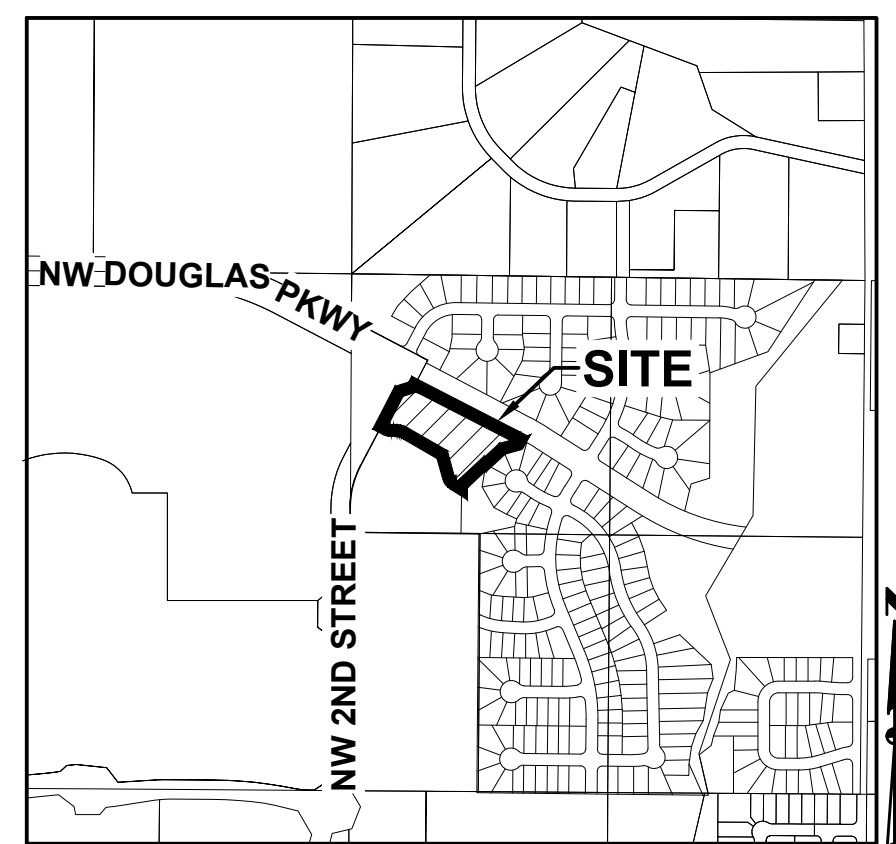


SITE PLAN FOR: THE PITCH - PHASE 2 WAUKEE, IOWA

VICINITY MAP

NOT TO SCALE



WAUKEE, IOWA

LEGAL DESCRIPTION

LOT 1, THE PITCH PLAT 1, AN OFFICIAL PLAT IN THE CITY OF WAUKEE, DALLAS COUNTY, IOWA AND CONTAINING 9.22 ACRES (401,750 SQUARE FEET).

ZONING

R-3: MULTI-FAMILY RESIDENTIAL

PROJECT SITE ADDRESS

705 NW 2ND STREET
WAUKEE, IA 50263

EXISTING/ PROPOSED USE

EXISTING: OPEN SPACE
PROPOSED: MULTI-FAMILY RESIDENTIAL

DEVELOPMENT SUMMARY

TOTAL SITE AREA: 9.22 ACRES (401,750 SF)

SITE PLAN AREA: 3.71 ACRES (161,763 SF)

SETBACKS:

FRONT: 30 FEET
SIDE: TOTAL 15 FEET. ONE SIDE YARD MAY BE REDUCED TO NOT LESS THAN 7 FEET, 15 FEET FOR OTHER PRINCIPAL BUILDINGS
REAR: 30 FEET FOR DWELLING, 40 FEET FOR OTHER PERMITTED USES

PHASE 1 OPEN SPACE PROVIDED = 107,240 SF

PHASE 2 - OPEN SPACE CALCULATION:

TOTAL SITE PLAN AREA:	=	161,763 SF (3.71 AC.)
BUILDINGS	=	45,125 SF
PARKING AREAS	=	20,213 SF
ACCESS DRIVES	=	33,033 SF
PCC FLUMES	=	338 SF
PATIOS	=	945 SF
SIDEWALK	=	3,498 SF
OPEN SPACE PROVIDED	=	58,611 SF (36%)

TOTAL SITE OPEN SPACE PROVIDED = 165,851 SF (41%)

PHASE 2 - TOTAL IMPERVIOUS AREA:
103,152 SF (64%)

UNITS:

42 UNITS (11.32 UNITS PER ACRE)

PARKING:

2 SPACES PER DWELLING UNIT AND 1 VISITOR SPACE PER 5 UNITS

REQUIRED		
DWELLING UNITS (42 UNITS X 2)	=	84 SPACES
VISITOR (42 UNITS / 5)	=	9 SPACES
TOTAL REQUIRED	=	93 SPACES

TOTAL PROVIDED	=	153 SPACES TOTAL
		83 GARAGE SPACES
		61 DRIVEWAY SPACES
		9 VISITOR SPACES

CONSTRUCTION SCHEDULE

ANTICIPATED START DATE = FALL 2025
ANTICIPATED FINISH DATE = SUMMER 2026

INDEX OF SHEETS

NO.	DESCRIPTION
C1.0	COVER SHEET
C2.0	PRELIMINARY PLAT
C3.0	TOPOGRAPHIC SURVEY & DEMOLITION PLAN
C4.0-4.1	DIMENSION PLAN
C5.0-5.2	GRADING PLAN
C6.0	EROSION & SEDIMENT CONTROL PLAN
C7.0-7.1	UTILITY PLAN
C8.0-8.2	DETAILS
L1.0-L1.1	LANDSCAPE PLAN

GENERAL LEGEND

PROPOSED

PROPERTY BOUNDARY	
SECTION LINE	
CENTER LINE	
RIGHT OF WAY	
BUILDING SETBACK	
PERMANENT EASEMENT	
TEMPORARY EASEMENT	
TYPE SW-501 STORM INTAKE	
TYPE SW-502 STORM INTAKE	
TYPE SW-503 STORM INTAKE	
TYPE SW-505 STORM INTAKE	
TYPE SW-506 STORM INTAKE	
TYPE SW-512 STORM INTAKE	
TYPE SW-513 STORM INTAKE	
TYPE SW-401 STORM MANHOLE	
TYPE SW-402 STORM MANHOLE	
FLARED END SECTION	
TYPE SW-301 SANITARY MANHOLE	
STORM/SANITARY CLEANOUT	
WATER VALVE	
FIRE HYDRANT ASSEMBLY	
SIGN	
DETECTABLE WARNING PANEL	
WATER CURB STOP	
SANITARY SEWER	
SANITARY SERVICE	
STORM SEWER	
STORM SERVICE	
WATERMAIN WITH SIZE	
WATER SERVICE	
SAWCUT (FULL DEPTH)	
SILT FENCE	
USE AS CONSTRUCTED	(UAC)
MINIMUM PROTECTION ELEVATION	MPE

EXISTING

SANITARY MANHOLE	
WATER VALVE BOX	
FIRE HYDRANT	
WATER CURB STOP	
WELL	
STORM SEWER MANHOLE	
STORM SEWER SINGLE INTAKE	
STORM SEWER DOUBLE INTAKE	
FLARED END SECTION	
DECIDUOUS TREE	
CONIFEROUS TREE	
DECIDUOUS SHRUB	
CONIFEROUS SHRUB	
ELECTRIC POWER POLE	
GUY ANCHOR	
STREET LIGHT	
POWER POLE W/ TRANSFORMER	
UTILITY POLE W/ LIGHT	
ELECTRIC BOX	
ELECTRIC TRANSFORMER	
ELECTRIC MANHOLE OR VAULT	
TRAFFIC SIGN	
TELEPHONE JUNCTION BOX	
TELEPHONE MANHOLE/VAULT	
TELEPHONE POLE	
GAS VALVE BOX	
CABLE TV JUNCTION BOX	
CABLE TV MANHOLE/VAULT	
MAIL BOX	
BENCHMARK	
SOIL BORING	
UNDERGROUND TV CABLE	
GAS MAIN	
FIBER OPTIC	
UNDERGROUND TELEPHONE	
OVERHEAD ELECTRIC	
UNDERGROUND ELECTRIC	
FIELD TILE	
SANITARY SEWER W/ SIZE	
STORM SEWER W/ SIZE	
WATER MAIN W/ SIZE	

OWNER/DEVELOPER

PITCH, LLC
CONTACT: LAURA DEVINE
150 E. 4TH PLACE #600
SIOUX FALLS, SD 57104
PH: (605) 275-4298

ENGINEER

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: ERIN OLLENDIKE
EMAIL: ERINO@CDA-ENG.COM
PH: (515) 369-4400

SURVEYOR

CIVIL DESIGN ADVANTAGE
4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
CONTACT: CHARLIE MCGLOTHLEN
EMAIL: CHARLIEM@CDA-ENG.COM
PH: (515) 369-4400

ARCHITECT

LLOYD DESIGN GROUP
150 E. 4TH PLACE #600
SIOUX FALLS, SD 57104
CONTACT: LAURA DEVINE
EMAIL: LAURA.DEVINE@LLOYDCOMPANIES.COM
PH: (605) 323-2820

DATE OF SURVEY

FEBRUARY 21, 2022

BENCHMARKS

- DALLAS COUNTY BM# G121, EAST SIDE OF R16 0.1 MILES SOUTH OF 300TH STREET. ELEVATION=1032.82
- BURY BOLT ON HYDRANT @ NW CORNER OF DAYBREAK DRIVE & CREST RIDGE DRIVE. ELEVATION=1023.95

SUBMITTAL DATES

FIRST SUBMITTAL: 08/26/2025
SECOND SUBMITTAL: 10/14/2025
THIRD SUBMITTAL: 11/04/2025
FOURTH SUBMITTAL: 11/20/2025



UTILITY WARNING

ANY UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY AND RECORDS OBTAINED BY THIS SURVEYOR. THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL THE UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UTILITIES SHOWN ARE IN THE EXACT LOCATION SHOWN.



4121 NW URBANDALE DRIVE, URBANDALE, IA 50322

PH: (515) 369-4400

PROJECT NO. 2506.474

THE PROJECT REQUIRES AN IOWA NPDES PERMIT #2 AND CITY OF WAUKEE COSESCO PERMIT. CIVIL DESIGN ADVANTAGE WILL PROVIDE THE PERMITS AND THE INITIAL STORM WATER POLLUTION PREVENTION PLAN (SWPPP) FOR THE CONTRACTORS USE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE SWPPP THROUGHOUT CONSTRUCTION AND MEETING LOCAL, STATE AND FEDERAL REQUIREMENTS.

ALL CONSTRUCTION MATERIALS, DUMPSTERS, DETACHED TRAILERS OR SIMILAR ITEMS ARE PROHIBITED ON PUBLIC STREETS OR WITHIN THE PUBLIC R.O.W.

THE 2025 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS, THE 2025 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, AND THE PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG) SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.

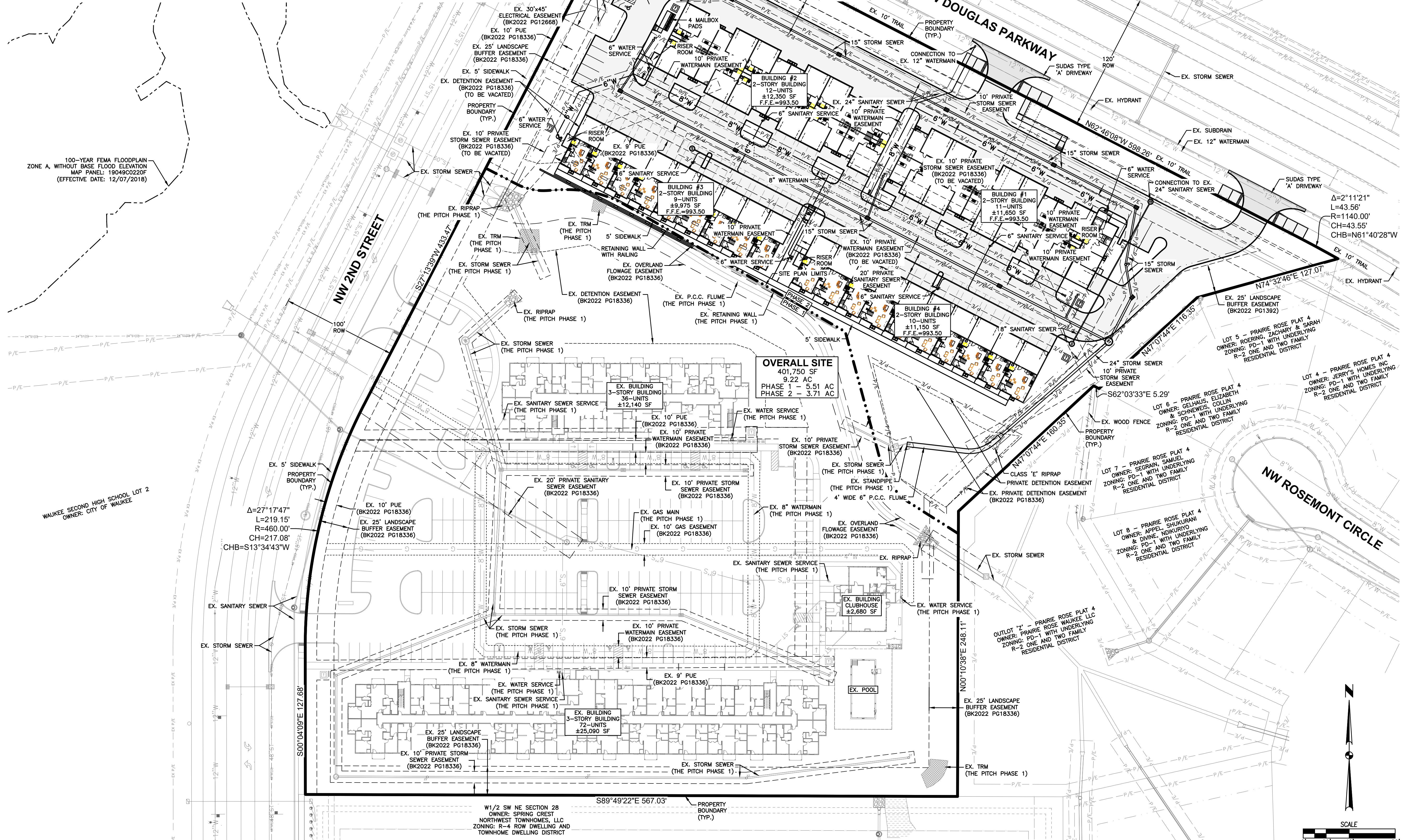
PRELIMINARY
NOT FOR CONSTRUCTION

I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.

ERIN OLLENDIKE, P.E.
 LICENSE NUMBER: 16926
 LICENSE RENEWAL DATE IS DECEMBER 31, 2025
 PAGES OR SHEETS COVERED BY THIS SEAL:
 C1.0-C8.2

PRELIMINARY PLAT FOR: THE PITCH - PHASE 2

WAUKEE, IOWA



100-YEAR FEMA FLOODPLAIN
ZONE A, WITHOUT BASE FLOOD ELEVATION
MAP PANEL: 19049C0220F
(EFFECTIVE DATE: 12/07/2018)

WAUKEE SECOND HIGH SCHOOL LOT 2
OWNER: CITY OF WAUKEE

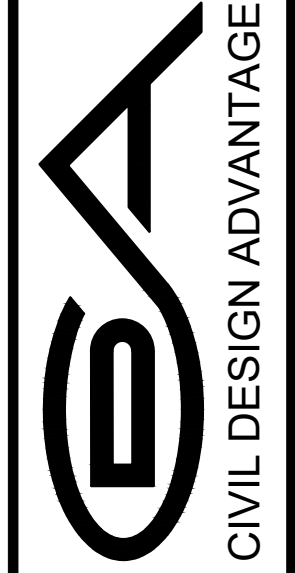
$\Delta=27^{\circ}17'47''$
 $L=219.15'$
 $R=460.00'$
 $CH=217.08'$
 $CHB=S13^{\circ}34'43''W$

OVERALL SITE
401,750 SF
9.22 AC
PHASE 1 - 5.51 AC
PHASE 2 - 3.71 AC

W1/2 SW NE SECTION 28
OWNER: SPRING CREST
NORTHWEST TOWNHOMES, LLC
ZONING: R-4 ROW DWELLING AND
TOWNHOME DWELLING DISTRICT

DATE	REVISIONS
11/20/2025	FOURTH SUBMITTAL
11/04/2025	THIRD SUBMITTAL
10/14/2025	SECOND SUBMITTAL
08/26/2025	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

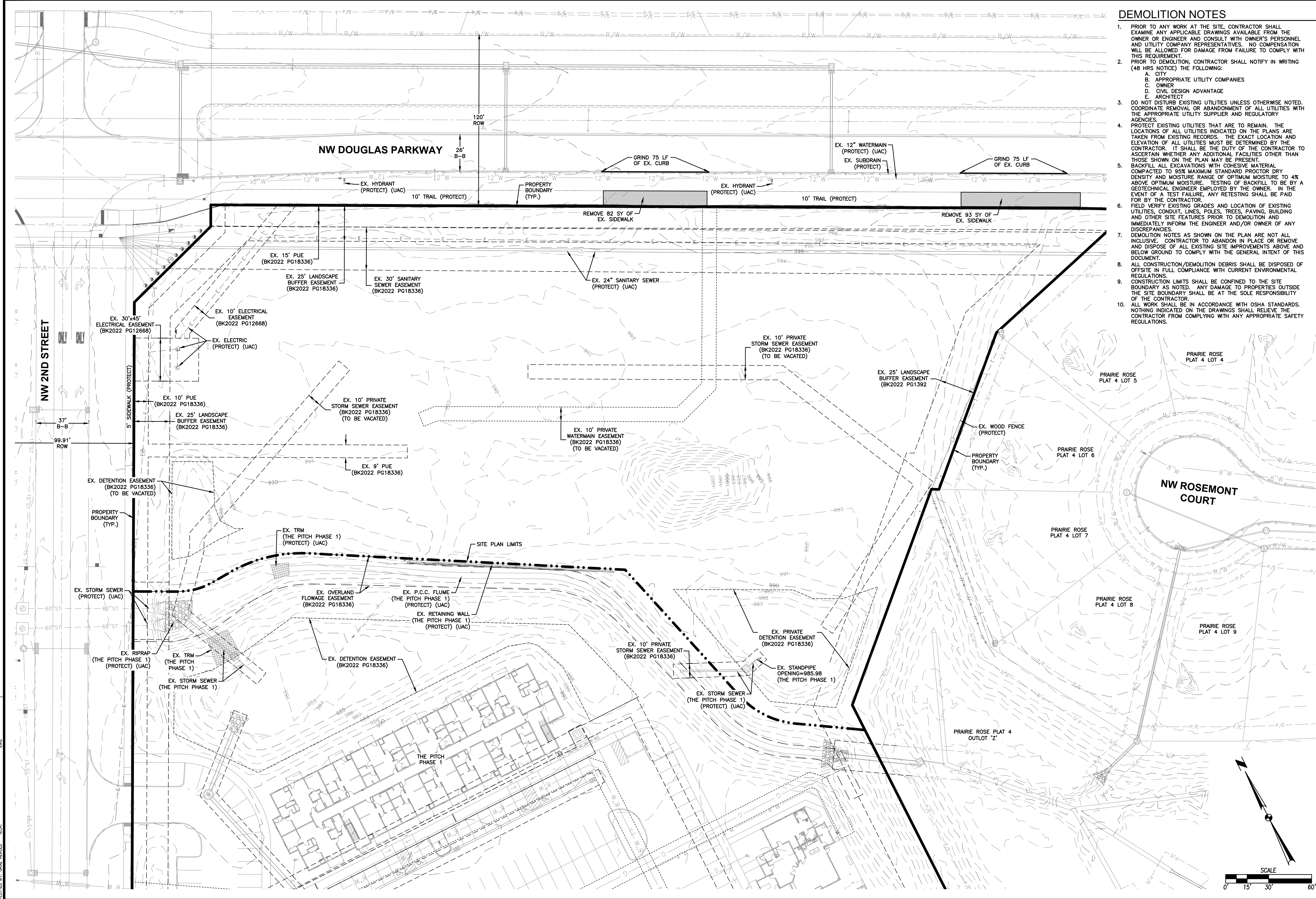


CIVIL DESIGN ADVANTAGE
ENGINEER: EKO
EI: MAE

THE PITCH - PHASE 2 PRELIMINARY PLAT

WAUKEE, IOWA

SHEET NUMBER:
C2.0
2506.474

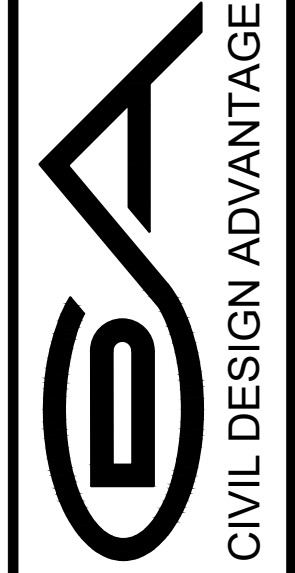


DEMOLITION NOTES

- PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER OR ENGINEER AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
- PRIOR TO DEMOLITION, CONTRACTOR SHALL NOTIFY IN WRITING (48 HRS NOTICE) THE FOLLOWING:
 - APPROPRIATE UTILITY COMPANIES
 - OWNER
 - CIVIL DESIGN ADVANTAGE
 - ARCHITECT
- DO NOT DISTURB EXISTING UTILITIES UNLESS OTHERWISE NOTED. COORDINATE REMOVAL OR ABANDONMENT OF ALL UTILITIES WITH THE APPROPRIATE UTILITY SUPPLIER AND REGULATORY AGENCIES.
- PROTECT EXISTING UTILITIES THAT ARE TO REMAIN. THE LOCATIONS OF ALL UTILITIES INDICATED ON THE PLANS ARE TAKEN FROM EXISTING RECORDS. THE EXACT LOCATION AND ELEVATION OF ALL UTILITIES MUST BE DETERMINED BY THE CONTRACTOR. IT SHALL BE THE DUTY OF THE CONTRACTOR TO ASCERTAIN WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLAN MAY BE PRESENT.
- BACKFILL ALL EXCAVATIONS WITH COHESIVE MATERIAL COMPACTED TO 95% MAXIMUM STANDARD PROCTOR DRY DENSITY AND MOISTURE RANGE OF OPTIMUM MOISTURE TO 4% ABOVE OPTIMUM MOISTURE. TESTING OF BACKFILL TO BE BY A GEOTECHNICAL ENGINEER EMPLOYED BY THE OWNER. IN THE EVENT OF A TEST FAILURE, ANY RETESTING SHALL BE PAID FOR BY THE CONTRACTOR.
- FIELD VERIFY EXISTING GRADES AND LOCATION OF EXISTING UTILITIES, CONDUIT, LINES, POLES, TREES, PAVING, BUILDING AND OTHER SITE FEATURES PRIOR TO DEMOLITION AND IMMEDIATELY INFORM THE ENGINEER AND/OR OWNER OF ANY DISCREPANCIES.
- DEMOLITION NOTES AS SHOWN ON THE PLAN ARE NOT ALL INCLUSIVE. CONTRACTOR TO ABANDON IN PLACE OR REMOVE AND DISPOSE OF ALL EXISTING SITE IMPROVEMENTS ABOVE AND BELOW GROUND TO COMPLY WITH THE GENERAL INTENT OF THIS DOCUMENT.
- ALL CONSTRUCTION/DEMOLITION DEBRIS SHALL BE DISPOSED OFF-SITE IN FULL COMPLIANCE WITH CURRENT ENVIRONMENTAL REGULATIONS.
- CONSTRUCTION LIMITS SHALL BE CONFINED TO THE SITE BOUNDARY AS NOTED. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE IN ACCORDANCE WITH OSHA STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.

