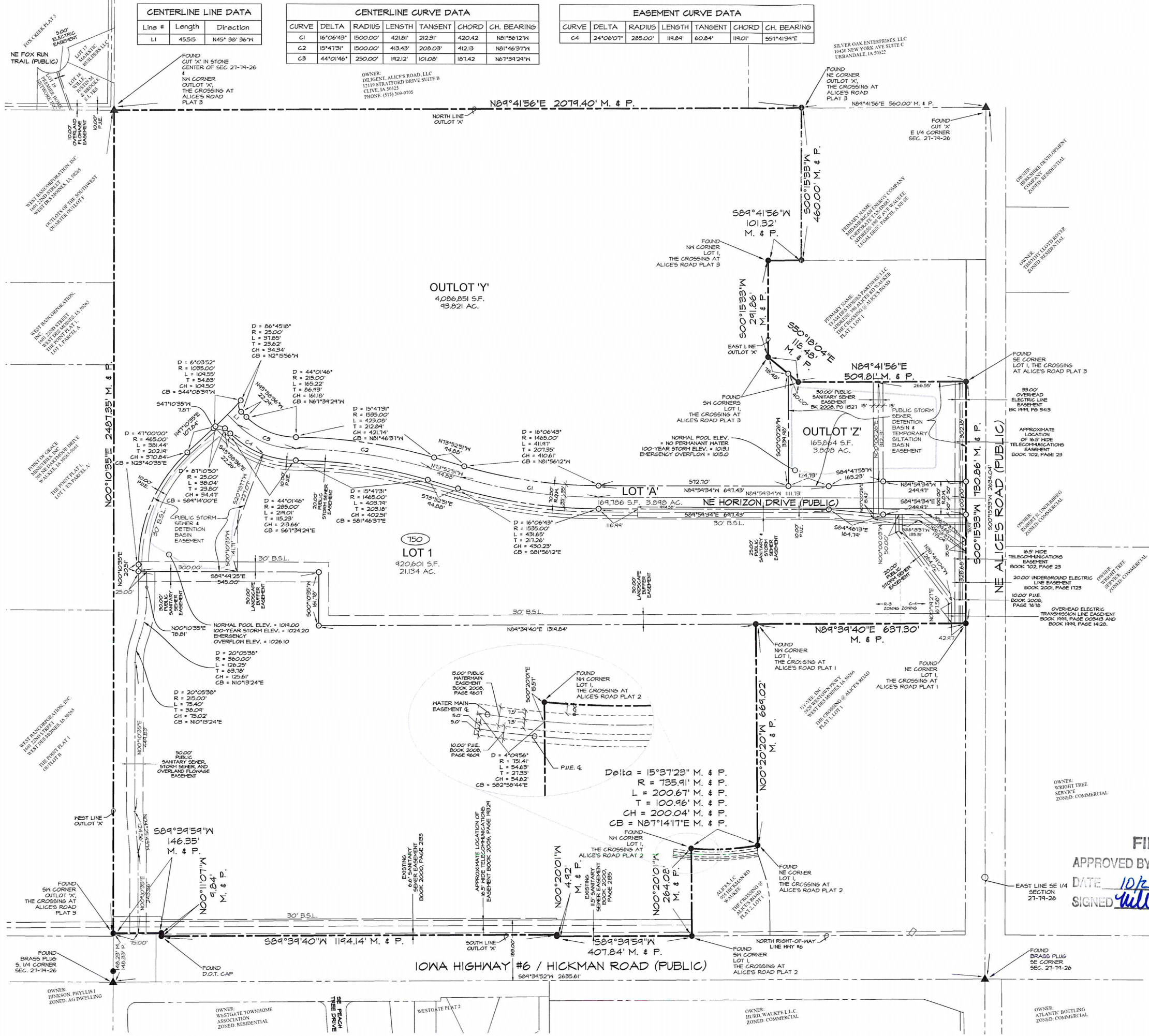


| CENTERLINE LINE DATA |         |             |
|----------------------|---------|-------------|
| Line #               | Length  | Direction   |
| L1                   | 45.5'5" | N49°38'36"W |

