERAL LEGEND

PROPOSED

- PLAT BOUNDARY
- SECTION LINE
- LOT LINE
- CENTERLINE
- EASEMENT LINE
- FLARED END SECTION
- DRAIN BASIN OR SEDIMENT RISER
- DRAIN BASIN WITH SOLID GRATE
- WATER VALVE
- FIRE HYDRANT ASSEMBLY
- BLOW-OFF HYDRANT
- SCOUR STOP MAT
- TURF REINFORCEMENT MAT
- STORM SEWER WITH SIZE
- WATER SEWER WITH SIZE
- WATER SERVICE
- PROPOSED CONTOUR
- SILT FENCE
- ADDRESS
- RIFRAP

EXISTING

- LOT LINE
- SANITARY/STORM MANHOLE
- WATER VALVE
- FIRE HYDRANT
- STORM SEWER SINGLE INTAKE
- STORM SEWER DOUBLE INTAKE
- STORM SEWER ROUND INTAKE
- FLARED END SECTION
- DECIDUOUS TREE
- SHRUB
- POWER POLE
- STREET LIGHT
- GUY ANCHOR
- ELECTRIC TRANSFORMER
- GAS METER
- TELEPHONE RISER
- SIGN
- UNDERGROUND TELEVISION
- UNDERGROUND ELECTRIC
- UNDERGROUND GAS
- UNDERGROUND FIBER OPTIC
- UNDERGROUND TELEPHONE
- OVERHEAD ELECTRIC
- SANITARY SEWER WITH SIZE
- STORM SEWER WITH SIZE
- WATER MAIN WITH SIZE
- EXISTING CONTOUR
- TREELINE
- B.S.L. BUILDING SETBACK LINE
- P.U.E. PUBLIC UTILITY EASEMENT
- M.O.E. MINIMUM OPENING ELEVATION

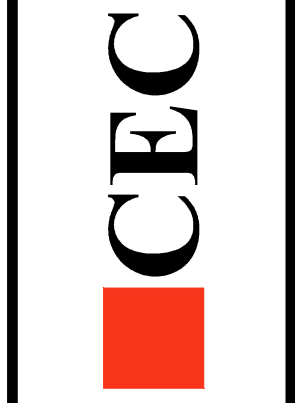
Sheet List Table	
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02	NOTES & INFORMATION
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04	PHASING PLAN
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SUBMITTAL TABLE	
SUBMITTAL DATE	SUBMITTAL NOTES
JUNE 13, 2025	INITIAL SUBMITTAL
JULY 17, 2025	
AUGUST 20, 2025	
SEPTEMBER 12, 2025	
SEPTEMBER 16, 2025	
OCTOBER 13, 2025	

CERTIFICATIONS

	I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA. PAUL J.D. CLAUSEN, LICENSED 10/13/2025 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2025. PAGES OR SHEETS COVERED BY THIS SEAL: ALL SHEETS
	I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA. JEFFREY A. GADDIS, LICENSED 10/13/2025 MY LICENSE RENEWAL DATE IS DECEMBER 31, 2024. ALL SHEETS

DATE: October 13, 2025
DATE OF SURVEY: PC
DESIGNED BY: MEH
DRAWN BY:



Civil Engineering Consultants, Inc.
2400 86th Street, Unit 12 Urbandale, Iowa 50322
515.276.4884 mail@ceclac.com

CASTLETON POINTE
WAUKEE, DALLAS COUNTY IOWA
COVER
SHEET 0 OF 10
E71916



GENERAL NOTES:

- CONTRACTOR SHALL ARRANGE FOR TESTING AND INSPECTION AND NOTIFY THE FOLLOWING AT LEAST ONE WEEK PRIOR TO BEGINNING CONSTRUCTION:
 - CITY OF WAUKEE - ENGINEERING DEPARTMENT
 - WAUKEE COMMONS, LC
 - CIVIL ENGINEERING CONSULTANTS, INC. PHONE: 515.276.4884
 - IONA ONE-CALL
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL PERMITS AND LEASES NEEDED TO CONSTRUCT THIS PROJECT.
- ALL ELEVATIONS ARE PROPOSED FINISHED GRADE AT CENTERLINE UNLESS OTHERWISE NOTED.
- THE LOCATION OF EXISTING FACILITIES AND APPURTENANCES SHOWN ON THIS PLAN ARE BASED ON AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING TO DETERMINE EXACT FACILITIES LOCATIONS. CIVIL ENGINEERING CONSULTANTS, INC. DOES NOT GUARANTEE THE LOCATION OF EXISTING FACILITIES AS SHOWN, OR THAT ALL EXISTING FACILITIES ARE SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT ALL PUBLIC AND PRIVATE UTILITY PROVIDERS SERVING THIS AREA, AND IOWA ONE CALL, TO DETERMINE THE EXTENT AND PRECISE LOCATION OF EXISTING FACILITIES BEFORE CONSTRUCTION BEGINS.
- THE CONTRACTOR SHALL PROTECT EXISTING ON-SITE FACILITIES FROM DAMAGE RESULTING FROM THE CONTRACTOR'S WORK. IF DAMAGE, BREACH, INTERRUPTION OF SERVICE, ETC. OF EXISTING FACILITIES DOES OCCUR THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE UTILITY'S OWNER.
- THE CONTRACTOR SHALL RECONNECT ALL FIELD TILE INTERCEPTED DURING CONSTRUCTION AND RECORD LOCATION FOR AS-BUILT PLANS.
- CIVIL ENGINEERING CONSULTANTS, INC. IS NOT A GEOTECHNICAL ENGINEER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ARRANGE FOR INSPECTIONS AS NEEDED.
- ALL PROPOSED CHANGES TO THE PLAN SET DURING CONSTRUCTION SHALL RECEIVE WRITTEN APPROVAL FROM THE CITY OF WAUKEE ENGINEERING DEPARTMENT AND THE CONTRACTOR IS RESPONSIBLE FOR ALL CHANGES THAT HAVE NOT BEEN GRANTED APPROVAL.
- 2025 WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS AND THE 2025 EDITION OF SUDAS SHALL APPLY TO THIS PROJECT.
- THE CONTRACTOR IS REQUIRED TO SET UP A PRE CONSTRUCTION MEET WITH THE CITY OF WAUKEE PUBLIC WORKS DEPARTMENT ONE WEEK PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR IS TO PROVIDE SUBMITTALS OF CONSTRUCTION MATERIALS TO THE CITY OF WAUKEE ENGINEERING DEPARTMENT PRIOR TO CONSTRUCTION.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF WAUKEE ENGINEERING DEPARTMENT 48-HOURS IN ADVANCE OF ANY WORK BEING PERFORMED ON A HOLIDAY OR WEEKEND.
- CONSTRUCTION STAKING SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF A LICENSED ENGINEER OR LAND SURVEYOR.
- A CERTIFIED AS-BUILT GRADING PLAN SHALL BE PROVIDED TO THE CITY OF WAUKEE PUBLIC WORKS DEPARTMENT PRIOR TO ACCEPTANCE OF PUBLIC IMPROVEMENTS AND APPROVAL OF THE FINAL PLAN.
- ALL WORK SHALL BE CONDUCTED IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE PLANS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ALL APPLICABLE SAFETY REGULATIONS.
- THE CONTRACTOR SHALL CONDUCT CLEAN-UP, SURFACE RESTORATION, AND SURFACE REPLACEMENT ACTIVITIES AS CONSTRUCTION PROGRESSES. ALL DEBRIS SPILLED ON THE R.O.W. OR ON ADJACENT PROPERTY SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH DAY AND PRIOR TO ANY RAIN EVENT.
- SIDEWALKS AND PEDESTRIAN RAMPS ARE TO BE DESIGNED AND INSTALLED PER THE LATEST PROWAG AND ADA REQUIREMENTS. CURB RAMPS ARE TO BE STAKED OUT BY THE ENGINEER.
- ALL TEMPORARY TRAFFIC CONTROLS MUST BE IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- THE CONTRACTOR SHALL PROTECT AND BACK FILL AROUND UNDERGROUND UTILITIES. BACK FILL SHALL BE IN 6-INCH LAYERS, COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- ALL SIDEWALK RAMPS, CURBS, AND OVERFLOW SIDEWALKS SHALL BE CONSTRUCTED WITH PUBLIC IMPROVEMENTS (SHADED)
- IF THERE IS A DISCREPANCY BETWEEN THE DETAILED PLANS AND QUANTITIES, THE DETAILED PLANS SHALL GOVERN.

