

LANDING AT KETTLESTONE PLAT 2 PRELIMINARY PLAT

SHEET INDEX:

- 1 OF 3 COVER SHEET
- 2 OF 3 LAYOUT PLAN
- 3 OF 3 GRADING & UTILITY PLAN

PROPERTY DESCRIPTION:

(WARRANTY DEED INSTR# 2024-11310)
 PARCEL 18-56 IN GOVERNMENT LOT 3 OF SECTION 4, TOWNSHIP 78 NORTH, RANGE 26 WEST OF THE 5TH P.M., AS SHOWN ON PLAT OF SURVEY IN BOOK 2018, PAGE 15814-IN THE OFFICE OF THE DALLAS COUNTY RECORDER.
 AND
 (WARRANTY DEED BOOK 2003 PAGE-19981)
 LOT 2 IN PARK VIEW CROSSING PLAT 4, AN OFFICIAL PLAT LOCATED IN WAUKEE, DALLAS COUNTY, IOWA.

SUBJECT TO AND TOGETHER WITH ANY AND ALL EASEMENTS AND RESTRICTIONS OF RECORD.

AREA:
 20.08 ACRES

OWNER/PREPARED FOR:
 WAUKEE COMMUNITY SCHOOL DISTRICT
 1000 6TH STREET
 WAUKEE, IA 50263

PREPARED BY:
 BISHOP ENGINEERING
 3501 104TH ST
 URBANDALE, IA 50322
 ENGINEER: JOEL JACKSON
 SURVEYOR: LARRY HYLER

ZONING:
 EXISTING: C-1A
 PROPOSED: C-1

BULK REGULATIONS:

LOT AREA: NO MINIMUM
 LOT WIDTH: NO MINIMUM
 MINIMUM FRONT YARD SETBACK: 30 FEET
 MINIMUM REAR YARD SETBACK: 30 FEET
 MINIMUM SIDE YARD SETBACK: NO MINIMUM, EXCEPT WHEN ADJACENT TO ANY R DISTRICT, THEN MINIMUM SHALL BE 30 FEET
 MAXIMUM HEIGHT: NO MINIMUM EXCEPT WHEN ADJACENT TO AN R-1, R-2 OR R-4 DISTRICT, THE MAXIMUM SHALL BE 2 STORIES OR 40 FEET
 1 STORY OR 14 FEET FOR ACCESSORY BUILDING

BENCHMARK:

BASIS OF BEARING OBTAINED FROM GPS OBSERVATIONS
 DATUM = NAD83, IOWA SOUTH
 BENCHMARK DATUM = NAVD88, GEOID 18

POINT #1, HYDRANT TBM BURY BOLT
 NORTHING=583336.56
 EASTING=1542114.32
 ELEVATION=1036.34
 DESCRIPTION: NW CORNER OF THE INTERSECTION OF SE UNIVERSITY AVE AND SE PARKVIEW CROSSING DRIVE EXTENSION

POINT #2, MAG IN WALK
 NORTHING=502526.96
 EASTING=1541665.60
 ELEVATION=1024.02
 DESCRIPTION: IN SIDEWALK NEAR SW CORNER OF DETENTION POND