DATE	REVISIONS
11/20/2025	FOURTH SUBMITTAL
11/04/2025	THIRD SUBMITTAL
10/14/2025	SECOND SUBMITTAL
08/26/2025	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400

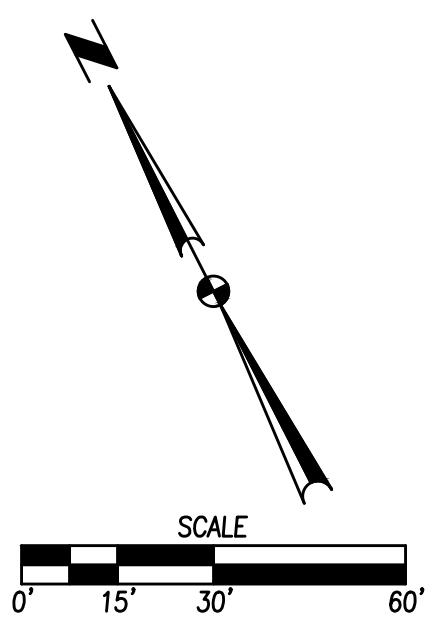


CIVIL DESIGN ADVANTAGE
 WAUKEE, IOWA

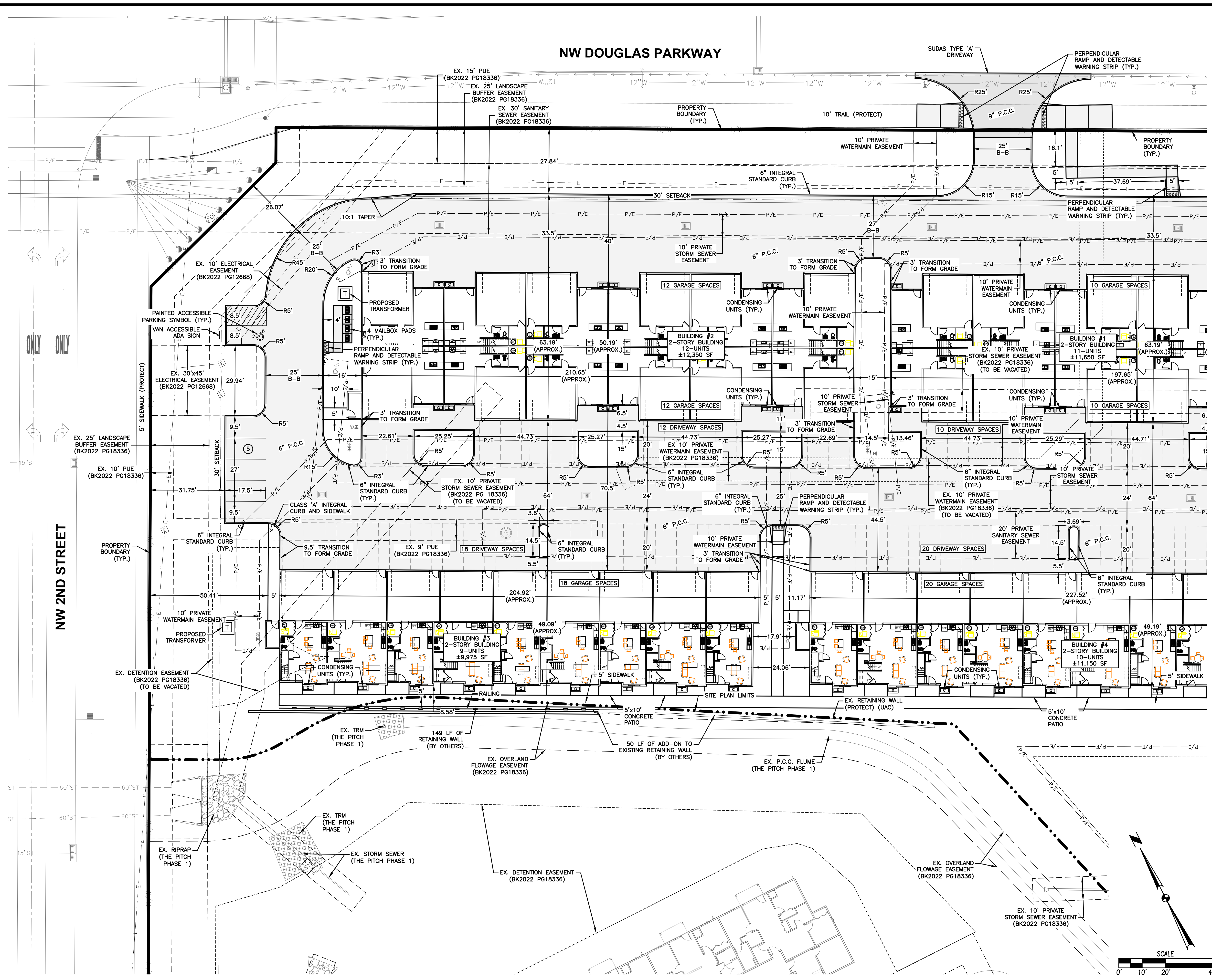
THE PITCH - PHASE 2
 TOPOGRAPHIC SURVEY & DEMOLITION PLAN

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 DATE: 11/19/2025 4:07 PM



NW DOUGLAS PARKWAY



GENERAL NOTES

1. THE 2025 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE 2025 EDITION OF THE SUDAS STANDARD SPECIFICATIONS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
2. ALL WORK SHALL COMPLY WITH ADA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES.
3. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
4. PRIOR TO ANY WORK AT THE SITE, CONTRACTOR SHALL EXAMINE ANY APPLICABLE DRAWINGS AVAILABLE FROM THE OWNER, ENGINEER, AND/OR ARCHITECT, AND CONSULT WITH OWNER'S PERSONNEL AND UTILITY COMPANY REPRESENTATIVES. NO COMPENSATION WILL BE ALLOWED FOR DAMAGE FROM FAILURE TO COMPLY WITH THIS REQUIREMENT.
5. ONE WEEK PRIOR TO CONSTRUCTION WITHIN CITY R.O.W. OR ANY CONNECTION TO PUBLIC UTILITIES CONTRACTOR SHALL NOTIFY THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
6. ALL CONSTRUCTION WITHIN PUBLIC R.O.W./ EASEMENTS, AND/OR ANY CONNECTION TO PUBLIC SEWERS AND STREETS, SHALL COMPLY WITH THE 2025 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS.
7. ALL DIMENSIONS ARE TO BACK OF CURB, BUILDING FACE OR PROPERTY LINE UNLESS OTHERWISE NOTED.
8. CONTRACTOR TO VERIFY BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
9. PLACE 3/4" INCH EXPANSION JOINT BETWEEN ALL P.C.C. PAVEMENT/SIDEWALKS AND BUILDING. PLACE 1/2" INCH EXPANSION JOINT BETWEEN SIDEWALKS AND P.C.C. PAVEMENT.
10. REMOVE ALL DEBRIS AND MUD SPILLED INTO R.O.W. AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
11. ALL PROPERTY PINS SHALL BE PROTECTED FROM GRADING OR OTHER OPERATIONS. ANY PINS DISTURBED SHALL BE RESET AT THE CONTRACTOR'S EXPENSE.
12. DO NOT STORE CONSTRUCTION MATERIALS AND EQUIPMENT IN THE RIGHT OF WAY.
13. THE CONTRACTOR SHALL NOT DISTURB DESIRABLE GRASS AREAS AND DESIRABLE TREES OUTSIDE THE CONSTRUCTION LIMITS. THE CONTRACTOR WILL NOT BE PERMITTED TO PARK OR SERVICE VEHICLES AND EQUIPMENT OR USE THESE AREAS FOR STORAGE OF MATERIALS, STORAGE, PARKING AND SERVICE AREAS WILL BE SUBJECT TO THE APPROVAL OF THE OWNER.
14. THE CONTRACTOR IS RESPONSIBLE FOR REPLACING ANY AREAS OF PAVEMENT OR SIDEWALK NOT TO BE REMOVED THAT IS DAMAGED DUE TO EQUIPMENT ON THE PAVEMENT OR SIDEWALK. ANY PAVEMENT REPLACEMENT SHALL COMPLY WITH THE 2025 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
15. THE CONTRACTOR MAY BE REQUIRED TO PLACE TEMPORARY WARNING DEVICES AND SAFETY FENCE AT CERTAIN LOCATIONS WHERE REPLACEMENT FEATURES ARE NOT INSTALLED THE SAME DAY, AS DIRECTED BY THE ENGINEER OR THE CITY.
16. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF WORK BETWEEN SUPPLIERS AND SUBCONTRACTORS INVOLVED IN THE PROJECT, INCLUDING STAGING OF CONSTRUCTION DETAILERS.
17. ALL PERMITS AND ADDITIONAL FEES REQUIRED TO COMPLETE THE WORK SHALL BE INCLUDED IN THE CONTRACT BID.
18. ALL STAKING, INCLUDING PEDESTRIAN FACILITIES, IS TO BE DONE UNDER THE DIRECTION OF A LICENSED ENGINEER OR SURVEYOR.
19. IT IS THE CONTRACTORS RESPONSIBILITY TO SCHEDULE A PRE-CONSTRUCTION MEETING WITH THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT AT LEAST ONE WEEK PRIOR TO CONSTRUCTION ACTIVITIES COMMENCING.
20. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE CITY OF WAUKEE ENGINEERING DEPARTMENT 72 HOURS PRIOR TO CONSTRUCTION ACTIVITIES COMMENCING.
21. APPROVED FIRE APPARATUS ACCESS ROADS SHALL BE PROVIDED FOR THESE BUILDINGS OR PORTION OF A BUILDING AS SOON AS CONSTRUCTION COMMENCES. THE FIRE APPARATUS ACCESS ROAD SHALL COMPLY WITH THE REQUIREMENTS OF SECTION 503.2 AND SHALL EXTEND TO WITHIN 100 FEET OF ALL EXTERIOR PORTIONS OF THE BUILDING AS MEASURED BY AN APPROVED ROUTE AROUND THE EXTERIOR OF THE BUILDING.
22. INDIVIDUAL GARBAGE TOTES ARE TO BE USED FOR GARBAGE PICKUP.
23. ALL STREETS TO BE PRIVATELY OWNED AND MAINTAINED.
24. INSTALLATION OF STREET BLADE SIGNS FOR THE PRIVATE STREETS TO BE INSTALLED AT THE TIME VERTICAL CONSTRUCTION BEGINS.
25. CONTRACTOR IS RESPONSIBLE TO OBTAIN WRITTEN APPROVAL FOR ANY PLAN CHANGES DURING CONSTRUCTION FROM THE COMMUNITY DEVELOPMENT DEPARTMENT. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR ANY CHANGES THAT HAVE NOT RECEIVED WRITTEN APPROVAL FROM THE COMMUNITY DEVELOPMENT DEPARTMENT.
26. RETAINING WALL WILL BE REQUIRED TO BE DESIGNED BY A STRUCTURAL ENGINEER IF TALLER THAN 4 FEET.

TRAFFIC CONTROL NOTES

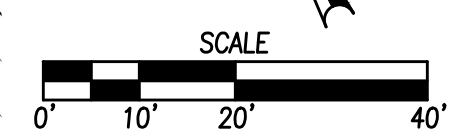
1. ALL APPLICABLE CITY PERMITS, INCLUDING BUT NOT LIMITED TO CLOSURE PERMITS, SHALL BE OBTAINED PRIOR TO ANY CONSTRUCTION WITHIN CITY R.O.W. OR LANE CLOSURES.
2. ALL TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
3. PERMANENT SIGNING THAT CONVEYS A MESSAGE CONTRARY TO THE MESSAGE OF TEMPORARY SIGNING AND NOT APPLICABLE TO THE WORKING CONDITIONS SHALL BE COVERED BY THE CONTRACTOR WHEN DIRECTED BY THE CITY.
4. THE CONTRACTOR SHALL COORDINATE HIS TRAFFIC CONTROL WITH OTHER CONSTRUCTION PROJECTS IN THE AREA.
5. SIDEWALK CLOSED SIGNS REQUIRED FOR ALL SIDEWALK CLOSURES. SIGNAGE AND TEMPORARY PEDESTRIAN ACCESS ROUTE THROUGH CONSTRUCTION AREA SHALL MEET THE REQUIREMENTS OF PUBLIC RIGHTS-OF-WAY ACCESSIBILITY GUIDELINES (PROWAG), SECTION R205 AND IOWA DOT DESIGN MANUAL, CHAPTER 12A-4.
6. THE CONTRACTOR IS CAUTIONED NEITHER TO OBSTRUCT NOR REMOVE ANY EXISTING PAVEMENT, NOR TO DISTURB THE EXISTING TRAFFIC PATTERNS MORE THAN IS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
7. ALL SIGNING AND LANE STRIPING WILL NEED TO COMPLY WITH MUTD. MAINTENANCE AND REPLACEMENT OF THE SIGNING AND STRIPING WILL BE THE RESPONSIBILITY OF THE APPLICANT.

PAVEMENT THICKNESS

- | | |
|--------------------------------------|---------------------|
| 1. SIDEWALKS | 4" P.C.C. (C-4 MIX) |
| 2. PRIVATE STREETS | 6" P.C.C. (C-4 MIX) |
| 3. APPROACH | 9" P.C.C. (C-4 MIX) |
| 4. SIDEWALK RAMPS AND TURNING SPACES | 6" P.C.C. (C-4 MIX) |

T ELECTRICAL TRANSFORMER LOCATION

NOTE: BUILDING DIMENSIONS SHOWN SHALL BE VERIFIED AND CONSTRUCTED PER THE ARCHITECTURAL DRAWINGS.



DATE	11/20/2025
REVISIONS	FOURTH SUBMITTAL 11/04/2025
	THIRD SUBMITTAL 10/14/2025
	FIRST SUBMITTAL 08/26/2025

4121 NW URBANDALE DRIVE
URBANDALE, IA 50322
PHONE: (515) 369-4400

CIVIL DESIGN ADVANTAGE
ENGINEER: EKO ENGINEER: GH EI: MAE

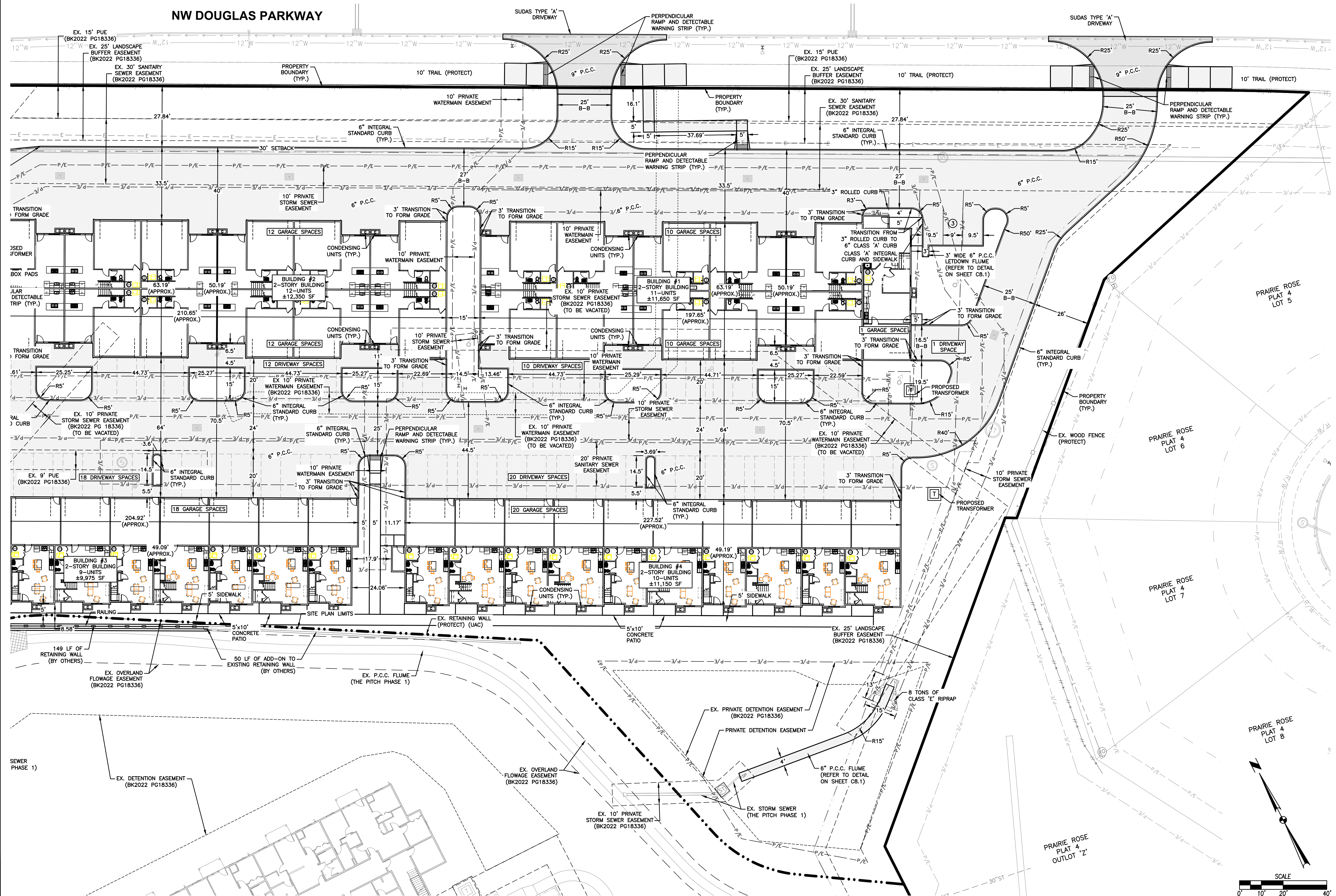
WAUKEE, IOWA

THE PITCH - PHASE 2
DIMENSION PLAN

SHEET NUMBER:
C4.0
2506.474

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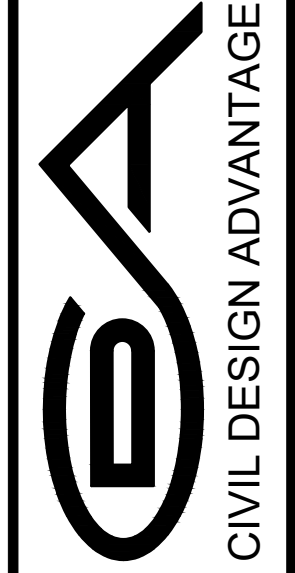
NW DOUGLAS PARKWAY



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DATE PLOTTED: 11/19/2025 4:07 PM
DRAWN BY: GAVIN HEROLD
CHECKED BY: GAVIN HEROLD

DATE	REVISIONS
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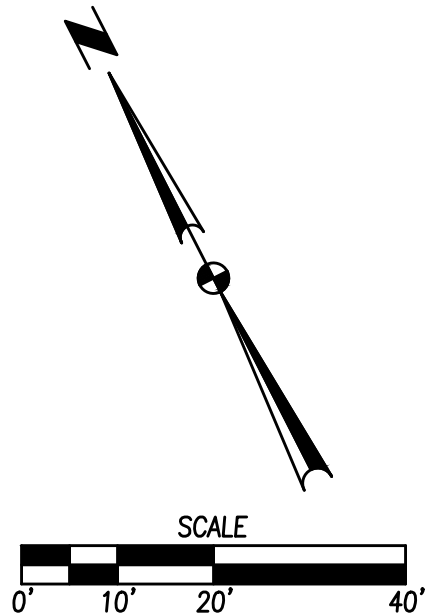


WAUKEE, IOWA

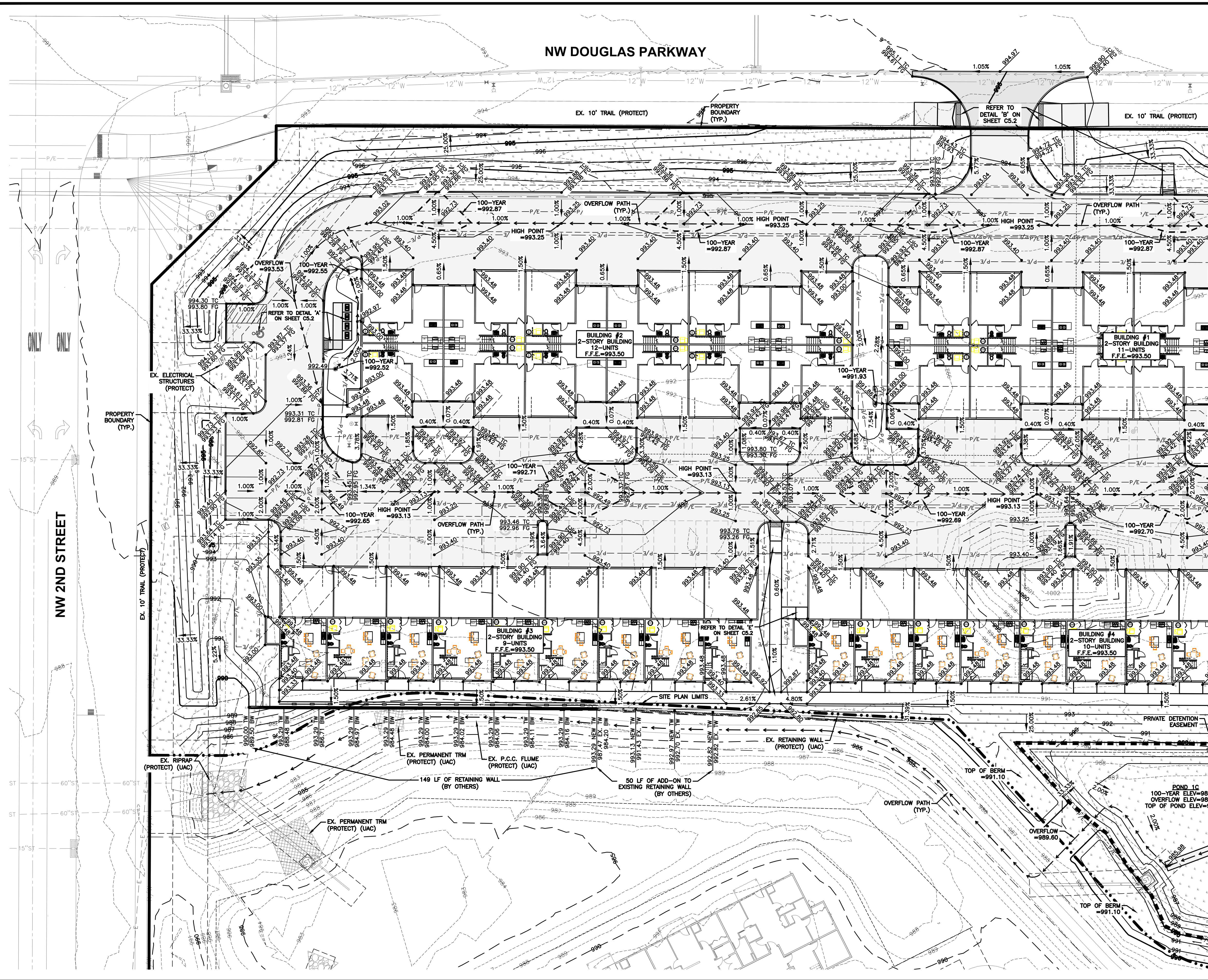
THE PITCH - PHASE 2
DIMENSION PLAN

SHEET NUMBER:
C4.1
2506.474

ENGINEER: EKO
EI: MAE



NW DOUGLAS PARKWAY



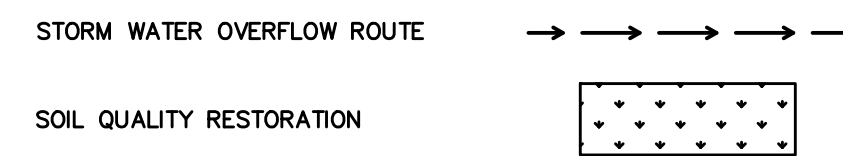
GRADING NOTES

1. THE COMPLETION AND APPROVAL OF THE COSESCO PERMIT SHALL BE PROVIDED TO THE CITY OF WAUKEE BUILDING DIVISION AND STORM WATER DEPARTMENT PRIOR TO ANY GRADING ACTIVITIES.
2. CONTRACTOR SHALL STRIP ALL DELETERIOUS MATERIAL. A MINIMUM OF 8" OF TOPSOIL IS TO BE STOCKPILED AND RESPREAD AFTER GRADING IS COMPLETE. CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING A SUITABLE TOPSOIL STOCKPILE SITE.
3. EXCAVATION SHALL BE IN ACCORDANCE WITH THE 2025 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE 2025 EDITION OF THE SDAS STANDARD SPECIFICATIONS, IF APPLICABLE.
4. MATCH EXISTING GRADES AT PROPERTY LINES AND/OR CONSTRUCTION LIMITS.
5. ALL SPOT ELEVATIONS ARE FORM GRADE (FG) OR TOP OF FINISHED SURFACES UNLESS OTHERWISE NOTED.
6. SITE SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS.
7. SLOPES IN PAVEMENT SHALL BE UNIFORM TO AVOID PONDING.
8. THE CONTRACTOR SHALL CONFINE HIS GRADING OPERATIONS TO WITHIN THE CONSTRUCTION LIMITS AND EASEMENTS SHOWN ON THE PLANS. ANY DAMAGE TO PROPERTIES OUTSIDE THE SITE BOUNDARY SHALL BE AT THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
9. THE CONTRACTOR SHALL APPLY NECESSARY MOISTURE CONTROL TO THE CONSTRUCTION AREA AND HAUL ROADS TO PREVENT THE SPREAD OF DUST.
10. REFER TO SEPARATE STORM WATER POLLUTION PREVENTION PLAN FOR DETAILS ON EROSION CONTROL.
11. FINAL FINISH GRADING TO BE APPROVED BY THE ARCHITECT AND CIVIL ENGINEER. MATCH EXISTING GRADES AT THE INTERFACE OF NEW AND EXISTING GRADES OR PAVING.
12. SIDEWALKS:
MAINTAIN 0.8% MINIMUM AND 5% MAXIMUM LONGITUDINAL SLOPES ON ALL PAVED WALKWAYS. ALL WALKS TO HAVE 2.0% MAXIMUM TRANSVERSE SLOPE IN THE DIRECTION OF NATURAL DRAINAGE. SAW CUT JOINTS AS SOON AS CONCRETE HAS SET. SAW CUTS TO BE 1/8" TO 1/4" WIDE. DEPTH: LONGITUDINAL 1/3, TRANSVERSE 1/4.
15. CONSTRUCTION OPERATIONS SHALL PROTECT STORM SEWERS AND DRAINAGE WAYS FROM ALLOWING SLURRY FROM CONCRETE OPERATIONS TO DISCHARGE OFFSITE.