| CENTERLINE CURVE DATA |           |          |         |         |         |             |
|-----------------------|-----------|----------|---------|---------|---------|-------------|
| CURVE                 | DELTA     | RADIUS   | LENGTH  | TANGENT | CHORD   | CH. BEARING |
| C1                    | 16°06'43" | 1500.00' | 421.81' | 212.31' | 420.42' | N81°56'12"W |
| C2                    | 15°47'31" | 1500.00' | 413.43' | 208.03' | 412.3'  | N81°46'37"W |
| C3                    | 44°01'46" | 250.00'  | 142.12' | 101.08' | 101.42' | N61°34'24"W |

| EASEMENT CURVE DATA |           |         |         |         |         |             |
|---------------------|-----------|---------|---------|---------|---------|-------------|
| CURVE               | DELTA     | RADIUS  | LENGTH  | TANGENT | CHORD   | CH. BEARING |
| C4                  | 24°06'07" | 285.00' | 119.84' | 60.84'  | 119.01' | S51°41'34"E |



# FINAL PLAT PRAIRIE CROSSING PLAT 1 WAUKEE, IOWA

OWNER / APPLICANT  
ALICES, L.C.  
C/O KNAPP PROPERTIES  
5000 WESTOWN PARKWAY, SUITE 400  
WEST DES MOINES, IOWA 50266

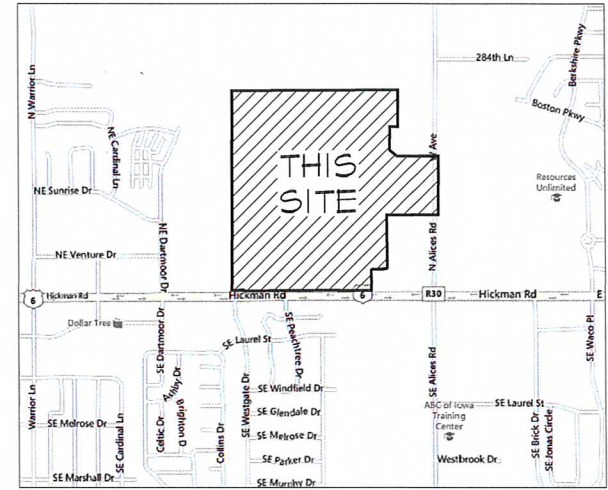
LEGAL DESCRIPTION  
ALL OF OUTLOT 'X', THE CROSSING AT ALICE'S ROAD PLAT 3, AN OFFICIAL PLAT  
RECORDED IN BOOK 200B, PAGE 11526 AT DALLAS COUNTY, IOWA, AND CONTAINING  
122.661 ACRES MORE OR LESS.

ALL BEING IN AND FORMING A PART OF THE CITY OF WAUKEE,  
DALLAS COUNTY, IOWA.

AREA  
122.662 ACRES

ZONING  
EXISTING LOT 1 EXCEPT THE EAST 200 FEET, R-3  
THE EAST 200 FEET OF LOT 1, C-4

BULK REGULATIONS  
R-3 LOT 1  
FRONT YARD SETBACK = 30 FEET  
SIDE YARD SETBACK = 7 FEET MINIMUM 15 FEET TOTAL  
REAR YARD SETBACK = 30 FEET / DWELLING  
REAR YARD SETBACK = 40 FEET / OTHER PRINCIPAL BUILDING  
MAXIMUM HEIGHT = 40 FEET PRINCIPAL BUILDING & 14 FEET ACCESSORY BUILDING.  
MAXIMUM NUMBER OF STORIES = PRINCIPAL BUILDING - 3 STORIES & ACCESSORY BUILDING 1 STORY.  
MULTIPLE BUILDING SEPARATION = 40 FEET.