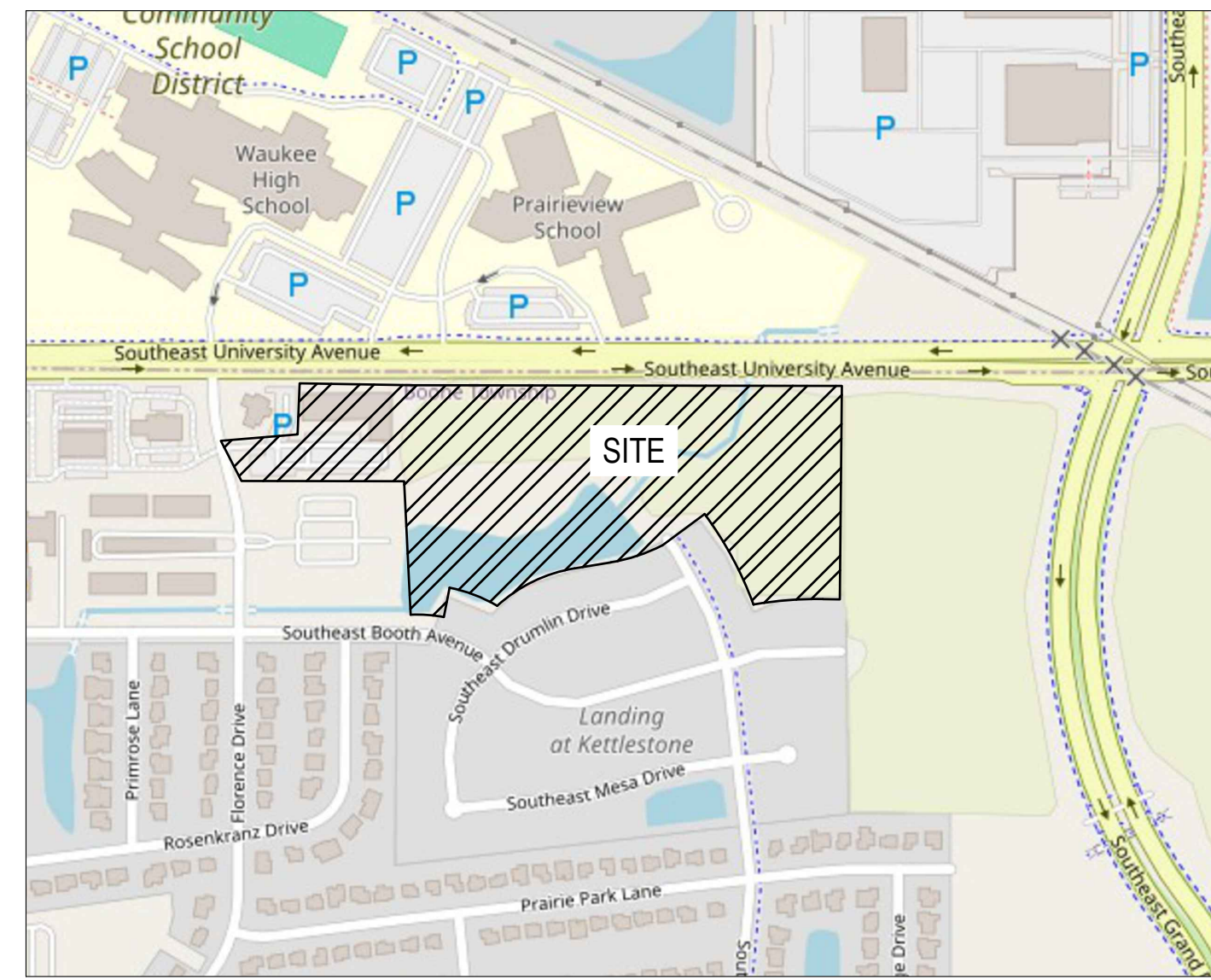
UTILITY MAPS PROVIDED BY:

1. ELECTRIC (MIDAMERICAN / 515-252-6972)
2. STORM AND SANITARY (CITY OF WAUKEE / 515-978-7920)
3. FIBER OPTIC (UPN / 816-425-3556)
4. FIBER (WAUKEE COMMUNITY SCHOOLS / 515-987-5161)
5. GAS (MIDAMERICAN / 515-252-6972)
6. WATER (CITY OF WAUKEE / 515-978-7920)



UTILITY NOTE:

THE LOCATION OF THE UTILITIES INDICATED ON THE PLANS HAVE BEEN TAKEN FROM THE FIELD SURVEY, EXISTING PUBLIC RECORDS, AND PLANS PROVIDED BY OTHERS. SURFACE UTILITY LOCATIONS HAVE BEEN FIELD LOCATED BY BISHOP ENGINEERING, UNLESS OTHERWISE NOTED. ALL UNDERGROUND UTILITY LOCATIONS ARE APPROXIMATE LOCATIONS ONLY. BISHOP ENGINEERING DOES NOT GUARANTEE THE UNDERGROUND LOCATION OF ANY UTILITIES SHOWN. IT SHALL BE THE DUTY OF THE CONTRACTOR TO DETERMINE THE LOCATION AND DEPTH OF ANY UNDERGROUND UTILITIES SHOWN AND IF ANY ADDITIONAL UTILITIES, OTHER THAN THOSE SHOWN ON THE PLANS, MAY BE PRESENT. A REQUEST WAS MADE TO IOWA ONE CALL FOR UTILITY PROVIDERS TO VERIFY, LOCATE, AND MARK THEIR UTILITIES IN THE FIELD.



