



PLANNING AND ZONING COMMISSION STAFF REPORT

PROJECT: Lot 1, Waukee Towne Center Plat 6 – Site Plan

PREPARED BY: Melissa DeBoer, AICP – Planning Coordinator

REPORT DATE: March 18, 2026

MEETING DATE: March 24, 2026

GENERAL INFORMATION

Owner/Applicant:

Waukee Towne Center, LLC

Owner's Representative:

Cody Weaver, P.E. – Civil Engineering Consultants

Request:

The applicant is requesting approval of a site plan for a commercial building.

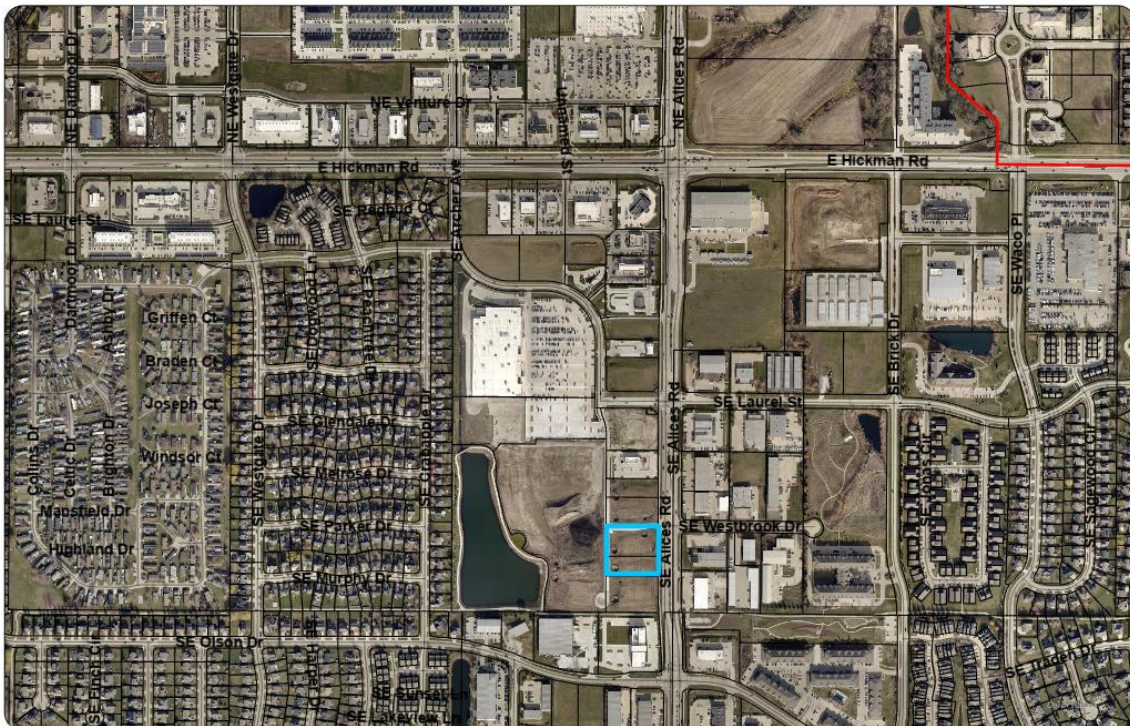
Location and Size:

Property is generally located west of SE Alice's Road and south of SE Laurel Street, containing approximately 1.81 acres.

Property Address:

500 SE Alice's Road

AREA MAP



ABOVE: Aerial of property identifying the proposed site plan (outlined in **BLUE**).

LAND USES AND ZONING

Location	Existing Land Use	Comprehensive Plan	Current Zoning
Property in Question	Vacant – Undeveloped	Neighborhood Commercial	C-1 / PD-1 (Community and Highway Service Commercial District / Planned Development District)
North	Vacant – Undeveloped	Neighborhood Commercial	C-1 / PD-1 (Community and Highway Service Commercial District / Planned Development District)
South	Vacant – Undeveloped	Neighborhood Commercial	C-1 / PD-1 (Community and Highway Service Commercial District / Planned Development District)
East	Light Industrial (Hickman West Industrial Park)	Neighborhood Commercial	M-1 (Light Industrial District)
West	Commercial Under Construction (Waukee Towne Center)	Neighborhood Commercial	C-1 / PD-1 (Community and Highway Service Commercial District / Planned Development District)

HISTORY

A preliminary plat and final plat was recently approved by City Council for this subject property. The lot in question is the northern lot of Plat 6. The lot is 1.81-acres in area.

PROJECT DESCRIPTION

The project includes the construction of a single-story, multi-tenant retail building. The building is 3,732 square feet in area and 20-feet in height. The site includes a drive-through at the north side of the building.

A trash enclosure is proposed at the southwest corner of the site.

ACCESS AND PARKING

Two accesses will be provided into the site off of the private drive along the west side of the site.

A pedestrian connection is provided into the site from the existing trail along SE Alice’s Road. A six-foot-wide, private sidewalk will be installed along both the north and west sides of the site, adjacent to the private drives. A pedestrian connection will be provided into the site from the private sidewalk along the west side of the site.

A total of 82 parking spaces are required for the proposed site plan. The total amount of parking proposed is 94 spaces including 4 accessible stalls.

UTILITIES

This site will be serviced with private utilities. Storm water management will be provided with the large pond located within the overall Waukee Towne Center development.

LANDSCAPING & OPEN SPACE

A minimum of 20% of the project area is required to be open space. The total amount of open space proposed is 21%. The landscape plan meets the requirements of the Landscape and Open Space Ordinance.

BUILDING ELEVATIONS

The elevations of the building are proposed to be constructed mostly of brick, fiber cement siding, EIFS, and glazing.

PHOTOMETRIC PLAN

A photometric plan for the site lighting has been submitted and complies with the requirements of the Site Plan Ordinance.

COMPREHENSIVE PLAN

The comprehensive plan classifies the subject property as Neighborhood Commercial. The Neighborhood Commercial classification provides primarily day-to-day goods and services for residents and are typically located along collectors, or at the intersections of collectors and minor arterials. Neighborhood Commercial centers should be walkable from nearby residential neighborhoods.

STAFF RECOMMENDATION

The site plan is in general conformance with the Site Plan Ordinance, Comprehensive Plan, and Planned Development. Staff recommends approval of the site plan for Lot 1, Waukee Towne Center Plat 6 subject to remaining staff comments.