

INDEX LEGEND

LOCATION
LOT 2 IN PARK VIEW CROSSING PLAT 4,
PARCEL 18-56 IN GOVERNMENT LOT 3 OF SECTION 4, T 78 N, R 26 W,
AS SHOWN ON PLAT OF SURVEY IN BOOK 2018, PAGE 15814

OWNER/PREPARED FOR:
WAUKEE COMMUNITY SCHOOL DISTRICT
1000 6TH STREET
WAUKEE, IA 50263

PREPARED BY:
BISHOP ENGINEERING
3501 104TH ST
URBANDALE, IA 50322
SURVEYOR: LARRY HYLER

RETURN TO:
LARRY HYLER
BISHOP ENGINEERING
3501 104TH ST
URBANDALE, IA 50322

PROPERTY DESCRIPTION:

(WARRANTY DEED INST# 2024-11310)
PARCEL 18-56 IN GOVERNMENT LOT 3 OF SECTION 4, TOWNSHIP
78 NORTH, RANGE 26 WEST OF THE 5TH P.M., AS SHOWN ON
PLAT OF SURVEY IN BOOK 2018, PAGE 15814 - IN THE OFFICE OF
THE DALLAS COUNTY RECORDER.
AND
(WARRANTY DEED BOOK 2003 PAGE -19981)
LOT 2 IN PARK VIEW CROSSING PLAT 4, AN OFFICIAL PLAT
LOCATED IN WAUKEE, DALLAS COUNTY, IOWA.

SUBJECT TO AND TOGETHER WITH ANY AND ALL
EASEMENTS AND RESTRICTIONS OF RECORD.

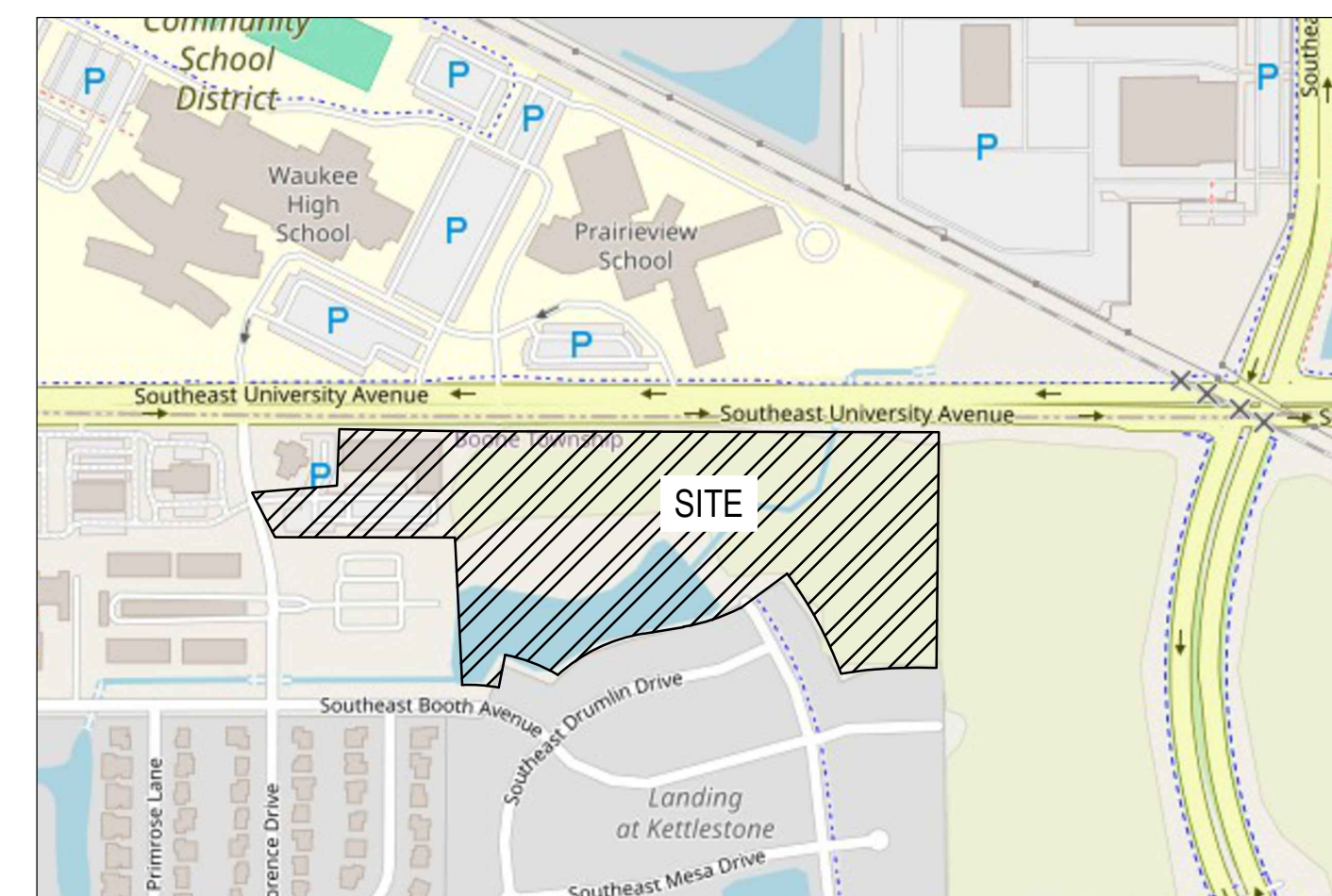
AREA:
875,038 SQUARE FEET OR 20.09 ACRES