VICINITY MAP
 SCALE: 1" = 500'

GENERAL NOTES:

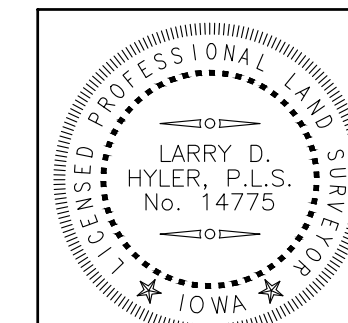
1. SEE PAVEMENT CROSS SECTION DETAIL FOR PAVEMENT THICKNESS REQUIREMENTS.
2. PAVEMENT THICKNESS AND CROSS SECTION DESIGN IS DICTATED BY CITY REQUIREMENTS.
3. ALL SIDE YARD SETBACKS ARE INTENDED TO BE USED TO CONVEY STORM WATER FROM THE SUBJECT LOT AND ANY ADJACENT LOTS.
4. ALL EASEMENTS ARE PUBLIC UNLESS NOTED OTHERWISE.
5. STREET LOT A SHALL BE DEDICATED TO THE CITY AS PUBLIC STREET RIGHT OF WAY.

ABBREVIATIONS:

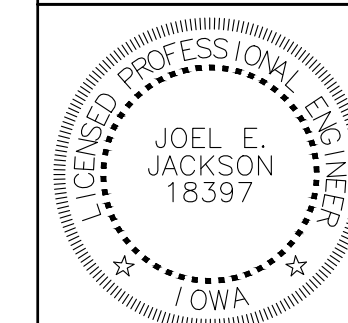
AC	ACRES
ASPH	ASPHALT
BK	BOOK
CONC	CONCRETE
D	DEEDED DISTANCE
EX	EXISTING
ENCL	ENCLOSURE
FF	FINISHED FLOOR
FL	FLOW LINE
FRAC	FRACTIONAL
M	MEASURED DISTANCE
MH	MANHOLE
OPC	ORANGE PLASTIC CAP
P	PLATTED DISTANCE
PG	PAGE
POB	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
PRA	PREVIOUSLY RECORDED AS
PUE	PUBLIC UTILITY EASEMENT
ROW	RIGHT OF WAY
RPC	RED PLASTIC CAP
SF	SQUARE FEET
SAN	SANITARY
TYP	TYPICAL
YPC	YELLOW PLASTIC CAP
N	NORTH
S	SOUTH
E	EAST
W	WEST

LEGEND:

— SAN —	SANITARY SEWER	⊠	ELECTRIC VAULT
— ST —	STORM SEWER	⊠	POWER POLE
— W —	WATER LINE	⊠	TRANSFORMER POLE
— G —	GAS LINE	☆	LIGHT POLE
— U/E —	UNDERGROUND ELECTRIC	⊠	ELECTRIC JUNCTION BOX
— O/E —	OVERHEAD ELECTRIC	⊠	ELECTRIC PANEL
— TELE —	TELEPHONE LINE	⊠	TRANSFORMER
— F/O —	FIBER OPTIC	⊠	GROUND LIGHT
— CATV —	CABLE TV	⊠	GUY WIRE
⊠	STORM MANHOLE	⊠	ELECTRIC MANHOLE
⊠	CURB INTAKE	⊠	GAS METER
⊠	SURFACE INTAKE	⊠	GAS VALVE
⊠	FLARED END SECTION	⊠	AIR CONDITIONING UNIT
⊠	SANITARY MANHOLE	⊠	TELEPHONE RISER
⊠	CLEANOUT	⊠	TELEPHONE VAULT
⊠	FIRE HYDRANT	⊠	TELEPHONE MANHOLE
⊠	SPRINKLER	⊠	TRAFFIC SIGNAL MANHOLE
⊠	IRRIGATION CONTROL VALVE	⊠	FIBER OPTIC RISER
⊠	WATER MANHOLE	⊠	FIBER OPTIC VAULT
⊠	WELL	⊠	CABLE TV RISER
⊠	WATER VALVE	⊠	SIGN
⊠	WATER SHUT OFF	⊠	DENOTES NUMBER OF PARKING STALLS
⊠	YARD HYDRANT	⊠	PROPERTY CORNER - FOUND AS NOTED
⊠	ELECTRIC MANHOLE	⊠	SECTION CORNER - FOUND AS NOTED
⊠	ELECTRIC METER	⊠	ALL SIDE YARD SETBACKS ARE INTENDED TO BE USED TO CONVEY STORM WATER FROM THE SUBJECT LOT AND ANY ADJACENT LOTS
⊠	ELECTRIC RISER		