NPDES/SWPPP

- THE OWNER AND/OR CONTRACTOR ARE REQUIRED TO OBTAIN A NPDES PERMIT AND FOLLOW THE REQUIREMENTS OF THE ASSOCIATED STORM WATER POLLUTION PREVENTION PLAN PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES.
- THE OWNER AND/OR CONTRACTOR ARE REQUIRED TO OBTAIN A CITY OF WAUKEE COSECO PERMIT.
- DEBRIS SPILLED ONTO THE RIGHT-OF-WAY WILL BE PICKED UP BY THE END OF EACH WORKDAY AND PRIOR TO A RAIN EVENT.
- STRIP TOPSOIL AND PROVIDE A MINIMUM OF 8-INCHES OF TOPSOIL AT RESPREAD.

GRADING NOTES

- ONE WEEK PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY:
 - CITY OF WAUKEE - ENGINEERING DEPARTMENT
 - WAUKEE COMMONS, LC
 - CIVIL ENGINEERING CONSULTANTS, INC. PHONE: 515.276.4884
 - IONA ONE-CALL
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF WAUKEE STANDARD SPECIFICATIONS, CODES, AND POLICES; SUDAS; AND IN ACCORDANCE WITH RECOMMENDATIONS CONTAINED IN GEOTECHNICAL EXPLORATION (PN 181350).
- ALL SPOT ELEVATIONS ARE AT GUTTER, UNLESS NOTED OTHERWISE.
- WAUKEE EROSION AND SEDIMENT CONTROL ORDINANCE IS APPLICABLE TO THIS SITE.
- THE LOCATIONS AND DIMENSIONS SHOWN ON THE PLANS FOR EXISTING UTILITIES ARE IN ACCORDANCE WITH AVAILABLE INFORMATION WITHOUT UNCOVERING AND MEASURING. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF THIS INFORMATION OR THAT ALL EXISTING UNDERGROUND FACILITIES ARE SHOWN. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT ALL PUBLIC AND/OR PRIVATE UTILITIES SERVING THE AREA TO DETERMINE THE PRESENT EXTENT AND EXACT LOCATION OF THEIR FACILITIES BEFORE BEGINNING WORK.
- THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES CONCERNED BEFORE STARTING WORK. THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY IMMEDIATELY UPON BREAKING OR DAMAGE TO ANY UTILITY LINE OF APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. HE SHALL NOTIFY THE PROPER UTILITY INVOLVED. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER SO THAT THE CONFLICT MAY BE RESOLVED.
- STRIP TOPSOIL FROM ALL AREAS WHICH ARE TO RECEIVE STRUCTURAL FILL.
- AREAS TO RECEIVE FILL TO BE BENCHED.
- PREPARE BOTTOM OF BENCH FOR FILL BY DISCING TO A DEPTH OF 6-INCHES AND COMPACT. ANY LOCALIZED AREAS WHICH CANNOT BE SATISFACTORILY COMPACTED OR WHICH SHOW EVIDENCE OF PUMPING ACTION SHALL BE UNDERCUT AND RECOMPACTED WITH ON-SITE FILL.
- ALL SITE GRADING FILL SHALL BE COMPACTED TO A DENSITY THAT IS NOT LESS THAN 95% STANDARD PROCTOR.
- ALL AREAS WHICH ARE TO RECEIVE PAVING SHALL HAVE THE TOP 12-INCHES DISCED AND RECOMPACTED TO 95% STANDARD PROCTOR DENSITY.
- THE MOISTURE CONTENT OF THE FILL MATERIAL SHALL MATCH URBAN STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, BETWEEN 0% AND 4% OVER OPTIMUM MOISTURE.
- MAINTAIN ALL CUT AND FILL AREAS FOR SURFACE DRAINAGE AT ALL TIMES.
- FINAL GRADES SHALL BE WITHIN 0.1' OF PLAN GRADE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ALL TOPSOIL REQUIREMENTS OF GENERAL PERMIT #2 ARE MET.
- BACKFILL TO TOP OF ALL CURBS.

SANITARY NOTES

- CASTING TYPES ARE FROM SUDAS SPECS.
- CONNECTIONS TO EXISTING MANHOLES ARE TO BE CORE DRILLED AND USE A LINK SEAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT LOCATIONS OF ALL SANITARY SEWER SERVICES & PROVIDING THIS INFORMATION TO THE ENGINEER.
- THE CONTRACTOR SHALL CLEAN AND VIDEO TAPE THE SANITARY SEWER AT PROJECT COMPLETION. A COPY OF THE VIDEO AND THE REPORT SHALL BE SUBMITTED TO THE CITY OF WAUKEE PUBLIC WORKS DEPARTMENT AFTER THE VIDEO INSPECTION.
- ALL MANHOLES AND MANHOLE CASTINGS MUST BE ROTATED AS REQUIRED TO AVOID MANHOLE CONFLICTS WITH SIDEWALKS.
- ALL SANITARY MANHOLES SHALL BE VACUUM TESTED.
- ALL MANHOLES TO HAVE 141 BARRIERS.

STORM NOTES

- PROVIDE A 3" WIDE CLAY WATER STOP, AN APRON GUARD & CONCRETE FOOTINGS ON ALL FLARED END SECTIONS. CONTRACTOR SHALL TIE THE LAST THREE PIPE JOINTS AT THE FLARED END SECTION.
- ALL STORM SEWER ARE TO BE CLEANED AND VIDEO TAPED UPON COMPLETION. A COPY OF THE VIDEO SHALL BE PROVIDED TO THE CITY OF WAUKEE PUBLIC WORKS DEPARTMENT.
- PAVEMENT REINFORCEMENT IS REQUIRED WHERE EARTH COVER OVER STORM SEWERS IS LESS THAN 2 FEET.
- STORM SERVICES INSTALLED INTO STORM STRUCTURES MUST BE CORE DRILLED. KEEP THE SERVICE AS MUCH ABOVE THE STRUCTURE FLOW LINE AS POSSIBLE TO AVOID SURCHARGE.
- STORM SEWER SHALL BE OPEN JOINTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT LOCATIONS OF ALL STORM SEWER SERVICES & PROVIDING THIS INFORMATION TO ENGINEER.
- ALL PRIVATE INFRASTRUCTURE SHALL BE OWNED AND MAINTAINED BY OWNER.