VICINITY MAP  
NOT TO SCALE

## CERTIFICATION

I HEREBY CERTIFY THAT THIS LAND SURVEYING DOCUMENT HAS BEEN PREPARED AND THE RELATED SURVEY WORK HAS BEEN PERFORMED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED LAND SURVEYOR UNDER THE LAWS OF THE STATE OF IOWA.

JERRY P. OLIVER  
7844  
DATE 10/31/13  
THIS SHEET ONLY

- NOTES
- LOT 'A' TO BE DEEDED TO THE CITY OF WAUKEE FOR STREET PURPOSES.
  - THIS PROPERTY IS SUBJECT TO CERTAIN ACCESS RESTRICTIONS AS RECORDED IN BOOK 149B, PAGE 963B.
  - THIS PROPERTY IS SUBJECT TO THE REQUIREMENTS OF THE DEVELOPMENT AGREEMENT WITH THE CITY OF WAUKEE, RECORDED IN BOOK 2001, PAGE 1283A, AND THE AMENDMENT TO THE DEVELOPMENT AGREEMENT RECORDED IN BOOK 2008, PAGE 11523, AND RESTATEMENT AGREEMENT RECORDED IN BOOK 2012, PAGE 566B.
  - REQUIRED INSTALLATION OF A 5 FOOT WIDE PUBLIC SIDEWALK ADJACENT TO OUTLOT 'Z' SHALL BE INSTALLED AS PART OF THE SUBDIVISIONS PUBLIC IMPROVEMENTS.
  - THE COMMERCIAL ASSOCIATION CREATED AND RECORDED IN CONNECTION WITH THE FINAL PLAT WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL THE COMMON AREAS.
  - FUTURE INSTALLATION OF A 10 FOOT WIDE TRAIL ALONG THE WEST SIDE OF NE ALICE'S ROAD IS REQUIRED.
  - THE REQUIRED PLANTINGS IN THE PROPOSED LANDSCAPE BUFFER EASEMENT ALONG LOT 1 SHALL BE INSTALLED AT TIME OF DEVELOPMENT.
  - THERE IS TO BE A 4.9 ACRE OUTLOT INTENDED FOR PARKLAND DEDICATION TO BE PROVIDED AS PART OF PRAIRIE CROSSING PLAT 2.
  - THE NEWLY CREATED EASEMENTS HEREON SHALL HAVE THE TERMS AND CONDITIONS PROVIDED IN THE SEPARATE EASEMENT DOCUMENT EXECUTED WITH RESPECT TO SUCH EASEMENT.

LEGEND

|        |                                             |
|--------|---------------------------------------------|
| ▲      | PLAT BOUNDARY                               |
| ●      | SECTION CORNER                              |
| ○      | FOUND CORNER W 5/8" I.R. W/YELLOW CAP #1844 |
| ○      | SET CORNER W 5/8" I.R. W/YELLOW CAP #1844   |
| I.R.   | IRON ROD                                    |
| G.P.   | GAS PIPE                                    |
| M.     | MEASURED DISTANCE                           |
| P.     | PREVIOUSLY RECORDED DISTANCE                |
| P.U.E. | PUBLIC UTILITY EASEMENT                     |
| B.     | POINT OF BEGINNING                          |
| AD.    | ADDRESS                                     |
| B.S.L. | BUILDING SETBACK LINE                       |
| N.R.   | NOT RADIAL                                  |

FINAL PLAT  
APPROVED BY Waukee City Council  
DATE 10/21/13  
SIGNED William D. Schuch

## FINAL PLAT PRAIRIE CROSSING PLAT 1 WAUKEE, IOWA

**CEC**  
Civil Engineering Consultants, Inc.  
2400 86th Street, Unit 12 - Des Moines, Iowa 50322  
515.276.4884 - Fax: 515.276.7084 - email@cecil.com

Scale: 1"=150'  
NORTH  
SHEET 1 OF 1  
DATE CREATED: AUG 21, 2013  
REVISIONS: OCT 31, 2013  
DRAWN BY: JLO