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.
 SIGNED: PRELIMINARY DATE: _____
 LARRY D. HYLER, P.L.S. 14775
 LICENSE RENEWAL DATE: DEC. 31, 2026
 PAGES OR SHEETS COVERED BY THIS SEAL: _____



I HEREBY CERTIFY THAT THIS ENGINEERING DOCUMENT WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF IOWA.
 SIGNED: PRELIMINARY DATE: _____
 JOEL E. JACKSON, P.E. 18397
 LICENSE RENEWAL DATE: DEC. 31, 2026
 PAGES OR SHEETS COVERED BY THIS SEAL: _____



PRELIMINARY PLAT
 LANDING AT KETTLESTONE PLAT 2
 WAUKEE, IOWA

PROJECT NUMBER:
230524

DRAWN BY:
DRL

REVISION DATE:
 2025-11-11
 2025-12-16
 2026-02-03
 2026-02-20
 2026-03-09

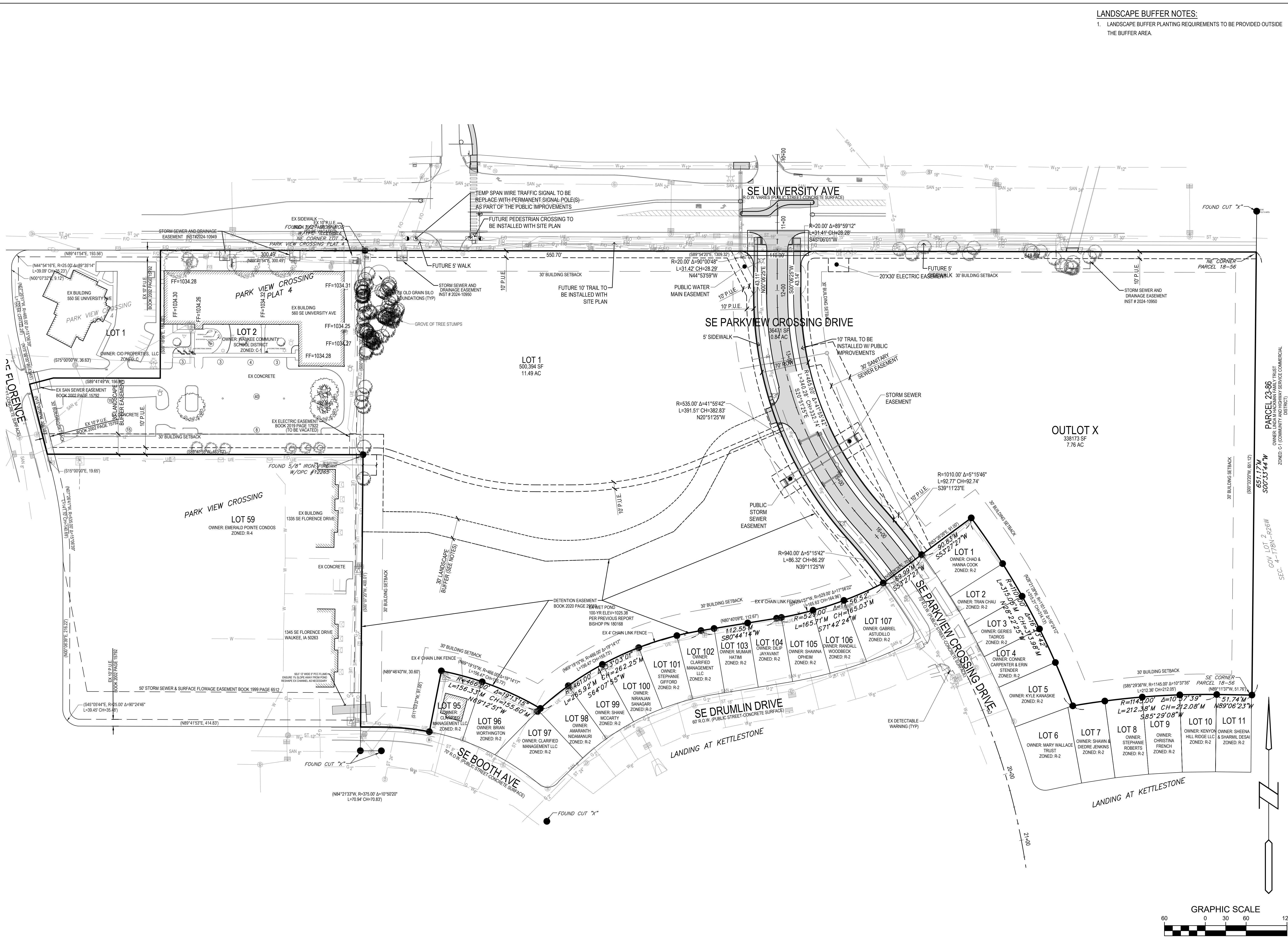
PROJECT NUMBER:
230524-2

SHEET NAME:
COVER SHEET

SHEET NUMBER:
1 OF 3

PRELIMINARY- NOT FOR CONSTRUCTION

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LANDSCAPE BUFFER NOTES:
 1. LANDSCAPE BUFFER PLANTING REQUIREMENTS TO BE PROVIDED OUTSIDE THE BUFFER AREA.