WATER NOTES

- FOLLOW 2025 WAUKEE STANDARD SPECIFICATIONS FOR PIPE MATERIALS, FIRE HYDRANTS, CURB STOPS, VALVES AND INSTALLATION.
- THE CONTRACTOR SHALL PROTECT AND BACKFILL AROUND ALL UTILITIES AND STRUCTURES. BACKFILL SHALL BE IN ACCORDANCE WITH 2025 WAUKEE STANDARD SPECIFICATIONS.
- HYDRANTS, MANHOLE COVERS AND VALVE BOXES SHALL BE SET TO CONFORM TO FINISHED PAVEMENT ELEVATIONS.
- AN APPROVED SADDLE SHALL BE USED FOR ALL WATER SERVICE TAPS.
- ALL SERVICE LINES SHALL BE TESTED WITH WATER MAIN.
- ALL STORM SEWER CROSSING ABOVE THE WATER MAIN WILL NEED TO INSTALL O-RING JOINT PIPE FOR 20' CENTERED OVER THE WATER MAIN.
- ALL HYDRANTS SHALL HAVE 5" STORZ FITTINGS INCLUDING ANY RELOCATED HYDRANTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT LOCATION OF ALL WATER SERVICES AND PROVIDING THIS INFORMATION TO ENGINEER AND CITY OF WAUKEE.
- SPECIAL CARE MUST BE USED TO AVOID AIR ENTRAPMENT AT AREA WHERE WATER MAIN DIPS.

CRITICAL CROSSING NOTES

- WHERE SEWERS CROSS OVER OR LESS THAN 18-INCHES BELOW A WATER MAIN:
 - FOR STORM SEWERS FLEXIBLE O-RING-GASKET JOINTS RATED AT 13 PSI OR GREATER SHALL BE UTILIZED UNTIL THE NORMAL DISTANCE FROM THE SEWER TO THE WATER MAIN IS AT LEAST 10'.
 - ONE FULL LENGTH OF WATER MAIN SHALL BE LOCATED SO THAT BOTH JOINTS AREA AS FAR AS POSSIBLE FROM THE SEWER.
 - THE SEWER MUST BE ADEQUATELY SUPPORTED.
 - A LOW PERMEABLE SOIL SHALL BE USED FOR BACKFILL WITHIN 10' OF THE POINT OF CROSSING.

PAVING NOTES

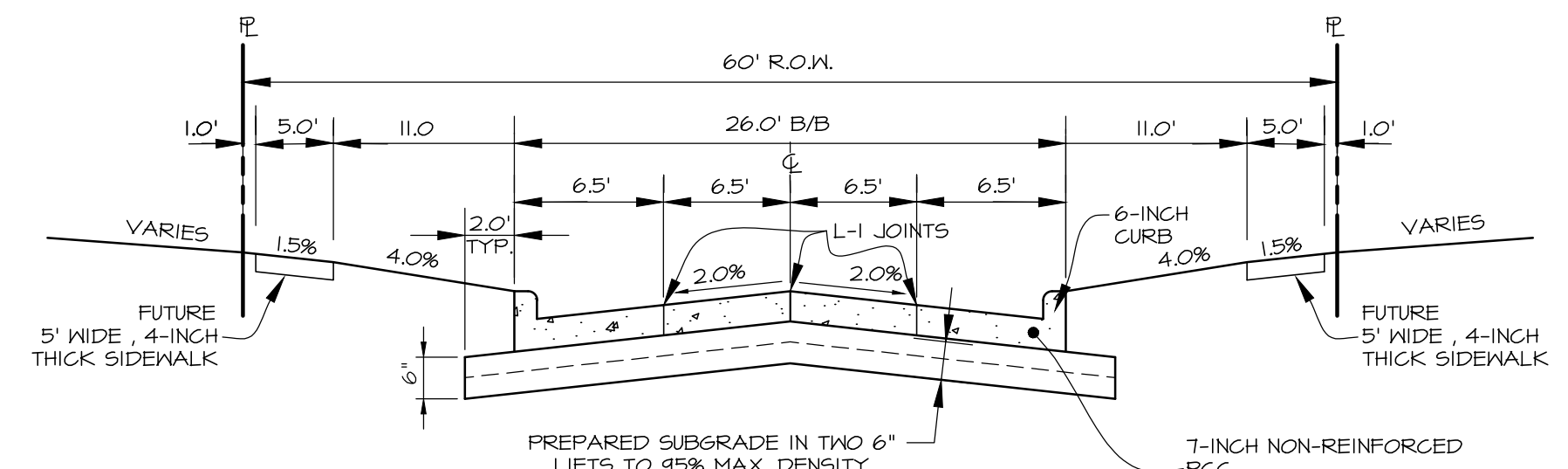
- ALL ELEVATIONS ARE PROPOSED FINISHED GRADE UNLESS OTHERWISE NOTED.
- ALL PAVING SHALL HAVE 6-INCH CURBS UNLESS NOTED OTHERWISE.
- PROVIDE CURB DROPS FOR SIDEWALKS AT INTERSECTIONS AS SHOWN ON CONSTRUCTION DOCUMENTS.
- CONTRACTOR SHALL FOLLOW PAVEMENT RECOMMENDATIONS OF GEOTECHNICAL REPORT (PN 221384).
- CITY OF WAUKEE SHALL BE NOTIFIED OF ALL SUBGRADE TREATMENTS PRIOR TO USE.
- SPECIAL CARE IS REQUIRED IN AREAS OF FILL TO MINIMIZE THE AMOUNT OF SETTLEMENT AND POTENTIAL FOR CRACKING.

FIRE SAFETY CONSTRUCTION NOTE

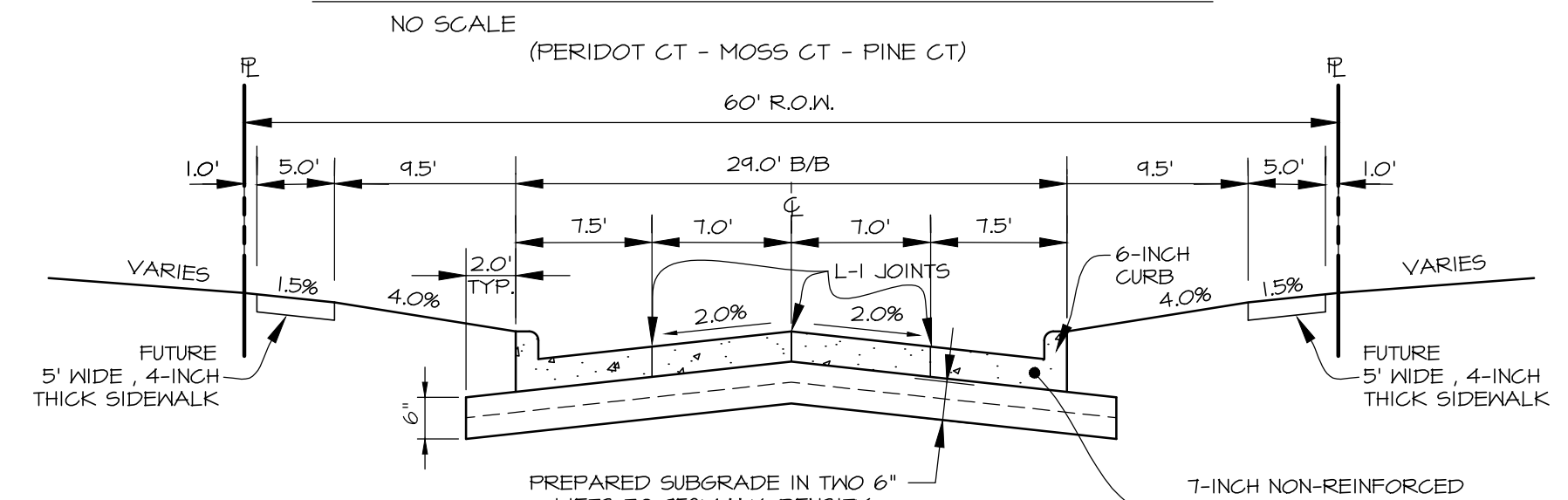
- APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED AS SOON AS CONSTRUCTION COMMENCES. IF PAVING IS NOT INSTALLED PRIOR TO BUILDING CONSTRUCTION COMMENCING AFTER FOOTING INSTALLED, AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING TO EXTEND WITHIN 100 FEET OF ALL PORTIONS OF THE EXTERIOR WALLS SHALL BE PROVIDED AND COMPLY WITH THE REQUIREMENTS OF SECTION 503.2 OF THE IFC.