ZONING:
EXISTING: C-1A
PROPOSED: C-1

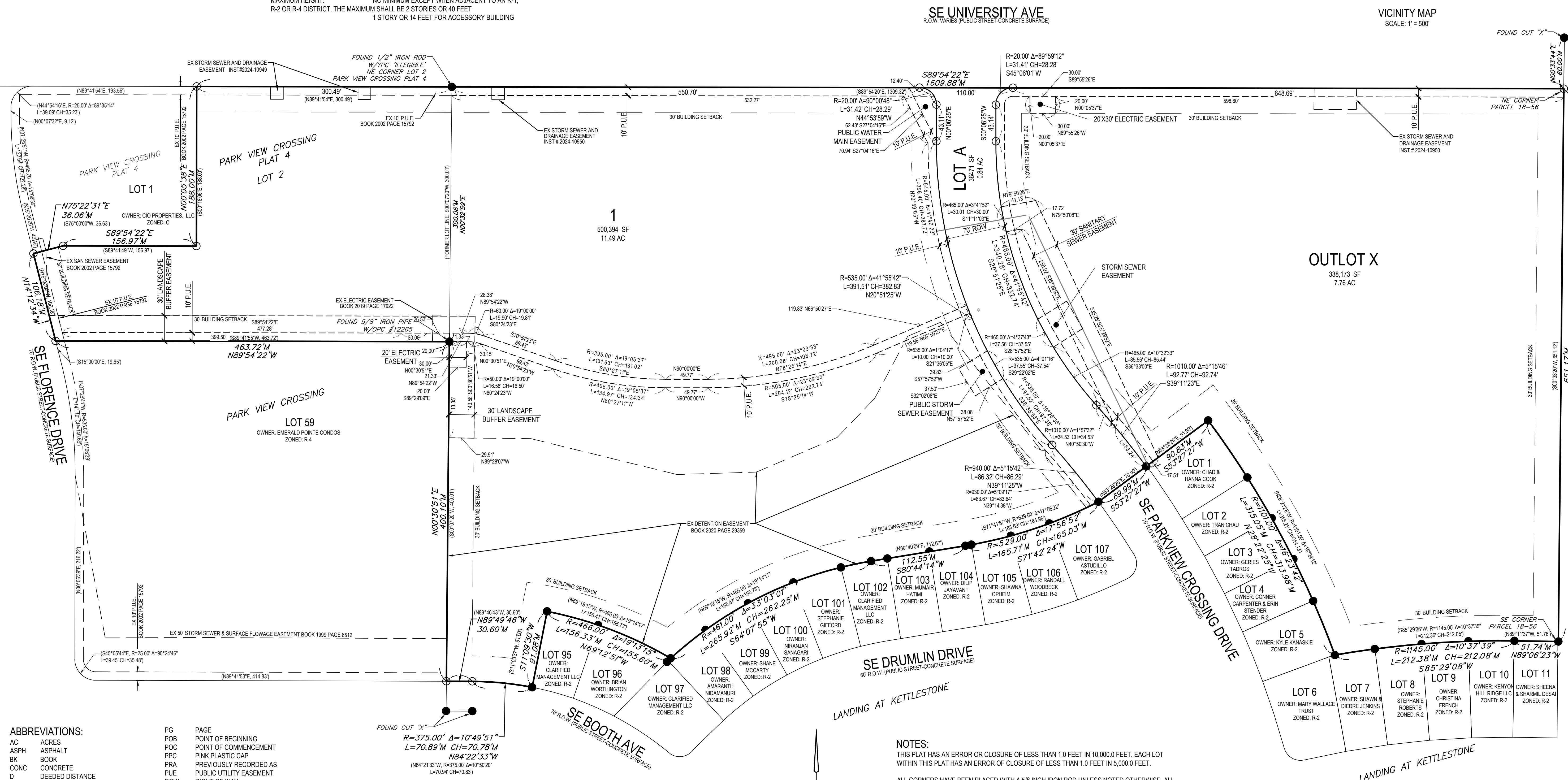
BULK REGULATIONS:

LOT AREA: NO MINIMUM
LOT WIDTH: NO MINIMUM
MINIMUM FRONT YARD SETBACK: 30 FEET
MINIMUM REAR YARD SETBACK: 30 FEET
MINIMUM SIDE YARD SETBACK: NO MINIMUM, EXCEPT WHEN ADJACENT TO ANY R
DISTRICT, THEN MINIMUM SHALL BE 30 FEET
MAXIMUM HEIGHT: NO MINIMUM EXCEPT WHEN ADJACENT TO AN R-1,
R-2 OR R-4 DISTRICT, THE MAXIMUM SHALL BE 2 STORIES OR 40 FEET
1 STORY OR 14 FEET FOR ACCESSORY BUILDING

LANDING AT KETTLESTONE PLAT 2
FINAL PLAT



VICINITY MAP
SCALE: 1" = 500'

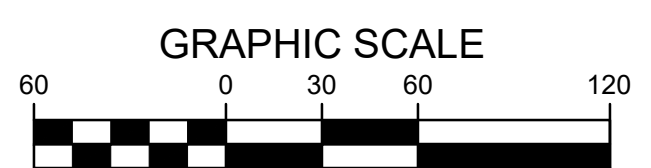


ABBREVIATIONS:

- AC ACRES
ASPH ASPHALT
BK BOOK
CONC CONCRETE
D DEEDED DISTANCE
EX EXISTING
ENCL ENCLOSURE
FF FINISHED FLOOR
FL FLOW LINE
FRAC FRACTIONAL
M MEASURED DISTANCE
MH MANHOLE
OPC ORANGE PLASTIC CAP
P PLATTED DISTANCE
PG PAGE
POB POINT OF BEGINNING
POC POINT OF COMMENCEMENT
PPC PINK PLASTIC CAP
PRA PREVIOUSLY RECORDED AS
PUE PUBLIC UTILITY EASEMENT
ROW RIGHT OF WAY
SF SQUARE FEET
SAN SANITARY
TYP TYPICAL
YPC YELLOW PLASTIC CAP
N NORTH
S SOUTH
E EAST
W WEST

LEGEND:

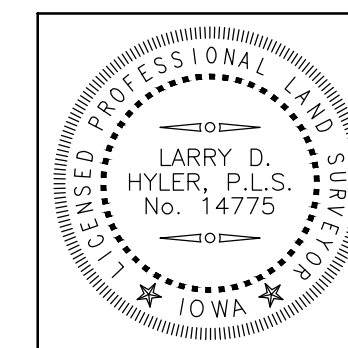
- PROPERTY CORNER - FOUND 3/4" IRON PIPE WITH YELLOW PLASTIC CAP ID#14775 OR AS NOTED
PROPERTY CORNER - PLACED 5/8" IRON ROD WITH YELLOW PLASTIC CAP ID#14775
SECTION CORNER - FOUND AS NOTED
CUT "X" IN PAVEMENT
ADDRESS



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NOTES:

THIS PLAT HAS AN ERROR OR CLOSURE OF LESS THAN 1.0 FEET IN 10,000.0 FEET. EACH LOT WITHIN THIS PLAT HAS AN ERROR OF CLOSURE OF LESS THAN 1.0 FEET IN 5,000.0 FEET.
ALL CORNERS HAVE BEEN PLACED WITH A 5/8 INCH IRON ROD UNLESS NOTED OTHERWISE. ALL CORNERS PLACED HAVE A YELLOW PLASTIC IDENTIFICATION CAP NO. 14775.
ALL SIDE YARD SETBACKS ARE INTENDED TO BE USED TO CONVEY STORM WATER FROM THE SUBJECT LOT AND ANY ADJACENT LOTS.
ALL EASEMENTS ARE PUBLIC UNLESS NOTED OTHERWISE.
STREET LOT A SHALL BE DEDICATED TO THE CITY AS PUBLIC STREET RIGHT OF WAY.



I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT WAS PREPARED AND THE RELATED SURVEY WORK WAS PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.
SIGNED: PRELIMINARY LARRY D. HYLER, P.L.S. 14775 DATE:
LICENSE RENEWAL DATE: DEC. 31, 2026
PAGES OR SHEETS COVERED BY THIS SEAL:

FINAL PLAT
LANDING AT KETTLESTONE PLAT 2
WAUKEE, IOWA

REFERENCE NUMBER:
230524, 180168
020415
98-5P

DRAWN BY:
JPN

REVISION DATE:
1ST CITY SUBMITTAL: 3-11-2026

PROJECT NUMBER:
230524-2

SHEET NAME:
FINAL PLAT

SHEET NUMBER:
1 OF 1

BISHOP ENGINEERING +
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