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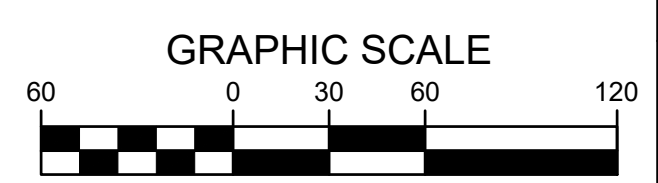
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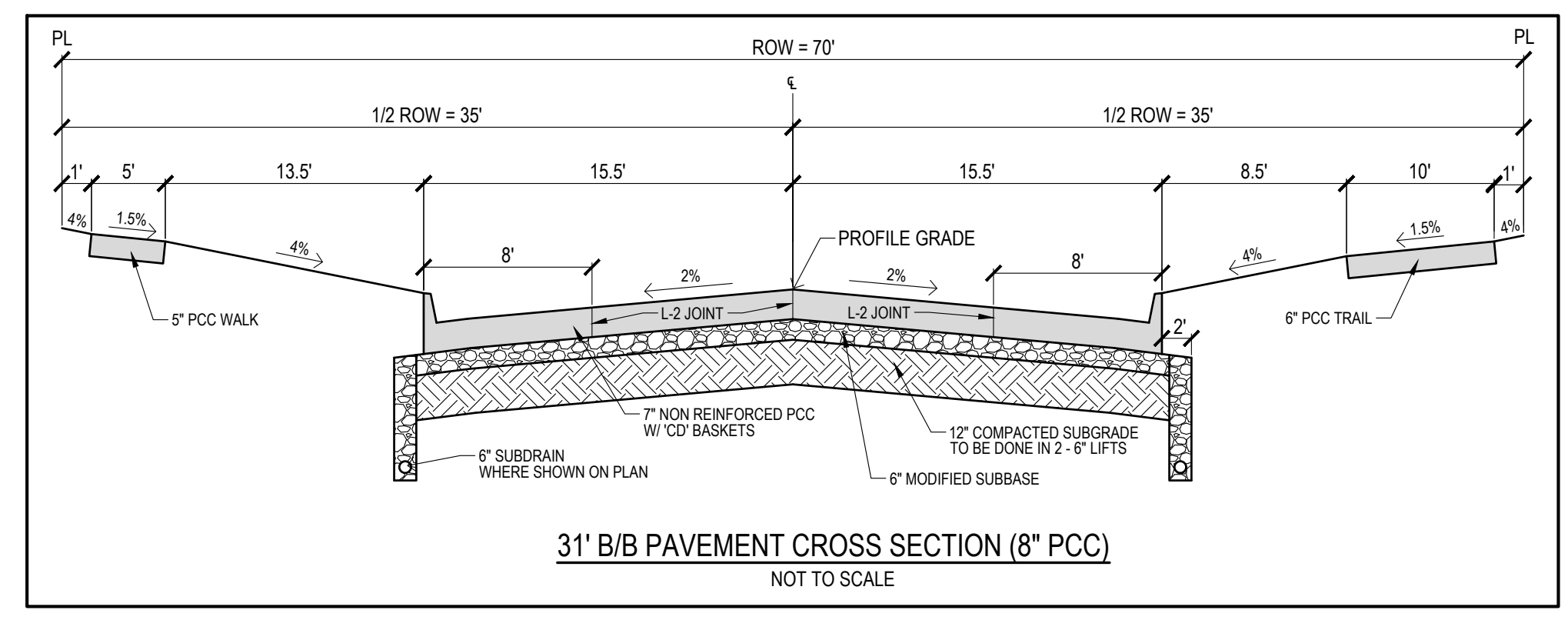