NET BOTTOM DETENTION POND NOTES

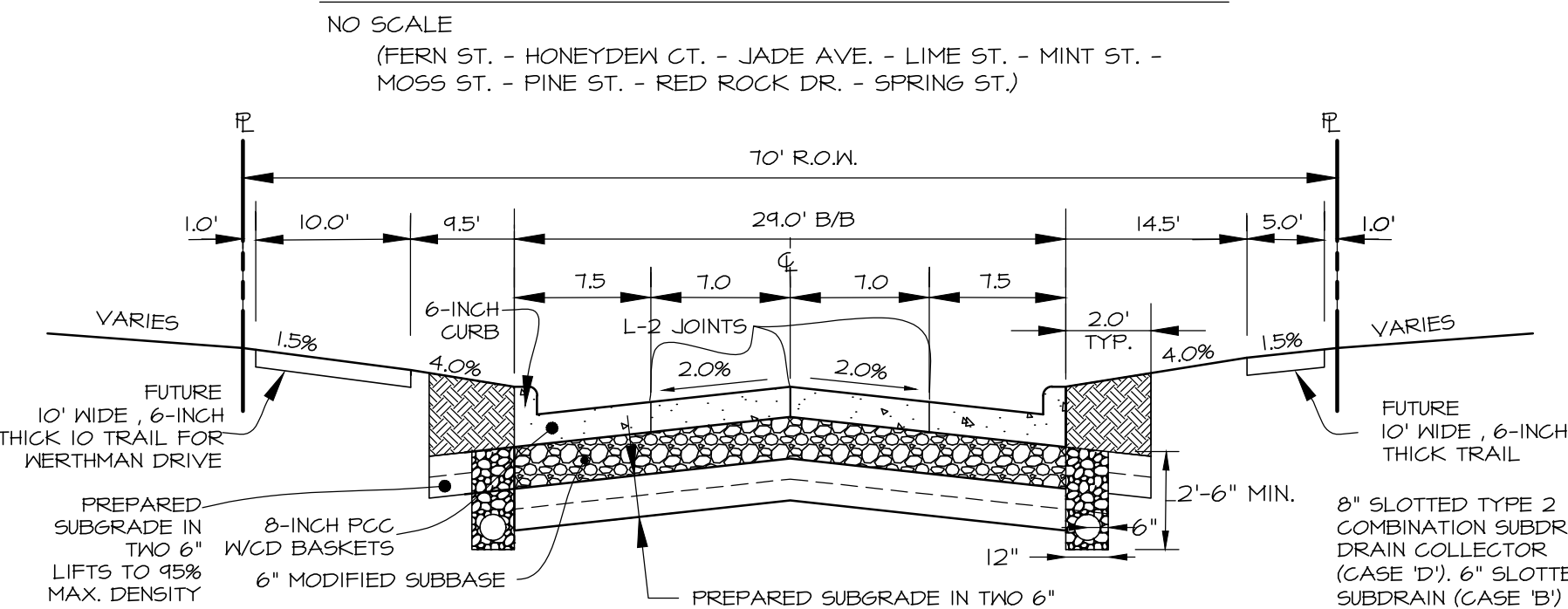
- DETENTION POND MATERIALS SHALL BE REVIEWED BY GEOTECHNICAL ENGINEER.
- DETENTION POND SHALL BE REVIEWED BY GEOTECHNICAL ENGINEER AT TIME OF CONSTRUCTION.
- DETENTION POND SHALL HAVE COHESIVE SOIL LINER COMPACTED TO 95% PROCTOR DENSITY (MIN) AND MOISTURE CONTENT WITHIN -1% TO +4% OF MATERIAL'S OPTIMUM MOISTURE CONTENT.
- IF SUBSURFACE WATER IS ENCOUNTERED DURING CONSTRUCTION OF DETENTION BASIN, THEN SUBSURFACE DRAINAGE SYSTEM SHALL BE INSTALLED TO DEWATER AREA. ALTERNATIVE SOLUTION MAY BE PROPOSED BY GEOTECHNICAL ENGINEER.
- IF NON-COHESIVE SOILS ARE ENCOUNTERED DURING CONSTRUCTION OF DETENTION POND, AREA SHALL BE OVER-EXCAVATED BY 2 FEET AND REPLACED WITH COHESIVE MATERIAL.
- ANTI-SEEP COLLARS SHALL BE USED IN CONSTRUCTION OF OUTLET STRUCTURE.
- CIVIL ENGINEERING CONSULTANTS, INC. IS NOT A GEOTECHNICAL ENGINEER.



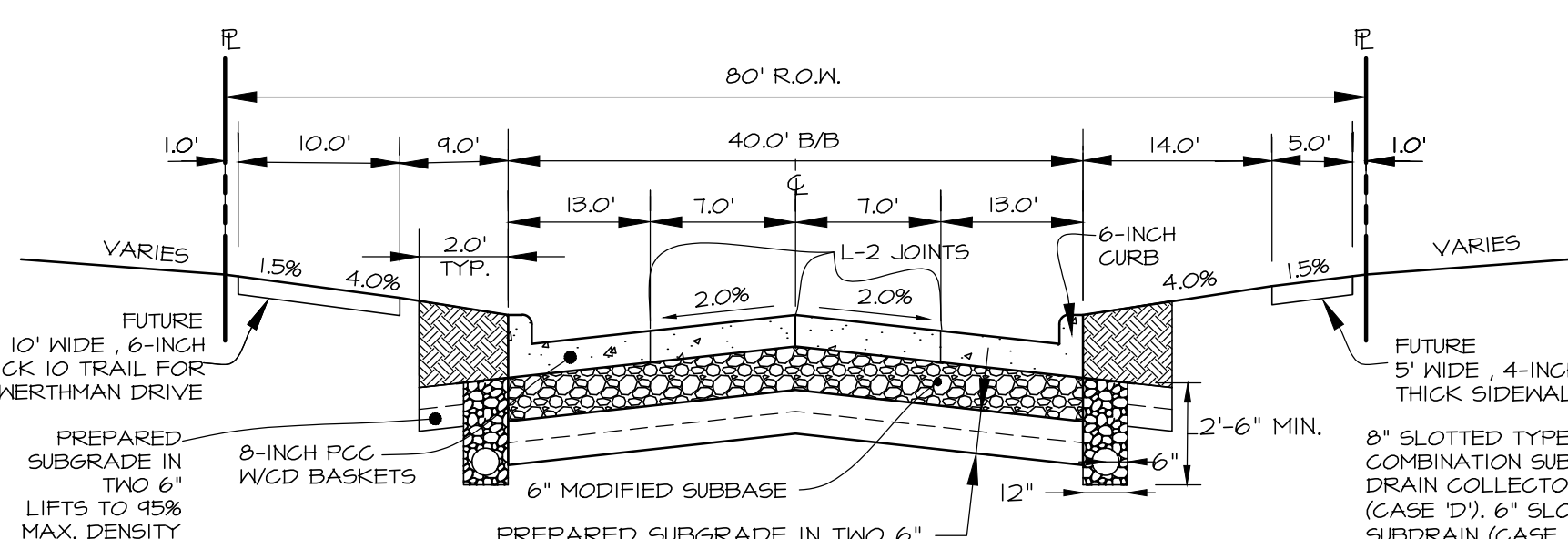
TYPICAL 60' R.O.W. - 26' B/B CROSS SECTION