F.F.E. = FINISHED FLOOR ELEVATION OF THE FIRST FLOOR OF THE HOME. REFER TO ARCHITECTURAL DRAWINGS FOR EXACT DETAILS.

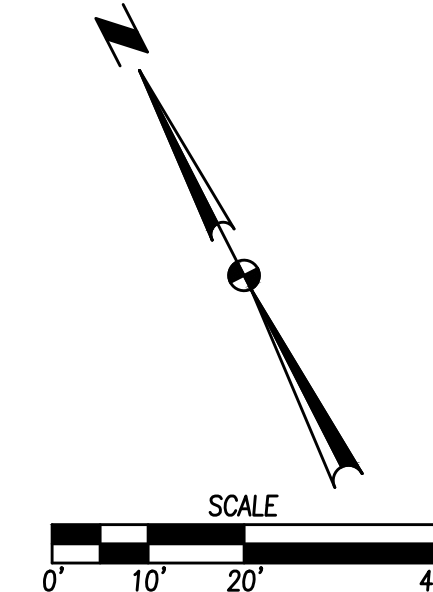
SOIL QUALITY RESTORATION NOTES

1. SOIL QUALITY RESTORATION WILL OCCUR ON INDICATED OPEN SPACE AREAS AND IS TO BE OVERLAIN WITH A MINIMUM OF 8" OF TOPSOIL WITH A MINIMUM OF 2% ORGANIC MATTER CONTENT PRIOR TO SOIL PLACEMENT TO ENSURE WATER QUALITY VOLUME IS MET. CONTRACTOR SHALL WORK WITH THE GEOTECHNICAL COMPANY ONSITE TO TEST THE TOPSOIL PRIOR TO PLACEMENT TO ENSURE ORGANIC CONTENT REQUIREMENTS ARE BEING MET. PROVIDE TEST REPORTS TO CITY OF WAUKEE STORMWATER DEPARTMENT.



STORM WATER OVERFLOW ROUTE

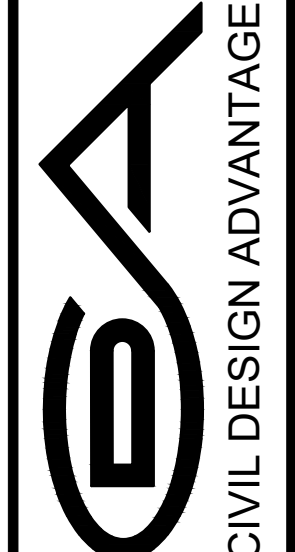
SOIL QUALITY RESTORATION



SCALE
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DATE	REVISIONS
11/20/2025	FOURTH SUBMITTAL
11/04/2025	THIRD SUBMITTAL
10/14/2025	SECOND SUBMITTAL
08/26/2025	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
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PHONE: (515) 369-4400



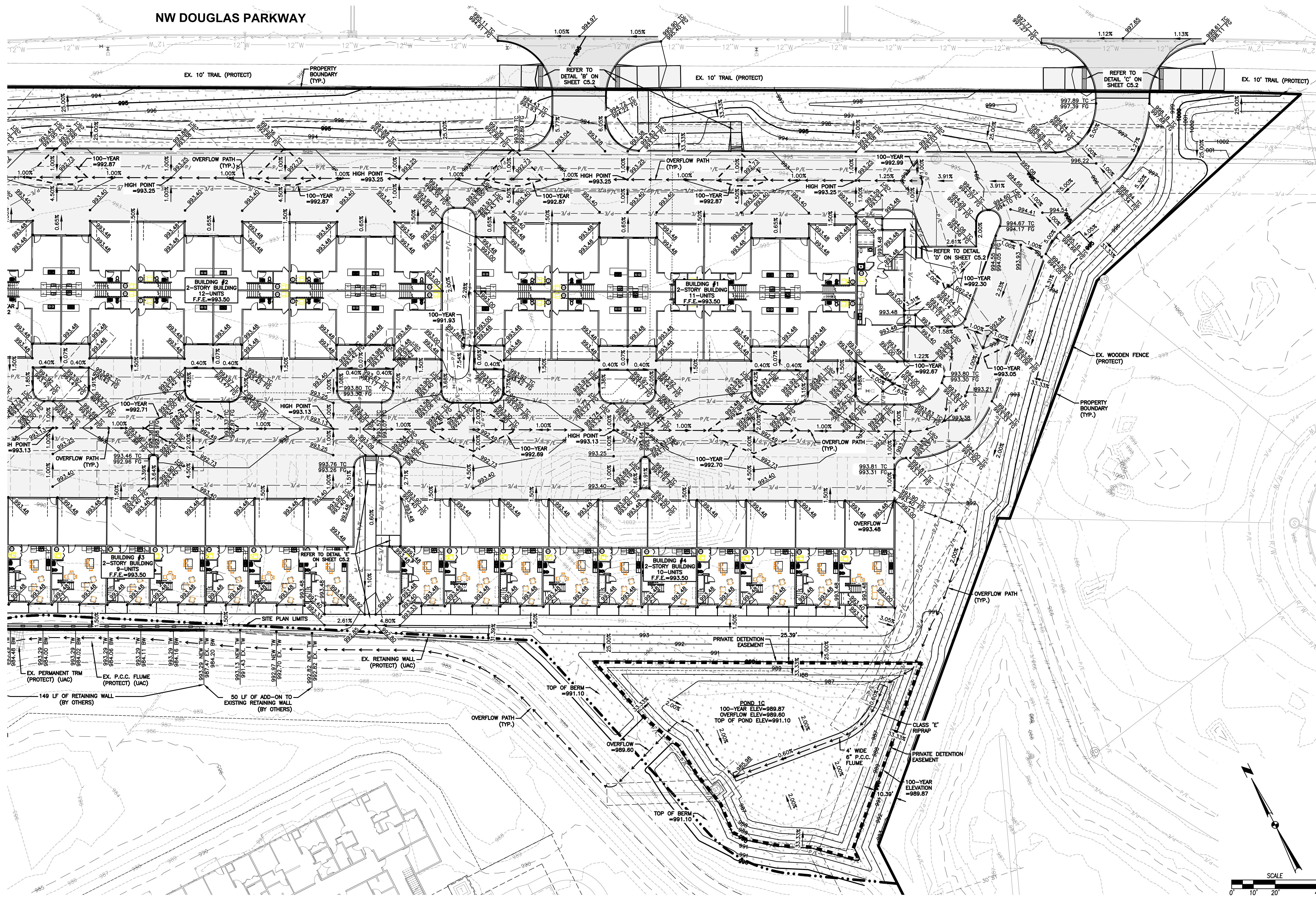
WAUKEE, IOWA

THE PITCH - PHASE 2
GRADING PLAN

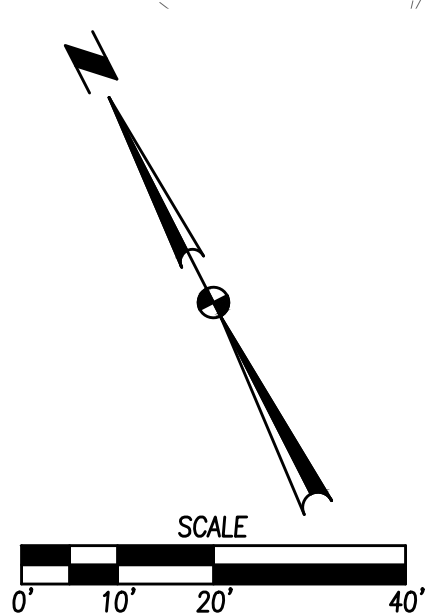
SHEET NUMBER:
C5.0
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DATE: 11/19/2025 4:07 PM

NW DOUGLAS PARKWAY

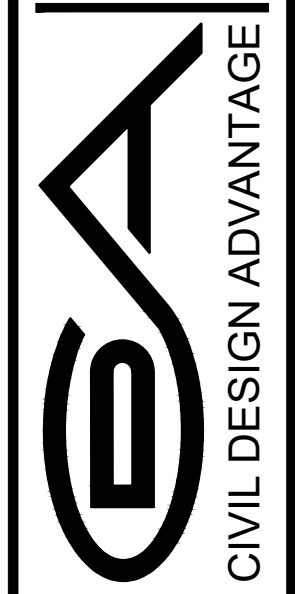


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CHECKED BY: GAV HEROLD



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 PHONE: (515) 369-4400

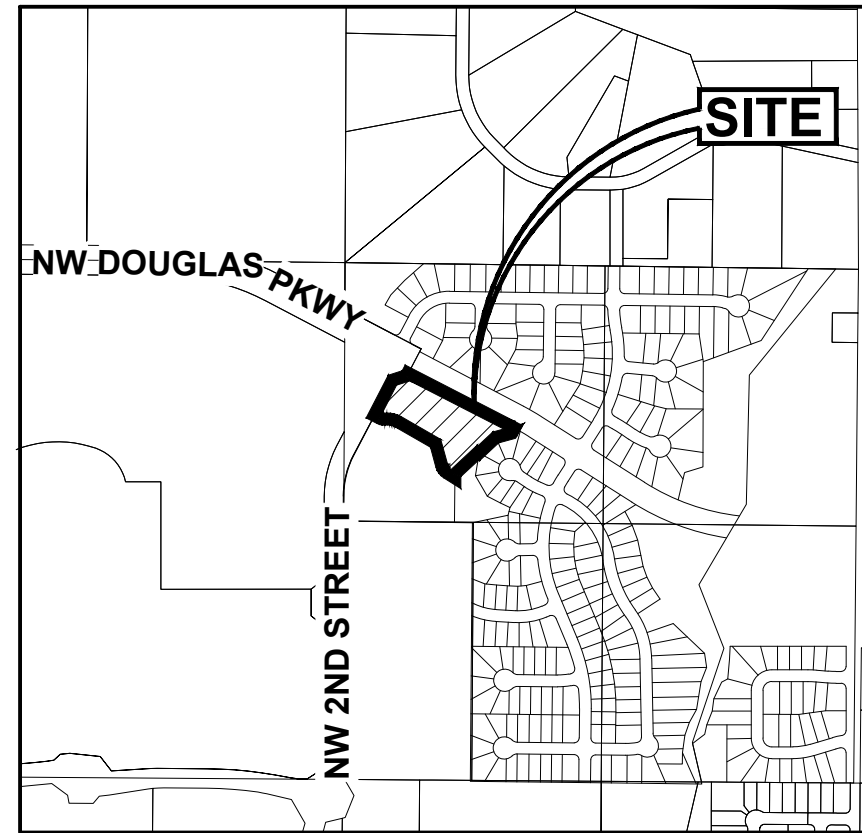


WAUKEE, IOWA
 ENGINEER: EKO
 ENGINEER: GH
 EI: MAE

THE PITCH - PHASE 2
GRADING PLAN

SHEET NUMBER:
C5.1
 2506.474

VICINITY MAP
NOT TO SCALE



WAUKEE, IOWA

THE PITCH - PHASE 2

EROSION AND SEDIMENT CONTROL PLAN

STABILIZATION QUANTITIES

ITEM NO.	ITEM	UNIT	TOTAL
1	SILT FENCE	LF	1,357
2	DITCH CHECKS	LF	76
3	SOD	AC	1.74
4	INLET PROTECTION DEVICES	EA	14
5	CONCRETE WASHOUT PIT	EA	1
6	SOIL QUALITY RESTORATION	AC	1.20
7	CLASS "E" RIPRAP	TONS	8
8	SUDAS TYPE 4 TEMPORARY SEEDING, FERTILIZING AND MULCHING	AC	1.74

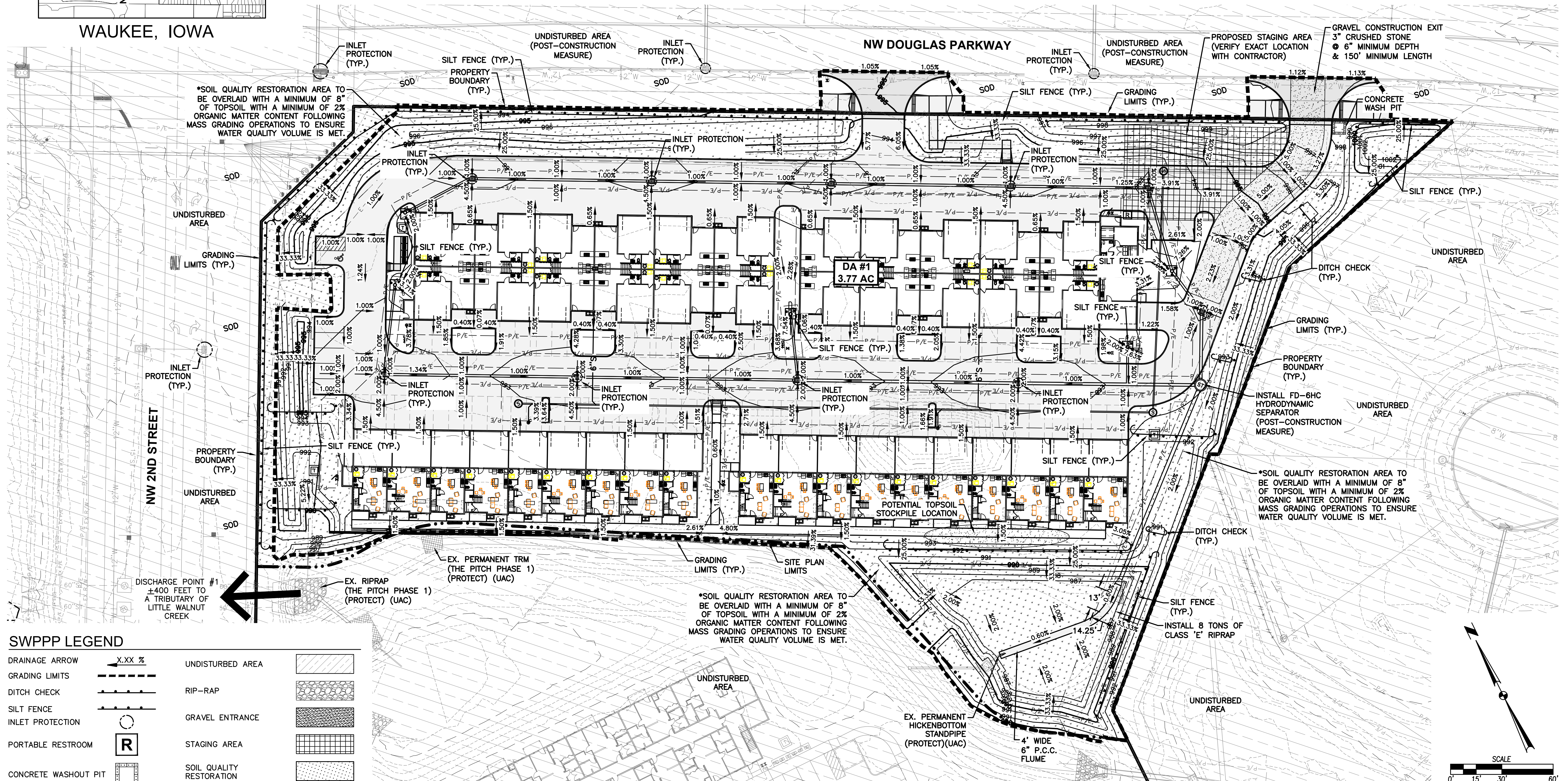
DISCHARGE POINT SUMMARY

DISCHARGE POINT #1 TO A TRIBUTARY OF LITTLE WALNUT CREEK ±400 FT
TOTAL AREA DISTURBED TO DISCHARGE POINT
STORAGE VOLUME REQUIRED (# OF ACRES*3600 CU FT) 3.77 ACRES
13,572 CU FT

VOLUME PROVIDED IN SILT FENCE (1,352 LF @ 10 CU FT/LF OF FENCE) 13,520 CU FT
VOLUME PROVIDED IN DITCH CHECK (76 LF @ 15 CU FT/LF) 1,140 CU FT
TOTAL VOLUME PROVIDED 14,660 CU FT

NOTES:

- IF DEWATERING IS NEEDED FOR ANY REASON, DISCHARGE OF WATER OFFSITE IS TO CONFORM WITH THE GENERAL PERMIT #2 REQUIREMENT.
- DISTURBED AREAS SHALL BE TEMPORARILY SEEDED OR MULCHED IMMEDIATELY WHENEVER CLEARING, GRADING, EXCAVATING, OR OTHER EARTH DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED AND WILL NOT RESUME FOR A PERIOD EXCEEDING 14 CALENDAR DAYS.
- STORM SEWERS AND DRAINAGE WAYS SHALL BE PROTECTED FROM CONCRETE SLURRY PRODUCED BY SAWCUTTING AND CONCRETE GRINDING.
- DEBRIS SPILLED ONTO THE STREET MUST BE PICKED UP BY THE END OF THE WORK DAY AND PRIOR TO ANY RAIN EVENT.
- CONTRACTOR SHALL SOD NW DOUGLAS PARKWAY AND NW 2ND STREET RIGHT-OF-WAY.



SWPPP LEGEND

DRAINAGE ARROW	X.XX %	UNDISTURBED AREA	
GRADING LIMITS		RIP-RAP	
DITCH CHECK		GRAVEL ENTRANCE	
SILT FENCE		STAGING AREA	
INLET PROTECTION		SOIL QUALITY RESTORATION	
PORTABLE RESTROOM			
CONCRETE WASHOUT PIT			

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 PLOTTED BY: GWB
 PLOTTED ON: 08/26/2025 4:08 PM
 PLOT: 11/19/2025

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CIVIL DESIGN ADVANTAGE
WAUKEE, IOWA

THE PITCH - PHASE 2
EROSION AND SEDIMENT CONTROL PLAN

SHEET NUMBER:
C6.0
2506.474

ENGINEER: EKO
ENGINEER: GH
EI: MAE

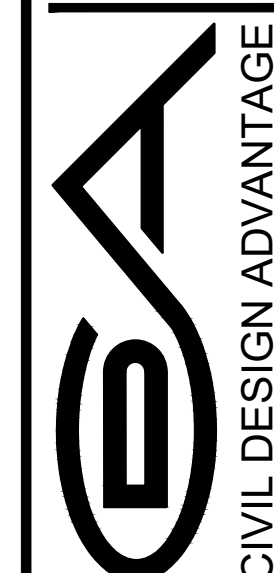
NW DOUGLAS PARKWAY

UTILITY NOTES

- REFER TO MECHANICAL, ELECTRICAL AND PLUMBING PLANS FOR UTILITY SERVICE SIZES AND EXACT LOCATIONS. REFER TO ELECTRICAL PLANS FOR ELECTRIC AND TELEPHONE SERVICE CONSTRUCTION DETAILS. REFER TO MECHANICAL PLANS FOR GAS SERVICE CONSTRUCTION DETAILS.
- FIELD VERIFY ELEVATIONS AND LOCATIONS OF ALL CONNECTIONS TO EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.
- PROVIDE TEMPORARY SUPPORT FOR EXISTING UTILITY LINES THAT ARE ENCOUNTERED DURING CONSTRUCTION UNTIL BACKFILL IS COMPLETE.
- BACKFILL ALL UTILITY TRENCHES ACCORDING TO THE 2025 EDITION OF THE SDAS STANDARD SPECIFICATIONS AND THE 2025 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS. MAINTAIN A MINIMUM OF 5.5' COVER OVER ALL WATERMAINS.
- ALL UTILITIES SHALL BE STUBBED TO 5 FEET FROM BUILDINGS. REFER TO MEP PLANS FOR DESIGN FROM 5' OUTSIDE OF BUILDING FACE.
- ADJUST ALL MANHOLES AND INTAKES TO FINISHED GRADES. INSTALL CHIMNEY SEALS ON ANY ADJUSTED MANHOLES. ALL PROPOSED SANITARY MANHOLES ARE TO UTILIZE A TYPE 'B' CASTING.
- ALL SANITARY SEWER AND WATER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2025 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS FOR PUBLIC IMPROVEMENTS.
- 18" MINIMUM VERTICAL CLEARANCE BETWEEN STORM SEWER AND SANITARY SEWER PIPES. 18" MINIMUM VERTICAL CLEARANCE BETWEEN SANITARY SEWER AND WATER MAIN.
- MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION BETWEEN SANITARY SEWER LINES AND WATER MAINS.
- WHERE PUBLIC UTILITY FIXTURES ARE SHOWN AS EXISTING ON THE PLANS OR ENCOUNTERED WITHIN THE CONSTRUCTION AREA, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE OWNERS OF THOSE UTILITIES PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. THE CONTRACTOR SHALL AFFORD ACCESS TO THESE FACILITIES FOR NECESSARY MODIFICATION OF SERVICES. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN PLOTTED FROM AVAILABLE SURVEYS AND RECORDS, AND THEREFORE, THEIR LOCATIONS MUST BE CONSIDERED APPROXIMATE ONLY. IT IS POSSIBLE THERE MAY BE OTHERS, THE EXISTENCE OF WHICH IS PRESENTLY NOT KNOWN OR SHOWN. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR EXISTENCE AND EXACT LOCATIONS AND TO AVOID DAMAGE THERETO. NO CLAIMS FOR ADDITIONAL COMPENSATION WILL BE ALLOWED TO THE CONTRACTOR FOR ANY INTERFERENCE OR DELAY CAUSED BY SUCH WORK. THE CONTRACTOR IS REQUIRED TO UTILIZE THE UTILITY ONE-CALL SERVICE AT 800-292-8989 AT LEAST 48 HOURS PRIOR TO EXCAVATING ANYWHERE ON THE PROJECT.
- ALL WATERMAIN WORK, PUBLIC OR PRIVATE SHALL BE DONE IN ACCORDANCE WITH THE 2023 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF WORK OF ALL SUBCONTRACTOR(S) INVOLVED IN THE PROJECT.
- PRIVATE UTILITIES TO BE INSTALLED PER THE 2025 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS AND THE LATEST EDITION OF THE UNIFORM PLUMBING CODE. CONTACT BUILDING INSPECTION A MINIMUM OF 24 HOURS IN ADVANCE FOR UTILITY INSTALLATION INSPECTIONS. ALL APPLICABLE UTILITY COMPANIES SHALL BE CONTACTED 48 HOURS PRIOR TO ANY WORK BEING STARTED.
- OWNER IS RESPONSIBLE FOR MAINTENANCE OF PRIVATE DETENTION FACILITIES AND PRIVATE UTILITIES.
- CONTRACTOR SHALL PREVENT ENTRY OF MUD, DIRT, DEBRIS AND OTHER MATERIAL INTO NEW AND EXISTING SEWER SYSTEMS. SHOULD ANY CONTAMINATION OCCUR DURING CONSTRUCTION, THE CONTRACTOR SHALL CLEAN AT NO COST TO THE OWNER. INSTALL SEDIMENT CONTROLS AT ALL PERMANENT STORM SEWER INLETS. DROP DOWN INLET PROTECTION IS REQUIRED FOR PUBLIC STREETS.
- CONTRACTOR SHALL TEST AND INSPECT ALL PROPOSED STORM SEWER, WATERMAIN AND SANITARY SEWER. THE CITY OF WAUKEE ENGINEERING DEPARTMENT IS REQUIRED TO WITNESS TESTING. ALL TESTING SHALL BE COMPLETED MEETING CITY OF WAUKEE STANDARDS.
- ALL UTILITY TIE-INS TO EXISTING PUBLIC UTILITIES SHOULD BE COORDINATED WITH THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
- ALL PRIVATE AND PUBLIC SANITARY SEWER AND STORM SEWER PIPES SHALL BE CLEANED OUT AND TESTED PRIOR TO PAVING. ALL SANITARY MANHOLES SHALL BE VACUUMED TESTED. A HARD COPY OF THE REPORT AND VIDEO SHALL BE PROVIDED TO THE CITY OF WAUKEE ENGINEERING DEPARTMENT.
- ALL CONNECTIONS TO EXISTING SANITARY SEWER MANHOLES SHALL BE CORE DRILLED AND A LINAL SEAL SHALL BE USED FOR THE CONNECTION.
- IT IS THE OWNER'S RESPONSIBILITY TO COORDINATE IRRIGATION AND METER PITS WITH THE WAUKEE PUBLIC WORKS DEPARTMENT.
- ALL HYDRANTS SHALL HAVE 8-INCH STORZ FITTINGS.
- COORDINATE INSTALLATION OF UTILITIES AND PAVING WITH SURROUNDING PROPERTIES.
- ALL UTILITIES ARE PRIVATE.
- ALL 8-INCH WATERMAIN SHALL BE PVC.