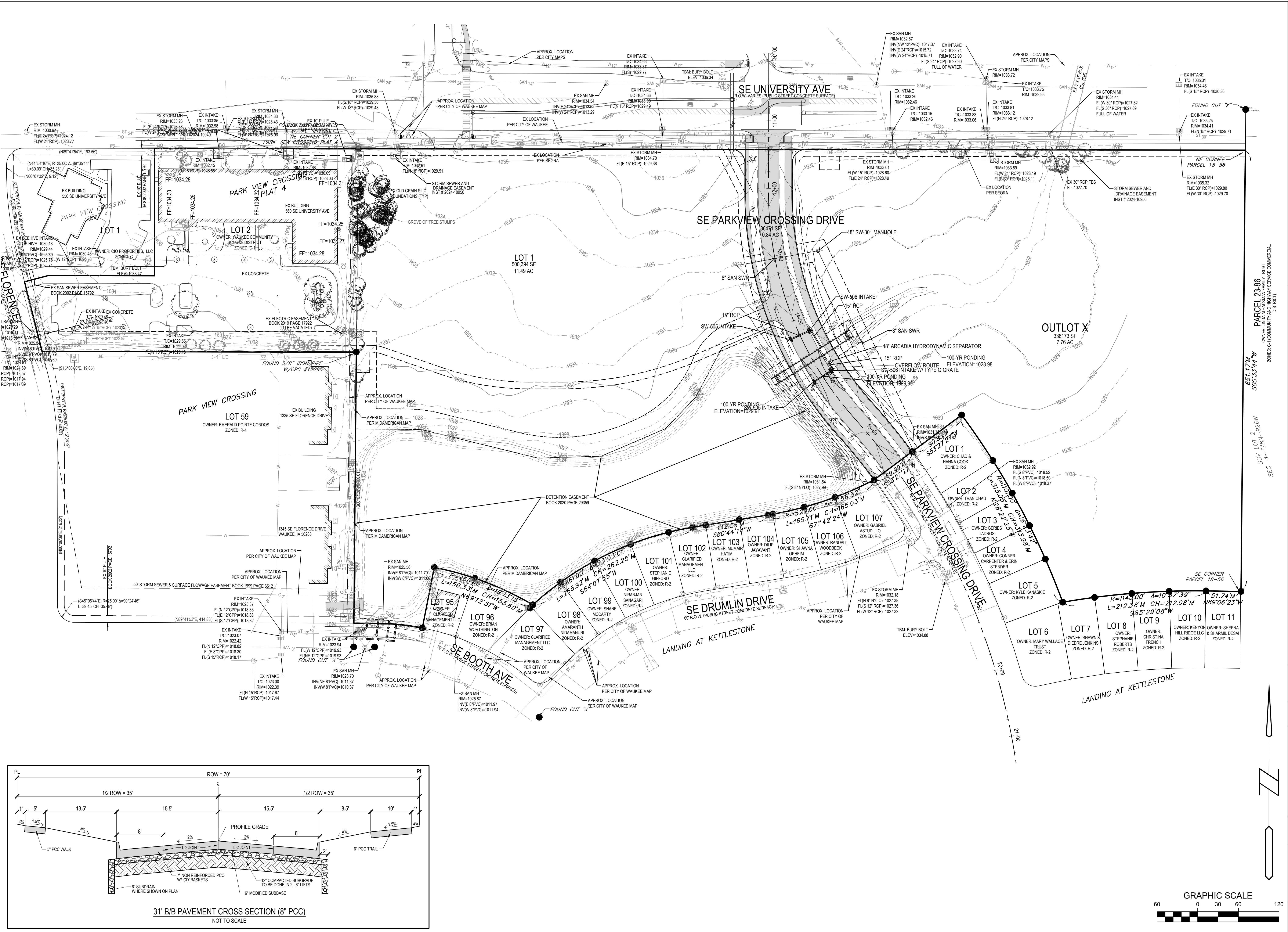
SHEET NAME:
LAYOUT PLAN

SHEET NUMBER:
2 OF 3



PRELIMINARY - NOT FOR CONSTRUCTION

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