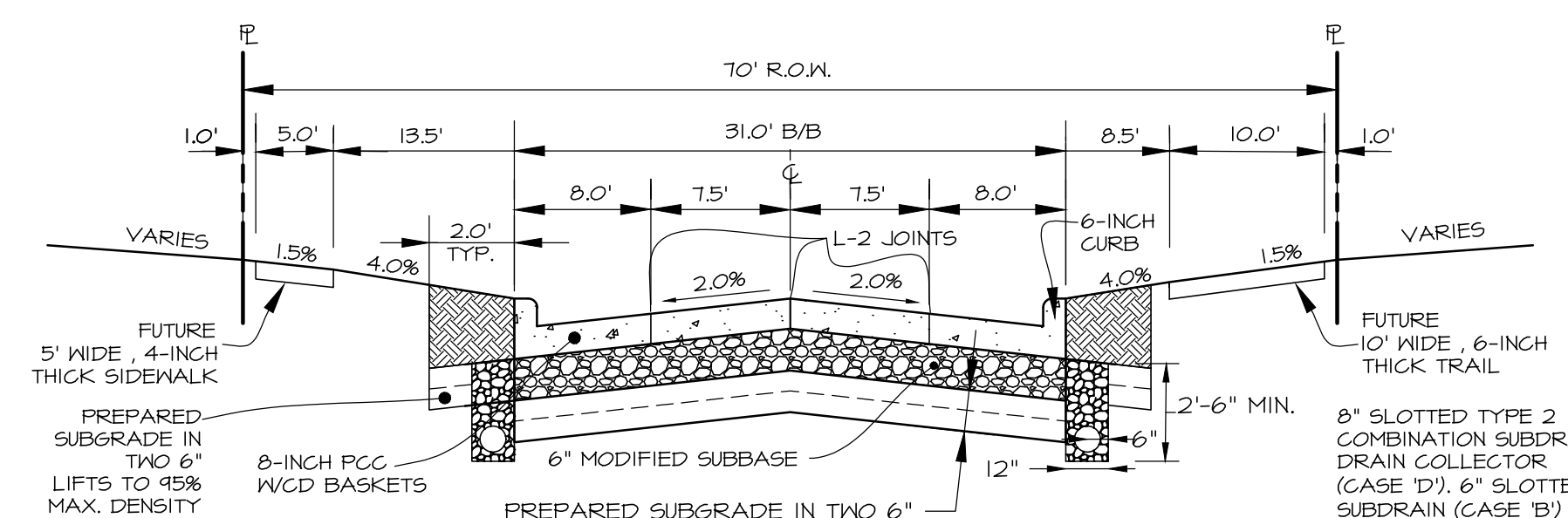
TYPICAL 60' R.O.W. - 29' B/B CROSS SECTION



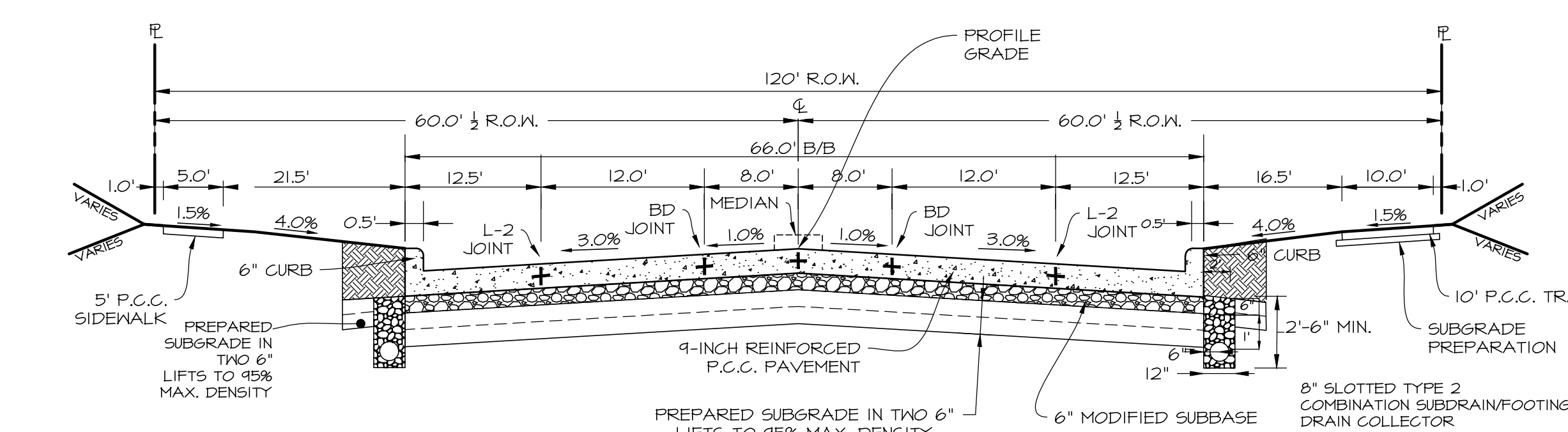
TYPICAL 70' R.O.W. - 29' B/B CROSS SECTION