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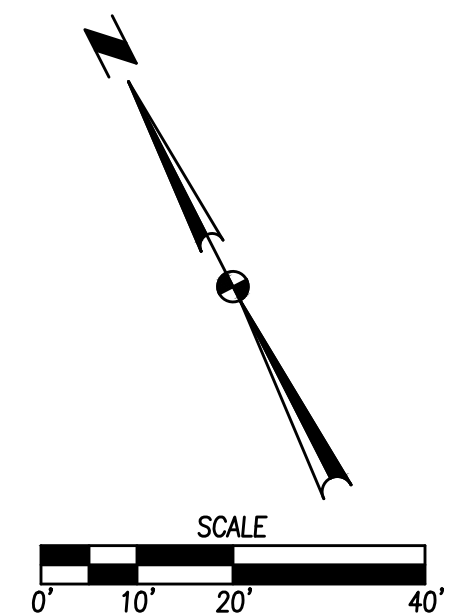
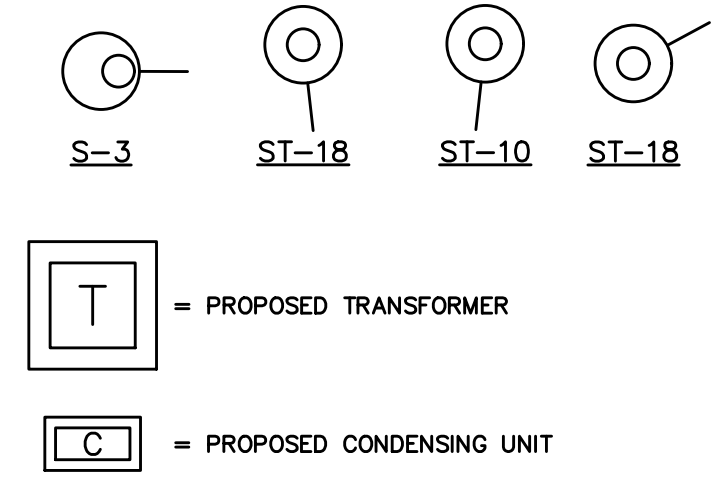
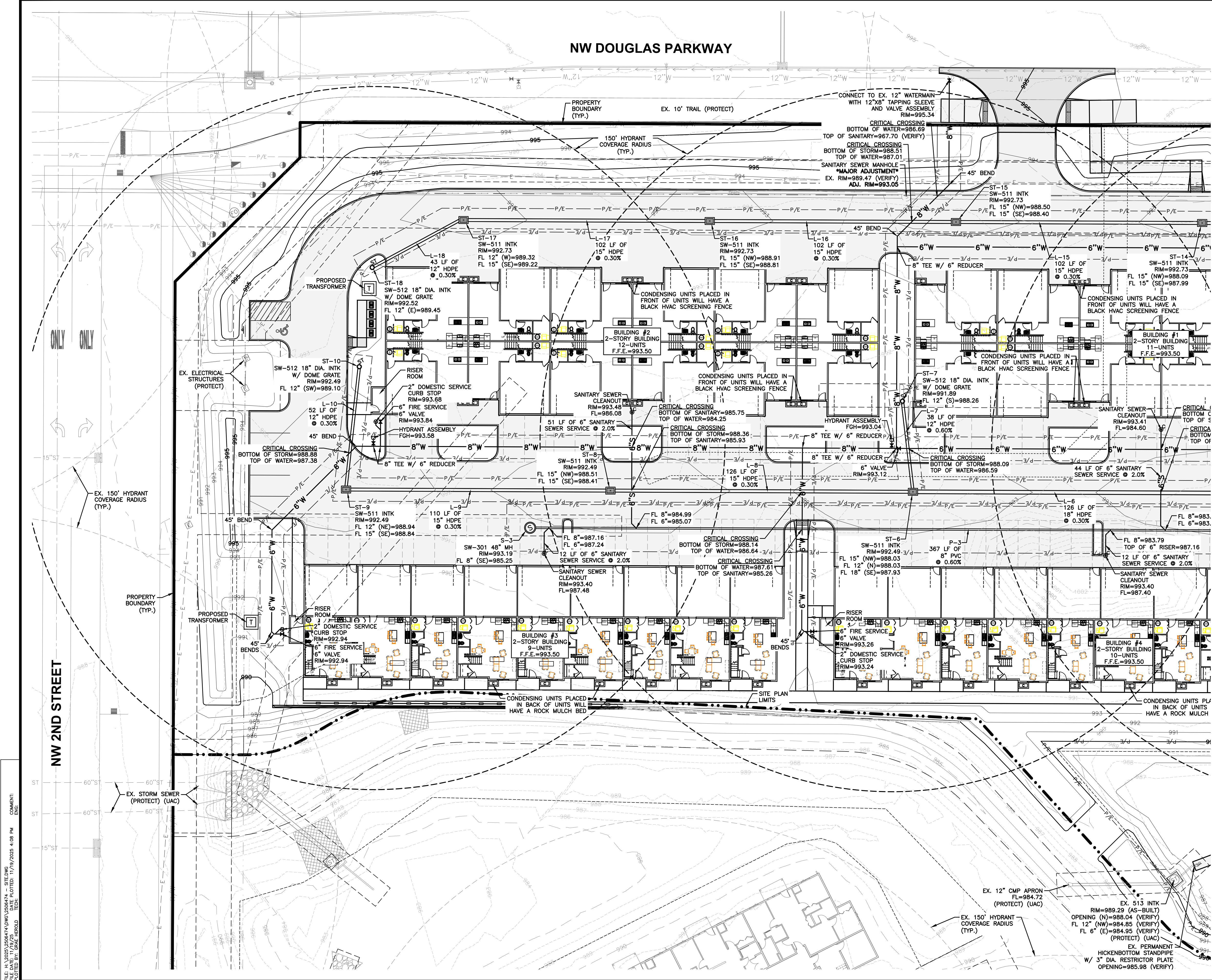
4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400



ENGINEER: EKO
 ENGINEER: GH
 EI: MAE

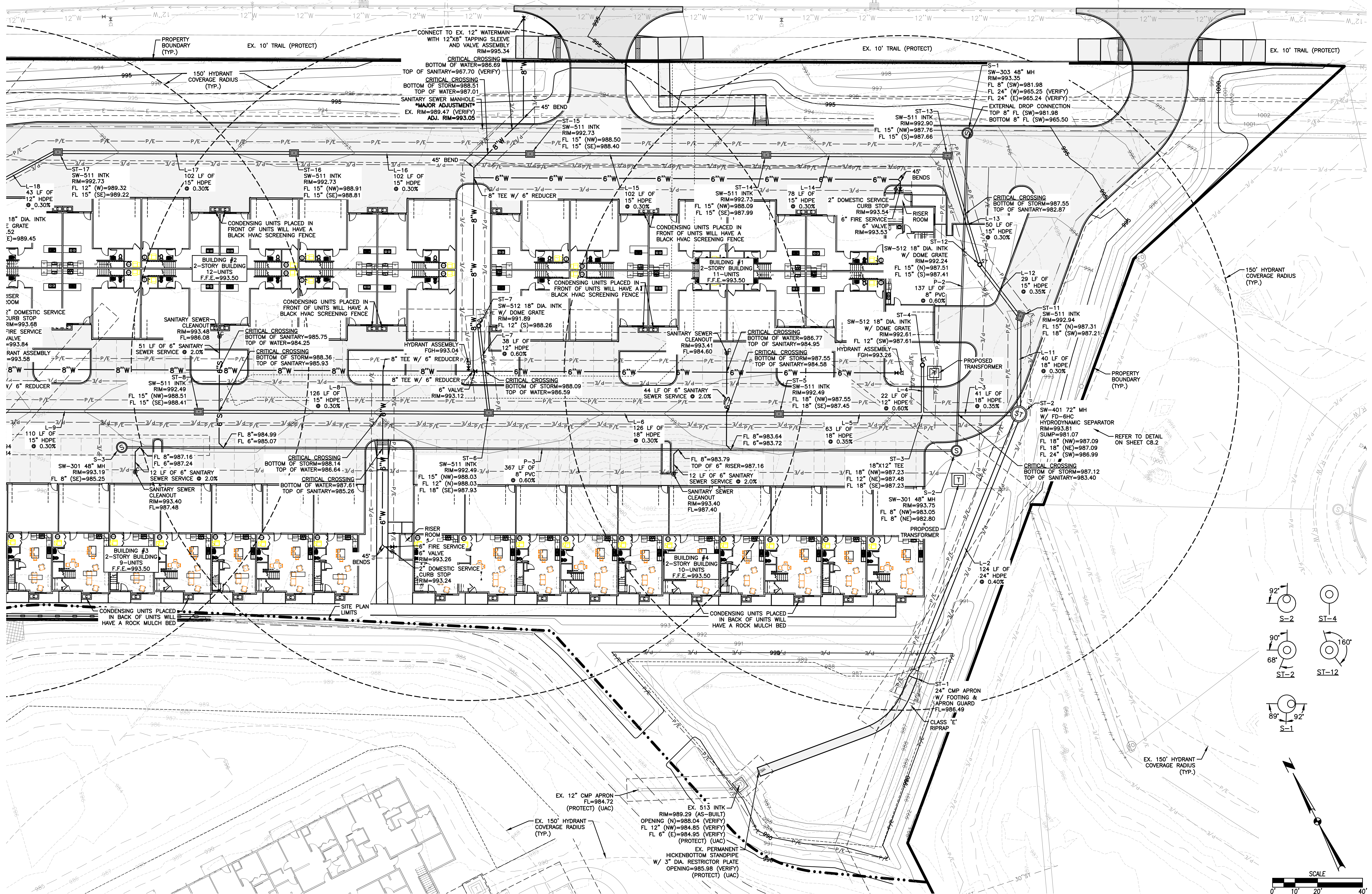
THE PITCH - PHASE 2
 UTILITY PLAN

WAUKEE, IOWA
 SHEET NUMBER:
C7.0
 2506.474

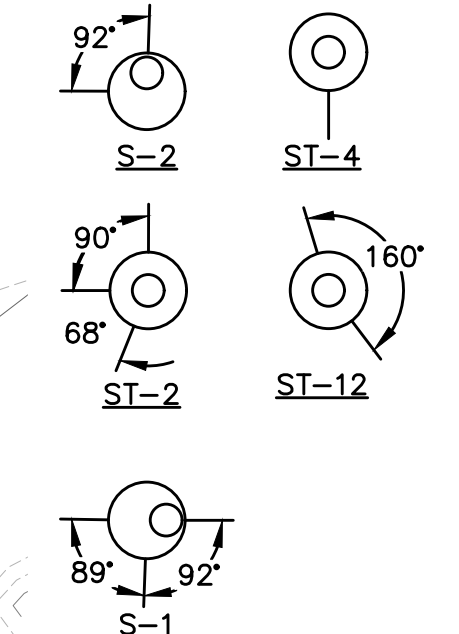


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NW DOUGLAS PARKWAY

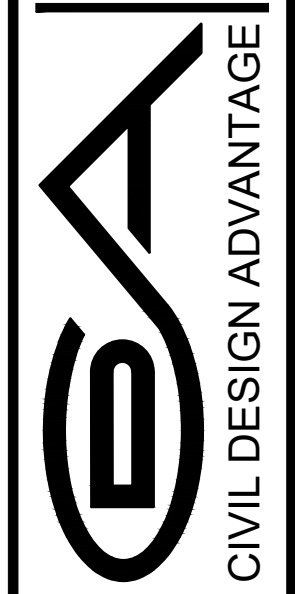


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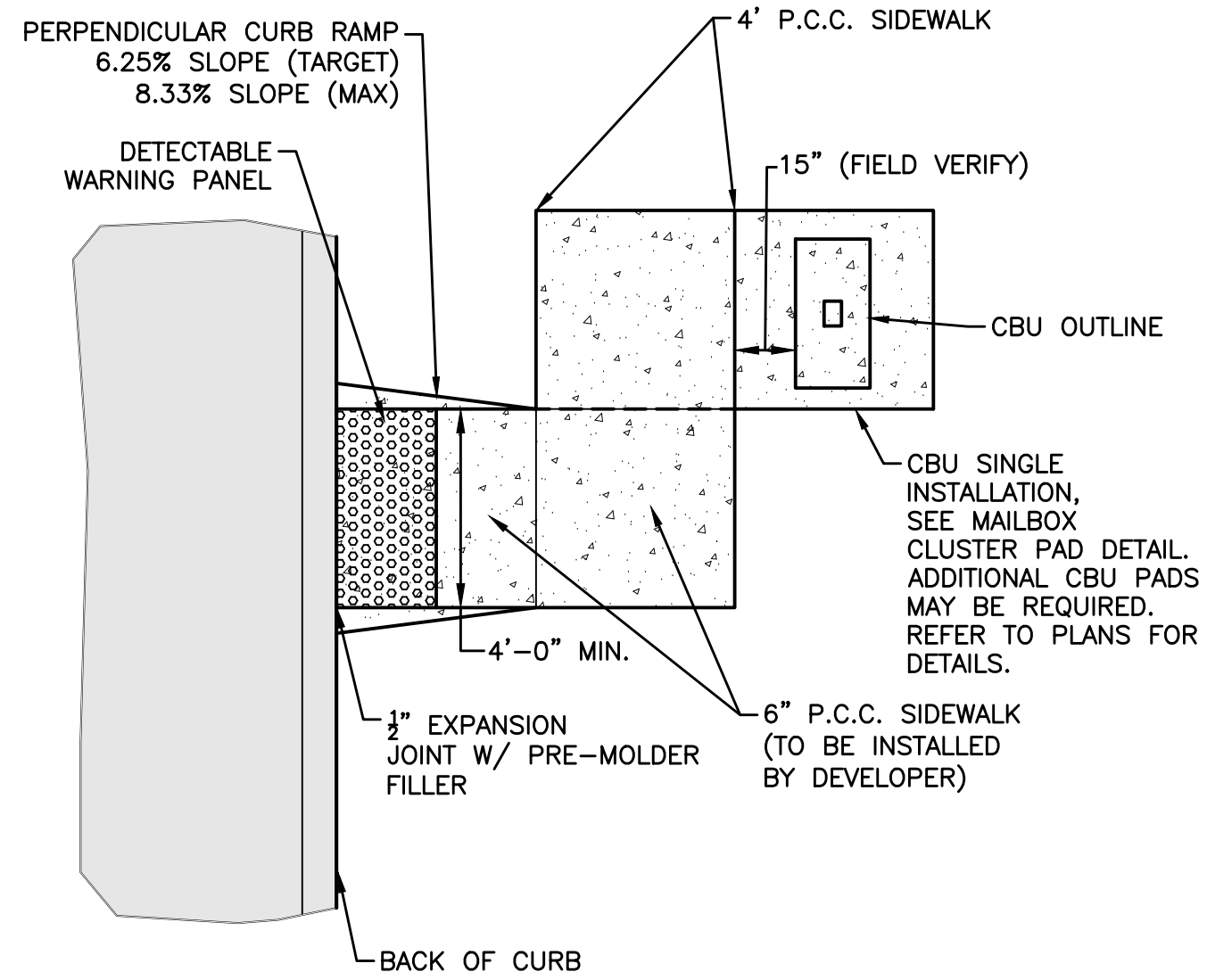


WAUKEE, IOWA
 ENGINEER: EKO
 ENGINEER: GH
 EI: MAE

THE PITCH - PHASE 2

UTILITY PLAN

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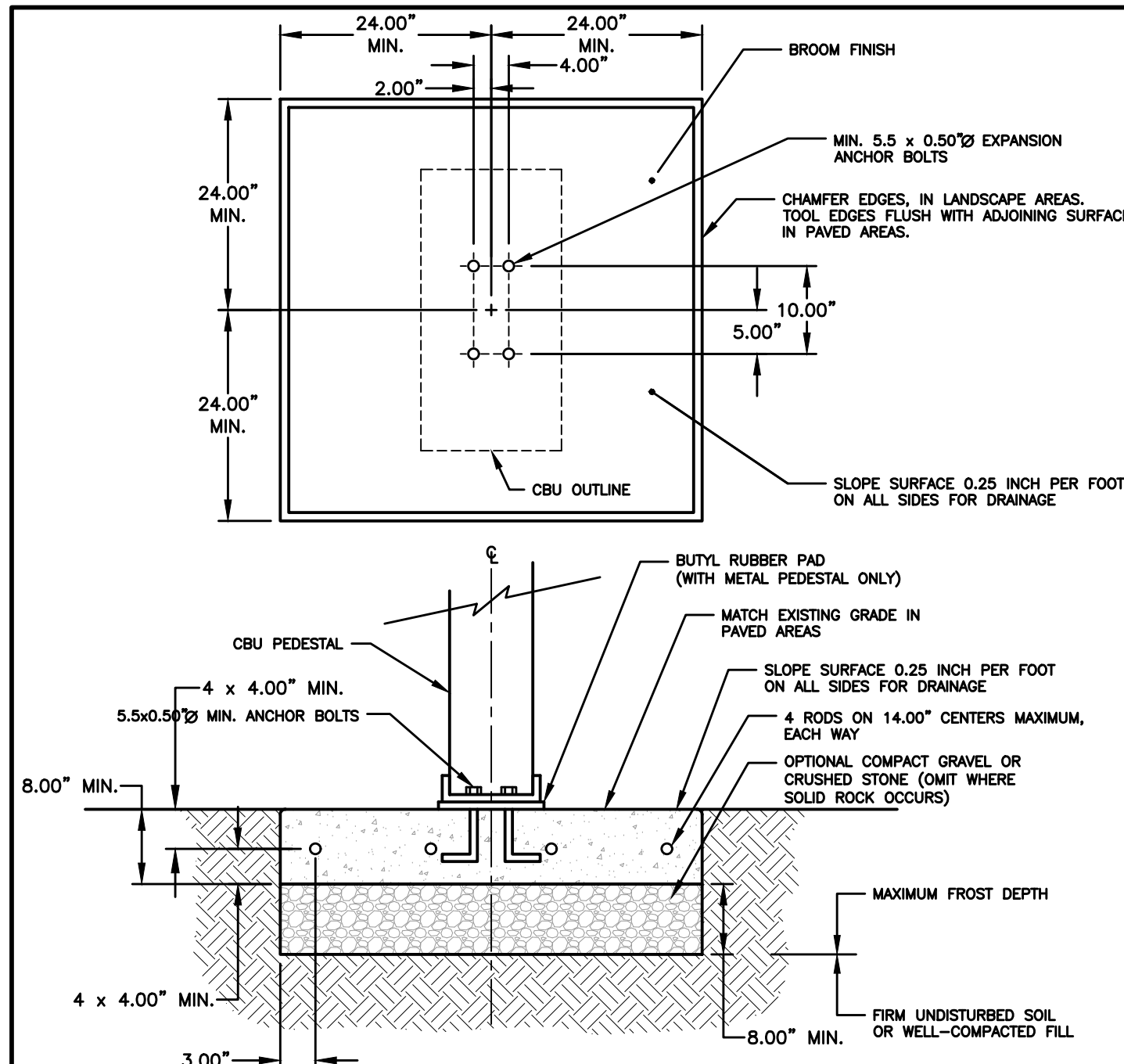


INSTALLATION NOTE:

- MAILBOX PADS TO BE INSTALLED BY DEVELOPER.
- CLUSTER MAILBOX TO BE LOCATED ON THE NO PARKING/STREET LIGHT SIDE OF STREET.
- DO NOT LOCATE AT INTERSECTION.
- LOCATE NEAR SHARED PROPERTY LINE PER APPROVED PLAN.
- DETERMINE SIDEWALK SIDE OF MAILBOX PAD ELEVATION ASSUMING CONSTANT 4% SLOPE FROM BACK OF CURB TO SIDEWALK SIDE OF MAILBOX PAD. RESULTING SLOPE FROM BACK OF CURB TO STREET SIDE OF MAILBOX PAD WILL BE GREATER THAN 4%. FOR EXAMPLE, FOR A 29' WIDE PAVEMENT WITH A 60' WIDE R.O.W. AND A 2% MAILBOX PAD CROSS SLOPE, THE RESULTING SLOPE FROM THE BACK OF CURB TO THE STREET SIDE OF MAILBOX PAD IS 6.2%.

MAILBOX PAD DETAIL

NOT TO SCALE

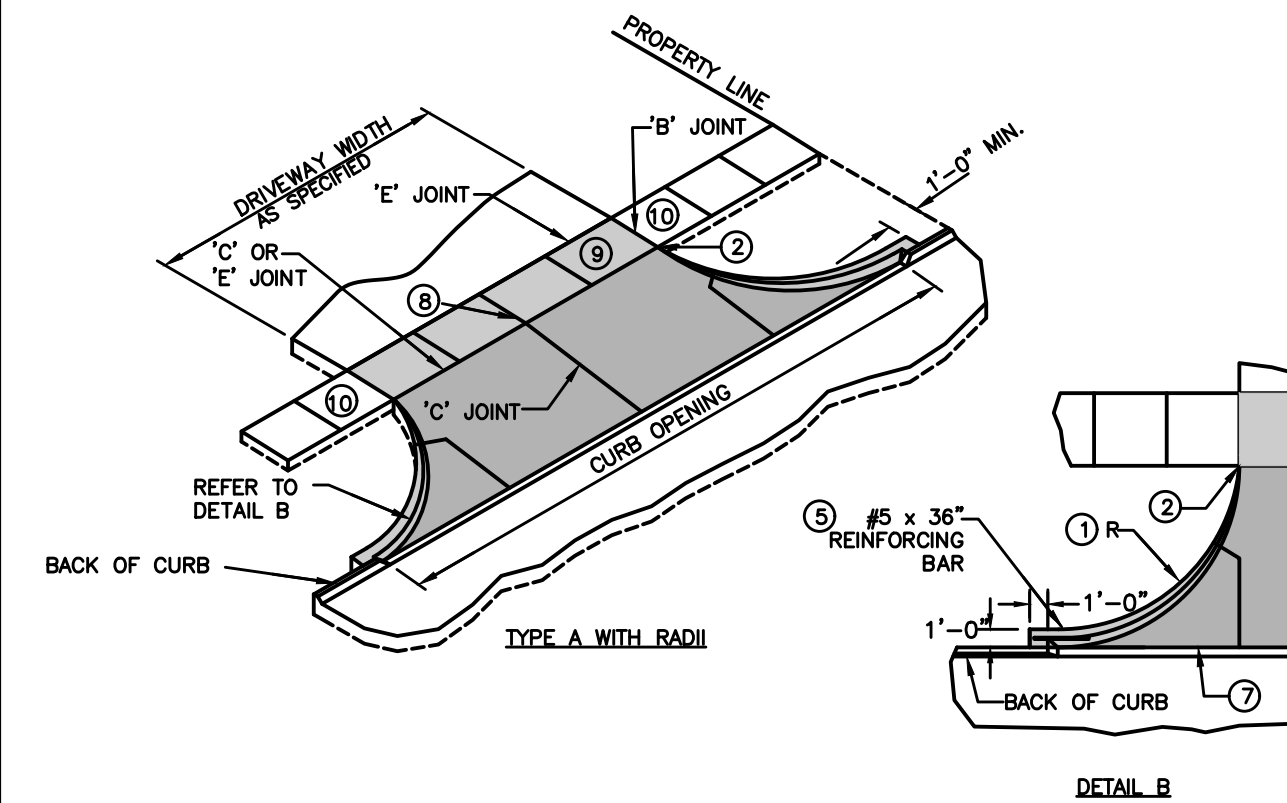


- NOTES:**
- CONCRETE SHALL HAVE A COMPRESSIVE STRENGTH OF 3000 PSI @ 28 DAYS, CONTAIN 4% MIN. - 6% MAX. AIR ENTRAINMENT AND BE PLACED WITH A 3.50" - 4.00" SLUMP IN ACCORDANCE WITH ACI 301.
 - REINFORCING STEEL RODS SHALL CONFORM TO ASTM A615, GRADE 60.
 - EXPANSION BOLTS SHALL BE EQUIVALENT TO THE FOLLOWING PROVIDERS:
 - HILTI KWIK BOLT (WWW.HILTI.COM) 1/2" DIAMETER X 5-1/2" OVERALL LENGTH, GALVANIZED, CATALOG # 000-453-696 OR 1/2" DIAMETER X 5-1/2" OVERALL LENGTH, GALVANIZED, CATALOG # 000-454-744. ENSURE THAT THE MIN. EMBEDMENT IN CONCRETE IS AT LEAST 3-1/2".
 - ITW RAMSET REDHEAD TRUBOLT (WWW.RAMSET-REDHEAD.COM) GALVANIZED, 1/2" DIAMETER X 7" OVERALL LENGTH; CATALOG NUMBER: 165-12700. ENSURE THAT MIN. EMBEDMENT IN CONCRETE IS AT LEAST 4-1/8".
 - RAWL STUD (WWW.RAWL.COM) GALVANIZED, 1/2" X 5-1/2" OVERALL LENGTH; CATALOG NUMBER: 7724. ENSURE THAT MIN. EMBEDMENT IN CONCRETE IS AT LEAST 4".