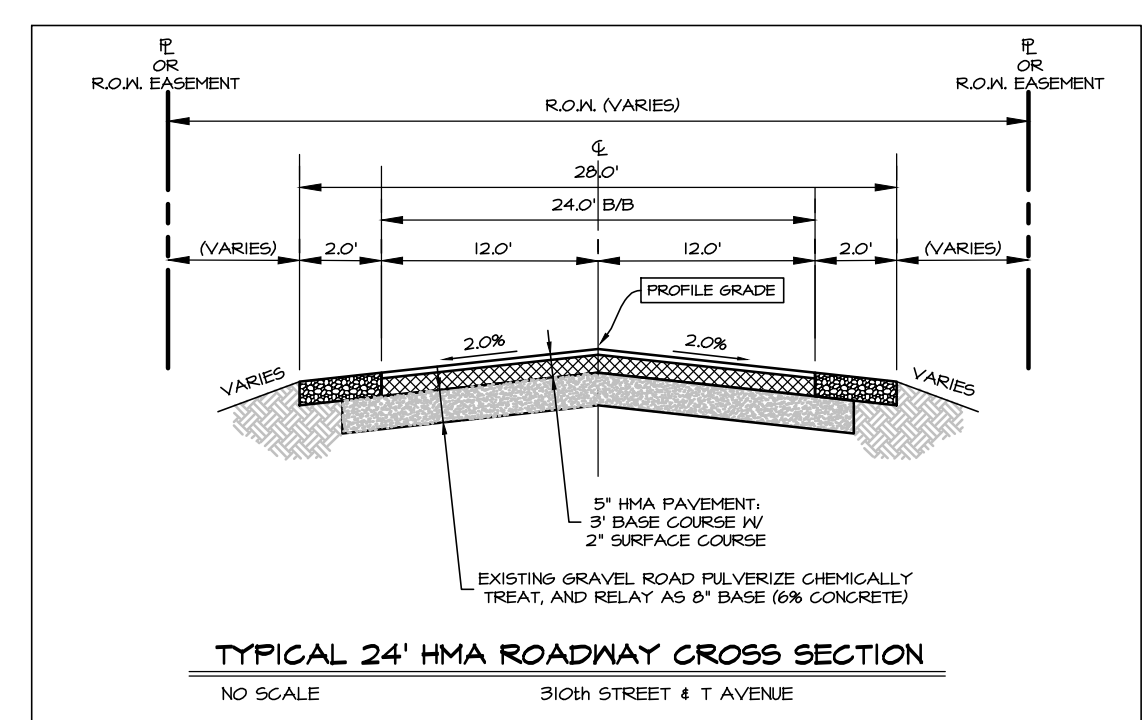
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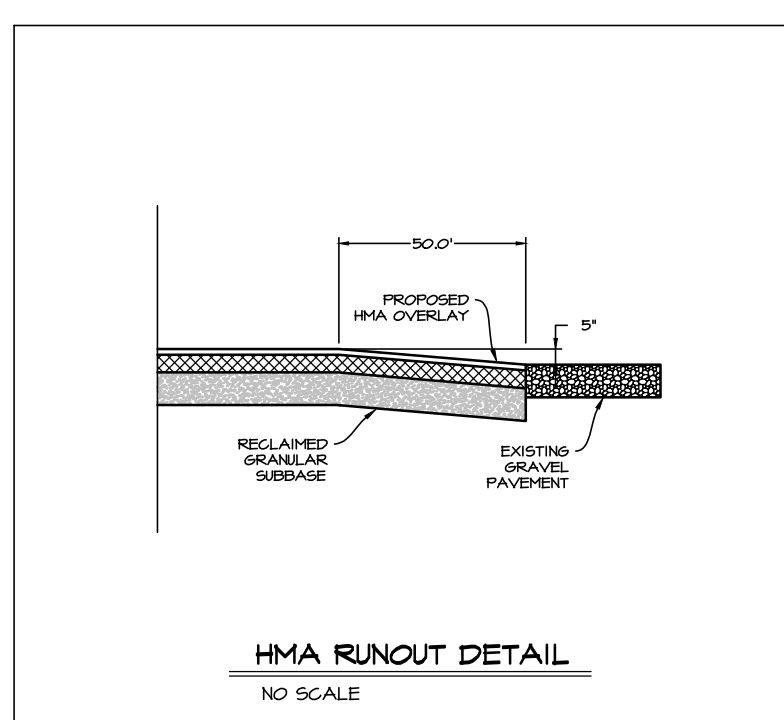
TYPICAL 70' R.O.W. - 31' B/B CROSS SECTION



TYPICAL 66' B/B CROSS SECTION

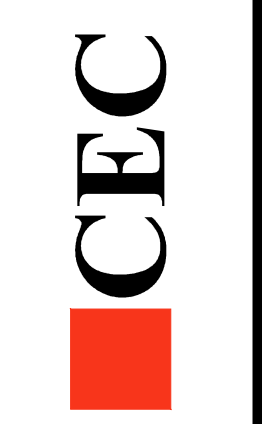


TYPICAL 24' HMA ROADWAY CROSS SECTION



HMA RUNOUT DETAIL

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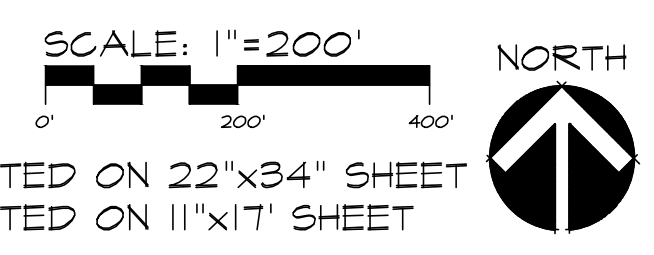
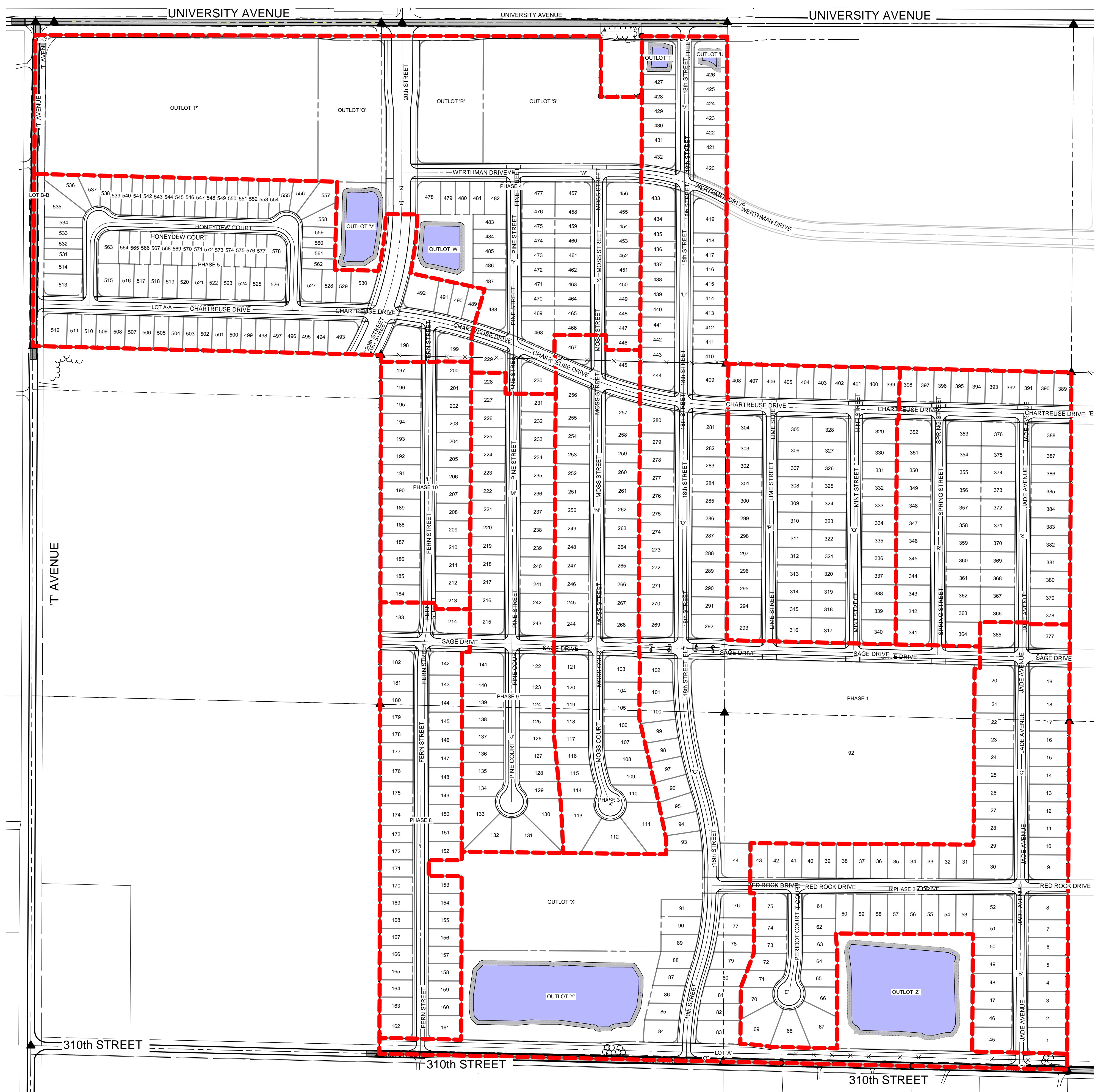
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DATE OF SURVEY: PC
DESIGNED BY: MEH
DRAWN BY:

PRELIMINARY - NOT FOR CONSTRUCTION

CASTLETON POINTE
WAUKEE, DALLAS COUNTY, IOWA

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CASTLETON POINTE
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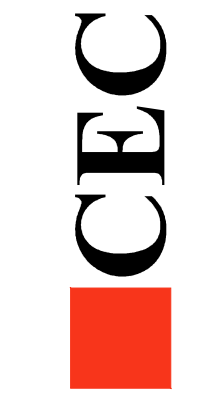
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PRELIMINARY - NOT FOR CONSTRUCTION

CASTLETON POINTE
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DIMENSION & UTILITY PLAN

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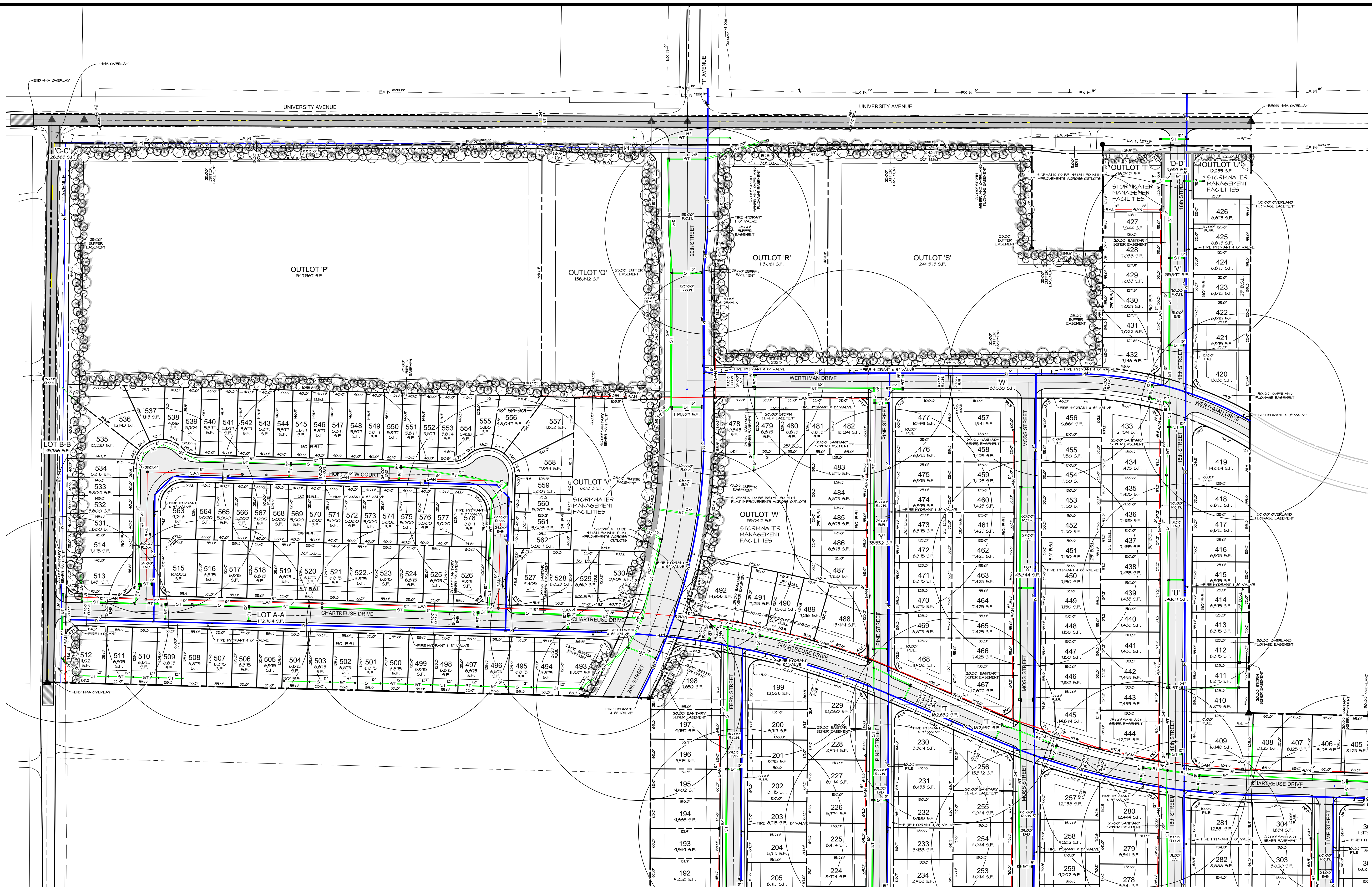
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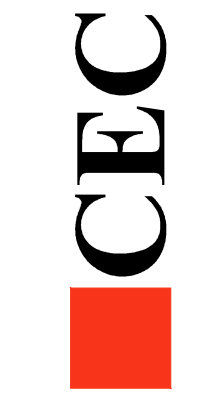
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CASTLETON POINTE
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DIMENSION & UTILITY PLAN