MAILBOX CLUSTER PAD DETAIL

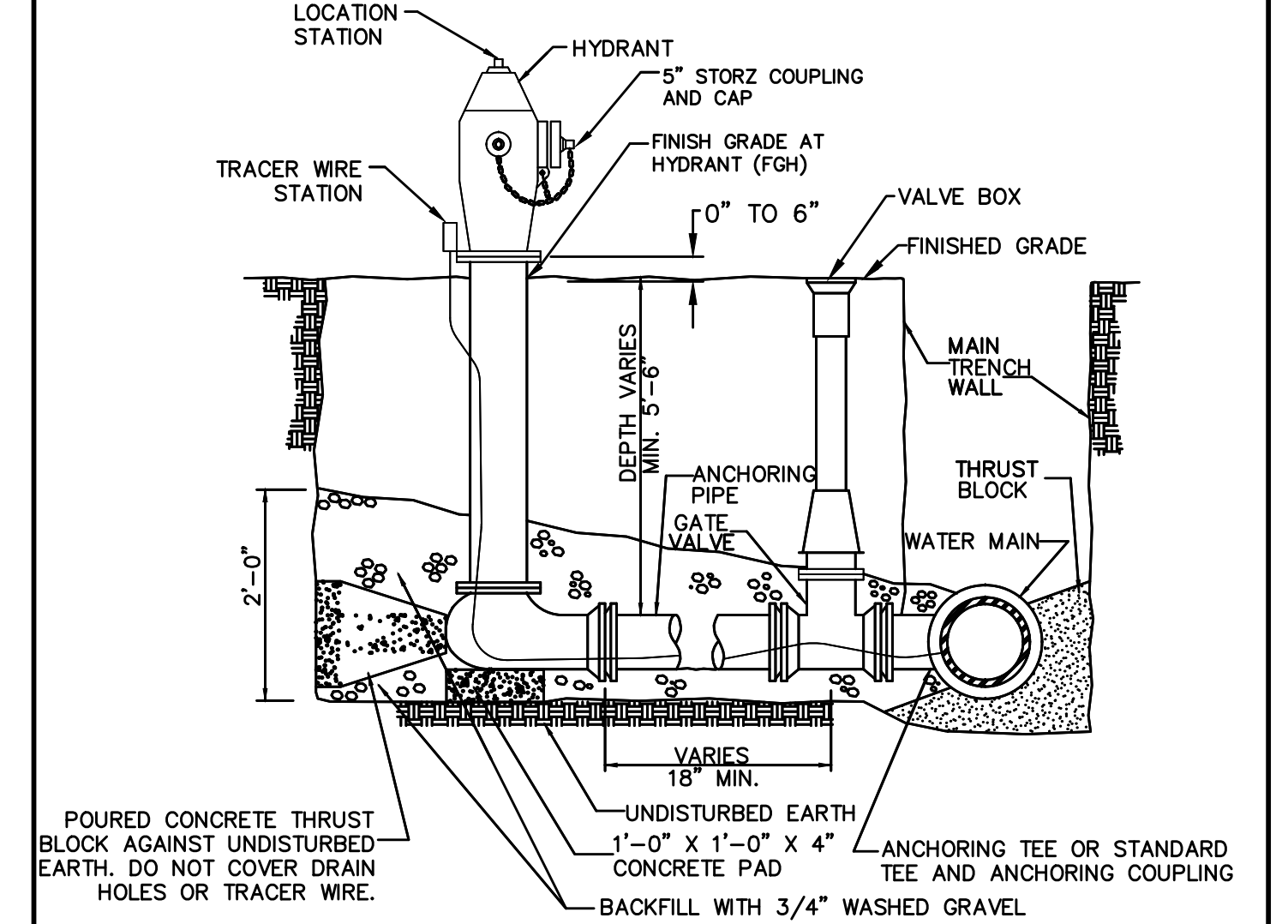
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- DRIVEWAY RADIUS (R).
- TRANSITION THE CURB HEIGHT TO 0 INCHES AT END OF TAPER RADIUS OR AT THE FRONT EDGE OF SIDEWALK. DO NOT EXTEND RAISED CURB ACROSS SIDEWALK.
- PAVEMENT THICKNESS. RESIDENTIAL: 6 INCHES MINIMUM. COMMERCIAL AND INDUSTRIAL: 7 INCHES MINIMUM.
- SIDEWALK THICKNESS THROUGH DRIVEWAY TO MATCH THICKNESS OF DRIVEWAY.
- CENTER REINFORCING BAR VERTICALLY IN THE PAVEMENT.
- MATCH THICKNESS OF ADJACENT ROADWAY, 8 INCHES MINIMUM.
- PROVIDE 'E' JOINT AT BACK OF CURB UNLESS 'B' JOINT IS SPECIFIED.
- FOR ALLEYS, INVERT THE PAVEMENT CROWN 2% TOWARD CENTER OF ALLEY.
- TARGET CROSS SLOPE OF 1.5% WITH A MAXIMUM CROSS SLOPE OF 2.0%. IF SPECIFIED IN THE CONTRACT DOCUMENTS, CONSTRUCT THE SIDEWALK THROUGH THE DRIVEWAY 5 FEET WIDE TO SERVE AS A PASSING SPACE.
- IF CROSS SLOPE OF ADJACENT SIDEWALK PANEL EXCEEDS 2.0%, REMOVE AND REPLACE TO TRANSITION FROM EXISTING SIDEWALK TO SIDEWALK THROUGH DRIVEWAY. IF ELEVATION CHANGE REQUIRES A CURB RAMP, COMPLY WITH FIGURE 7030.205; VERIFY NEED FOR DETECTABLE WARNING PANEL WITH ENGINEER.



CONCRETE DRIVEWAY TYPE 'A'

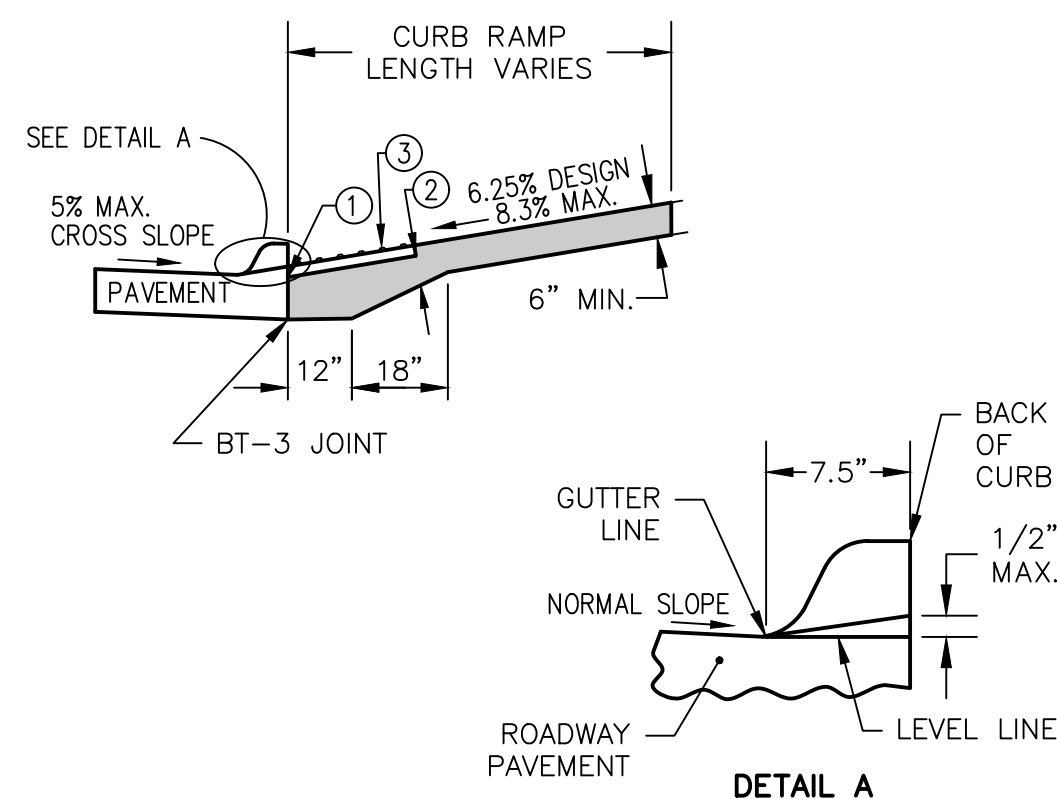
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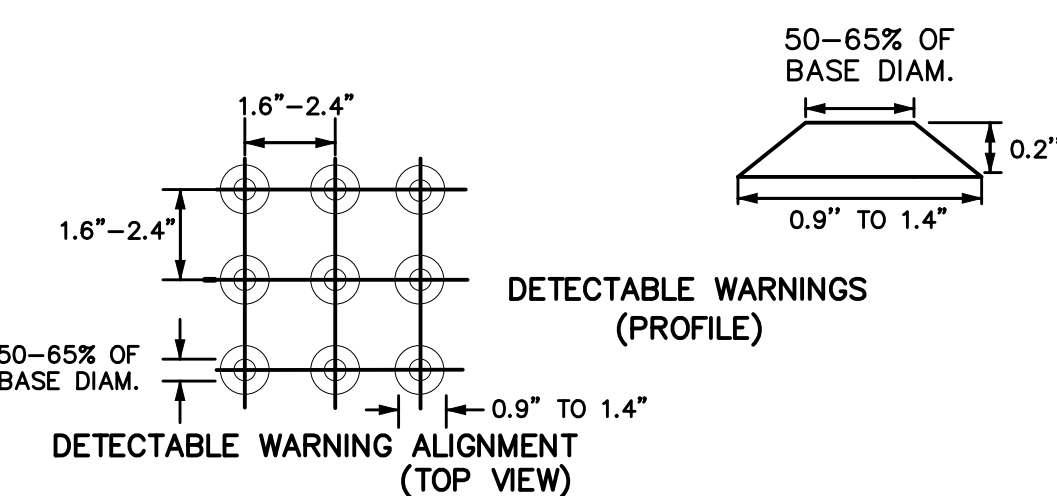
- NOTES:**
- MINIMUM SIZE FOR PIPING, VALVES AND FITTINGS FROM WATERMAIN TO HYDRANT INLET: 6".
 - PROVIDE TRACER WIRE AND TRACER WIRE STATION.
 - WRAP HYDRANT, PIPE AND FITTINGS WITH POLYETHYLENE ENCASUREMENT.

HYDRANT ASSEMBLY DETAIL

NOT TO SCALE

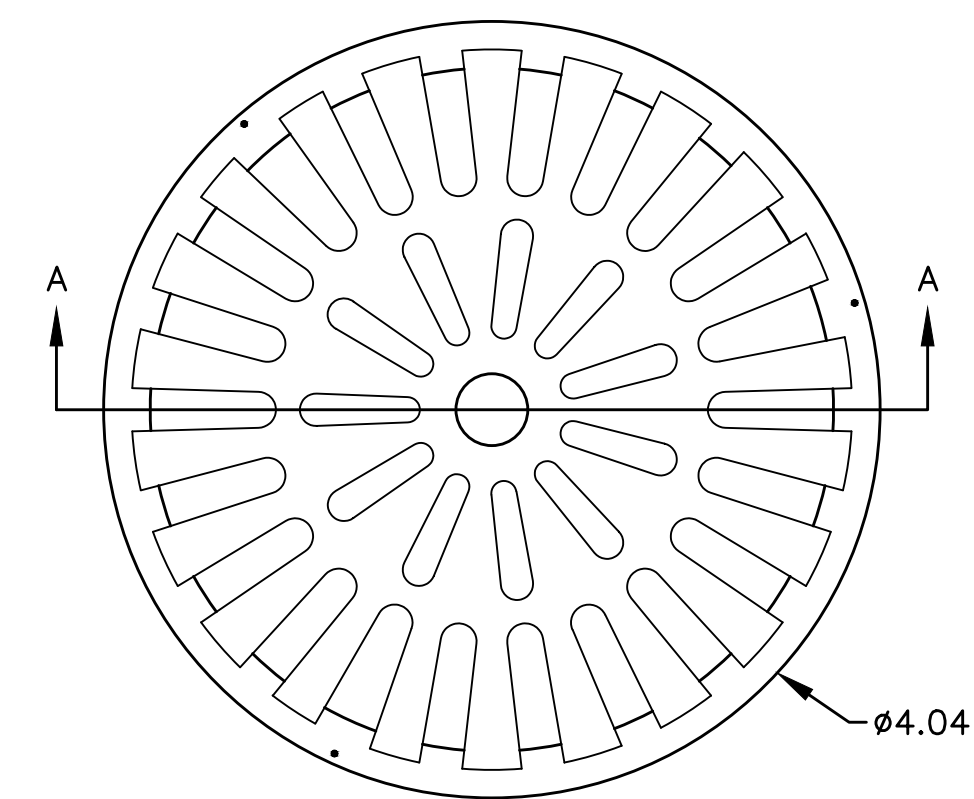


- INSTALL A 24 INCH WIDE (MIN.) STRIP OF DETECTABLE WARNINGS AT THE BACK OF CURB. EXTEND THE DETECTABLE WARNINGS ACROSS THE FULL WIDTH OF THE RAMP.
- PROVIDE A MINIMUM OF 6 INCHES OF CONCRETE BELOW THE DETECTABLE WARNING PANEL.
- USE TUF-TILE GALVANIZED STEEL MANUFACTURED DETECTABLE WARNING PANELS WITH A NON-SLIP SURFACE AND RAISED TRUNCATED DOMES IN PATINA FINISH, OR AN ENGINEER APPROVED EQUAL.



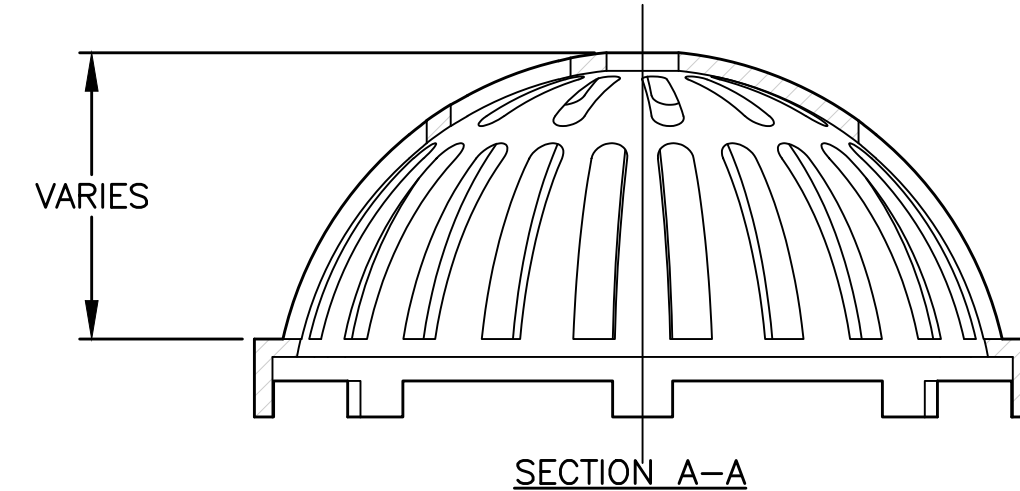
DETECTABLE WARNING STRIP DETAIL

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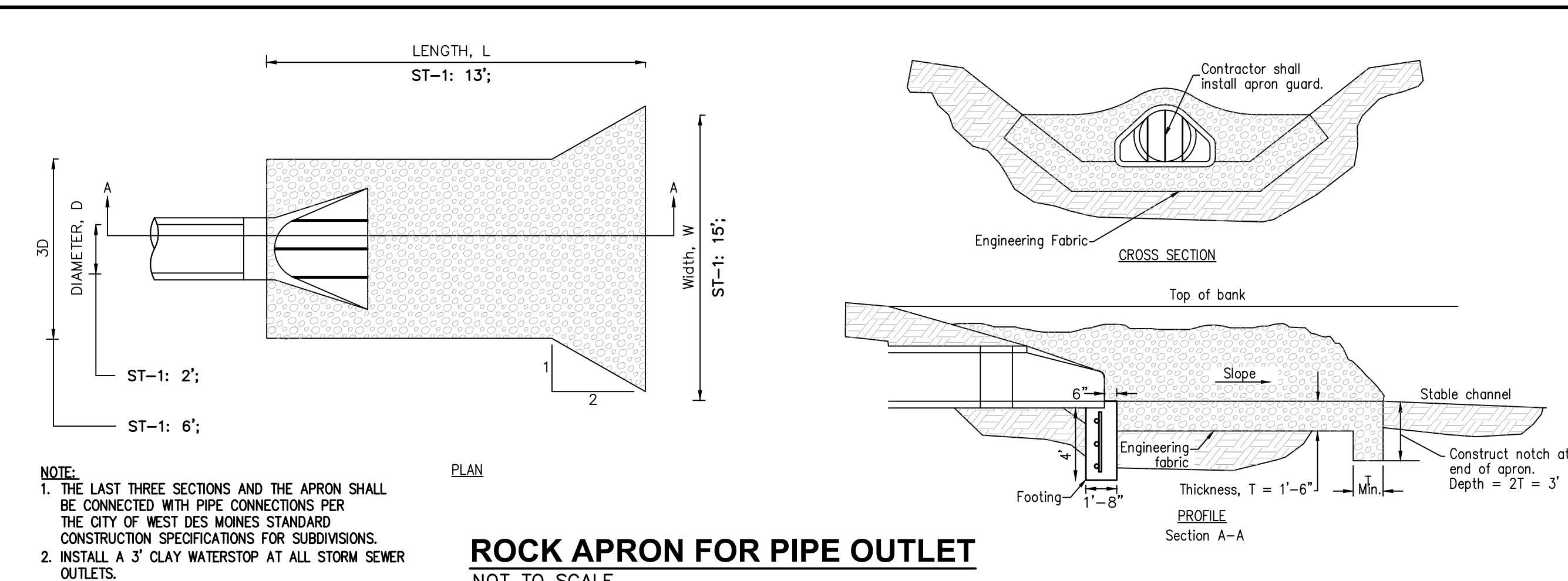


DOME GRATE

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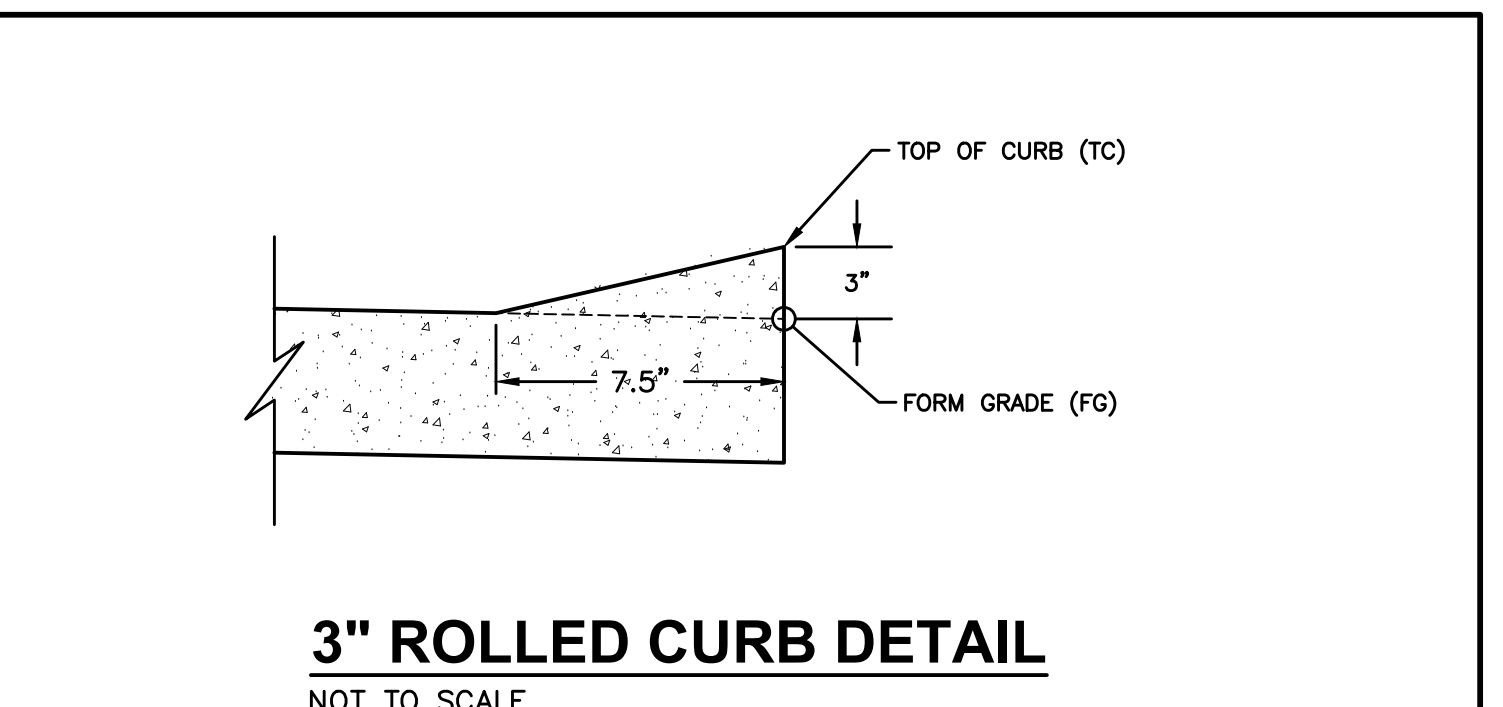
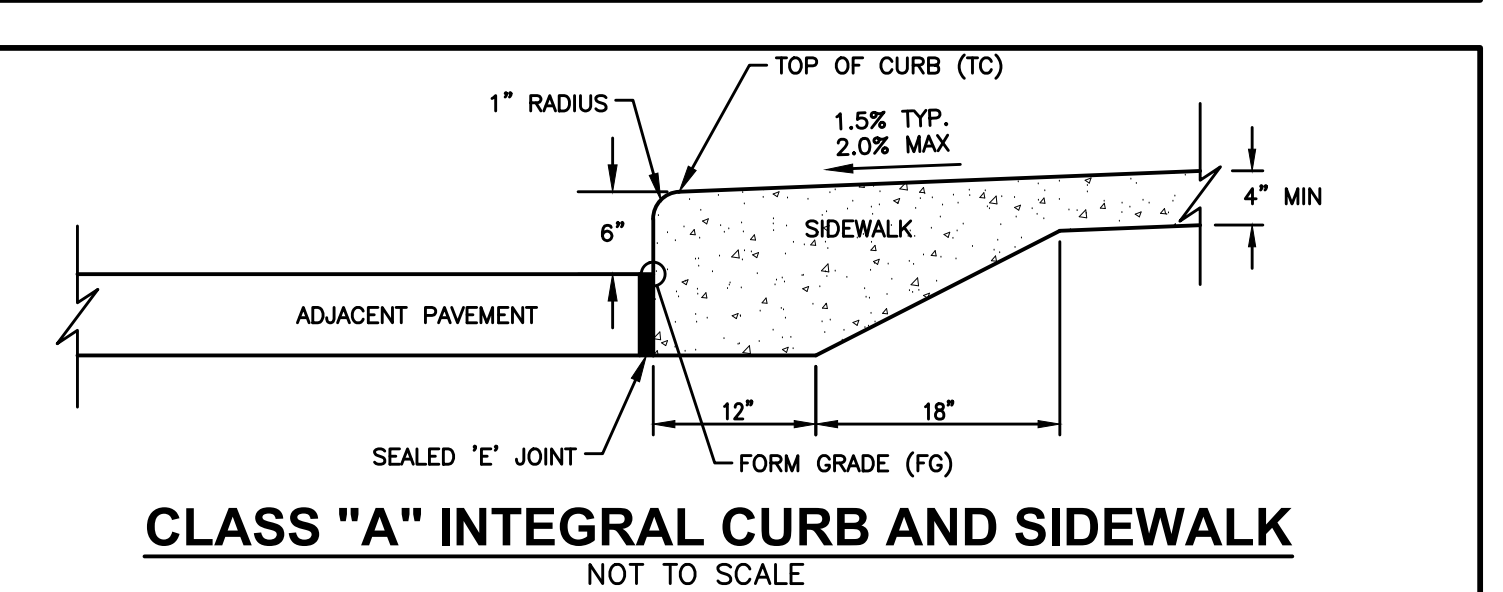
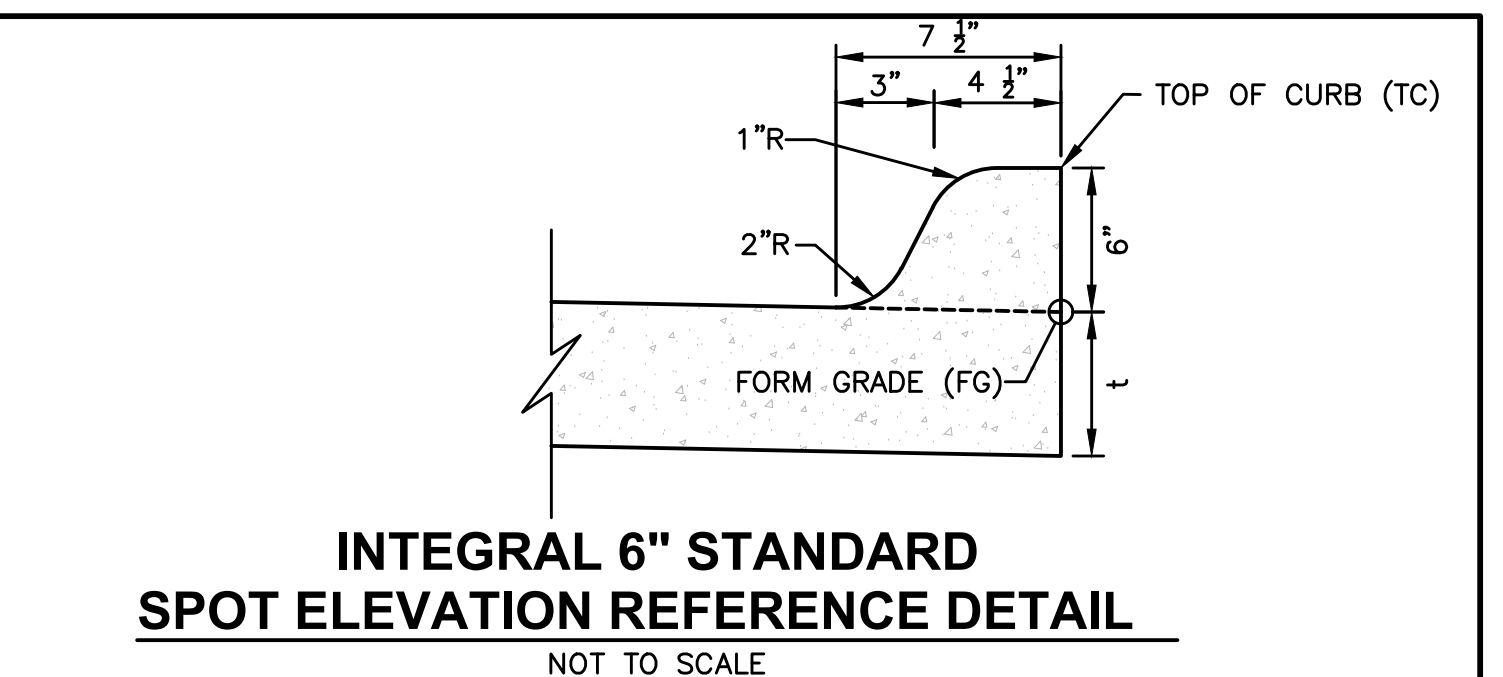
DIMENSIONS ARE FOR REFERENCE ONLY
ACTUAL DIMENSIONS MAY VARY
DIMENSIONS ARE IN INCHES
QUALITY: MATERIALS SHALL CONFORM TO ASTM A536 GRADE 70-50-05
PAINT: CASTINGS TO BE FURNISHED WITH A BLACK PAINT



- NOTE:**
- THE LAST THREE SECTIONS AND THE APRON SHALL BE CONNECTED WITH PIPE CONNECTIONS PER THE CITY OF WEST DES MOINES STANDARD CONSTRUCTION SPECIFICATIONS FOR SUBDIVISIONS.
 - INSTALL A 3' CLAY WATERSTOP AT ALL STORM SEWER OUTLETS.

ROCK APRON FOR PIPE OUTLET

NOT TO SCALE

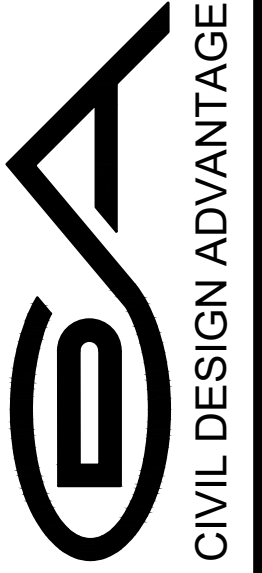


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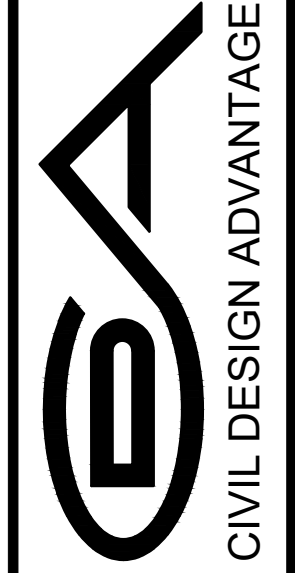


WAUKEE, IOWA

THE PITCH - PHASE 2
DETAILS

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10/14/2025	SECOND SUBMITTAL
08/26/2025	FIRST SUBMITTAL

4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400

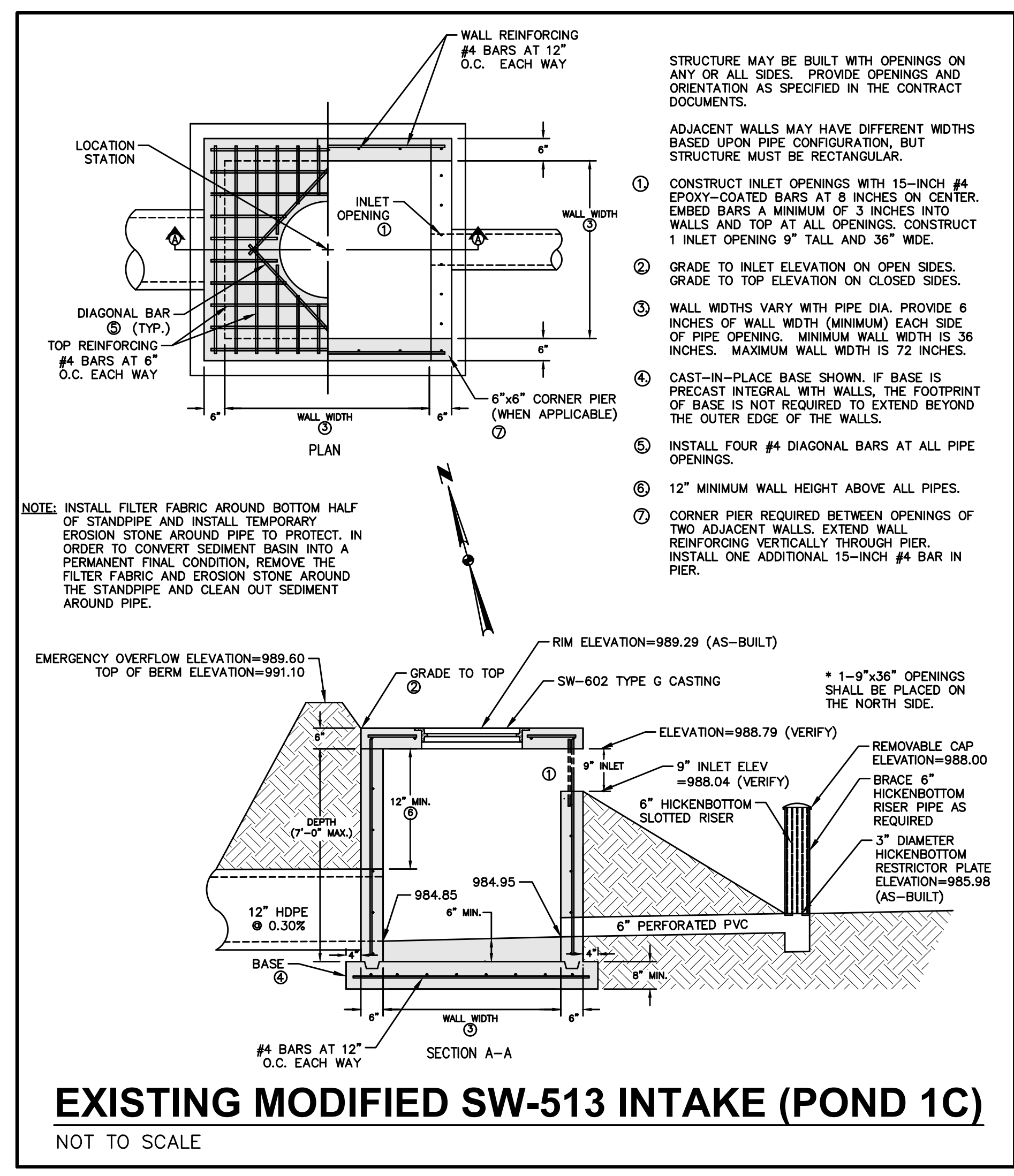


WAUKEE, IOWA

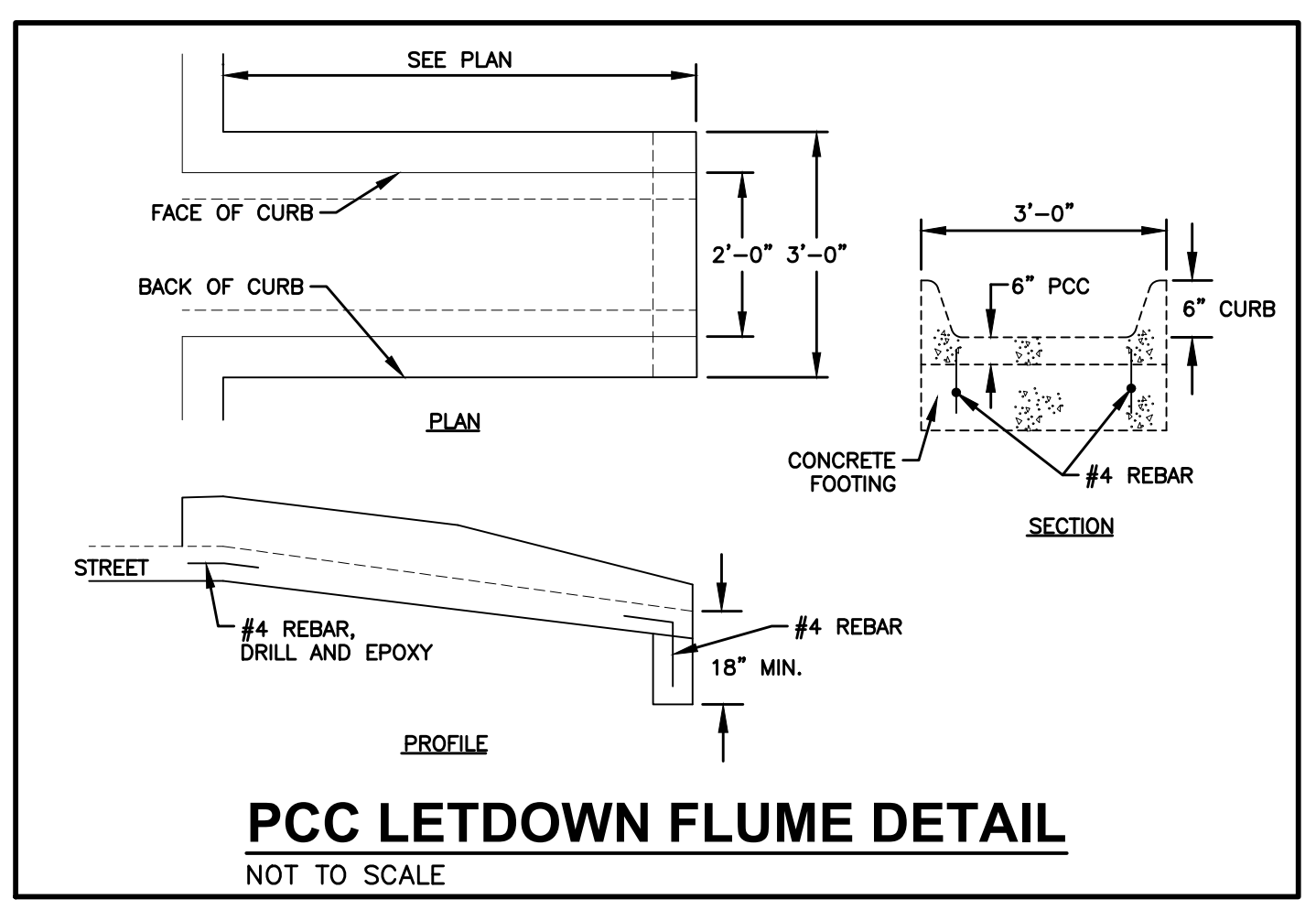
THE PITCH - PHASE 2

DETAILS

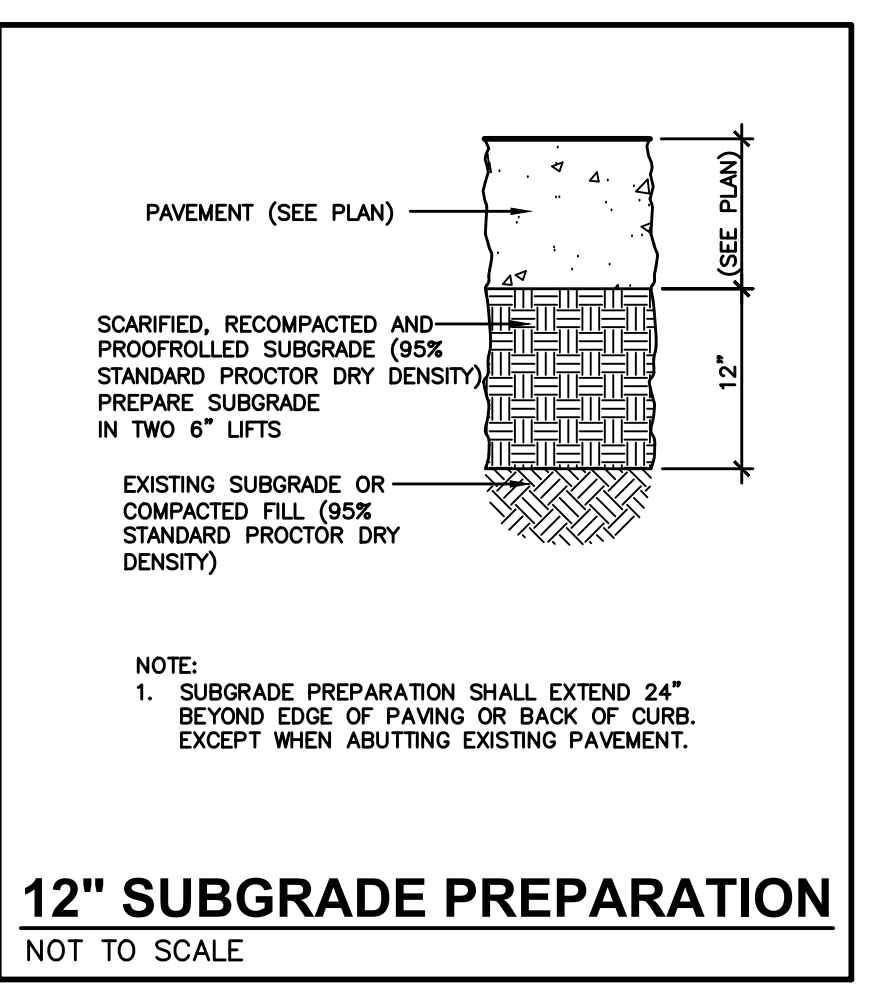
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 2506.474



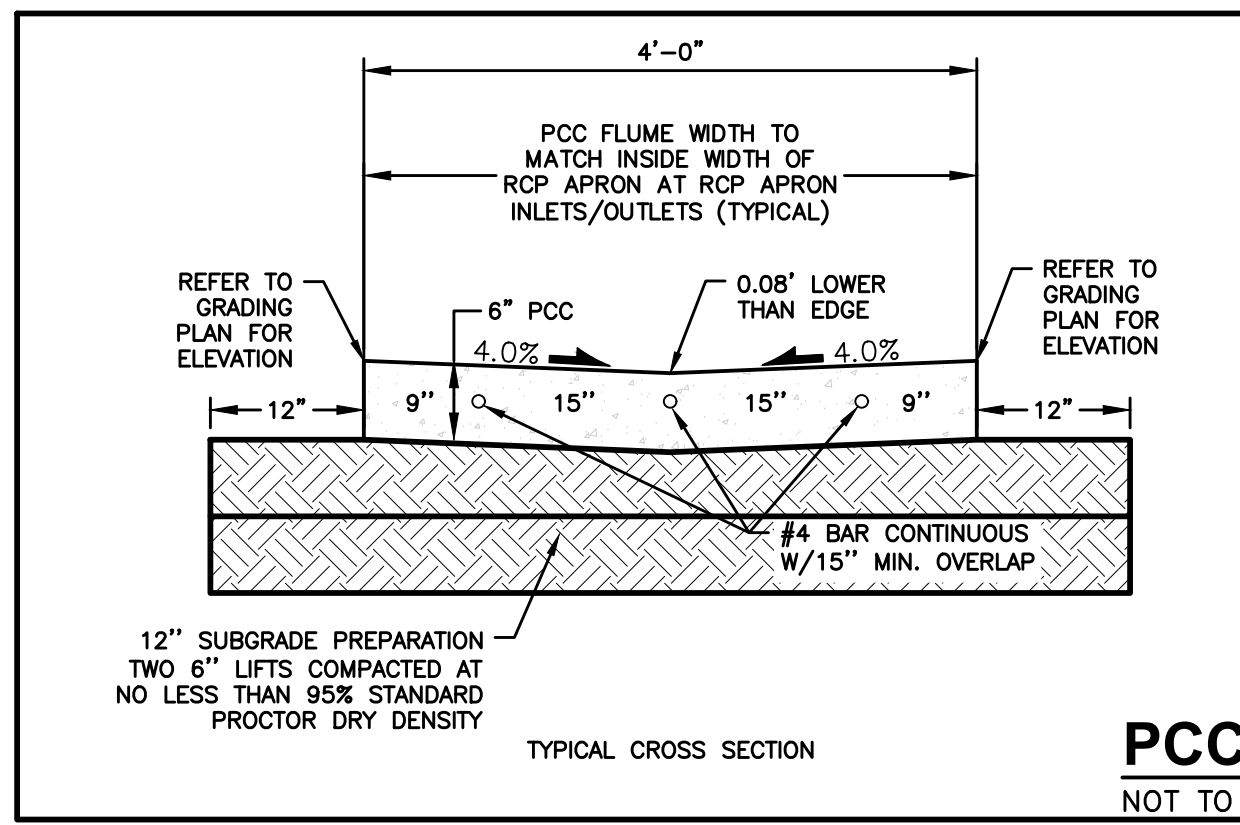
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 NOT TO SCALE