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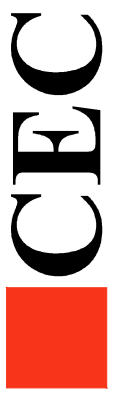
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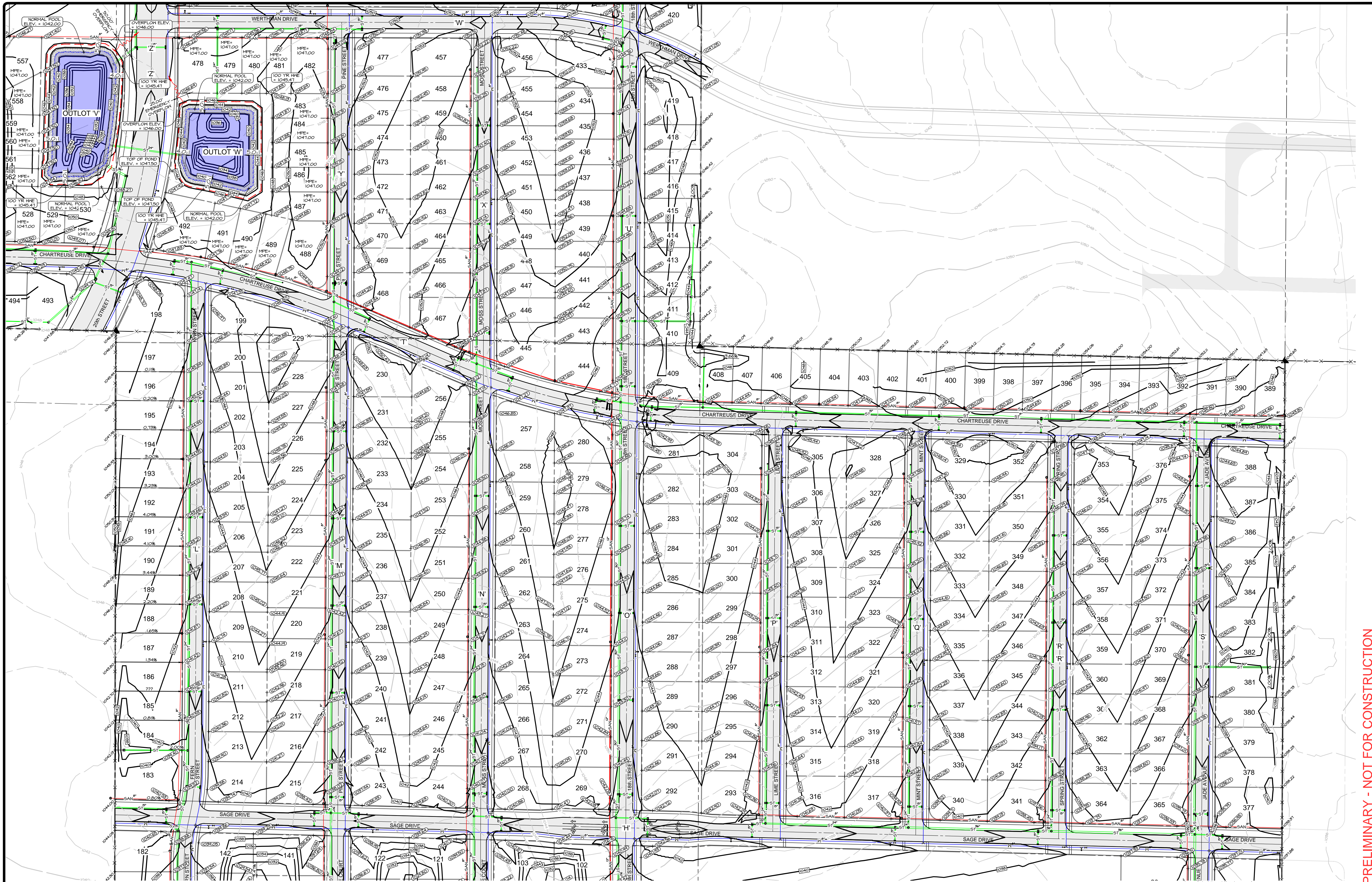


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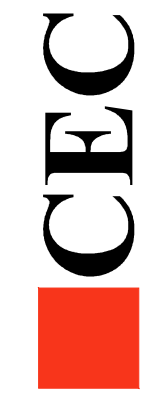
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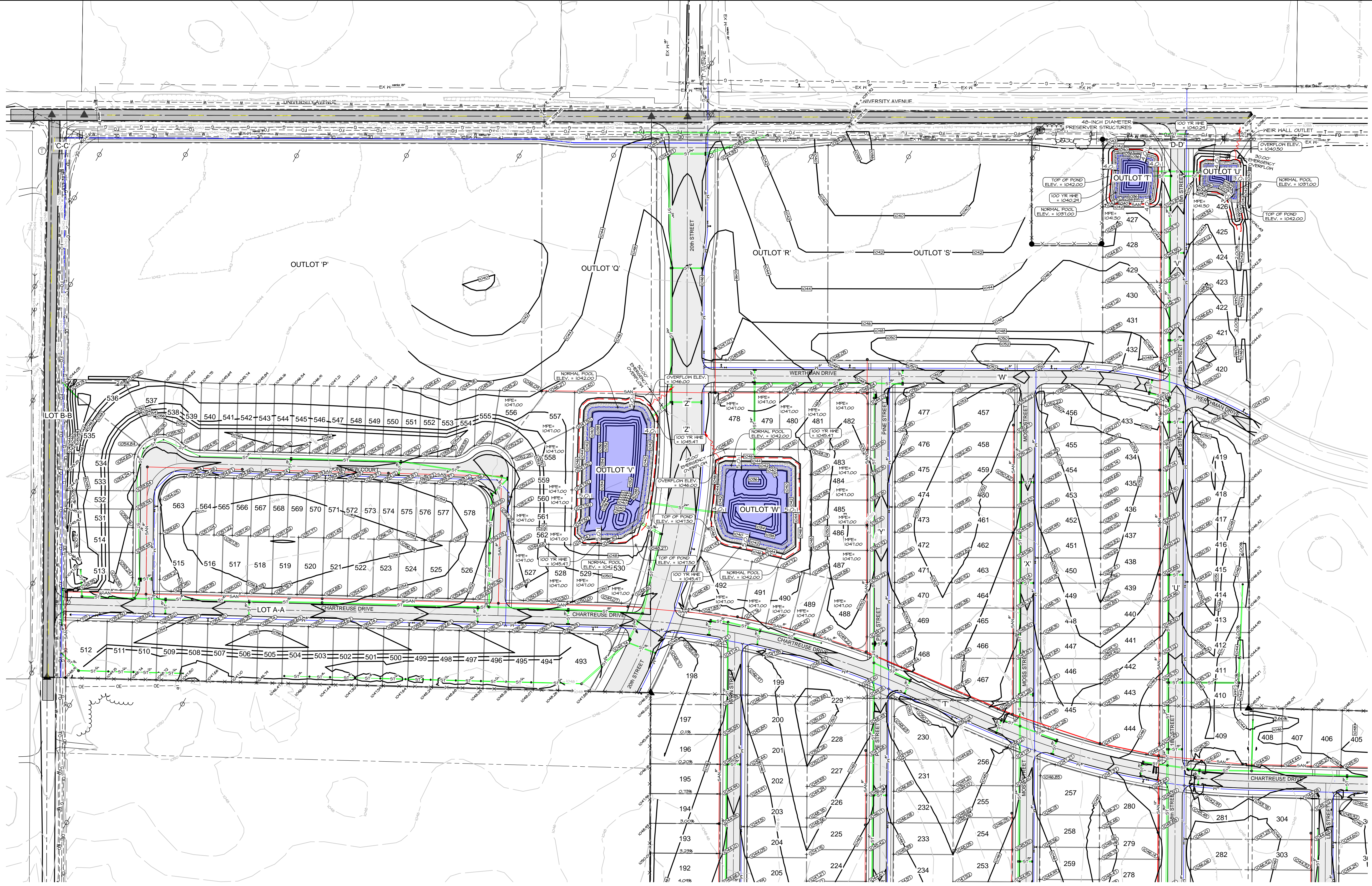
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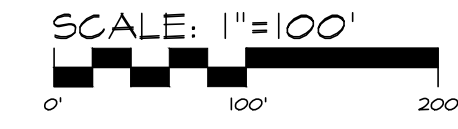
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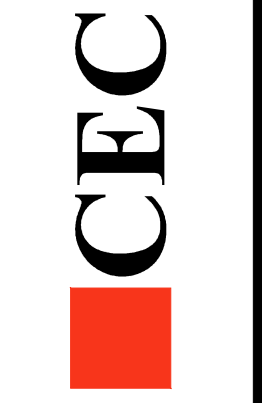
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CASTLETON POINTE
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