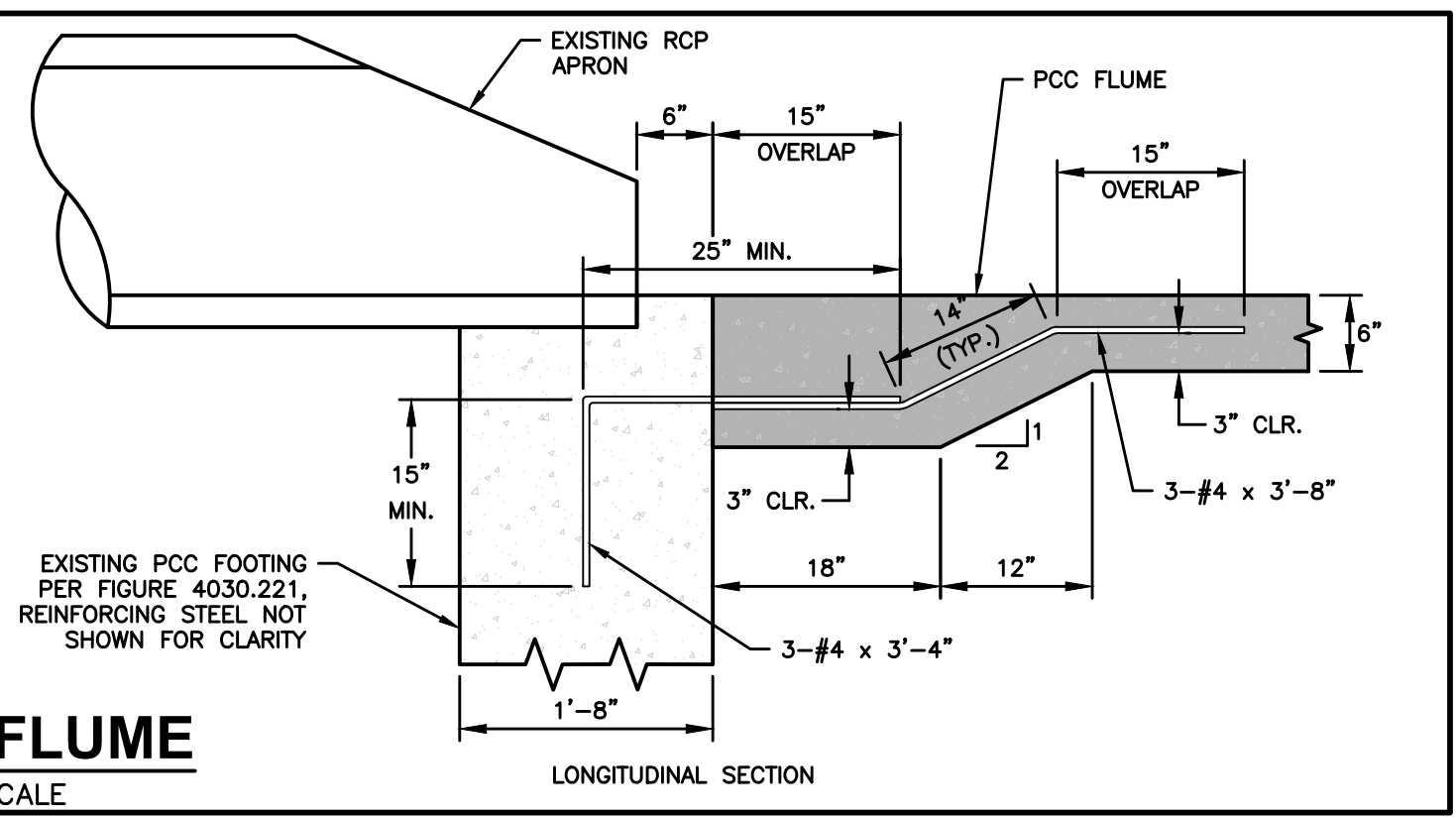
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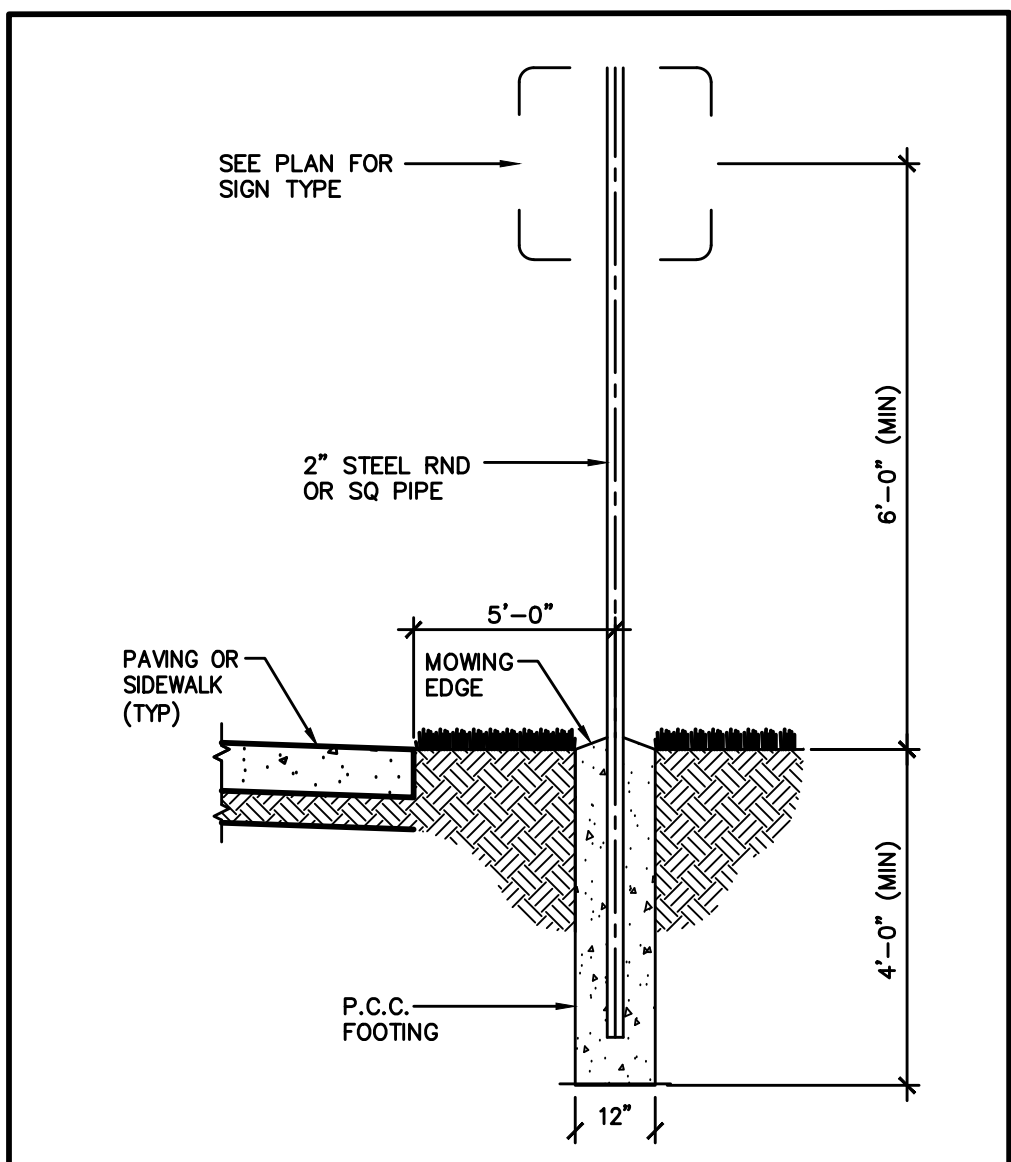
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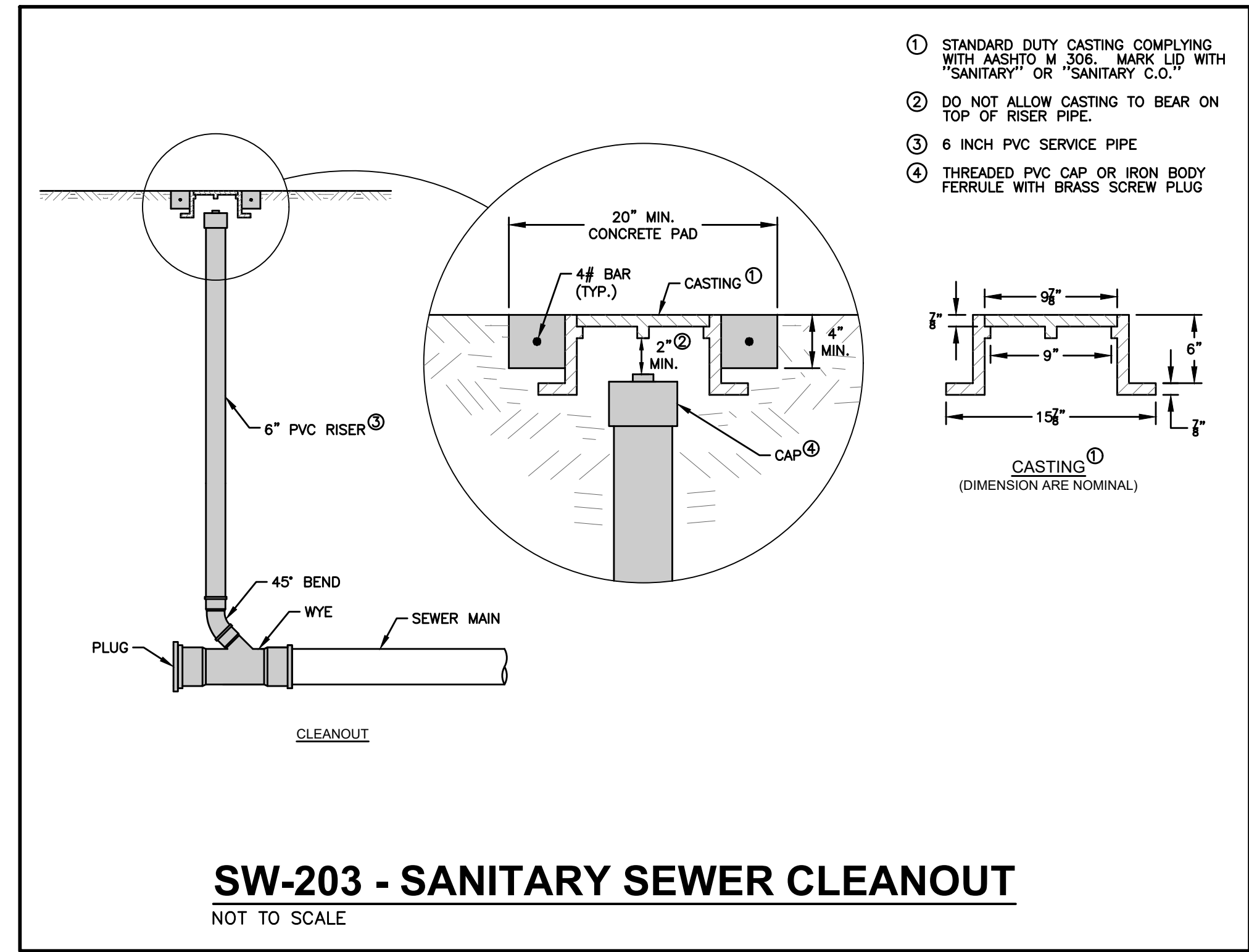
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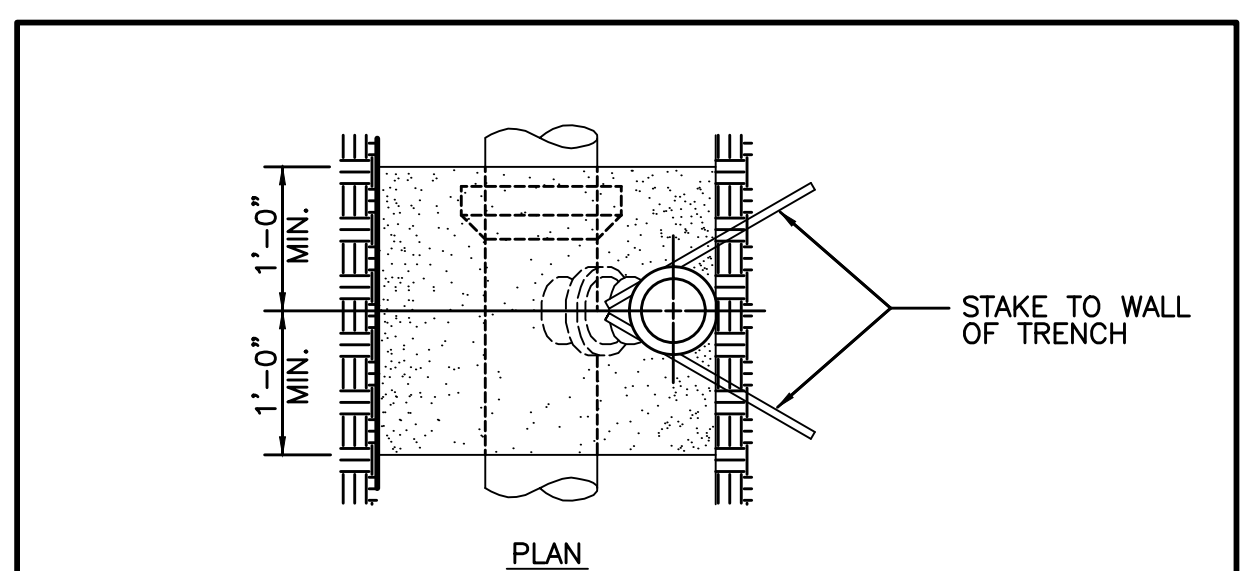
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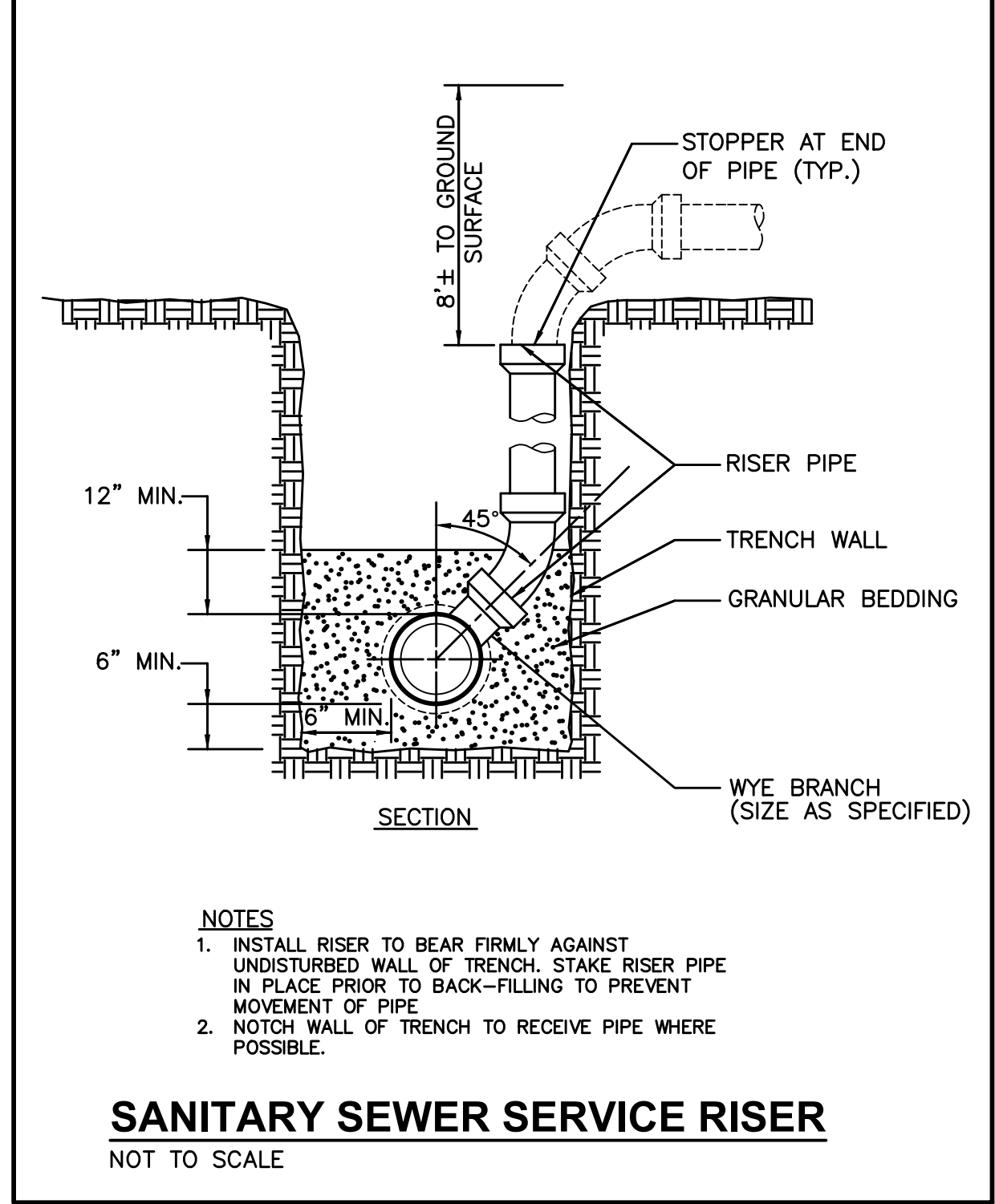
TYPICAL SIGN POST
 NOT TO SCALE



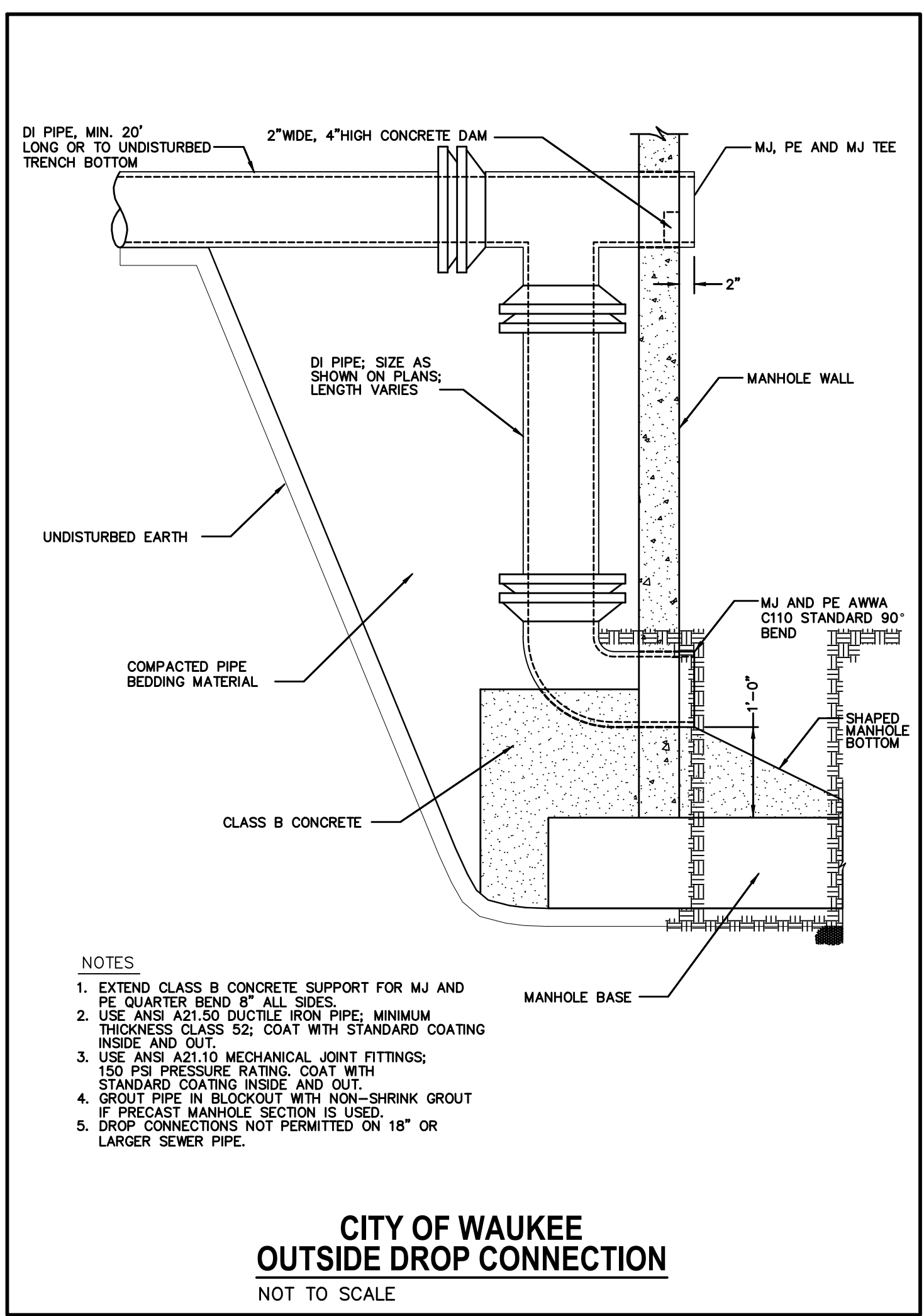
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 NOT TO SCALE



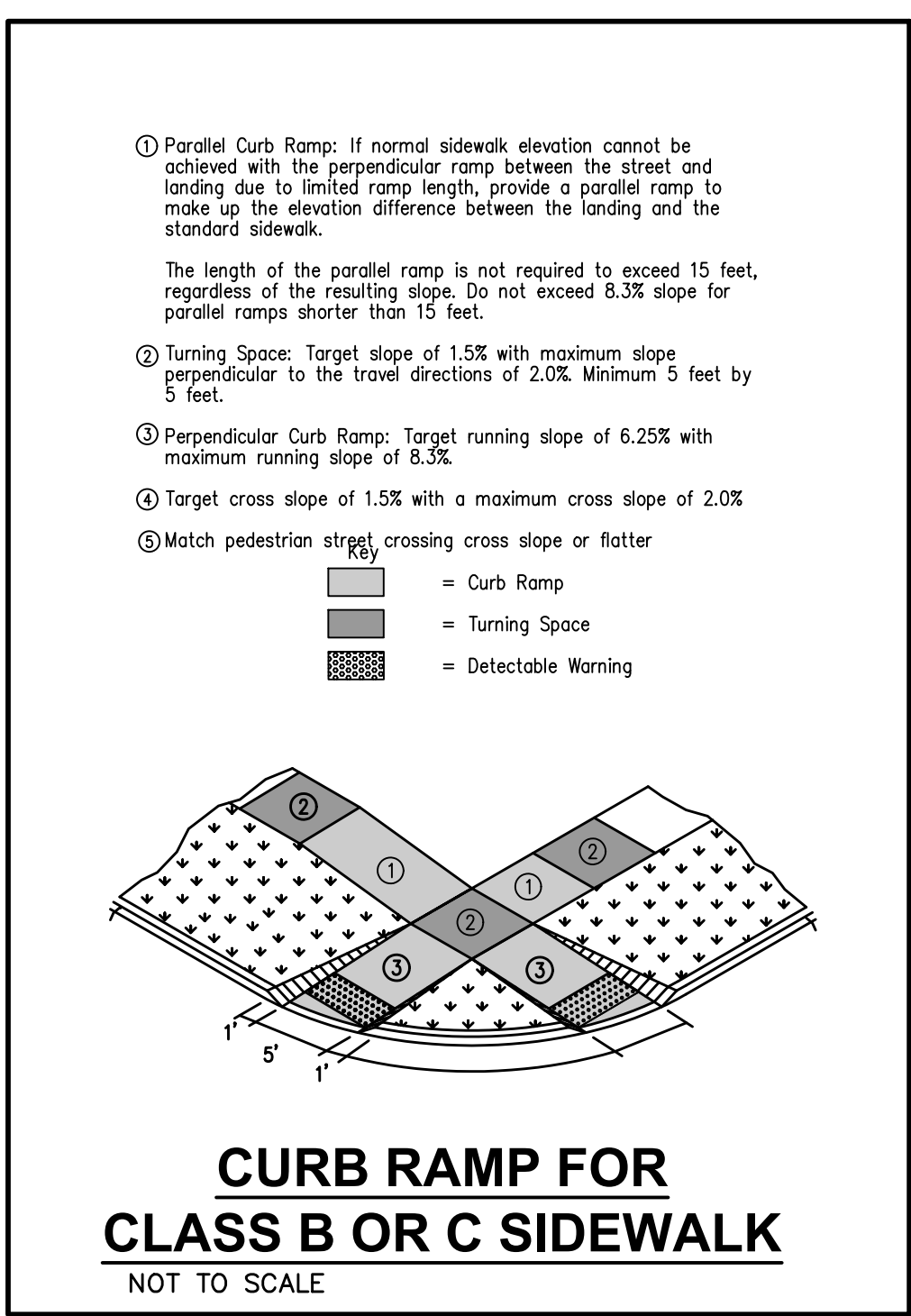
SANITARY SEWER SERVICE RISER
 NOT TO SCALE



SANITARY SEWER SERVICE RISER
 NOT TO SCALE



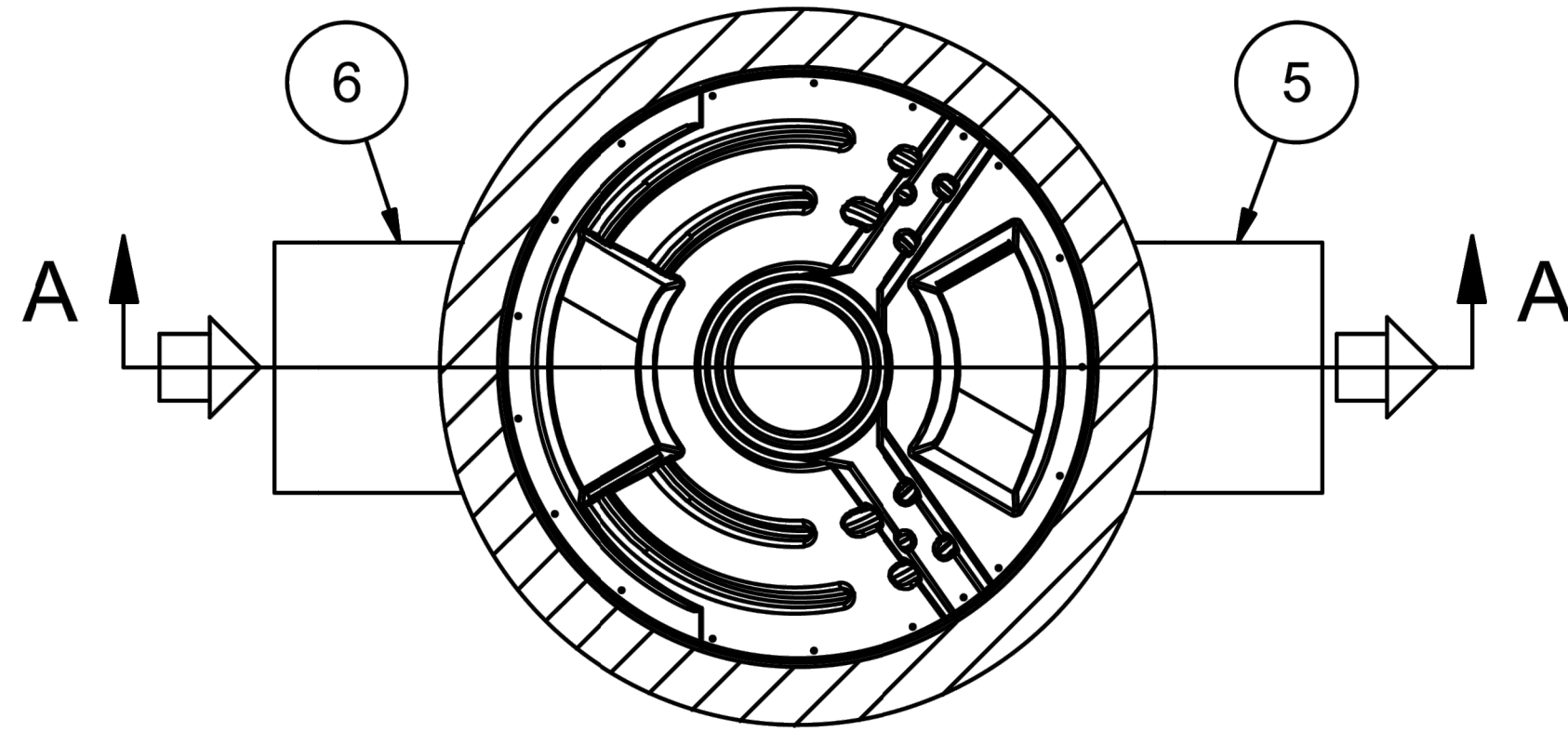
CITY OF WAUKEE OUTSIDE DROP CONNECTION
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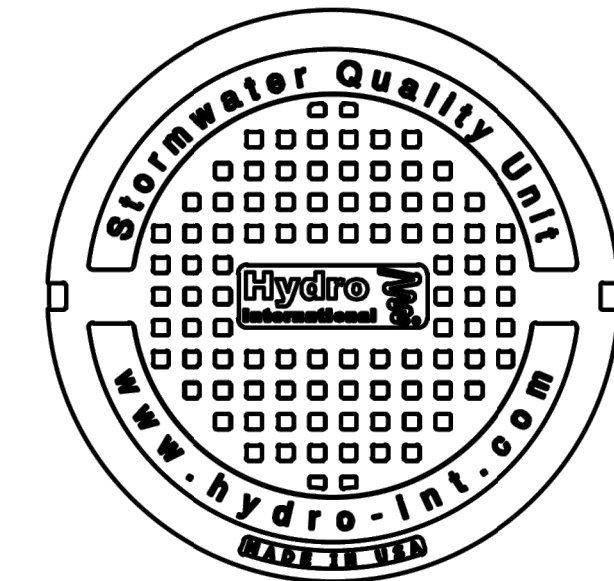
CURB RAMP FOR CLASS B OR C SIDEWALK
 NOT TO SCALE

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 DATE: 11/19/2025 4:08 PM

GENERAL ARRANGEMENT
NOT FOR CONSTRUCTION



ANY WARRANTY GIVEN BY HYDRO INTERNATIONAL WILL APPLY ONLY TO THOSE ITEMS SUPPLIED BY IT. ACCORDINGLY HYDRO INTERNATIONAL CANNOT ACCEPT ANY RESPONSIBILITY FOR ANY STRUCTURE, PLANT, OR EQUIPMENT, (OR THE PERFORMANCE THERE OF) DESIGNED, BUILT, MANUFACTURED, OR SUPPLIED BY ANY THIRD PARTY. HYDRO INTERNATIONAL HAVE A POLICY OF CONTINUOUS DEVELOPMENT AND RESERVE THE RIGHT TO AMEND THE SPECIFICATION. HYDRO INTERNATIONAL CANNOT ACCEPT LIABILITY FOR PERFORMANCE OF ITS EQUIPMENT, (OR ANY PART THEREOF), IF THE EQUIPMENT IS SUBJECT TO CONDITIONS OUTSIDE ANY DESIGN SPECIFICATION. HYDRO INTERNATIONAL OWNS THE COPYRIGHT OF THIS DRAWING, WHICH IS SUPPLIED IN CONFIDENCE. IT MUST NOT BE USED FOR ANY PURPOSE OTHER THAN THAT FOR WHICH IT IS SUPPLIED AND MUST NOT BE REPRODUCED, IN WHOLE OR IN PART, WITHOUT PRIOR PERMISSION IN WRITING FROM HYDRO INTERNATIONAL.
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HYDRO FRAME AND COVER (INCLUDED)
GRADE RINGS BY OTHERS AS REQUIRED



IF IN DOUBT ASK

DATE: 5/2/2024	SCALE: 1:40
DRAWN BY:	CHECKED BY:
APPROVED BY:	

Title
FIRST DEFENSE
6ft DIAMETER
GENERAL ARRANGEMENT

Patent: www.hydro-int.com/patents

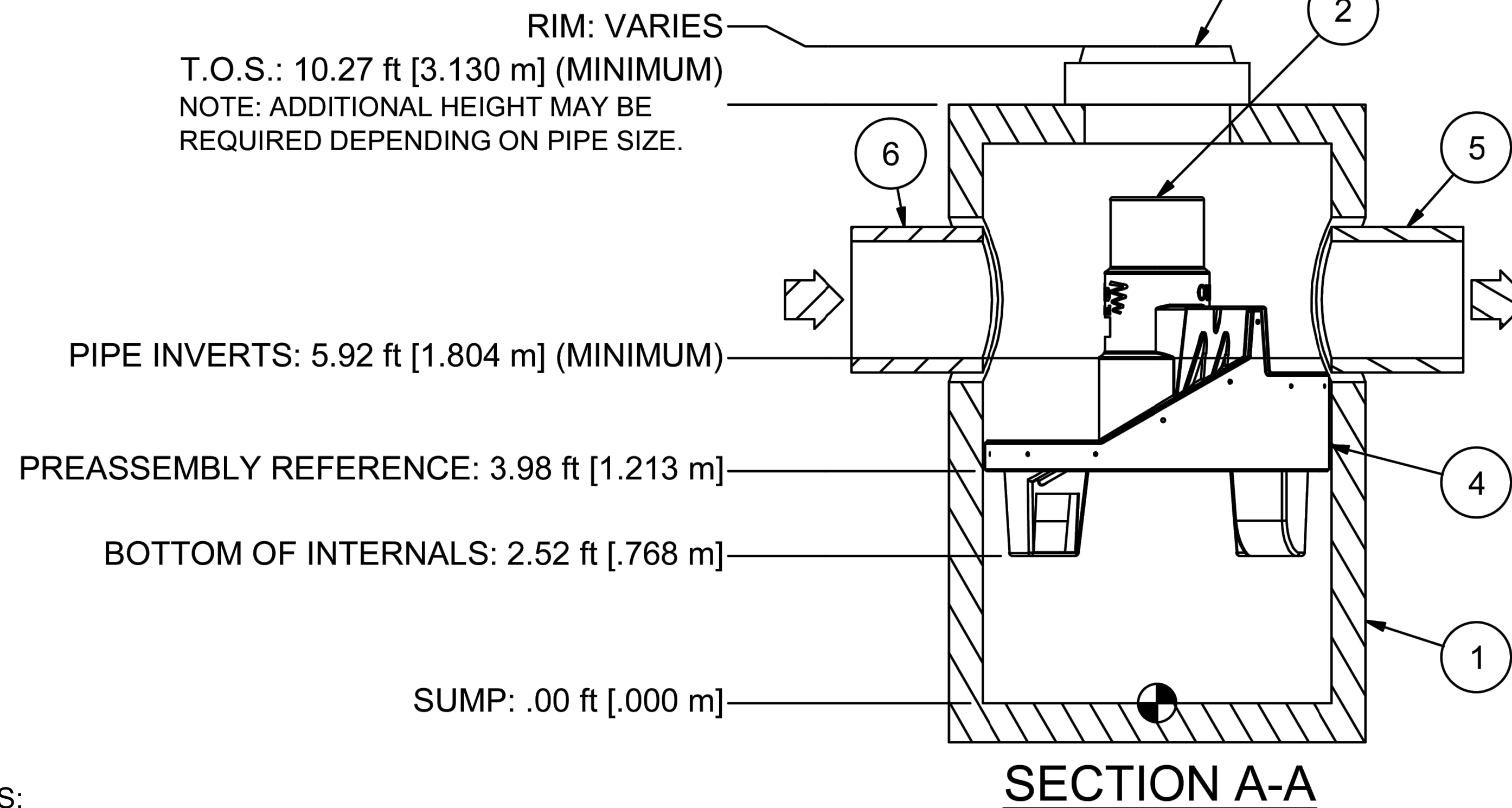


WEIGHT:	MATERIAL:
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REFERENCE NUMBER:

DRAWING NO.:
6ft FD GA

SHEET SIZE: B	SHEET: 1 OF 1	Rev: N/A
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NOTE:
THE PITCH HOMEOWNER'S ASSOCIATION IS RESPONSIBLE FOR THE MAINTENANCE OF THE POST CONSTRUCTION DETENTION FACILITIES

MAINTENANCE PLANS FOR HYDRODYNAMIC SEPARATORS:

THE FREQUENCY OF CLEAN OUT IS DETERMINED IN THE FIELD AFTER INSTALLATION. DURING THE FIRST YEAR OF OPERATION, THE UNIT SHOULD BE INSPECTED EVERY SIX MONTHS TO DETERMINE THE RATE OF SEDIMENT AND FLOATABLES ACCUMULATION. A SIMPLE PROBE SUCH AS A SLUDGE-JUDGE CAN BE USED TO DETERMINE THE LEVEL OF ACCUMULATED SOLIDS STORED IN THE SUMP. THIS INFORMATION CAN BE RECORDED IN THE MAINTENANCE LOG TO ESTABLISH A ROUTINE MAINTENANCE SCHEDULE.

PRODUCT NOTES:

1. PEAK HYDRAULIC FLOW: 32.0 cfs (906 l/s)
2. MIN SEDIMENT STORAGE CAPACITY: 1.6 cu. yd. (1.2 cu. m.)
3. THE TREATMENT SYSTEM SHALL USE AN INDUCED VORTEX TO SEPARATE POLLUTANTS FROM STORMWATER RUNOFF.
4. MULTIPLE INLET PIPES POSSIBLE.
5. INLET/OUTLET PIPE ANGLE CAN VARY TO ALIGN WITH DRAINAGE NETWORK.
6. PEAK FLOW RATE AND MINIMUM HEIGHT LIMITED BY AVAILABLE COVER AND PIPE DIAMETER.
7. LARGER SEDIMENT STORAGE CAPACITY CAN BE PROVIDED WITH A DEEPER SUMP DEPTH.
8. UNIT SHALL CONFORM TO HS20-44 LOAD RATINGS.
9. FOR MORE PRODUCT INFORMATION INCLUDING REGULATORY ACCEPTANCES, PLEASE VISIT:

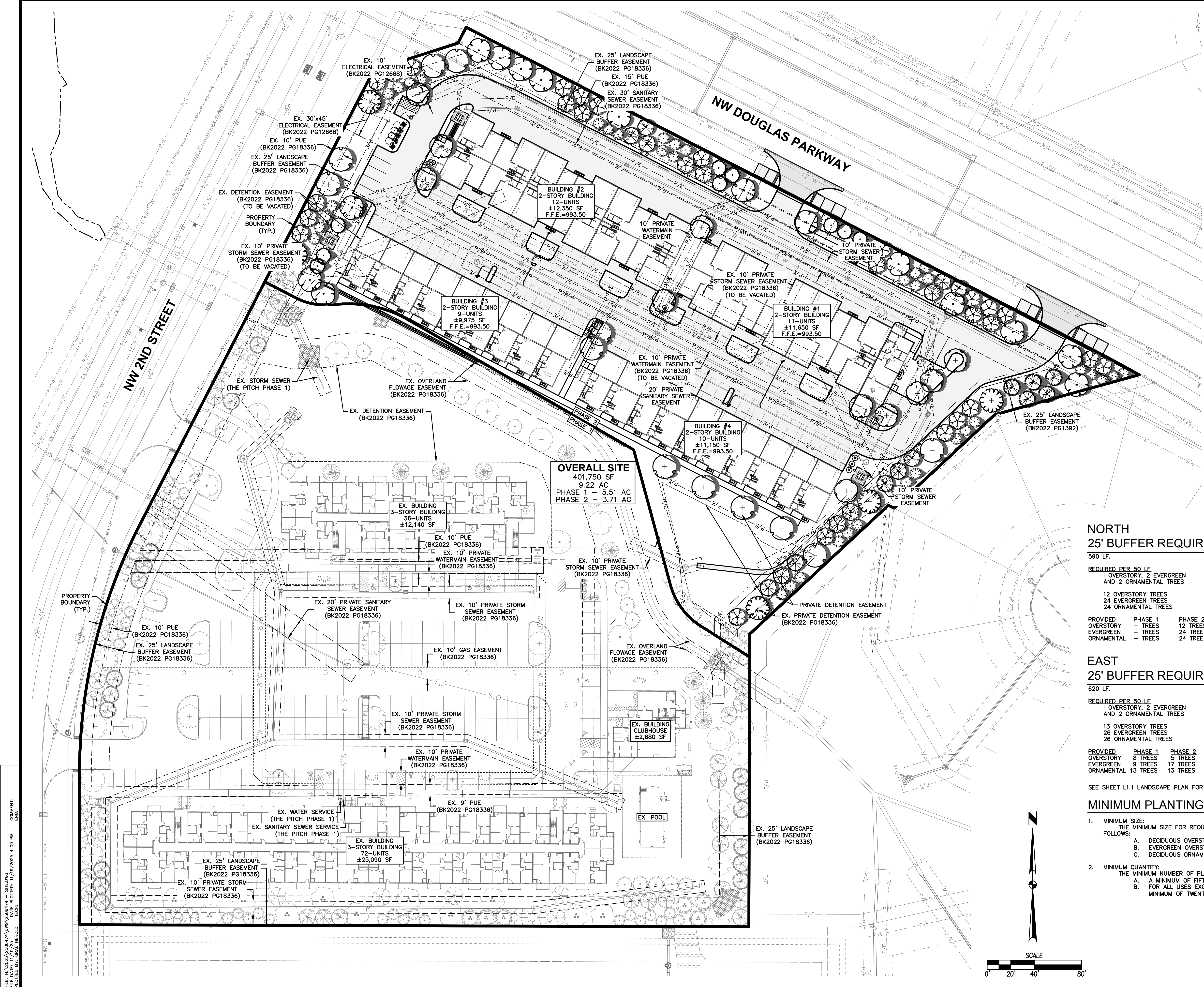
<https://hydro-int.com/en/products/first-defense>

PARTS LIST				
ITEM	QTY	SIZE (in)	SIZE (mm)	DESCRIPTION
1	1	72	1800	PRECAST MANHOLE
2	1			SEPARATION MODULE
3	1	30	750	FRAME AND COVER (ROUND)
4	1			LEDGER SUPPORT
5	1	30 MAX	750 MAX	OUTLET PIPE (BY OTHERS)
6	1	30 MAX	750 MAX	INLET PIPE (BY OTHERS)

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FD-6HC HYDRODYNAMIC SEPARATOR

DATE	11/20/2025
REVISIONS	FOURTH SUBMITTAL
	THIRD SUBMITTAL
	SECOND SUBMITTAL
	FIRST SUBMITTAL
4121 NW URBANDALE DRIVE URBANDALE, IA 50322 PHONE: (515) 369-4400	ENGINEER: EKO ENGINEER: GH EI: MAE
ESA	CIVIL DESIGN ADVANTAGE
THE PITCH - PHASE 2	WAUKEE, IOWA
DETAILS	
C8.2	SHEET NUMBER:
2506.474	



GENERAL NOTES

- LOCATE ALL UTILITIES BEFORE ANY PLANTING BEGINS.
- THE 2025 EDITION OF THE SUDAS STANDARD SPECIFICATIONS AND THE 2025 EDITION OF THE CITY OF WAUKEE STANDARD SPECIFICATIONS, IF APPLICABLE, SHALL APPLY TO ALL WORK ON THIS PROJECT UNLESS OTHERWISE NOTED.
- TYPE, SIZE, AND QUALITY OF PLANT MATERIAL SHALL CONFORM TO THE MOST CURRENT EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK ANSI Z60.1
- ALL PLANT MATERIAL SHALL BE HEALTHY SPECIMENS WITHOUT DEFORMITIES, VOIDS AND OPEN SPACES, WITH WELL DEVELOPED BRANCH AND ROOT SYSTEMS; TRUE TO HEIGHT, SHAPE AND CHARACTER OF GROWTH OF THE SPECIES OR VARIETY.
- SOD ALL DISTURBED AREAS AS DIRECTED BY OWNER.
- BACKFILL TO TOP OF CURB (MINUS 1 1/2" FOR SOD, IF REQ.)
- WEED PREVENTER (PRE-EMERGENT) SHALL BE SPREAD OVER SOIL AFTER PLANTING AND BEFORE MULCHING PER MANUFACTURER'S RECOMMENDATIONS.
- SHREDDED HARDWOOD MULCH SHALL BE PLACED AROUND ALL TREES AND SHRUBS TO A (MIN) DEPTH OF 3".
- 2" RIVER ROCK WITH WEED BARRIER FABRIC SHALL BE PLACED IN ALL PLANTING BEDS TO A (MIN) DEPTH OF 3".
- ALL EDGING SHALL BE STEEL EDGING.
- PLANT QUANTITIES ARE SHOWN FOR INFORMATION ONLY, THE DRAWING SHALL PREVAIL IF ANY CONFLICTS ARISE.
- ALL DEBRIS SPILLED IN THE PUBLIC R.O.W. SHALL BE PICKED UP BY THE CONTRACTOR AT THE END OF EACH WORK DAY AND PRIOR TO A RAIN EVENT.
- CONTRACTOR SHALL WARRANTY ALL PLANT MATERIALS FOR A PERIOD OF ONE YEAR FROM DATE OF ACCEPTANCE.
- PLANT SUBSTITUTIONS ARE TO BE APPROVED IN WRITING BY THE CITY OF WAUKEE COMMUNITY DEVELOPMENT DEPARTMENT.
- ALL DISTURBED AREAS TO BE SODDED.
- THE SITE WILL BE IRRIGATED. A DESIGN IS TO BE PROVIDED TO THE OWNER AND THE CONTRACTOR SHALL COORDINATE THE LOCATION OF AN IRRIGATION METER WITH THE CITY OF WAUKEE.

OPEN SPACE REQUIREMENTS

SITE AREA: 401,750 SF

OPEN SPACE REQUIRED: 80,350 SF (20%)

REQUIRED
 1 TREE/ 1,000 SF OF REQUIRED OPEN SPACE: 81 TREES
 -MINIMUM OF 41 OVERSTORY TREES (50%)
 -MINIMUM OF 21 EVERGREEN TREES (25%)

1 SHRUBS/ 1,000 SF OF REQUIRED OPEN SPACE: 81 SHRUBS

PROVIDED TREES:

PHASE 1 (EXISTING)	58 TREES
PHASE 2	23 TREES
TOTAL	81 TREES

SHRUBS:

PHASE 1 (EXISTING)	52 SHRUBS
PHASE 2	29 SHRUBS
TOTAL	81 SHRUBS

NOTE: THE SETBACK BETWEEN THE PARKING AREA AND THE PUBLIC RIGHT-OF-WAY SHALL BE LANDSCAPED WITH A MINIMUM OF ONE OVERSTORY DECIDUOUS TREE PER 40 LINEAR FEET OF FRONTAGE. THE FRONTAGE CALCULATION SHALL BE EXCLUSIVE OF THE DRIVEWAYS. THE PLANTINGS MAY BE PLANTED INDIVIDUALLY OR IN CLUSTERS. THIS REQUIREMENT SHALL BE INCLUDED IN THE MINIMUM NUMBER OF TREES REQUIRED FOR THE SITE AND IS NOT IN ADDITION TO.

NORTH 25' BUFFER REQUIREMENTS

590 LF.
 REQUIRED PER 50 LF
 1 OVERSTORY, 2 EVERGREEN AND 2 ORNAMENTAL TREES

PROVIDED	PHASE 1	PHASE 2	TOTAL
OVERSTORY	12 TREES	12 TREES	24 TREES
EVERGREEN	2 TREES	24 TREES	26 TREES
ORNAMENTAL	2 TREES	24 TREES	26 TREES

WEST 25' BUFFER REQUIREMENTS

820 LF.
 REQUIRED PER 50 LF
 1 OVERSTORY, 2 EVERGREEN AND 2 ORNAMENTAL TREES

PROVIDED	PHASE 1	PHASE 2	TOTAL
OVERSTORY	11 TREES	6 TREES	17 TREES
EVERGREEN	26 TREES	8 TREES	34 TREES
ORNAMENTAL	28 TREES	6 TREES	34 TREES

EAST 25' BUFFER REQUIREMENTS

620 LF.
 REQUIRED PER 50 LF
 1 OVERSTORY, 2 EVERGREEN AND 2 ORNAMENTAL TREES

PROVIDED	PHASE 1	PHASE 2	TOTAL
OVERSTORY	8 TREES	5 TREES	13 TREES
EVERGREEN	9 TREES	17 TREES	26 TREES
ORNAMENTAL	13 TREES	13 TREES	26 TREES

SOUTH 25' BUFFER REQUIREMENTS

517 LF.
 REQUIRED PER 50 LF
 1 OVERSTORY, 2 EVERGREEN AND 2 ORNAMENTAL TREES

PROVIDED	PHASE 1	PHASE 2	TOTAL
OVERSTORY	11 TREES	6 TREES	17 TREES
EVERGREEN	22 TREES	4 TREES	26 TREES
ORNAMENTAL	22 TREES	4 TREES	26 TREES

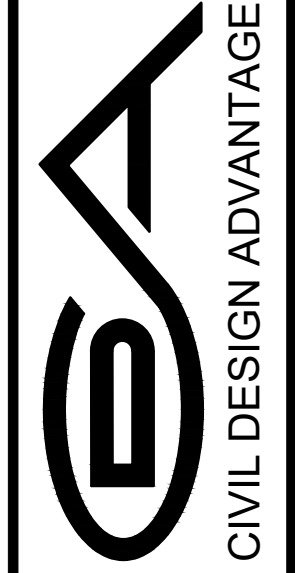
MINIMUM PLANTING REQUIREMENTS

- MINIMUM SIZE:
 THE MINIMUM SIZE FOR REQUIRED PLANTINGS, OTHER THAN THOSE IN REQUIRED BUFFERS, SHALL BE AS FOLLOWS:
 A. DECIDUOUS OVERSTORY TREES SHALL BE A MINIMUM OF EIGHT (8) FEET IN HEIGHT.
 B. EVERGREEN OVERSTORY TREES SHALL BE A MINIMUM OF SIX (6) FEET IN HEIGHT.
 C. DECIDUOUS ORNAMENTAL TREES SHALL BE A MINIMUM OF SIX (6) FEET IN HEIGHT.
- MINIMUM QUANTITY:
 THE MINIMUM NUMBER OF PLANTINGS PER SITE SHALL BE AS FOLLOWS:
 A. A MINIMUM OF FIFTY PERCENT (50%) OF ALL REQUIRED TREES SHALL BE OVERSTORY SHADE TREES.
 B. FOR ALL USES EXCEPT SINGLE-FAMILY ATTACHED AND DETACHED RESIDENTIAL DWELLINGS, A MINIMUM OF TWENTY FIVE PERCENT (25%) OF ALL REQUIRED TREES SHALL BE EVERGREEN TREES.

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DATE	REVISIONS
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11/04/2025	THIRD SUBMITTAL
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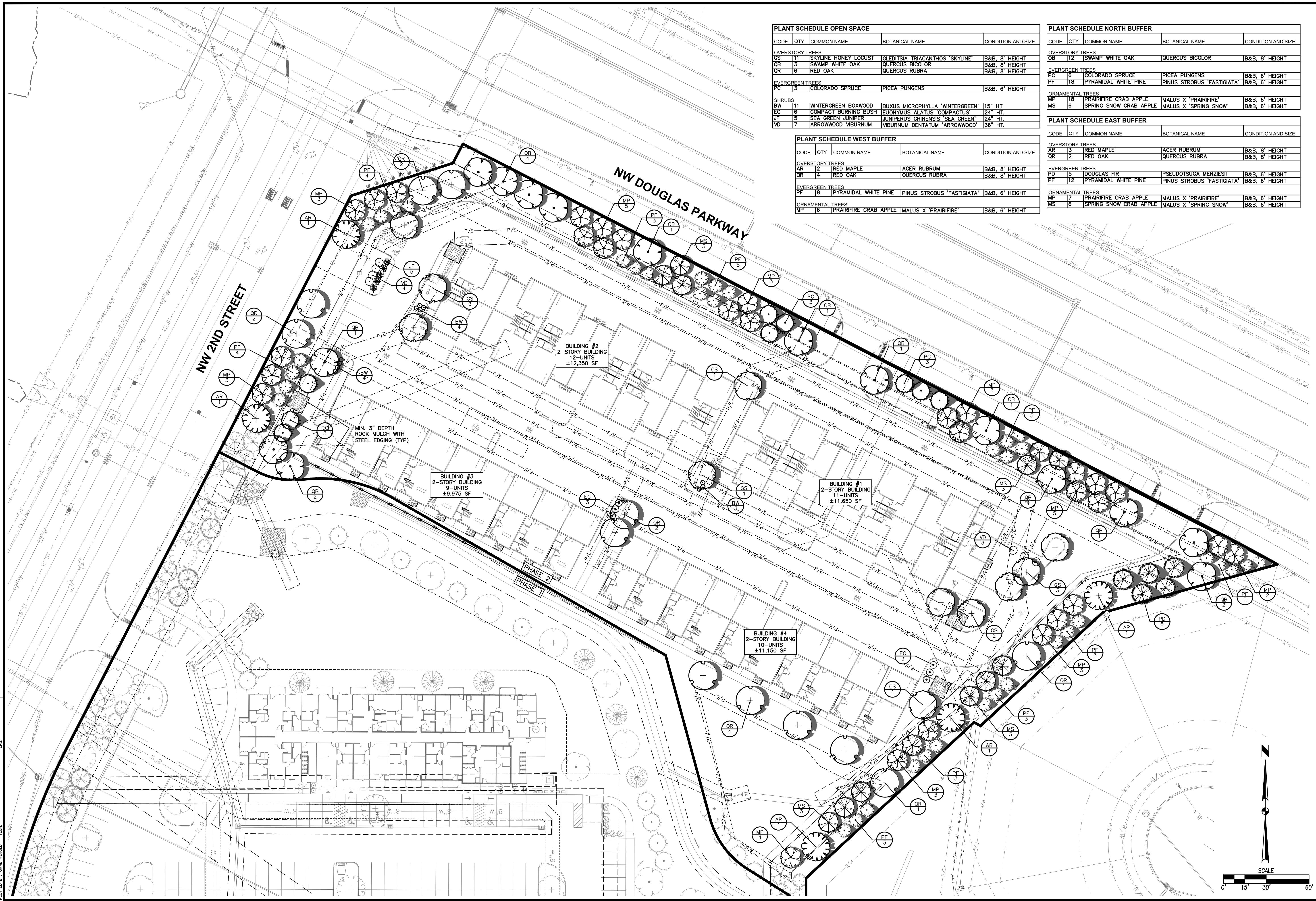
4121 NW URBANDALE DRIVE
 URBANDALE, IA 50322
 PHONE: (515) 369-4400



ENGINEER: EKO
 ENGINEER: GH
 EI: MAE

**THE PITCH - PHASE 2
 LANDSCAPE PLAN**

SHEET NUMBER:
L1.0
 2506.474



PLANT SCHEDULE OPEN SPACE				
CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
OVERSTORY TREES				
GS	11	SKYLINE HONEY LOCUST	GLEDTISIA TRIACANTHOS 'SKYLINE'	B&B, 8' HEIGHT
QB	3	SWAMP WHITE OAK	QUERCUS BICOLOR	B&B, 8' HEIGHT
QR	6	RED OAK	QUERCUS RUBRA	B&B, 8' HEIGHT
EVERGREEN TREES				
PC	3	COLORADO SPRUCE	PICEA PUNGENS	B&B, 6' HEIGHT
SHRUBS				
BW	11	WINTERGREEN BOXWOOD	BUXUS MICROPHYLLA 'WINTERGREEN'	15" HT
EC	6	COMPACT BURNING BUSH	EUONYMUS ALATUS 'COMPACTUS'	24" HT.
JF	5	SEA GREEN JUNIPER	JUNIPERUS CHINENSIS 'SEA GREEN'	24" HT.
VD	7	ARROWWOOD VIBURNUM	VIBURNUM DENTATUM 'ARROWWOOD'	36" HT.

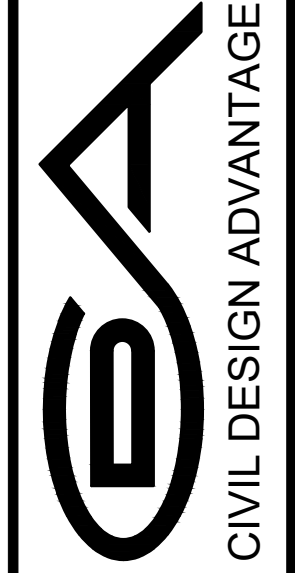
PLANT SCHEDULE WEST BUFFER				
CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
OVERSTORY TREES				
AR	2	RED MAPLE	ACER RUBRUM	B&B, 8' HEIGHT
QR	4	RED OAK	QUERCUS RUBRA	B&B, 8' HEIGHT
EVERGREEN TREES				
PF	8	PYRAMIDAL WHITE PINE	PINUS STROBUS 'FASTIGIATA'	B&B, 6' HEIGHT
ORNAMENTAL TREES				
MP	6	PRAIRIFIRE CRAB APPLE	MALUS X 'PRAIRIFIRE'	B&B, 6' HEIGHT

PLANT SCHEDULE NORTH BUFFER				
CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
OVERSTORY TREES				
QB	12	SWAMP WHITE OAK	QUERCUS BICOLOR	B&B, 8' HEIGHT
EVERGREEN TREES				
PC	6	COLORADO SPRUCE	PICEA PUNGENS	B&B, 6' HEIGHT
PF	18	PYRAMIDAL WHITE PINE	PINUS STROBUS 'FASTIGIATA'	B&B, 6' HEIGHT
ORNAMENTAL TREES				
MP	18	PRAIRIFIRE CRAB APPLE	MALUS X 'PRAIRIFIRE'	B&B, 6' HEIGHT
MS	6	SPRING SNOW CRAB APPLE	MALUS X 'SPRING SNOW'	B&B, 6' HEIGHT

PLANT SCHEDULE EAST BUFFER				
CODE	QTY	COMMON NAME	BOTANICAL NAME	CONDITION AND SIZE
OVERSTORY TREES				
AR	3	RED MAPLE	ACER RUBRUM	B&B, 8' HEIGHT
QR	2	RED OAK	QUERCUS RUBRA	B&B, 8' HEIGHT
EVERGREEN TREES				
PD	5	DOUGLAS FIR	PSEUDOTSUGA MENZIESII	B&B, 6' HEIGHT
PF	12	PYRAMIDAL WHITE PINE	PINUS STROBUS 'FASTIGIATA'	B&B, 6' HEIGHT
ORNAMENTAL TREES				
MP	7	PRAIRIFIRE CRAB APPLE	MALUS X 'PRAIRIFIRE'	B&B, 6' HEIGHT
MS	6	SPRING SNOW CRAB APPLE	MALUS X 'SPRING SNOW'	B&B, 6' HEIGHT

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WAUKEE, IOWA
 ENGINEER: EKO
 ENGINEER: GH
 EI: MAE

THE PITCH - PHASE 2

LANDSCAPE PLAN

